



A G E N D A

GARDEN GROVE PLANNING COMMISSION

REGULAR MEETING

APRIL 21, 2016

COMMUNITY MEETING CENTER
11300 STANFORD AVENUE

REGULAR SESSION – 7:00 P.M. COUNCIL CHAMBER

ROLL CALL: CHAIR O'NEILL, VICE CHAIR KANZLER
COMMISSIONERS BARKER, MARGOLIN, PAREDES, ZAMORA

Members of the public desiring to speak on any item of public interest, including any item on the agenda except public hearings, must do so during Oral Communications at the beginning of the meeting. Each speaker shall fill out a card stating name and address, to be presented to the Recording Secretary, and shall be limited to five (5) minutes. Members of the public wishing to address public hearing items shall do so at the time of the public hearing.

Any person requiring auxiliary aids and services due to a disability should contact the City Clerk's office at (714) 741-5035 to arrange for special accommodations. (Government Code §5494.3.2).

All revised or additional documents and writings related to any items on the agenda, which are distributed to all or a majority of the Planning Commissioners within 72 hours of a meeting, shall be available for public inspection (1) at the Planning Services Division during normal business hours; and (2) at the City Council Chamber at the time of the meeting.

Agenda item descriptions are intended to give a brief, general description of the item to advise the public of the item's general nature. The Planning Commission may take legislative action it deems appropriate with respect to the item and is not limited to the recommended action indicated in staff reports or the agenda.

PLEDGE OF ALLEGIANCE TO THE FLAG OF THE UNITED STATES OF AMERICA

- A. ORAL COMMUNICATIONS - PUBLIC
- B. APPROVAL OF MINUTES: March 17, 2016
- C. PUBLIC HEARING(S) (Authorization for the Chair to execute Resolution shall be included in the motion.)
 - C.1. CONDITIONAL USE PERMIT NO. CUP-066-2016

APPLICANT: KARIE BARKER

LOCATION: SOUTH OF STANFORD AVENUE, WEST OF
BROOKHURST STREET AND STANFORD AVENUE AT
12755 BROOKHURST STREET

REQUEST: Conditional Use Permit approval to operate a new 1,850 square foot after-school tutoring center for 46 students and six (6) instructors. The site is in the GGMU1 (Garden Grove Mixed Use 1) zone. The project is exempt pursuant to CEQA Section 15301 – Existing Facilities.

STAFF RECOMMENDATION: Approval of Conditional Use Permit No. CUP-066-2016, subject to the recommended conditions of approval.

- C.2. MITIGATED NEGATIVE DECLARATION
SITE PLAN NO. SP-022-2016
CONDITIONAL USE PERMIT NO. CUP-065-2016
LOT LINE ADJUSTMENT NO. LLA-011-2016
DEVELOPMENT AGREEMENT NO. DA-002-2016

APPLICANT: TONY LAM

LOCATION: NORTH SIDE OF GARDEN GROVE BOULEVARD, WEST OF NELSON STREET. PEARL STREET PROPERTY IS CONTIGUOUS TO NORTH SIDE OF GARDEN GROVE PROPERTIES AND FRONTS SOUTH SIDE OF PEARL STREET, WEST OF NELSON STREET AT 10641 GARDEN GROVE BOULEVARD, 10661 GARDEN GROVE BOULEVARD, AND 10662 PEARL STREET.

REQUEST: Site Plan and Conditional Use approval to construct a four-story, 10-unit, work-live mixed-use development on three separate properties, in conjunction with a Lot Line Adjustment to consolidate three properties into one. A Development Agreement is also included.

STAFF RECOMMENDATION: Recommend adoption of the Mitigated Negative Declaration and approval of Development Agreement No. DA-002-2016 to City Council, and approve Site Plan No. SP-022-2016, Conditional Use Permit No. CUP-065-2016, and Lot Line Adjustment No. LLA-011-2016, subject to the recommended conditions of approval and City Council approval of Development Agreement No. DA-002-2016.

D. ITEMS FOR CONSIDERATION

D.1. REVIEW OF THE CODE OF ETHICS

D.2. ACKNOWLEDGEMENT OF THE 2015 ANNUAL PROGRESS REPORT ON THE STATUS OF THE GENERAL PLAN AND HOUSING ELEMENT

E. MATTERS FROM COMMISSIONERS

F. MATTERS FROM STAFF

G. ADJOURNMENT

GARDEN GROVE PLANNING COMMISSION
Council Chamber, Community Meeting Center
11300 Stanford Avenue, Garden Grove, CA 92840

Special Meeting Minutes
Thursday, March 17, 2016

CALL TO ORDER: 6:02 p.m.

ROLL CALL:

Chair O'Neill
Vice Chair Kanzler
Commissioner Barker
Commissioner Margolin
Commissioner Paredes
Commissioner Zamora

Absent: None.

SELECTION OF CHAIR:

Action: Commissioner O'Neill nominated as Chair by Commissioner Margolin. No further nominations received.

Action: Commissioner O'Neill selected as Chair.

Motion: Margolin Second: Paredes

Ayes: (6) Barker, Kanzler, Margolin, O'Neill, Paredes, Zamora

Noes: (0) None

Absent: (0) None

SELECTION OF VICE CHAIR:

Action: Commissioner Kanzler nominated as Vice Chair by Commissioner Margolin. No further nominations received.

Action: Commissioner Kanzler selected as Vice Chair.

Motion: Margolin Second: O'Neill

Ayes: (6) Barker, Kanzler, Margolin, O'Neill, Paredes, Zamora

Noes: (0) None

Absent: (0) None

PLEDGE OF ALLEGIANCE: Led by Chair O'Neill.

ORAL COMMUNICATIONS – PUBLIC – None.

January 28, 2016 MINUTES:

Action: Received and filed.

Motion: Margolin Second: Zamora

Ayes: (6) Barker, Kanzler, Margolin, O'Neill, Paredes, Zamora

Noes: (0) None

Absent: (0) None

The Public Hearing item was taken out of order and heard prior to the Study Session.

PUBLIC HEARING – SITE PLAN TIME EXTENSION NO. SP-016-2014TE1. FOR PROPERTY LOCATED AT 12502 BROOKHURST STREET, SOUTHEAST CORNER OF BROOKHURST STREET AND LAMPSON AVENUE.

Applicant: Razan Ammari

Date: March 17, 2016

Request: To approve a one-year time extension for the approved entitlement under Site Plan No. SP-016-2014 for the construction of a new, approximately 2,447 square foot, one-story building on a lot improved with an existing, approximately 1,755 square foot, medical office building. The site is in the O-P (Office Professional) zone. The City of Garden Grove recognizes a previous exemption from CEQA.

Action: Public Hearing held. Speaker(s): Alex Irshaid

Action: Resolution No. 5855-16 was approved.

Motion: Zamora Second: Margolin

Ayes: (6) Barker, Kanzler, Margolin, O'Neill, Paredes, Zamora

Noes: (0) None

Absent: (0) None

STUDY SESSION – HISTORIC PRESERVATION – Ms. Ricia R. Hager, Esq., of the City Attorney's office, led the presentation on Historic Preservation. Handouts included the following documents: Drafting Effective Historic Preservation Ordinances, Chapter 10 - Conservation Element of the Garden Grove General Plan 2030, and the City of Garden Grove Comprehensive Historic and Architectural Resources Inventory dated June 1986. One letter was submitted by Josh McIntosh with concerns that the City's historical resources were being demolished at an alarming rate and that the CEQA requirements for "no significant impact" and the Mills Act should be considered.

Staff discussed and received input on historic preservation. The Commission then

came to a consensus and directed staff to prepare a memorandum to forward to City Council, which requests City Council to consider giving staff the direction to prepare an Ordinance that would establish a procedure that addresses the demolition and modification of historic properties, and update the City's Comprehensive Historic and Architectural Resources Inventory, which would include Main Street and other areas of the City.

MATTERS FROM COMMISSIONERS: Commissioner Margolin asked for an update on the Inge sign and Chinese Buffet, mentioning also that the traffic signal at Great Wolf was out of sync. Staff responded that there was no movement on the Inge sign; that the Buffet was no longer a viable project; that Chipotle, Wing Stop, Yogurtland and Panda Express were potential projects coming to town; and that the Traffic Engineer would look into the signal.

Vice Chair Kanzler noted that Main Street appeared to have empty stores. Staff responded that some of the tenants were actually offices with no signs.

Commissioner Zamora inquired about the mixed-use area at 9th Street and Garden Grove Boulevard. Staff responded that the developer of the Packing House in Anaheim was in negotiations with the City to maintain the homes and convert them to commercial uses.

Commissioner Zamora noted that though there were 'No Parking Tuesday through Sunday 10-6' signs on Taft Street near Costco, people parked there without receiving tickets. Staff encouraged residents to call the Police Department when this occurs.

Commissioner Barker expressed concern with 'temples' in residential homes, which create overcrowding and parking problems. Staff responded that Code Enforcement was reactive and not proactive; that the City promoted the good neighbor policy and tried to educate residents through the code; that temporary large assembly in residential settings was not illegal, such as throwing a party; that addressing the complaints on religious activities was problematic and Federal laws tie the City's hands; and that enforcement was not easy. Chair O'Neill suggested that reminders to be good neighbors be included in water bills.

Commissioner Paredes noted that the Farmer's Market on Main Street was pushed back from Garden Grove Boulevard and difficult to see. Staff suggested he contact Kim Huy, the Director of Community Services.

Commissioner Paredes asked if the Planning Commission had a budget for studies. Staff responded that there was no budget for the Planning Commission and since conducting studies was a budgetary issue, any direction for studies would come from City Council.

Commissioner Paredes asked if solar powered flashing crosswalks could be installed on Garden Grove Boulevard. Staff replied that the City recently installed a HAWK Signal at Twintree and Harbor Boulevard, due to a school request, and that crosswalk

suggestions should be directed to the Traffic Commission.

Vice Chair Kanzler added that the Bicycle Master Plan would look at crosswalk locations, to which staff added that the Bicycle Master Plan was moving forward with a draft version to be out soon, and that a community meeting would be held the end of May.

Commissioner Barker mentioned that Kay Silva passed away.

MATTERS FROM STAFF: Staff stated that there would be no meeting on Thursday, April 7th and that the next meeting would be April 21st with several items as well as the Code of Ethics and the annual update on the Housing Element and General Plan.

ADJOURNMENT: At 7:52 p.m. to the next Regular Meeting of the Garden Grove Planning Commission on Thursday, April 7, 2016, at 7:00 p.m. in the Council Chamber of the Community Meeting Center, 11300 Stanford Avenue, Garden Grove.

Motion: Margolin Second: Zamora

Ayes: (6) Barker, Kanzler, Margolin, O'Neill, Paredes, Zamora
Noes: (0) None
Absent: (0) None

Judith Moore
Recording Secretary

COMMUNITY DEVELOPMENT DEPARTMENT PLANNING STAFF REPORT

AGENDA ITEM NO.: C.1,	SITE LOCATION: South side of Stanford Avenue, west of Brookhurst Street and Stanford Avenue.
HEARING DATE: April 21, 2016	GENERAL PLAN: Residential/Commercial MU1
CASE NOS.: Conditional Use Permit No. CUP-066-2016	ZONE: GGMU1 Garden Grove Mixed Use 1
APPLICANT: Karie Barker	APN: 089-661-06
PROPERTY OWNER: Minh V. Tran and Kim Loc Tran	CEQA DETERMINATION: Exempt-15301-Existing Facilities

REQUEST:

Request to operate a new 1,850 square foot after school tutoring center for 46 students and six (6) instructors located at 12755 Brookhurst Street.

DISCUSSION:

The applicant is requesting a continuation of Conditional Use Permit CUP-066-2016 until a future Planning Commission date. During the review process, the building division addressed several safety and occupancy issues. The applicant requires time to address and/or satisfy the building division concerns regarding safety and occupancy.

REQUEST:

Staff is requesting that Planning Commission continue Conditional Use Permit CUP-066-2016 to a future Planning Commission date uncertain.



Karl Hill
Planning Services Manager

By: 
Paul Guerrero
Senior Program Specialist



42112 Brookhurst St # 6, Garden Grove, CA 92840 TEL : (714) 467-8208 . (714) 363-2909

www.schoolfirstlearning.com

Karl Hill- Planning services manager

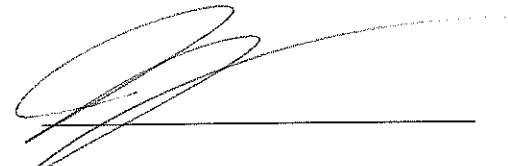
City of Garden Grove

April 12th, 2016

Dear Mr. Hill,

My name is Karie Barker, owner of School First Learning Center. I was scheduled for April 21st, 2016 for planning commission meeting, however, there are some building issues regarding my space that will require me to postpone my schedule planning commission date for a future date to be determined. If you any question please feel free to give me a call @ (714) 467-8208.

Sincerely,



KARIE BARKER

Cell: (714) 363-2909

Office: (714) 467-8208
kariebarker@yahoo.com

COMMUNITY DEVELOPMENT DEPARTMENT PLANNING STAFF REPORT

AGENDA ITEM NO.: C.2	SITE LOCATION: Two properties are located on the north side of Garden Grove Boulevard, west of Nelson Street. The third property is contiguous to the north side of the Garden Grove properties and fronts on the south side of Pearl Street, west of Nelson Street. North side of Garden Grove Boulevard, west of Nelson Street. The property addresses are 10641 and 10661 Garden Grove Boulevard and 10662 Pearl Street.
HEARING DATE: April 21, 2016	GENERAL PLAN: Industrial/Commercial Mixed Use
CASE NOS.: Site Plan No. SP-022-2016 CUP-065-2016, Lot Line Adjustment No. LLA-011-2016, and Development Agreement No. DA-002-2016	EXISTING ZONE: AR (Adaptive Reuse)
APPLICANT: Tony Lam	APN: 089-092-06, 089-092-26, and 089-092-25
PROPERTY OWNER: Tony Lam and Jennie Do	CEQA DETERMINATION: Mitigated Negative Declaration

REQUEST:

A request for approval of a Site Plan and Conditional Use Permit approval to construct a four-story, 10-unit, work-live, mixed-use development on three separate properties in conjunction with a Lot Line Adjustment to consolidate the three properties into one. A Development Agreement is also included.

PROJECT STATISTICS:

	Provided	Code Requirement	Meets Code
Total Lot Size	.69 acres	15,000 S.F.	Yes
Work/Live Density By Total Site Area	10 units per acre	32 units per acre	Yes
Work/Live Units	10 units	22 units	Yes
Total Parking			
Work/Live	32*	30	Yes
Recreation Area Total	4,376.85 S.F.	3,000 S.F.	Yes**
Common Area	3,500 S.F.		
Private Balcony	876.85 S.F.		
Building Setbacks			Yes
Front	15'-0"	15'-0"	
Rear	28'-9"	0'-0"	
sides	0'-0"	0'-0"	

*Table on plans says there are 31 spaces, but plans actually show 32 spaces.

**Private balconies range in size from 32.9 square feet to 132 square feet and are not a Code requirement.

BACKGROUND:

The subject site is approximately .69 acres and consists of three contiguous properties, two fronting on the north side of Garden Grove Boulevard, west of Nelson Street, and one located on the north side of the Garden Grove Boulevard properties, fronting on Pearl Street. The General Plan designation of the properties is Industrial/Commercial Mixed Use with a zoning designation of AR (Adaptive Reuse). The properties are developed with a vacant commercial building and a bicycle shop on the Garden Grove Boulevard properties and a non-conforming single-family home on the Pearl Street property. The properties to the north, east, and west are zoned AR and are developed with non-conforming single-family homes and commercial uses. The properties to the south, across Garden Grove Boulevard are zoned GGMU-3 (Garden Grove Mixed Use 3) and are developed commercially.

In 2008 the City Council adopted the current General Plan, which changed the Land Use Designation of the area generally located north of Garden Grove Boulevard, west of Nelson Street, east of Flower Street to the north of Stanford Avenue and Nutwood Street to the south Stanford Avenue, as well as the area that is south of the portion of the OCTA right-of-way that is north of Stanford Avenue, from Office Professional, Mixed Use, and Industrial to Industrial/Commercial Mixed Use. This area maintains a variety of uses that include eating establishments, auto repair, light industrial uses, offices, and non-conforming residential uses.

In 2012, the City Council approved a Code Amendment that established the AR Mixed Use Zone within this area along with associated development standards in order to provide the consistency between the new General Plan Land Use Designation and the Zoning classification that is required by State Law.

The applicant is proposing to combine the three subject properties and demolish the existing improvements in order to develop a four-story, ten-unit, work-live mixed-use development. The proposal also includes a Development Agreement.

DISCUSSION:

The proposal for the development of a four-story, 10-unit, work-live project is required by City Code to be approved via the Site Plan and Conditional Use Permit processes. In addition, since the design of the project is designed to be built over property lines, the applicant is also required to consolidate the three subject properties into one parcel.

SITE PLAN:**Site Design, Parking, and Circulation**

The new four-story building will be constructed to face Garden Grove Boulevard and will maintain a 15'-0" setback from the front property line and will be constructed over the main driveway. The building will maintain zero setbacks along the east and west property lines and 28'-0" from the rear property line. Main access to the property will be via a 25'-0" wide driveway from Garden Grove Boulevard with a secondary

access to Pearl Street from the north side of the project. While Code requires a minimum of 30 parking spaces to accommodate the development, a total of 32 parking spaces have been provided (10 garaged, 11 covered, and 11 open). The Site design, including parking and circulation, has been designed to comply with requirements of Title 18, Mixed Use Regulations and Development Standards, of the City's Municipal Code.

Recreation Area and Landscaping:

The project has been designed to comply with the City Code zoning requirements for landscaping, and active and private recreation areas for the work-live units. City Code requires 3,000 square feet of recreational area for the ten proposed units. A total of 4,376.85 square feet of both common useable and private open space has been provided, that includes a 3,500 square common useable recreation area on the third floor of the building that is suspended over the main driveway and private patios that range in size from 32.9 square feet to 132 square feet. The common useable recreation area includes landscaping, umbrellas, lounge chairs, tables, and barbeques.

Landscaping along Garden Grove Boulevard will include both columnar and canopy trees with shrubs and ground cover on-site and canopy trees and ground covers within the parkway adjacent to the street. Landscaping within the site and along Pearl Street will include canopy trees, shrubs, vines, and ground covers. Landscaping within the third floor common useable open space area will include decorative paving, artificial turf, potted trees, shrubs, and flowering plants.

Unit Design

The project consists of 10 work-live units with private balconies. The units range in size from 2,330 square feet to 3,168 square feet. Each unit includes work space and a small residential space that maintains access from the work space area of the unit to the living space via an interior staircase. The residential portions of the units also have a secondary entrance to the third floor. The residential portions of the units range in size from 750 square feet to 915 square feet. Eight of the units maintain two-bedrooms and two-bathrooms, and the remaining two-units maintain one-bedroom and one and half-bathrooms. The commercial areas of the five lower units maintain direct access to Garden Grove Boulevard and have two floors of commercial space. The commercial areas of the top five units maintain access from the walkway located on the fourth floor with the majority of the residential area (with the exception of a bedroom) of the unit below the commercial area of the unit on the third floor. Each unit will also include kitchen, living room, dining area and laundry facilities.

City Code does not allow the commercial portion of the units to be leased out separately from the residential portion. The intent of the work-live unit is to provide an alternative space where people can have a space that allows them to live in the same unit as they work.

Building Architecture

The design of the four story building is contemporary exhibiting a two-toned kaki and red brown (burnt sienna) stucco exterior with teal metal railing on the balconies and upper story walkways, and aluminum store front glazing. The articulated façade, varying roof heights, and color pattern of the building provide visual interest to the building.

CONDITIONAL USE PERMIT:

The requested Conditional Use Permit (CUP-065-201), along with the subject Site Plan (SP-022-2016), will allow the applicant to develop the properties with work-live units. Additionally, the Conditional Use Permit will include conditions of approval regulating the development in order to minimize impacts to the site and surrounding areas.

The AR zone is intended for a mix of office, restaurants, limited commercial uses, and light industrial uses. The only residential uses that are permitted are small scale residential units that are part of a commercial/industrial unit in a work-live environment. The Code only allows the residential use as incidental to the non-residential use. The residential portions of the units cannot be leased out separately from the commercial/industrial portion of the tenant space, and the work-live units cannot be converted entirely to residential use. Additionally, all future non-residential uses shall comply with Chapter 18, Mixed Use Regulations and Development Standards, of the City's Municipal Code. Pursuant to the proposed Conditions of Approval, the applicant will be required to enter into and record a Covenant Agreement with the City preventing future owners and tenants of the property from using, leasing or converting the property in an unpermitted manner.

LOT LINE ADJUSTMENT:

In order to facilitate the development of the subject project, the three existing parcels are required to be consolidated into one parcel. This will allow the building to be constructed as proposed since the Building Code does not allow buildings to be constructed over property lines. Additionally, the consolidation of the lots will connect the open parking lot that faces Pearl Street to the rest of the project. When complete, the combined lot area will be .69 acres. The proposed Lot Line Adjustment is consistent with the City's General Plan, Zoning Ordinance, the City's Subdivision Ordinance, and the State Subdivision Map Act.

DEVELOPMENT AGREEMENT:

The applicant will enter into a Development Agreement with the City. The applicant will be guaranteed four years to construct the project, and the City will receive development agreement payments from the developer in an amount not to exceed \$19,160. Development Agreement payments are designed to reduce the economic costs of new projects to the public and mitigate development-related impacts on

the community. The Planning Commission recommendation on the Development Agreement will be forwarded to the City Council for final action.

RECOMMENDATION:

Staff recommends that the Planning Commission take the following actions:

1. Adopt Resolution No. 5857-16 recommending that the City Council approve Development Agreement No. DA-002-2016; and
2. Adopt Resolution No. 5858-16 approving Site Plan No. SP-022-2016, Conditional Use Permit No. CUP-065-201, and Lot Line Adjustment No. LLA-011-2016, subject to the recommended Conditions of Approval, and subject to City Council adoption of a Mitigated Negative Declaration and Mitigation Monitoring Program for the Project and City Council approval of Development Agreement No. DA-002-2016.

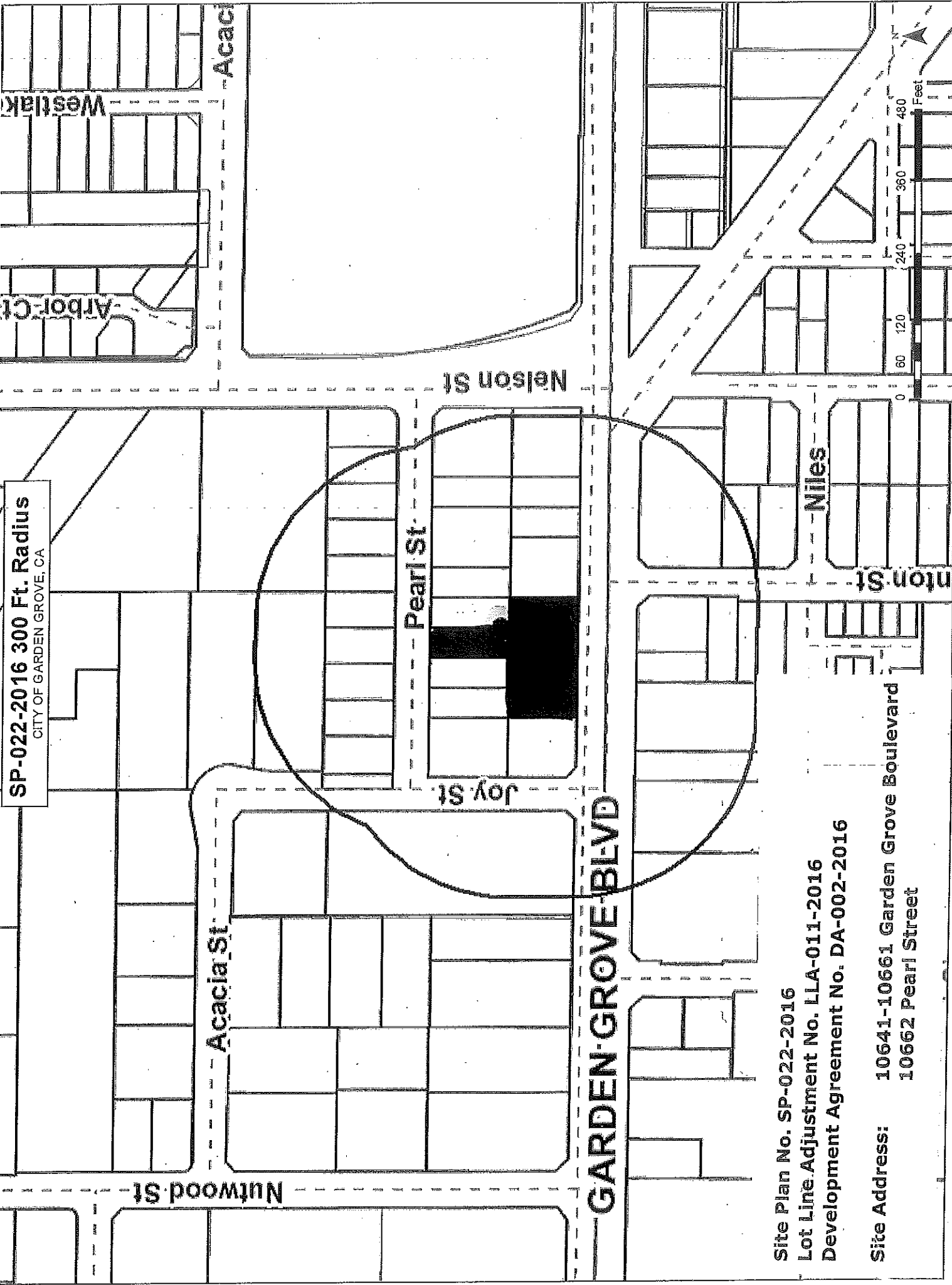


Karl Hill
Planning Services Manager



By: Lee Marino
Senior Planner

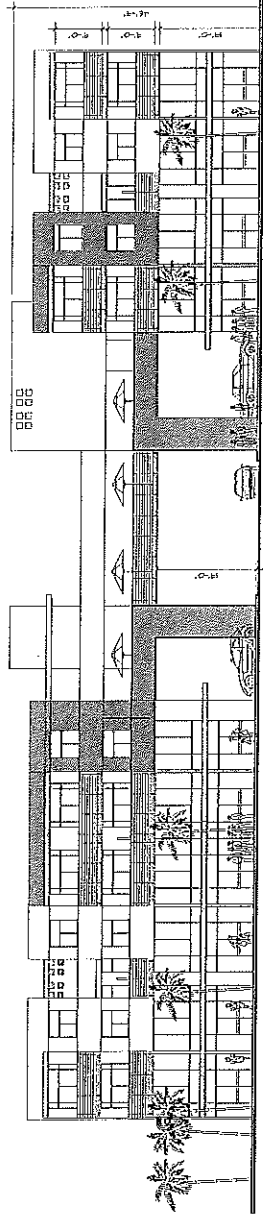
SP-022-2016 300 Ft. Radius
CITY OF GARDEN GROVE, CA



Site Plan No. SP-022-2016
Lot Line Adjustment No. LLA-011-2016
Development Agreement No. DA-002-2016

Site Address: 10641-10661 Garden Grove Boulevard
10662 Pearl Street

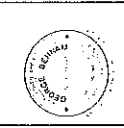
MIXED USE PROJECT 10641 & 10661 GARDEN GROVE BOULEVARD 10642 PEARL STREET GARDEN GROVE, CA 92843



REVISIONS	DATE

OWNER:
MR. LAM & MS. JENNIE DO
2741 BICKA AVE., SUITE 201
WESTMINSTER, CA 92683

PROJECT:
MIXED USE DEVELOPMENT
10641 & 10661 GARDEN GROVE BLVD.
GARDEN GROVE, CA 92843



GEORGE BEHNAM
ARCHITECT
11522 GRAND CENTRAL AVE. SUITE 100
GARDEN GROVE, CA 92843
TEL: 949.225.2555 FAX: 949.225.2555

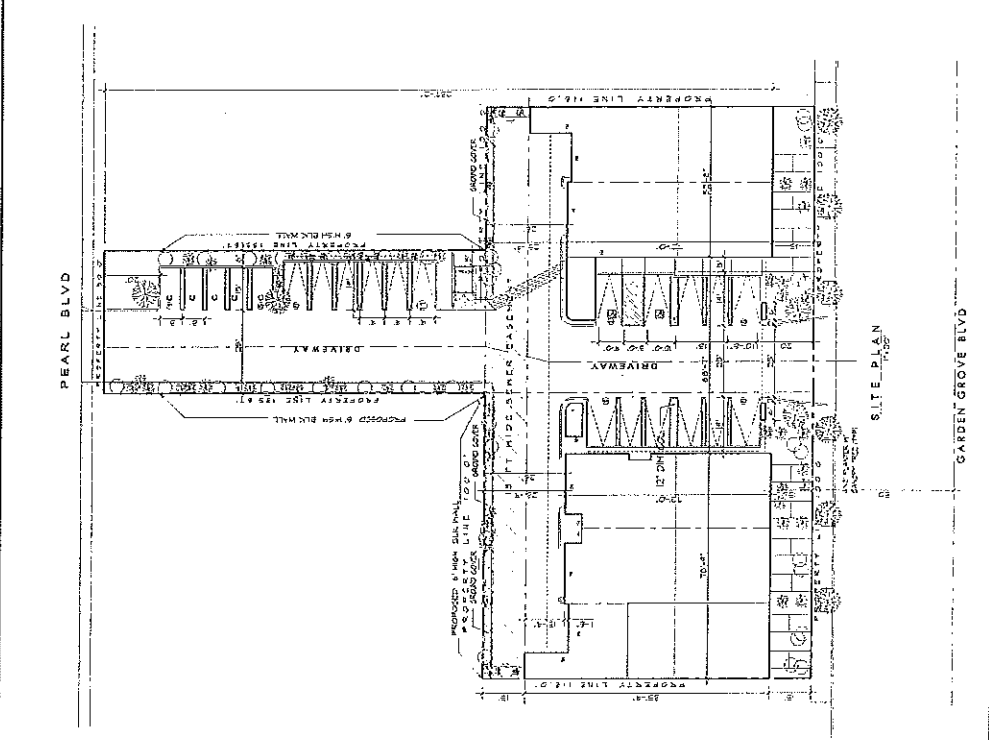
PROJECT NO.: 140024
DRAWING FILE: 0-1
DRAWN BY: MK
CHECKED BY: G.B.
SCALE: NOTED
DATE: 10/20/19

SHEET
A-1
1 OF 4

PROJECT DATA
PRESENT ZONING: COMMERCIAL OFFICE (A-1) (A-1)
PROPOSED USE: COMMERCIAL OFFICE (A-1) (A-1)
LOT AREA: 6,097 AC (SUBP-09225)
A-2.5A (SUBP-09225)
BUILDING FOOTPRINT: 9,643 SF
PAVED AREA: 9,643 SF

UNIT #	AREA TYPE	AREA (SF)
UNIT # 1	BUSINESS AREA (COMMERCIAL)	1,808 SF
UNIT # 2	BUSINESS AREA (COMMERCIAL)	1,808 SF
UNIT # 3	BUSINESS AREA (COMMERCIAL)	1,808 SF
UNIT # 4	BUSINESS AREA (COMMERCIAL)	1,808 SF
UNIT # 5	BUSINESS AREA (COMMERCIAL)	1,808 SF
UNIT # 6	BUSINESS AREA (COMMERCIAL)	1,808 SF
UNIT # 7	BUSINESS AREA (COMMERCIAL)	1,808 SF
UNIT # 8	BUSINESS AREA (COMMERCIAL)	1,808 SF
UNIT # 9	BUSINESS AREA (COMMERCIAL)	1,808 SF
UNIT # 10	BUSINESS AREA (COMMERCIAL)	1,808 SF
CROSS AREA	BUSINESS AREA (COMMERCIAL)	28,424 SF

NOTE:
1. VERTICAL AND HORIZONTAL CIRCULATION ELEMENTS NOT INCLUDED IN THE ABOVE UNIT AREAS
2. GARAGE AREAS NOT INCLUDED IN FIRST FLOOR UNIT AREAS
BUILDING CODES
CODES USED: CBC, CBC, CBC, CBC, CALIFORNIA BUILDING CODE (CIBC), CALIFORNIA BUILDING CODE (CIBC), CALIFORNIA BUILDING CODE (CIBC), CALIFORNIA BUILDING CODE (CIBC)
CONSTRUCTION TYPE: TYPE I
ALLOWABLE AREA: 37,600 SF / 5 STORY / 65 FT HIGH
OCCUPANCY SEPARATION: TYPE I



PROJECT CONSULTANTS
ARCHITECT:
GEORGE BEHNAM, ARCHITECT
11522 GRAND CENTRAL AVE. SUITE 100
GARDEN GROVE, CA 92843
TEL: 949.225.2555 FAX: 949.225.2555
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CIVIL ENGINEER:
PROFESSIONAL ENGINEERS CONSULTING, INC.
11522 GRAND CENTRAL AVE. SUITE 100
GARDEN GROVE, CA 92843
TEL: 949.225.2555 FAX: 949.225.2555
WWW.PECONSULTING.COM

LANDSCAPE ARCHITECT:
CHARLES THORNTON & ASSOC.
3000 S. GARDEN GROVE BLVD.
GARDEN GROVE, CA 92843
TEL: 949.225.2555 FAX: 949.225.2555
WWW.CT&A.COM

SHEET INDEX
1. SITE PLAN
2. FIRST AND SECOND FLOOR PLANS
3. THIRD AND FOURTH FLOOR PLANS
4. ELEVATIONS AND DIAGRAMS
5. NOTES AND DETAILS
6. LANDSCAPE PLAN

REVISIONS	DATE

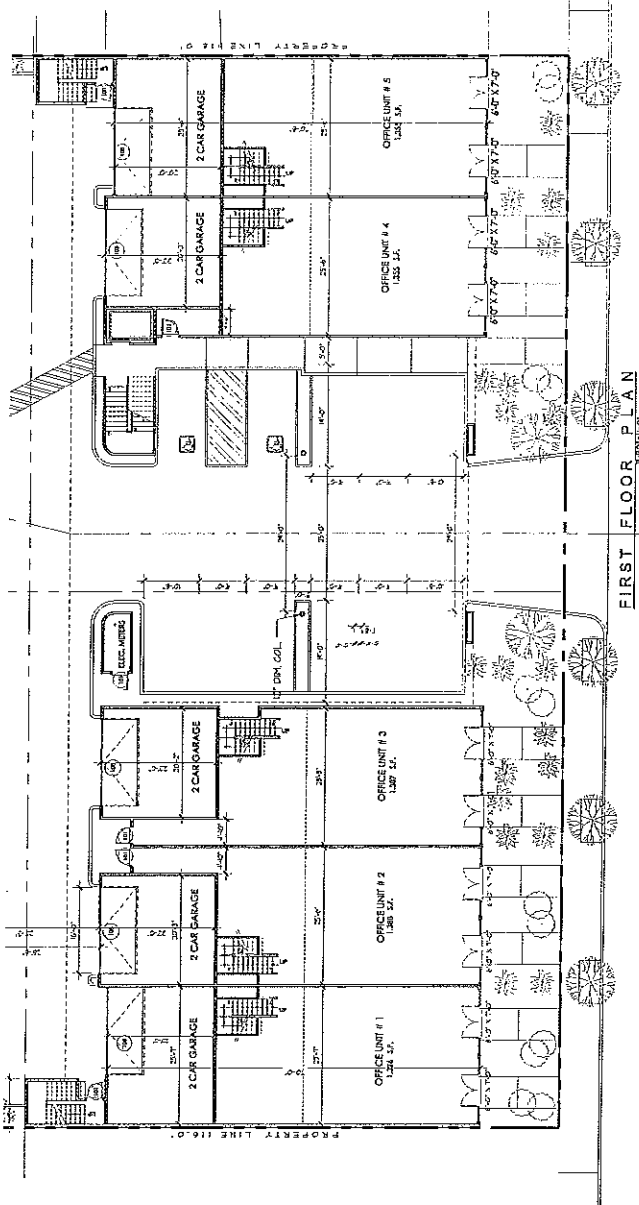
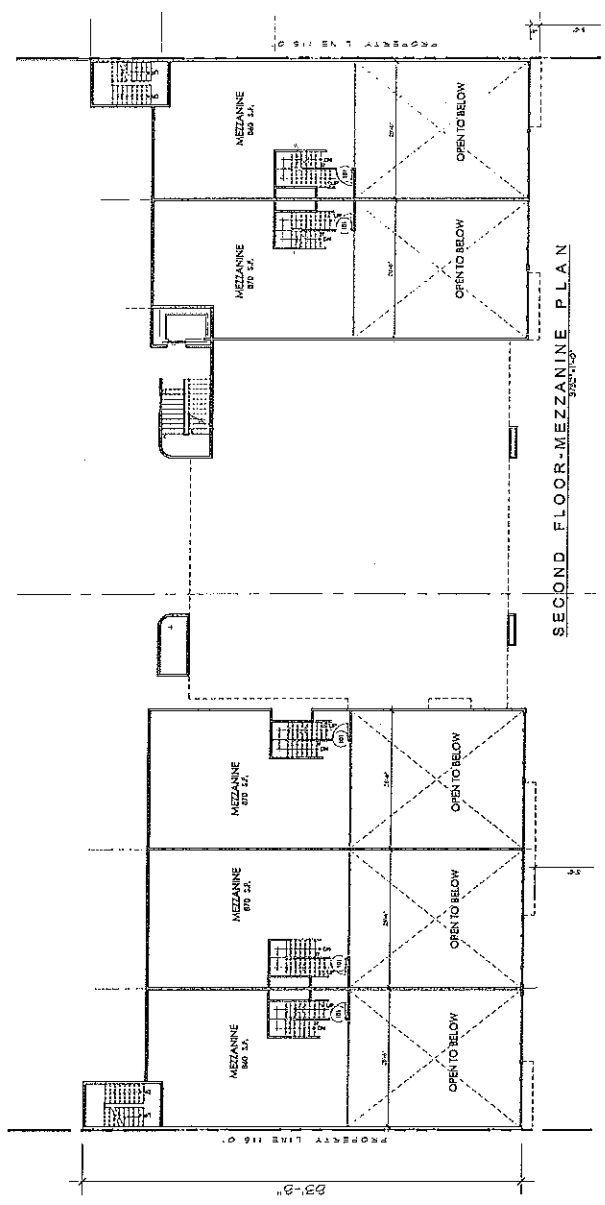
OWNER:
MR. LAM & MS. JENNIE DO
9741 BOLSAS AVE., SUITE 201
WESTMINSTER, CA 92683

PROJECT:
MIXED USE DEVELOPMENT
10651 & 10641 GARDEN GROVE BLVD.
GARDEN GROVE, CA 92643



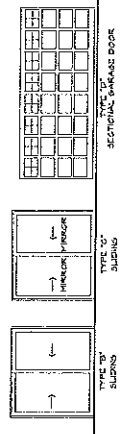
GEORGE BEHNAM
ARCHITECT
1159 ORANGE GROVE # 109
GARDEN GROVE, CA 92643
(714) 972-2233
FAX (714) 972-2355

PROJECT NO.: HIGH
DRAWING FILE: 04
COUNTY FILE: 04
CHECKED BY: 04
SCALE: NOTED
DATE: 12-03-18
SHEET TITLE:
FLOOR PLANS
SHEET A-2
2 OF 4



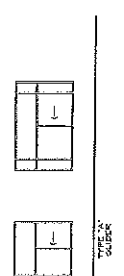
DOOR SCHEDULE:

MARK	TYPE	DOOR		FRAME	NOTES
		SIZE	FINISH		
101	A	3'-0"	8'-0"	SL	GLASSING
102	A	2'-0"	8'-0"	SL	GLASSING
103	A	2'-0"	8'-0"	SL	GLASSING
104	B	3'-0"	8'-0"	SL	GLASSING
105	C	3'-0"	8'-0"	SL	GLASSING
106	D	3'-0"	8'-0"	SL	GLASSING



WINDOW SCHEDULE:

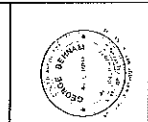
MARK	TYPE	SIZE	WINDOW SCHEDULE		FRAME	NOTES
			FINISH	GLASSING		
101	A	3'-0" x 8'-0"	SL	GLASSING	SL	GLASSING
102	B	2'-0" x 8'-0"	SL	GLASSING	SL	GLASSING
103	C	3'-0" x 8'-0"	SL	GLASSING	SL	GLASSING



REVISIONS	DATE

OWNER:
MR. LAM & MS. JENNIE DO
9741 BOLSA AVE., SUITE 201
WESTMINSTER, CA 92683

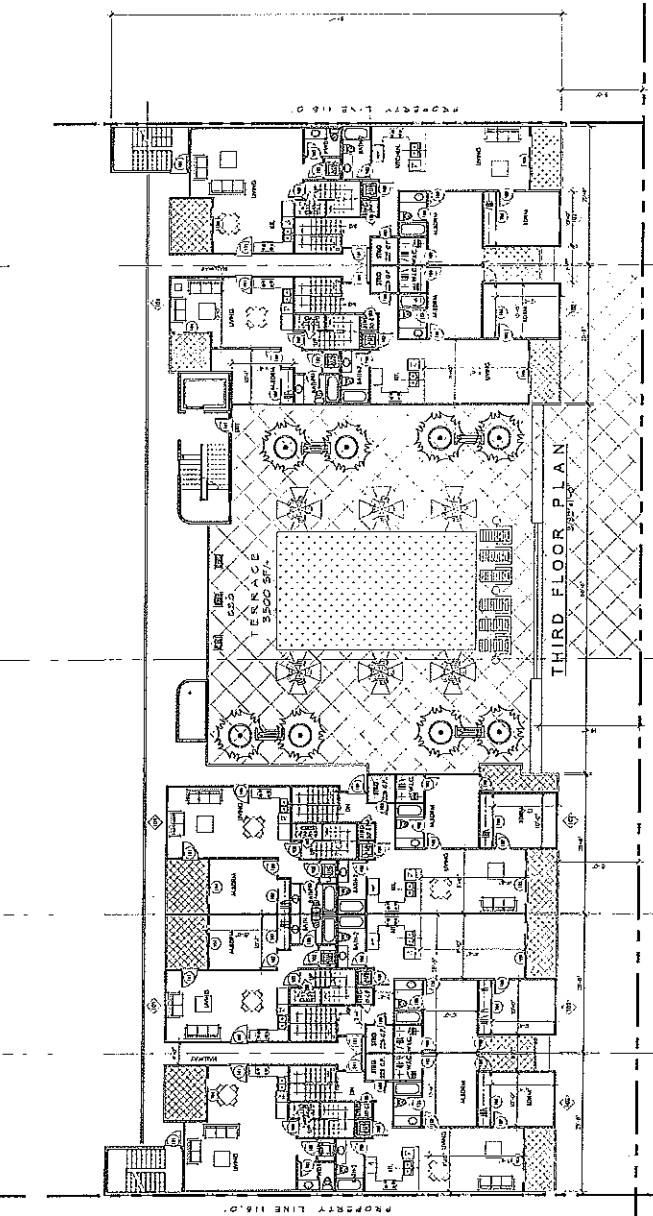
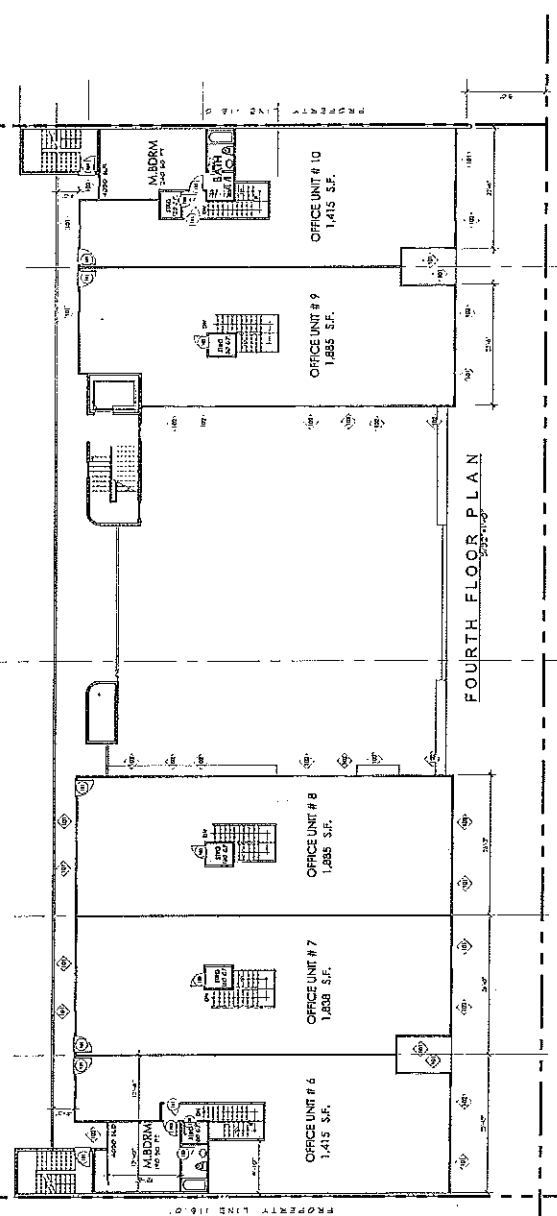
PROJECT:
MIXED USE DEVELOPMENT
10661 & 10641 GARDEN GROVE BLVD.
GARDEN GROVE, CA 92643



GEORGE BEHNAM
ARCHITECT
11592 OVERBROOK # 100
FLORENCE, CA 95628
(916) 727-2355 FAX (916) 727-2355

PROJECT NO. 14000
DRAWING NO. 04
DRAWN BY: M.K.
CHECKED BY: G.B.
SCALE: NOT TO SCALE
DATE: 12-20-05
SHEET TITLE:

FLOOR PLANS
SHEET A-3
3 OF 4



DOOR SCHEDULE :

DOOR AND FRAME SCHEDULE									
MARK	TYPE	NO.	SIZE	HT.	THK.	MAT.	GLASSING	FRAME	NOTES
101	A	1	3'-0"	8'-0"	1 1/2"	ND	ND	ND	
102	A	2	3'-0"	8'-0"	1 1/2"	ND	ND	ND	
103	B	1	3'-0"	8'-0"	1 1/2"	ND	ND	ND	
104	B	2	3'-0"	8'-0"	1 1/2"	ND	ND	ND	
105	C	1	3'-0"	8'-0"	1 1/2"	ND	ND	ND	
106	D	1	3'-0"	8'-0"	1 1/2"	ND	ND	ND	

WINDOW SCHEDULE :

WINDOW SCHEDULE									
MARK	TYPE	NO.	SIZE	HT.	THK.	MAT.	GLASSING	FRAME	NOTES
101	A	1	3'-0"	4'-0"	1 1/2"	ND	ND	ND	
102	A	2	3'-0"	4'-0"	1 1/2"	ND	ND	ND	

PROPERTY LINE 116.0'

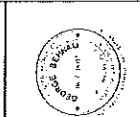
PROPERTY LINE 116.0'

900 S.F. RESIDENTIAL
750 S.F. RESIDENTIAL

REVISIONS	DATE	BY	APP'D

OWNER:
 MR. LAM & MS. JENNIE DO
 9741 BOLSAA AVE., SUITE 201
 WESTMINSTER, CA 92683

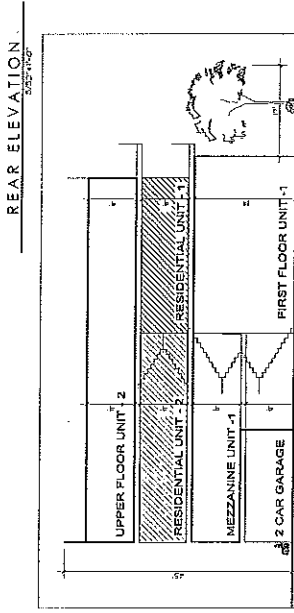
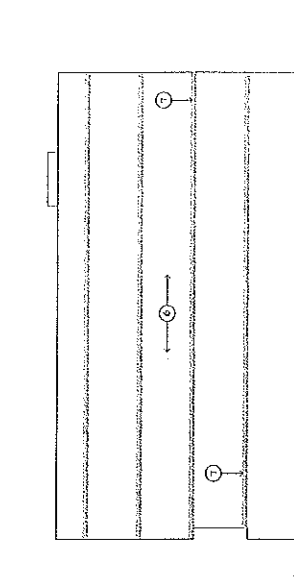
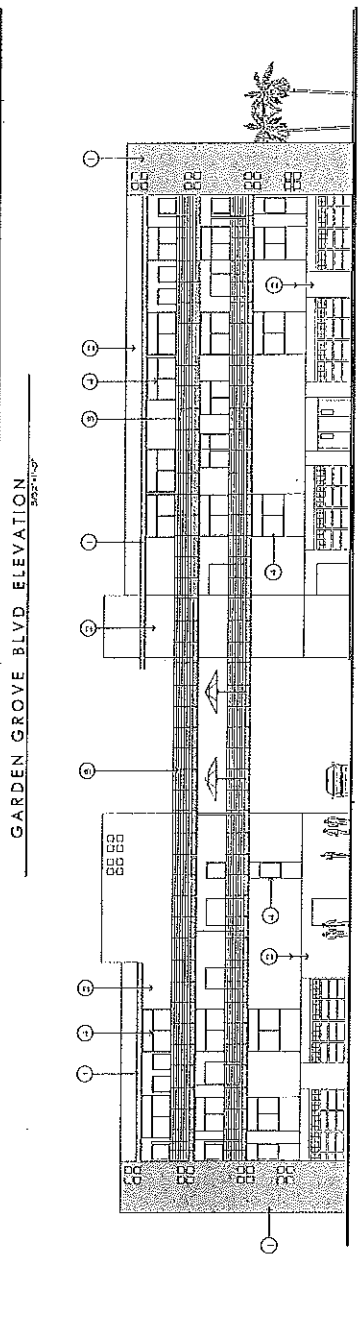
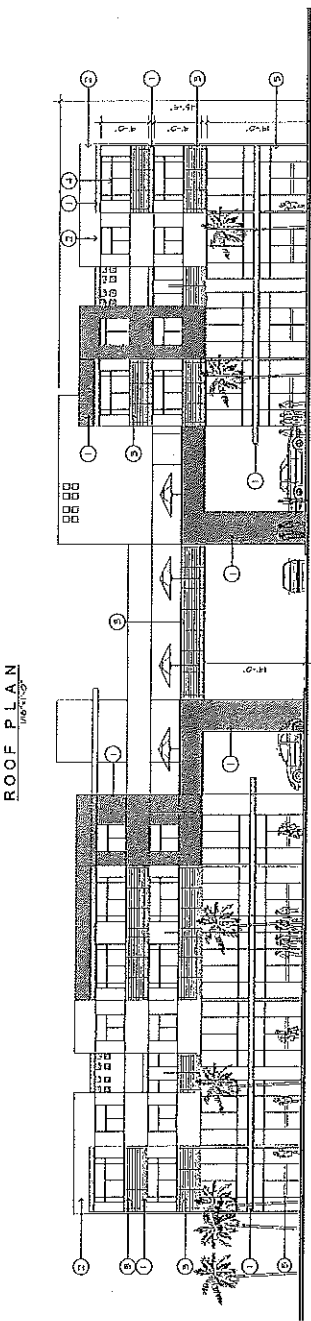
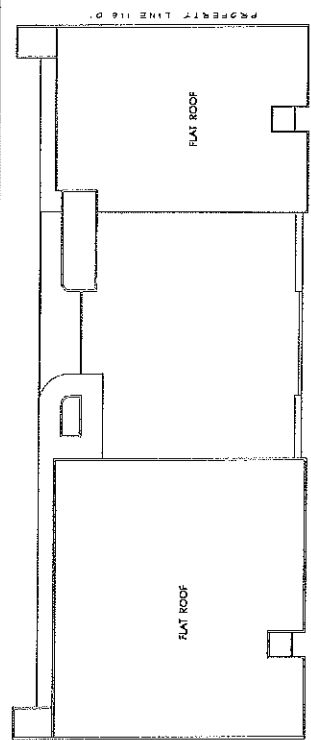
PROJECT:
 MIXED USE DEVELOPMENT
 10661 & 10841 GARDEN GROVE BLVD
 GARDEN GROVE, CA 92843



GEORGE BEHNAME
 ARCHITECT
 1150 E ORANGE AVENUE # 100
 RIVERSIDE, CA 92504
 (951) 517-2323 FAX (951) 517-3535

PROJECT NO: 14004
 CAD FILE: 01
 DRAWN BY: JVA
 CHECKED BY: JVA
 SCALE: 1/8" = 1'-0"
 DATE: 10/20/05
 SHEET TITLE:
 ELEVATIONS
 SECTIONS

SHEET
 A-4
 4 OF 4



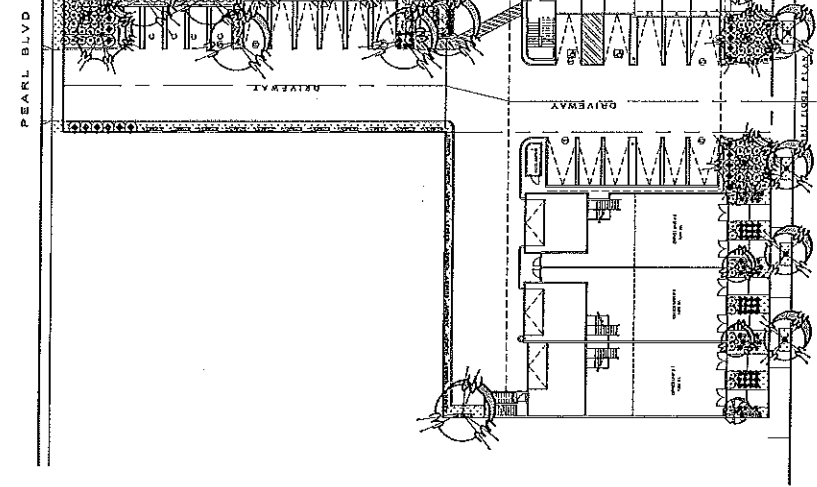
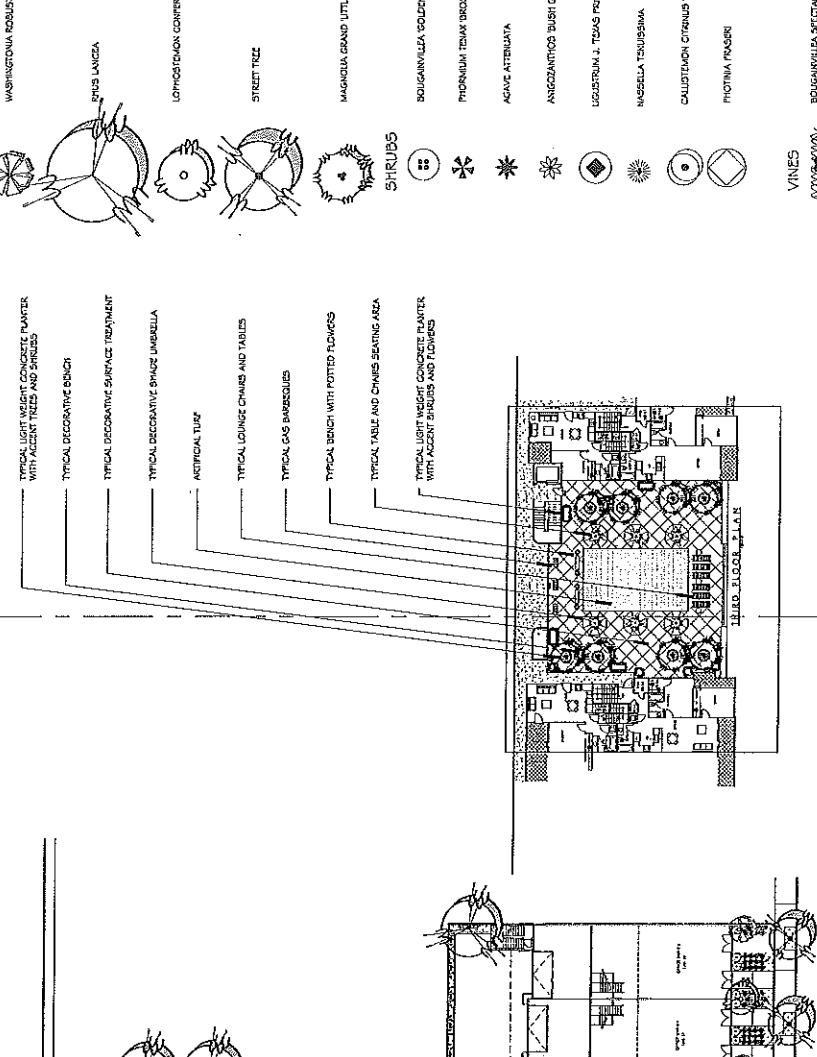
PLANT PALETTE

BPM. BOTANICAL NAME COMMON NAME SIZE

BPM.	BOTANICAL NAME	COMMON NAME	SIZE
TREES	CECROPIDA TREBETI MURKUM	PALE VERDE	30" BOX
	WASHINGTONIA ROBUSTA	AMERICAN PALM	5 FT
	SPINUS LAMCEA	AFRICAN SHAMAC	24" BOX
	LYFHOSSIMON CONFERTUS	DRESDANE BOX	24" BOX
	STREET TREE	PER CITY	1.5 GAL
	MAGNOLIA GRAND LITTLE GEM	DWARF MAGNOLIA	24" BOX
SHRUBS	BOUGAINVILLEA GOLDEN JACKPOT	VAR. BOUGAINVILLEA	5 GAL
	PHORNIUM TEXAS BRONZE DASY	DWARF FLAX	1 GAL
	AGAVE ATTENUATA	AGAVE	5 GAL
	ANEGANTIOS BUSH GOLD	SANGREDO PALM	1 GAL
	LEUCISTRUM J. TEXAS PRIVET	TEXAS PRIVET	5 GAL
	MABELIA TROPICANA	AMERICAN FORTY-FIVE GRASS	1 GAL
	CALLISTACHO CITRINUS COMPACTA	BOTTLEBRUSH SHRUB	5 GAL
	PIRLOTINA PARSIF	PIRLOTINA	5 GAL
VINES	BOUGAINVILLEA SPECTABILIS	ROYAL PURPLE BOUGAINVILLEA	5 GAL

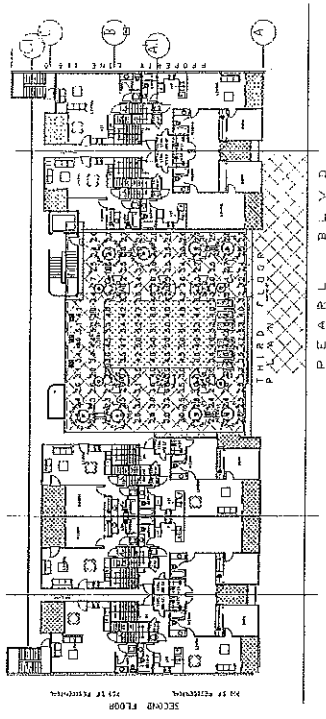
GROUND COVER
GARDENIA MEXSORINA HARD COLLINS

BPM.	BOTANICAL NAME	COMMON NAME	SIZE
	TRILING GAZANIA	ROSETTE GAZANIA	8 9" O.C.

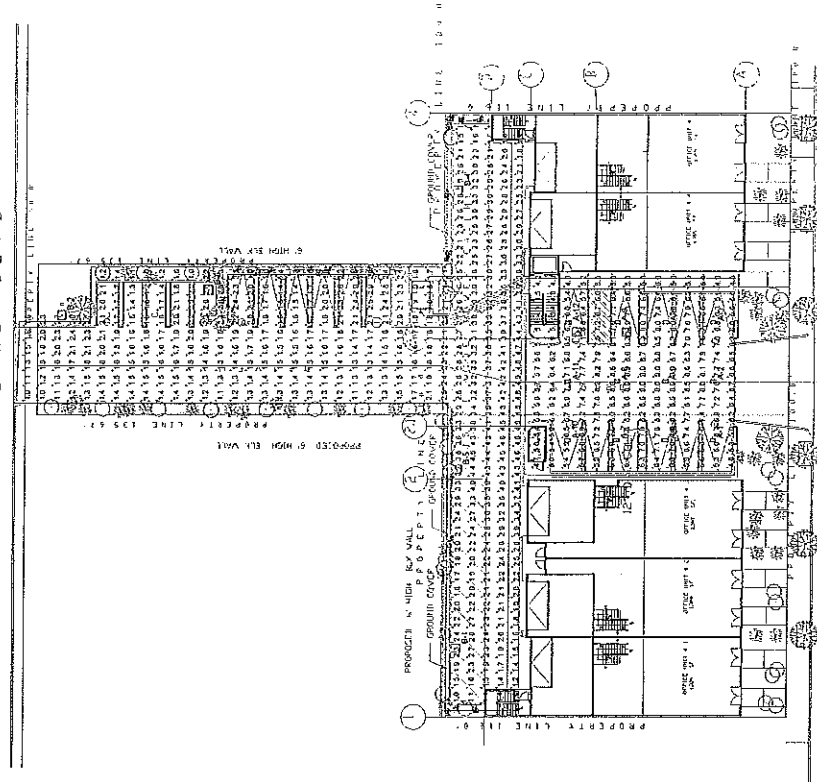


PRELIMINARY LANDSCAPE PLAN
MIXED USE PROJECT - GARDEN GROVE, CA.

PEARL BLVD
 DRIVEWAY
 DRIVEWAY
 DRIVEWAY
 DRIVEWAY



SECOND FLOOR
 NO. 17 RESIDENCES
 2/27/17 RESIDENCES



SITE PLAN
 2/27/17 RESIDENCES
 2/27/17 RESIDENCES

Symbol	Item	Description	Quantity	Unit	Notes
⊗	A	CONCRETE	1	YARD	CONCRETE FOR DRIVEWAY
⊗	B	CEMENT	1	YARD	CEMENT FOR DRIVEWAY
⊙	C	ASPHALT	1	YARD	ASPHALT FOR DRIVEWAY

Item	Quantity	Unit	Notes
CONCRETE	1	YARD	CONCRETE FOR DRIVEWAY
CEMENT	1	YARD	CEMENT FOR DRIVEWAY
ASPHALT	1	YARD	ASPHALT FOR DRIVEWAY

MIX USE DEVELOPMENT For 10661 & 10641 GARDEN GROVE BLVD.

GENERAL NOTES:

- ALL WORK AND MATERIALS SHALL COMPLY WITH THE LATEST EDITIONS OF CALIFORNIA STANDARD PLAN AND SPECIFICATIONS, AMERICAN PUBLIC WORKS ASSOCIATION (APWA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK), CITY OF CALIFORNIA STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK), CITY OF CALIFORNIA STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK), AND DEVELOPMENT MANAGEMENT DEPARTMENT (DMD) DESIGN MANUALS, AND THESE PROJECT PLANS, SPECIFICATIONS, AND SPECIAL PROVISIONS.
- PROVIDE TO STARTING WORK AT (714) 741-5180 FOR INSPECTION TWO WORKING DAYS PRIOR TO WORKING IN THE VICINITY OF THEIR FACILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE LOCATION OF ALL EXISTING UTILITIES AND VERIFY LOCATION AND DEPTH OF ALL UTILITIES WITHIN THE CONSTRUCTION AREA PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES. NOTIFY CITY OF ANY POTENTIAL CONFLICT PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL NOT OPERATE ANY MAN LINE WATER VALVES.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES DURING CONSTRUCTION ACCESS LEGS AND OPENINGS FROM ANY SOURCE ENTERING THE EXCAVATION OR OTHER PARTS OF THE WORK.
- ALL EXISTING IMPROVEMENTS, INCLUDING STRIPING, REMOVED OR DAMAGED SHALL BE REPLACED IN KIND, OR AS SPECIFIED IN THE TECHNICAL SPECIFICATIONS.
- THE EDGES OF ALL A.C. PATCHES SHALL BE SEALED WITH ASPHALT EMULSION.
- PROVISIONS IN SECTION 101 SHALL APPLY TO ALL UTILITIES ENGINEERING POLICY, I.E. 323, THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK), CITY OF CALIFORNIA STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK), AND CALIFORNIA STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK) WITH CONVENTIONAL HIGHWAYS. NOTES 2 AND 6 ON THE CALTRANS STANDARD PLAN T-11 REGARDING ILLUMINATED ADVANCED WARNING SIGNS AND CONES SHALL NOT APPLY.
- CONTRACTOR SHALL HAVE SUFFICIENT MATERIALS ON HAND AT ALL TIMES TO EXPEDITE ANY EMERGENCY REPAIR.
- TRAFFIC CONTROL SHALL BE BETWEEN 6:00 AM AND 6:00 PM MONDAY THROUGH FRIDAY.
- NO WORK ON HOLIDAYS UNLESS OTHERWISE NOTED ON TRAFFIC CONTROL PLANS.
- TRAFFIC LEGENDS AND MARKINGS SHALL BE THERMOPLASTIC TRAFFIC STRIPING SHALL BE PAINT.
- CONTRACTOR SHALL MAINTAIN ALL STRIPES & LEGENDS. PAVENTMENT LEGENDS & MARKINGS SHALL MATCH CITY STENCILS.
- CONTRACTOR SHALL REMOVE ANY CONFLICTING STRIPES, MARKINGS AND RAISED PAVEMENT MARKERS BY WET SAID BASTING. BLACK-OUT PAINT WILL BE ALLOWED NO LONGER THAN 2 WEEKS FOR THERMOPLASTIC STRIPING.
- IF CULTURAL MATERIALS OR RESOURCES ARE DISCOVERED DURING THE PROJECT, THE CONTRACTOR SHALL STOP ALL WORK IN THE VICINITY OF THE DISCOVERY IMMEDIATELY. CALL THE CALIFORNIA HERITAGE COMMISSION AT (916) 443-2342 FOR FURTHER INFORMATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONVERTING ALL LEGENDS TO METRIC UNITS, AS NECESSARY.

GENERAL SIGNING AND STRIPING NOTES

- TRAFFIC STRIPES, PAVENTMENT LEGENDS, AND RAISED PAVEMENT MARKERS SHALL BE PER THE 2010 MUTCD STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK), CITY OF CALIFORNIA STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK), AND CALIFORNIA STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK). MARKERS BY WET SAID BASTING. BLACK-OUT PAINT WILL BE ALLOWED NO LONGER THAN 2 WEEKS FOR THERMOPLASTIC STRIPING.
- INSTALL BLUE BARS AT FIRE HYDRANT LOCATIONS PER 2010 CALIFORNIA SUPPLEMENT, AND AS SHOWN ON PLAN.
- TRAFFIC LEGENDS AND MARKINGS SHALL BE THERMOPLASTIC. TRAFFIC STRIPING SHALL BE PAINT.
- ALL STRIPING SHALL BE APPROVED BY THE TRAFFIC ENGINEER AND FIELD INSPECTORS PRIOR TO CONSTRUCTION.
- TRAFFIC SIGNAL DETECTOR LOOP LOCATIONS SHALL BE PRINTED FOR APPROVAL PRIOR TO SAW CUTTING. EXISTING FIELD CONDITIONS.
- ALL SIGN LOCATIONS SHOWN ARE APPROXIMATE AND SHOULD BE ADJUSTED AS NECESSARY TO MEET EXISTING FIELD CONDITIONS.
- TURN LANE LAYOUTS SHALL BE SPACED TO CLEAR 10' CLEAR IN DIRECTION OF TRAVEL AND DIRECTLY BEHIND THE SIGN.

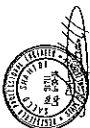


- Nacional Pollution Discharge Elimination System (NPDES) Notes**
- City of Orange Civil Construction activities that require NPDES permits, including site clearing, grading, earth retaining, and other activities, shall be designed and constructed to prevent sediment from entering receiving waters and shall be designed to prevent sediment from entering receiving waters. The contractor shall submit a permit application to the City of Orange, Department of Public Works, at the start of all construction/development plans in the city of Orange, California.
 - Permit application information may be reviewed on the city web page at www.cityoforange.net or by contacting the City of Orange, Department of Public Works, at (714) 741-5180.
 - Structural controls to the maximum extent practicable shall be installed at all construction sites to prevent erosion, sediment, and silt from entering receiving waters. The contractor shall submit a permit application to the City of Orange, Department of Public Works, at the start of all construction/development plans in the city of Orange, California.
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COMPANY/AGENCIES	UTILITY CONTACT	TELEPHONE
GARDEN GROVE WATER & SEWER	DAVID ENKEMINGER	(714) 741-5249
GARDEN GROVE TRAFFIC DIVISION	DAN CANDELLARA	(714) 741-5185
SOURCE COUNTY SANITARY DISTRICT	WENDY ALLISON SMITH	(714) 953-7880
SOURCE COUNTY WATER DISTRICT	DILL ANDREWS	(714) 953-5453
SEA, CA, GAS CO.	YVETTE MARTINEZ-GARZANO	(714) 865-5083
THE WARNER	JOHN LO	(714) 903-8513

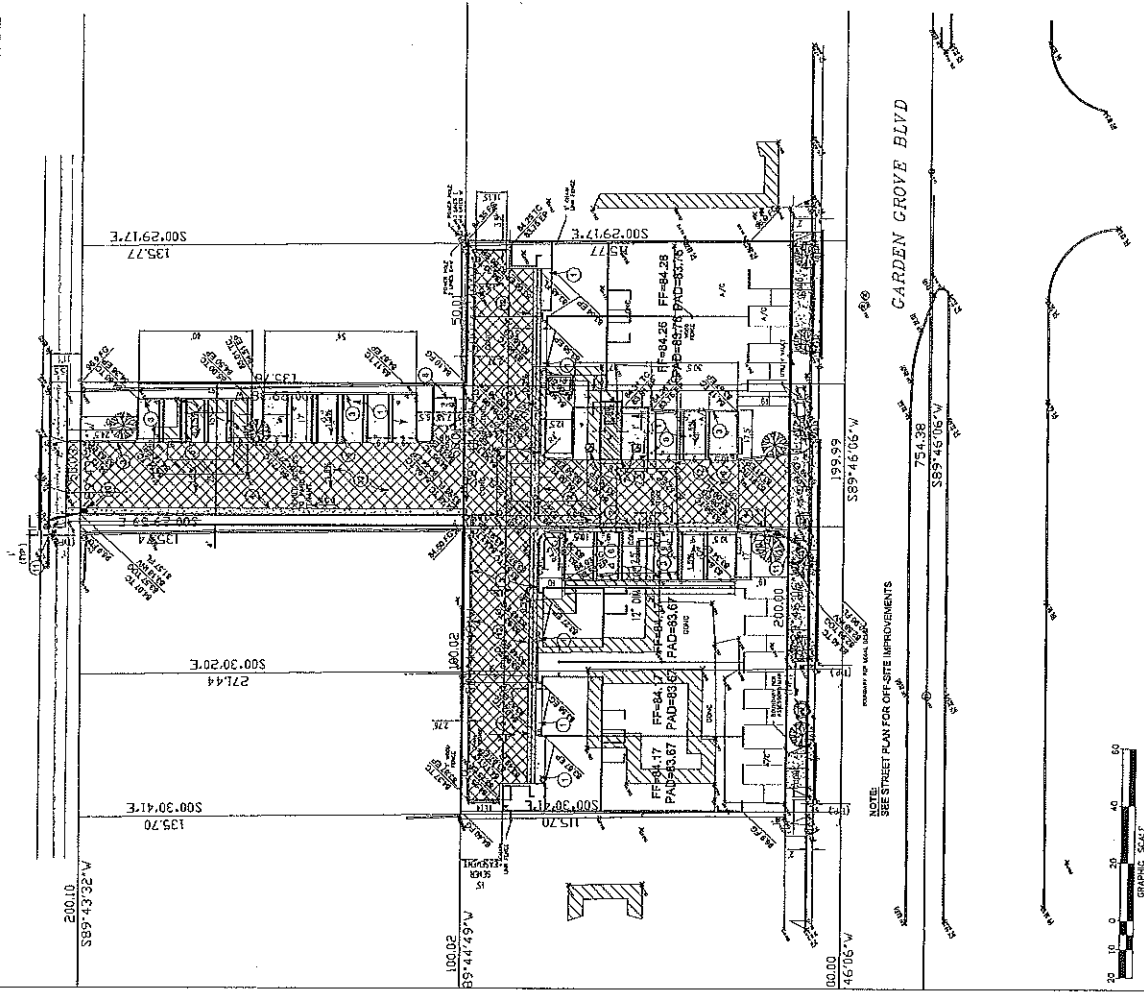
- ### INDEX TO DRAWINGS
- | SHEET | TITLE |
|---------|----------------------|
| SHEET 1 | TITLE SHEET |
| SHEET 2 | PRECISE GRADING PLAN |
| SHEET 3 | EROSION CONTROL PLAN |
| SHEET 4 | UTILITY PLAN |
| SHEET 5 | NOTES & DETAILS PLAN |



10661 & 10641 GARDEN GROVE BLVD.
STA 0+00 TO STA 1+82.41
MIXED USE DEVELOPMENT
STA 0+00 TO STA 1+82.41
PUBLIC WORKS AGENCY

REVISIONS	DATE	DESCRIPTION	APPROVED	PREPARED UNDER THE SUPERVISION OF	
				NAME	DATE
				DAVID ENKEMINGER	1/15
				DAVID ENKEMINGER	1/15

PEARL ST



NOTE: SEE STREET PLAN FOR OFF-SITE IMPROVEMENTS

GARDEN GROVE BLVD



- NOTICE TO CONTRACTORS**
1. **GENERAL NOTES:** ALL WORK SHALL CONFORM TO THE LATEST EDITION & SUPPLEMENTS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS AND THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (BROWNSVILLE).
 2. **PLAN IMPROVEMENTS:** THIS IMPROVEMENTS CONSISTS OF WORK CALLED FOR ON THIS PLAN ONLY.
 3. **CONSTRUCTION:** ALL WORK & MATERIALS ARE SUBJECT TO INSPECTION, BEFORE WORK OF THE WORKING DAY BEFORE THE DAY INSPECTION IS REQUIRED.
 4. **REMOVALS:** ALL UTILITIES SHALL BE REMOVED OR RELOCATED BY OTHERS.
 5. **UNDERGROUND SERVICES:** THE CONTRACTOR SHALL CALL FOR AN UNDERGROUND SERVICE ALERT (USA) INQUIRY TO BE MADE BY CALLING 800-368-5898. THE CONTRACTOR SHALL BE ALLOWED A 72 HOUR LEAD TIME TO OBTAIN THE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE INFORMATION FROM THE CITY OF SANTA ANA. A COMPASSION NUMBER INDICATING THE CITY HAS BEEN OBTAINED SHALL BE OBTAINED BY THE CONTRACTOR FROM THE APPROPRIATE CITY DEPARTMENT.
 6. **CURB AND GUTTERS:** REPAIR AND/OR REPLACE ANY EXISTING BROKEN OR OFF GRADE CONCRETE CURB, GUTTER, OR SIDEWALK. ALL CURB AND GUTTERS SHALL BE CONCRETE OR METAL. THE AREA OF THIS CONSTRUCTION STAGES FOR CURB AND LONGITUDINAL GUTTER, WITH GRACE LESS THAN 0.5% SHALL BE SET 13.5 FEET ON CENTER.
 7. **CONCRETE FINISHES/EXPOSURES:** ALL CONCRETE SHALL BE FINISHED WITH A BROOM FINISH. ALL AREAS WHERE UTILITY LINES HAVE BEEN INSTALLED TO BE LEFT TO BE DEVELOPED IN ACCORDANCE WITH THE CITY OF SANTA ANA. ALL EXCAVATION SHALL BE AS SPECIFIED ON THE EXCAVATION PERMIT.
 8. **RESTORATION:** ALL UTILITIES SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION. THE CONTRACTOR IS REQUIRED TO PROTECT ALL ADJACENT PROPERTY OWNERS ON OCCUPANTS OF THE PROPOSED CONSTRUCTION START DATE.
 9. **TRAFFIC LANE COMMUNICATIONS:** THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR COLLECTOR STREETS FOR WORK LESS THAN 24 HOURS. ALL WORK SHALL BE SUBJECT TO TRAFFIC, SAFETY, AND REGULATION.

- QUANTITIES:**
- 1. CONST. 3" WIDE CONC. GUTTER PER DETAIL, HEREON 253 LF
 - 2. CONST. TYPE D CONC. CURB PER COUNTY OF 725 LF
 - 3. CONST. TYPE A2 (COP) C&G PER COUNTY OF 162 LF
 - 4. CONST. CONC. CURB TRAMP TYPE II (MOD.) PER COUNTY 1 EA
 - 5. PAINT 4" WIDE WHITE STRIPE PER CALTRANS STD. PLAN 565 LF
 - 6. NC. 403C 1 EA
 - 7. (BLUE) PER DETAILS ON SHT. 6 1 EA
 - 8. CONST. TRASH ENCLOSURE PER ARCHS PLANS 2 EA
 - 9. INSTALL 2" X 2" POSTS PER ARCHS PLANS 53 LF
 - 10. INSTALL 2" X 2" PVC DRAINAGE PIPE 53 LF
 - 11. CONST. EGG-STONE PERMEABLE PAVERS OVER 24" THICK OPEN-GRIPPED GRAVEL PER DETAIL ON SHT. 6 9,327 SF



APN: 088-024-36, 088-024-38 & 088-024-40
10661 & 10641 GARDEN GROVE BLVD.
 STA 0+00 TO STA 1+62.41
MIXED USE DEVELOPMENT
 STA 0+00 TO STA 1+62.41
 PUBLIC WORKS AGENCY

PREPARED UNDER THE SUPERVISION OF:

DATE	DESCRIPTION
06/20/18	DESIGN BY: BSH
06/20/18	REVIEWED BY: BSH
06/20/18	CHECKED BY: BSH
06/20/18	APPROVED BY: BSH

REFERENCES:

NO.	DATE	DESCRIPTION
1	06/20/18	CONSULTANT'S DESIGN
2	06/20/18	APPROVED BY: BSH
3	06/20/18	REVIEWED BY: BSH
4	06/20/18	CHECKED BY: BSH
5	06/20/18	APPROVED BY: BSH

REVISIONS:

NO.	DATE	INITIALS	DESCRIPTION

DIG AS FERTY

PROJECT NO. 18-001

GRAPHIC SCALE

PROJECT 18-001

STANDARD GRADING GENERAL NOTES

- 1. All work shall conform to the City of Garden Grove Ordinance 16.0100, which is hereby incorporated by reference into this Ordinance.
2. The Contractor shall obtain all necessary permits and comply with the City of Garden Grove Ordinance 16.0100, which is hereby incorporated by reference into this Ordinance.

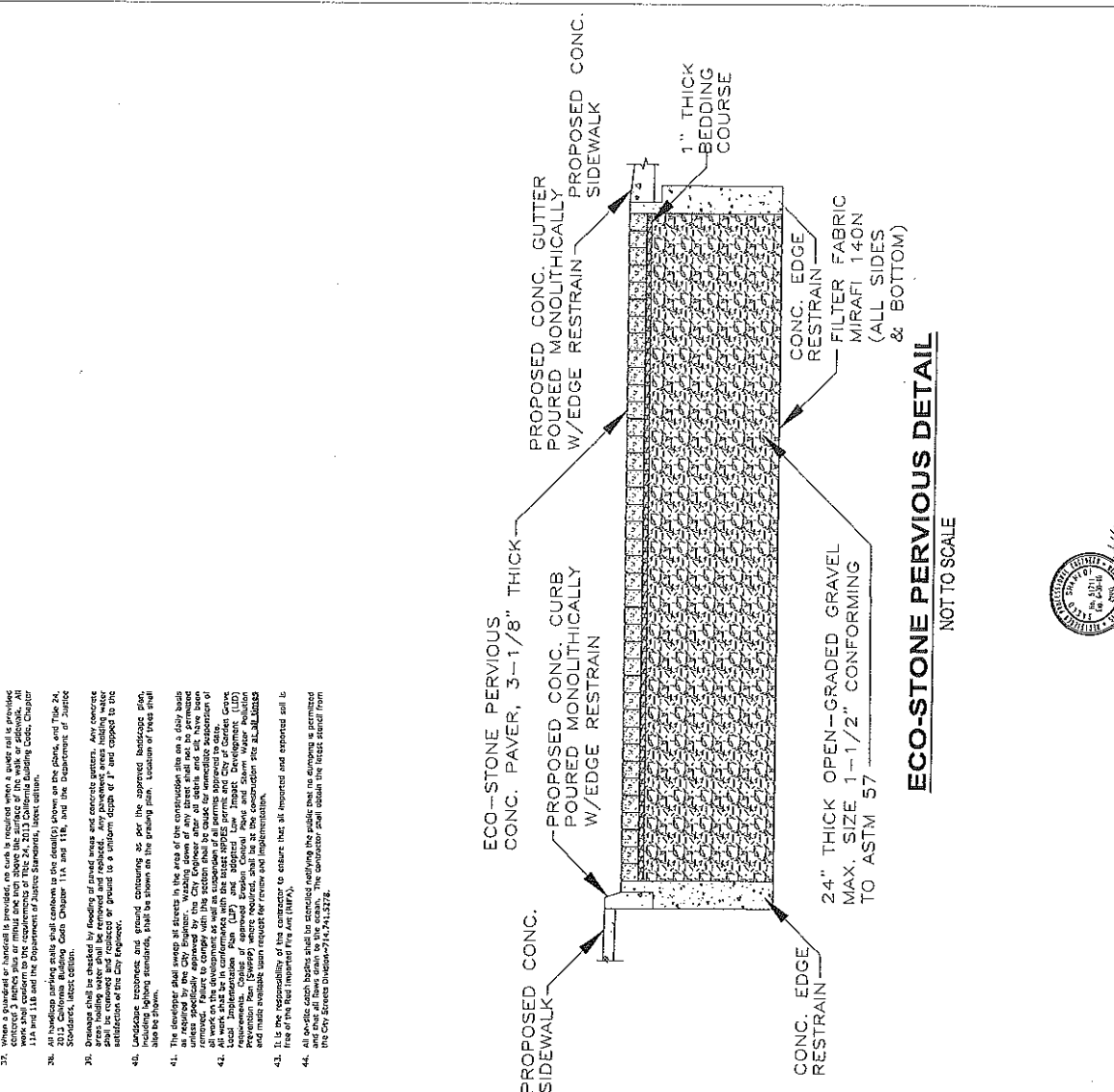
- 3. All work shall conform to the City of Garden Grove Ordinance 16.0100, which is hereby incorporated by reference into this Ordinance.
4. The Contractor shall obtain all necessary permits and comply with the City of Garden Grove Ordinance 16.0100, which is hereby incorporated by reference into this Ordinance.

- 5. All work shall conform to the City of Garden Grove Ordinance 16.0100, which is hereby incorporated by reference into this Ordinance.
6. The Contractor shall obtain all necessary permits and comply with the City of Garden Grove Ordinance 16.0100, which is hereby incorporated by reference into this Ordinance.

- 21. Statement of Questions - including all remedial grading as recommended in the soils report.
22. All work shall conform to the City of Garden Grove Ordinance 16.0100, which is hereby incorporated by reference into this Ordinance.

- 23. All work shall conform to the City of Garden Grove Ordinance 16.0100, which is hereby incorporated by reference into this Ordinance.
24. The Contractor shall obtain all necessary permits and comply with the City of Garden Grove Ordinance 16.0100, which is hereby incorporated by reference into this Ordinance.

- 25. All work shall conform to the City of Garden Grove Ordinance 16.0100, which is hereby incorporated by reference into this Ordinance.
26. The Contractor shall obtain all necessary permits and comply with the City of Garden Grove Ordinance 16.0100, which is hereby incorporated by reference into this Ordinance.

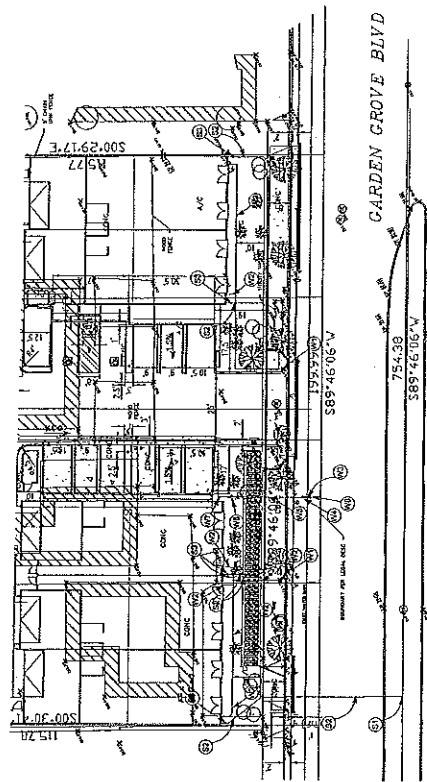
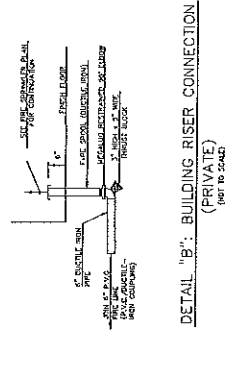
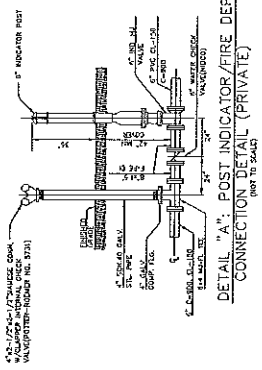


10661 & 10641 GAARDEN GROVE BLVD. STA 0+00 TO STA 1+62.41 MIXED USE DEVELOPMENT STA 0+00 TO STA 1+62.41 PUBLIC WORKS AGENCY

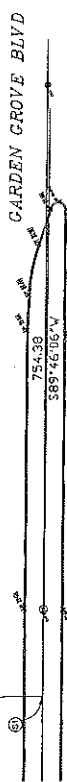
PREPARED UNDER THE SUPERVISION OF
DESIGNER: [Signature] REGISTERED CIVIL ENGINEER
CHECKED BY: [Signature] REGISTERED CIVIL ENGINEER
DATE: 10/21/2023

REVISIONS

NO.	DATE	DESCRIPTION



GARDEN GROVE BLVD.
PLAN VIEW



PEARL BLVD.
PLAN VIEW

SEWER SYSTEM CONSTRUCTION NOTES:

- 53 CONNECT TO EXISTING MAIN
- 54 INSTALL 4\"/>

WATER SYSTEM CONSTRUCTION NOTES:

- 57 CONNECT TO EXIST. WATER METER
- 58 INSTALL 1\"/>

QUANTITIES:

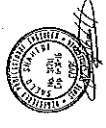
- 1 EA
- 310 LF
- 5 EA
- 1 EA
- 72 LF
- 1 EA
- 1 EA
- 33 LF
- 1 EA
- 1 EA
- 1 EA
- 1 EA

REFERENCE:

- 1. 2017 CALIFORNIA CIVIL ENGINEERING AND ARCHITECTURE BOARD REGULATIONS, CHAPTER 18, DIVISION 18.5
- 2. 2017 CALIFORNIA CIVIL ENGINEERING AND ARCHITECTURE BOARD REGULATIONS, CHAPTER 18, DIVISION 18.5
- 3. 2017 CALIFORNIA CIVIL ENGINEERING AND ARCHITECTURE BOARD REGULATIONS, CHAPTER 18, DIVISION 18.5
- 4. 2017 CALIFORNIA CIVIL ENGINEERING AND ARCHITECTURE BOARD REGULATIONS, CHAPTER 18, DIVISION 18.5

BLOCK NAME BLOCK DESCRIPTION BLOCK

- HRAP MASTHEAD RAMP
- FM FIRE HYDRANT
- MANHOLE MANHOLE
- VALVE VALVE
- WATER METER WATER METER
- SL STREET LIGHT
- TRIEE TREE
- AVARK AIR VALVE/RELEASE VALVE
- BRSH BENCH MARK/SURVEY MONUMENT



REVISIONS	APPROVED	DATE	DESCRIPTION

NUMBER	DATE	INITIALS	DESCRIPTION

DATE	BY	DESCRIPTION

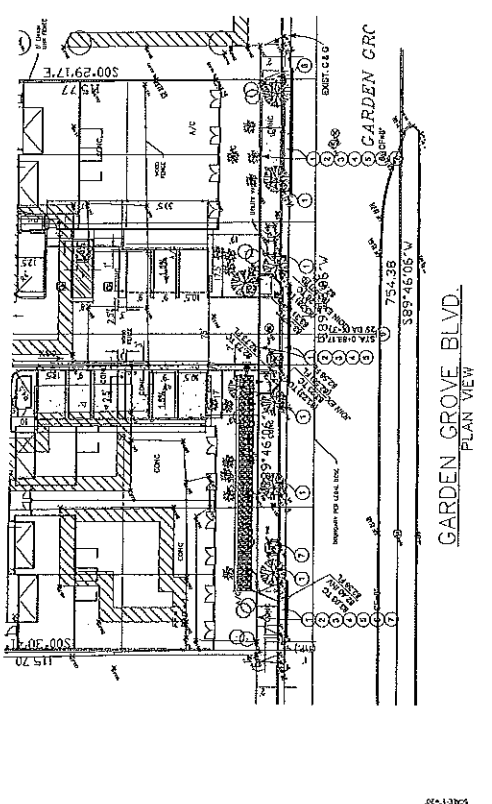
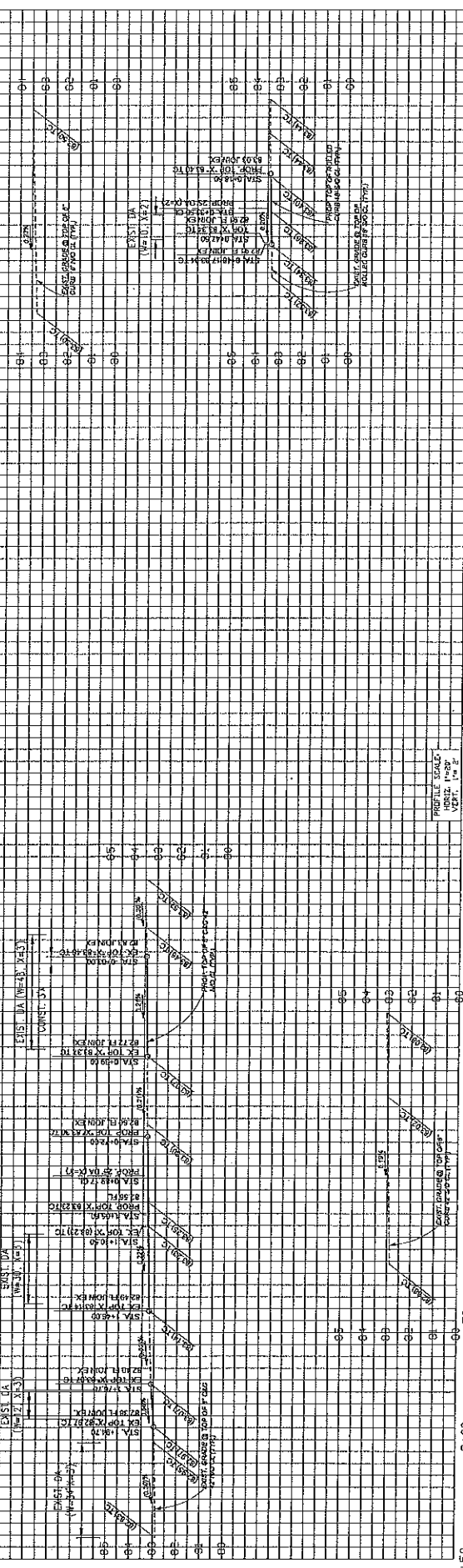
REFERENCES:

- 1. 2017 CALIFORNIA CIVIL ENGINEERING AND ARCHITECTURE BOARD REGULATIONS, CHAPTER 18, DIVISION 18.5
- 2. 2017 CALIFORNIA CIVIL ENGINEERING AND ARCHITECTURE BOARD REGULATIONS, CHAPTER 18, DIVISION 18.5
- 3. 2017 CALIFORNIA CIVIL ENGINEERING AND ARCHITECTURE BOARD REGULATIONS, CHAPTER 18, DIVISION 18.5
- 4. 2017 CALIFORNIA CIVIL ENGINEERING AND ARCHITECTURE BOARD REGULATIONS, CHAPTER 18, DIVISION 18.5

UTILITY PLAN
GARDEN GROVE BLVD.
STA 74+00 TO STA 75+00
PEARL BLVD
STA 48+00 TO STA 48+241
PUBLIC WORKS AGENCY

DATE: 11/21/2017
PROJECT NO.: 1703
DRAWN BY: JRS
CHECKED BY: JRS
APPROVED: [Signature]

ENGINEER: J. R. SHERMAN, REGISTERED PROFESSIONAL ENGINEER, No. 43185



SYMBOL	DESCRIPTION	SCALE
(Symbol)	Handicap Ramp	1" = 8'-0"
(Symbol)	Manhole	1" = 8'-0"
(Symbol)	Valve	1" = 8'-0"
(Symbol)	Water Meter	1" = 8'-0"
(Symbol)	Street Light	1" = 8'-0"
(Symbol)	Tree	1" = 8'-0"
(Symbol)	Power/Telephone Pole	1" = 8'-0"
(Symbol)	Fire Valve/Release Valve	1" = 8'-0"
(Symbol)	Bus	1" = 8'-0"
(Symbol)	Block	1" = 8'-0"

QUANTITIES:
 128 LF
 134 SF
 134 SF
 62 LF
 518 SF
 12 SF
 1 EA
 2 EA
 1 EA
 183 SF
 2 LF

CONSTRUCTION NOTES:
 1 SAWCUT & REMOVE EXIST. SIDEWALK
 2 SAWCUT & REMOVE EXIST. CURB
 3 INSTALL NEW PAVEMENT SECTION, A.C. THICKNESS IS TO BE 1" DEEPER THAN EXIST. THICKNESS.
 4 CONSTRUCT TYPE 1 C.C. BASE, 4" THICK
 5 CONSTRUCT DRIVE APPROACH "X" ONLY (2'-0") PER COUNTY OF ORANGE STANDARD PLAN NO. 100.4
 6 CONSTRUCT DRIVE APPROACH "Y" ONLY (2'-0") PER COUNTY OF ORANGE STANDARD PLAN NO. 129.9
 7 CONSTRUCT DRIVE APPROACH "Z" ONLY (2'-0") PER COUNTY OF ORANGE STANDARD PLAN NO. 129.9
 8 CONSTRUCT DRIVE APPROACH PER COUNTY OF ORANGE STD. PLAN NO. 1115
 9 CONSTRUCT DRIVE APPROACH PER COUNTY OF ORANGE STD. STANDARD PLAN NO. 316
 10 CONSTRUCT DRIVE APPROACH PER COUNTY OF ORANGE STD. STANDARD PLAN NO. 1201
 11 CONSTRUCT DRIVE APPROACH PER COUNTY OF ORANGE STD. STANDARD PLAN NO. 1201



REFERENCES

NUMBER	DATE	INITIALS	DESCRIPTION

REVISIONS

NUMBER	DATE	INITIALS	DESCRIPTION

PREPARED UNDER THE SUPERVISION OF: DATE: 06/23/04
 FILE NO. 27711
 DESIGNED BY: JPL
 CHECKED BY: JPL
 APPROVED BY: JPL
 APPROVAL: JPL
 DATE: 06/23/04
 SCALE: AS SHOWN
 SHEET: 605

STREET PLAN
 GARDEN GROVE BLVD.
 PEARL BLVD.
 STA. 600.00 TO STA. 152.41
 PUBLIC WORKS AGENCY

RESOLUTION NO. 5857-16

A RESOLUTION OF THE PLANNING COMMISSION RECOMMENDING ADOPTION OF A MITIGATED NEGATIVE DECLARATION AND MITIGATION MONITORING AND REPORTING PROGRAM AND APPROVAL OF DEVELOPMENT AGREEMENT NO. DA-002-2016 FOR A MIXED-USE DEVELOPMENT ON THREE CONTIGUOUS PROPERTIES LOCATED ON THE NORTH SIDE OF GARDEN GROVE BOULEVARD, WEST OF NELSON STREET AND THE SOUTH SIDE OF PERAL STREET, WEST OF NELSON STREET, AT 10641 AND 10661 GARDEN GROVE BOULEVARD AND 10662 PEARL STREET.

BE IT RESOLVED that the Planning Commission of the City of Garden Grove, in regular session assembled on April 21, 2016, does hereby recommend City Council adoption of a Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program and approval of Development Agreement No. DA-002-2016, for a four-story, 10-unit, work-live, mixed-use development (the "Project") on land consisting of three properties, two located on the north side of Garden Grove Boulevard west of Nelson Street and one located contiguous to the north side of the Garden Grove Boulevard properties that fronts on the south side of Pearl Street, west of Nelson Street, at 10641 and 10661 Garden Grove Boulevard and 10662 Pearl Street, Assessor's Parcel Nos. 089-092-06, 089-092-25, and 089-092-26 (collectively, the "Property").

BE IT FURTHER RESOLVED that the Planning Commission has considered the proposed Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program, together with comments received during the public review process, and finds that (1) the record of proceedings on which the Planning Commission's decision is based is located at the City of Garden Grove, 11222 Acacia Parkway, Garden Grove, California; (2) that the custodian of record of proceedings is the Director of Community Development; (3) that the Mitigated Negative Declaration reflects the City's independent judgment and analysis; and (4) that on the basis of the whole record before it, including the initial study and comments received, that there is no substantial evidence that the Project will have a significant effect on the environment; therefore, the Planning Commission hereby recommends the City Council adopt the Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program for this Project.

BE IT FURTHER RESOLVED in the matter of Development Agreement No. DA-187-12, the Planning Commission of the City of Garden Grove does hereby report as follows:

1. The subject case was initiated by Tony Lam (the "Applicant").
2. The Applicant has requested Planning Commission approval of Site Plan No. SP-022-2016, Conditional Use Permit No. CUP-065-2016, and Lot Line Adjustment No. LLA-011-2016 to construct a four-story, 10-unit, work-live, mixed-use development on three separate properties proposed to be consolidated into a single parcel, and is requesting the Planning Commission

recommend approval to City Council of Development Agreement No. DA-002-2016 between the City of Garden Grove and Tony Lam and Jennie Do for the Project on the Property.

3. Pursuant to the California Environmental Quality Act (CEQA), Public Resources Code Section 21000 et. seq., and the CEQA guidelines, 14 California Code of Regulations Sec. 15000 et. seq., an initial study was prepared and it has been determined that the proposed project qualifies for a Mitigated Negative Declaration because the proposed project with the proposed mitigation measure cannot, or will not, have a significant effect on the environment. A Mitigation Monitoring and Reporting Program has been prepared and is attached to the Mitigated Negative Declaration listing the mitigation measures to be monitored during project implementation. The Mitigated Negative Declaration was prepared and circulated in accordance with CEQA and CEQA's implementing guidelines.
4. The Property has a General Plan Land Use designation of Industrial/Commercial Mixed Use and is currently zoned AR (Adaptive Reuse). The .69 acre site is currently developed with a vacant commercial building, a bicycle shop on the Garden Grove Boulevard properties and a non-forming single-family home on the Pearl Street property.
5. Existing land use, zoning, and General Plan designation of property in the vicinity of the subject property have been reviewed.
6. Report submitted by City staff was reviewed.
7. Pursuant to a legal notice, a public hearing was held on April 21, 2016, and all interested persons were given an opportunity to be heard.
8. Concurrently with adoption of this Resolution, on April 21, 2016, the Planning Commission adopted Resolution No. 5858-16 approving Site Plan No. SP-022-2016, Conditional Use Permit No. CUP-065-2016, and Lot Line Adjustment No. LLA-011-2016, subject to specified Conditions of Approval, and subject to the adoption of the Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program and approval of Development Agreement No. DA-002-2016 by the Garden Grove City Council. The facts and findings set forth in Planning Commission Resolution No. 5858-16 are hereby incorporated into this Resolution by reference.
9. The Planning Commission gave due and careful consideration to the matter during its meeting on April 21, 2016 and considered all oral and written testimony presented regarding the project.

BE IT FURTHER RESOLVED, FOUND AND DETERMINED that the facts and reasons supporting the conclusion of the Planning Commission, as required under Municipal Code Section 9.32.030, are as follows:

FACTS:

The Property is .69 acres in area, and is currently developed with a vacant commercial building and a bicycle shop on the Garden Grove Boulevard properties and a non-conforming single-family home on the Pearl Street property.

The Property has a General Plan Land Use designation of Medium Density Residential and is zoned R-3 (Multiple-Family Residential).

The Applicant desires to construct a 10-unit, work-live, mixed-use development on the Property pursuant to Site Plan No. SP-022-2016, CUP-065-2016, and Lot Line Adjustment No. LLA-011-2016. The maximum building height will be four (4) stories with an overall height not to exceed 46'-9" and the building area will be comprised of 10 work/live units ranging in size from 2,330 square feet to 3,168 square feet. Pursuant to the proposed Development Agreement with the City, the applicant will be guaranteed four years to construct the Project in accordance with Site Plan No. SP-022-2016, CUP-062-2016, and Lot Line Adjustment No. LLA-011-2016, and the City will receive a development agreement payment in an amount not to exceed \$19,160 to reimburse the City for the cost of certain City services required by the Project that are not otherwise being reimbursed to the City.

FINDINGS AND REASONS:

1. The Development Agreement is consistent with the General Plan.

The proposed 10-unit, work-live, mixed-use development Project authorized to be constructed under the Development Agreement is consistent with the Property's General Plan Land Use Designation of Industrial/Commercial Mixed Use, which is intended to provide for a mix of uses. The Project is also consistent with Policy LU-1.6 of the General Plan's Land Use Element, which provides for the City to encourage workplace development in close proximity to residences in areas designated as Mixed Use.

INCORPORATION OF FACTS AND FINDINGS SET FORTH IN THE STAFF REPORT

In addition to the foregoing, the Planning Commission incorporates herein by this reference, the facts and findings set forth in the staff report and in Resolution No. 5858-16.

BE IT FURTHER RESOLVED that the Planning Commission does conclude:

1. The Development Agreement possesses characteristics that would indicate justification of the request in accordance with Government Code Section 65864 et. seq, provisions for Development Agreements.

RESOLUTION NO. 5858-16

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF GARDEN GROVE APPROVING SITE PLAN NO. SP-022-2016, CONDITIONAL USE PERMIT NO. CUP-065-2016, AND LOT LINE ADJUSTMENT NO. LLA-011-2016 FOR THREE CONTIGUOUS PROPERTIES THAT ARE LOCATED ON THE NORTH SIDE OF GARDEN GROVE BOULEVARD, WEST OF NELSON STREET AND THE SOUTH SIDE OF PERAL STREET, WEST OF NELSON STREET, AT 10641 AND 10661 GARDEN GROVE BOULEVARD AND 10662 PEARL STREET, ASSESSOR PARCEL NOS. 089-092-06, 089-092-25, AND 089-092-26.

BE IT RESOLVED that the Planning Commission of the City of Garden Grove, in regular session assembled on April 21, 2016, and approved Site Plan No. SP-022-2016, Conditional Use Permit No. CUP-065-2016, and Lot Line Adjustment No. LLA-011-2016, subject to the Conditions of Approval attached hereto as "Exhibit A", and subject to the approval of Development Agreement No. DA-002-2016 by the Garden Grove City Council.

BE IT FURTHER RESOLVED in the matter of Site Plan No. SP-022-2016, Conditional Use Permit No. CUP-065-2016, and Lot Line Adjustment No. LLA-011-2016 the Planning Commission of the City of Garden Grove does hereby report as follows:

1. The subject case was initiated by Tony Lam (the "Applicant").
2. The Applicant is requesting approval of a Site Plan and Conditional Use Permit to construct a four-story, 10-unit, work-live, mixed-use development on three separate properties in conjunction with a Lot Line Adjustment to consolidate the three properties into one. A Development Agreement incorporating these proposed land use entitlements is also proposed.
3. Pursuant to the California Environmental Quality Act (CEQA), Public Resources Code Section 21000 et. seq., and the CEQA guidelines, 14 California Code of Regulations Sec. 15000 et. seq., an initial study was prepared and it has been determined that the proposed project qualifies for a Mitigated Negative Declaration because the proposed project with the proposed mitigation measures cannot, or will not, have a significant effect on the environment. A Mitigation Monitoring and Reporting Program has been prepared and is attached to the Mitigated Negative Declaration listing the mitigation measures to be monitored during project implementation. The Mitigated Negative Declaration was prepared and circulated in accordance with CEQA and CEQA's implementing guidelines.
4. The properties have a General Plan Land Use designation of Industrial/Commercial Mixed Use, and are currently zoned AR (Adaptive Reuse). The subject properties are currently improved with a vacant commercial building, a bicycle shop, and a non-conforming single-family home.

5. Existing land use, zoning, and General Plan designation of property in the vicinity of the subject property have been reviewed.
6. Report submitted by City staff was reviewed.
7. Pursuant to a legal notice, a public hearing was held on April 21, 2016, and all interested persons were given an opportunity to be heard.
8. Concurrently with adoption of this Resolution, on April 21, 2016, the Planning Commission adopted Resolution No. 5857-16, recommending that the City Council adopt the Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program and approve Development Agreement No. DA-002-2016 for the Project. The facts and findings set forth in Planning Commission Resolution No. 5857-16 are hereby incorporated into this Resolution by reference.
9. The Planning Commission gave due and careful consideration to the matter during its meeting of April 21, 2016.

BE IT FURTHER RESOLVED, FOUND AND DETERMINED that the facts and reasons supporting the conclusion of the Planning Commission, as required under Municipal Code Section 9.32.030 are as follows:

FACTS:

The subject property is approximately .69 acres and consists of three properties, two located on the north side of Garden Grove Boulevard west of Nelson Street and one located contiguous to the north side of the Garden Grove Boulevard properties that fronts on the south side of Pearl Street, west of Nelson Street. The subject properties have a General Plan Designation of Industrial/Commercial Mixed Use and are zoned AR (Adaptive Reuse). The properties to the north, east, and west are zoned AR and are developed with non-conforming single-family homes and commercial uses. The properties to the south, across Garden Grove Boulevard are zoned GGMU-3 (Garden Grove Mixed Use 3) and are developed commercially.

In 2008 the City Council adopted the current General Plan, which changed the Land Use Designation of the area generally located north of Garden Grove Boulevard, west of Nelson Street, east of Flower Street to the north of Stanford Avenue and Nutwood Street to the south Stanford Avenue, as well as the area that is south of the portion of the OCTA right-of-way that is north of Stanford Avenue, from Office Professional, Mixed Use, and Industrial to Industrial/Commercial Mixed Use. This area maintains a variety of uses that include eating establishments, auto repair, light industrial uses, offices, and non-conforming residential uses.

In 2012, the City Council approved a Code Amendment that established the AR Mixed Use Zone within this area along with associated development standards in order to provide the consistency between the new General Plan Land Use Designation and the Zoning classification that is required by State Law.

The subject properties are developed with a vacant commercial building and a bicycle shop on the Garden Grove Boulevard properties and a non-conforming single-family home on the Pearl Street property. The applicant is proposing to combine the three subject properties and demolish the existing improvements in order to develop a four-story, ten-unit, work-live mixed-use development.

The new four-story building will be constructed to face Garden Grove Boulevard and will maintain a 15' 0" setback from the front property line and will be constructed over the main driveway. The building will maintain zero setbacks along the east and west property lines and 28' 0" from the rear property line. Main access to the property will be via a 25' 0" wide driveway from Garden Grove Boulevard with a secondary access to Pearl Street from the north side of the project. While Code requires a minimum of 30 parking spaces to accommodate the development, a total of 32 parking spaces have been provided (10 garaged, 11 covered, and 11 open). The Site design, including parking and circulation, have been designed to comply with requirements of Title 18, Mixed Use Regulations and Development Standards, of the City's Municipal Code.

The project has been designed to comply with the City Code zoning requirements for landscaping, and active and private recreation areas for the work live units. City Code requires 3,000 square feet of recreational area for the ten proposed units. A total of 4,376.85 square feet of both common useable and private open space has been provided, that includes a 3,500 square common useable recreation area on the third floor of the building that is suspended over the main driveway and private patios that range in size from 32.9 square feet to 132 square feet. The common useable recreation area includes landscaping, umbrellas, lounge chairs, tables, and barbecues.

Landscaping along Garden Grove Boulevard will include both columnar and canopy trees with shrubs and ground cover on site and canopy trees and ground covers within the parkway adjacent to the street. Landscaping within the site and along Pearl Street will include canopy trees, shrubs, vines, and ground covers. Landscaping within the third floor common useable open space area will include decorative paving, artificial turf, potted trees, shrubs, and flowering plants.

The project consists of 10 work-live units with private balconies. The units range in size from 2,330 square feet to 3,168 square feet. Each unit includes work space and a small residential space that maintains access from the work space area of the unit to the living space via an interior stair case. The residential portions of the units also have a secondary entrance to the third floor. The residential portions of the units range in size from 750 square feet to 915 square feet. Eight of the units maintain two bedrooms and two bathrooms, and the remaining two units maintain one bedroom and one and half bathrooms. The commercial areas of the five lower units maintain direct access to Garden Grove Boulevard and have two floors of commercial space. The commercial areas of the top 5 units maintain access from the walkway located on the fourth floor with the majority of the residential area

(with the exception of a bedroom) of the unit below the commercial area of the unit on the third floor. Each unit will also include kitchen, living room, dining area and laundry facilities.

City Code does not allow the commercial portion of the units to be leased out separately from the residential portion or for the units to be converted entirely to residential use. The intent of the work-live unit is to provide an alternative space where people can have a space that allows them to live in the same unit as they work.

The design of the four story building is contemporary exhibiting a two toned kaki and red brown (burnt sienna) stucco exterior with teal metal railing on the balconies and upper story walkways, and aluminum store front glazing. The articulated façade, varying roof heights, and color pattern of the building provide visual interest to the building.

FINDINGS AND REASONS:

SITE PLAN:

1. The Site Plan is consistent with the General Plan and complies with the spirit and intent of the provisions, conditions and requirements of the Municipal Code and other applicable ordinances.

The subject site has a General Plan land use designation of Industrial/Commercial Mixed Use (IC) and is zoned AR (Adaptive Reuse). The proposed project consists of a 4-story, mixed-use development consisting of ten (10) work-live units in a single building, along with 32 parking spaces consisting of garage spaces, covered spaces, and an open parking lot. The proposed mixed use development is consistent with the IC land use designation, which is intended to provide for a mix of uses, as well as with Policy LU-1.6 of the General Plan's Land Use Element, which provides for the City to encourage workplace development in close proximity to residences in areas designated as Mixed Use. The Site Plan also complies with the spirit and intent of the provisions, conditions, and requirements of the Municipal Code and other applicable ordinances. The zoning of the property permits work-live units subject to the approval of a Conditional Use Permit. The placements of the structures, the site design, the parking lot layout, the number of on-site parking spaces, and the landscape areas are all consistent with the development standards applicable to the AR zone.

2. The proposed development does not adversely affect essential on-site facilities such as off-street parking, loading and unloading areas, traffic circulation and points of vehicular and pedestrian access.

The proposed development has been designed to meet the Code's requirements for access, on and off-site circulation and off-street parking

The plans have been reviewed by the City's Traffic Engineering Division as well as a traffic consultant and it has been determined that the project will have no adverse impacts to surrounding streets. The site provides sufficient parking to accommodate the proposed work-live mixed use development. The project has been designed to provide a drive aisle and parking layout that enables customers to maneuver effectively through the site.

Furthermore, the City's Fire Department has also reviewed the plans, and all appropriate conditions of approval will eliminate any adverse impacts to surrounding streets should there be an emergency.

3. The development, as proposed, will not adversely affect essential public facilities such as streets and alleys, utilities and drainage channels.

The streets in the area will be adequate to accommodate the proposed development once the developer provides the necessary improvements for the project. The proposed work-live mixed use project will not adversely affect essential public facilities such as streets and alleys, utilities, and drainage channels. Utilities and drainage channels in the area are adequate to accommodate the development.

The proposed development will also provide landscaping and proper grading of the site in order to maintain proper drainage in the area. The Public Works Engineering and Water Services Division have reviewed the plans.

4. The project will not adversely impact the City's ability to perform its required public works functions.

The project has been reviewed by the Public Works Department. There were no issues raised by the project. Therefore, the project will not adversely impact the City's ability to perform its required public works functions.

5. The development does have a reasonable degree of physical, functional, and visual compatibility with neighboring uses and desirable neighborhood characteristics.

The project is located in an area with a mix of industrial, commercial and non-conforming single-family homes. The proposed project is consistent with the surrounding area and compatible with the existing uses along Garden Grove Boulevard and within the AR (Adaptive Reuse) zone. The building has been designed to be oriented toward Garden Grove Boulevard to ensure a reasonable degree of compatibility with adjacent developments.

6. Through the planning and design of buildings and building placement, the provision of open space landscaping and other site amenities will attain an attractive environment for the occupants of the property.

The project has been designed for building appearance, building placement, landscaping, and other amenities to attain an attractive environment. All landscaped areas are required to adhere to the landscaping requirements of the Title 9 of the Municipal Code. Through the conditions of approval for the project, the necessary agreements for the protection and maintenance of all landscaping will be achieved.

CONDITIONAL USE PERMIT:

1. That the proposed use will be consistent with the City's adopted General Plan and redevelopment plan.

The proposed work-live mixed use development will be consistent with the General Plan Land Use Designation of the property, which is Industrial/Commercial Mixed Use, provided that the project complies with all conditions of approval. The proposed work-live development is consistent with the Industrial/Commercial Mixed Use land use designation, which is intended to provide for a mix of uses, as well as with Policy LU-1.6 of the General Plan's Land Use Element, which provides for the City to encourage workplace development in close proximity to residences in areas designated as Mixed Use.

2. That the requested use at the location proposed will not adversely affect the health, peace, comfort, or welfare of the persons residing or working in the surrounding area.

The proposed work-live development will not adversely affect the health, peace, comfort, or welfare of the persons residing or working in the surrounding area. The property is zoned for commercial and light industrial uses and work-live units like those proposed are expressly permitted pursuant to a conditional use permit. Pursuant to the conditions of approval, only uses permitted or conditionally permitted in the AR zone may be maintained in the live-work units; auto repair uses, the storage of flammable liquids or hazardous materials beyond that normally associated with a residential use, heavy industrial uses, entertainment uses, and full service restaurants will be prohibited; no uses that cause vibration, noise, odor, traffic or other impacts that could cause excessive impacts to the surrounding properties shall be permitted; and all work associated with a non-residential use in any of the work-live units shall be done indoors. The project design and conditions of approval will minimize potential impacts to the adjoining area. In addition, Chapter 9.18 of the Garden Grove Municipal Code contains express restrictions on the use and operation of work-live mixed use projects such as the one proposed that must be adhered to for the life of the project. Provided the conditions of approval for the project are adhered to for the life of the project, the use will be harmonious with persons who work and live in the area.

3. The proposed use will not interfere with the use, enjoyment, or valuation of the property of other persons located in the vicinity of the site.

The proposed work-live mixed use project will not unreasonably interfere with the use, enjoyment, or valuation of the property of other persons located within the vicinity of the site, provided that the conditions of approval are adhered to for the life of the project. The property and adjacent properties are zoned for commercial and light industrial uses and work-live units like those proposed are expressly permitted pursuant to a conditional use permit. Pursuant to the conditions of approval, only uses permitted or conditionally permitted in the AR zone may be maintained in the live-work units; auto repair uses, the storage of flammable liquids or hazardous materials beyond that normally associated with a residential use, heavy industrial uses, entertainment uses, and full service restaurants will be prohibited; no uses that cause vibration, noise, odor, traffic or other impacts that could cause excessive impacts to the surrounding properties shall be permitted; and all work associated with a non-residential use in any of the work-live units shall be done indoors. In addition, Chapter 9.18 of the Garden Grove Municipal Code contains express restrictions on the use and operation of work-live mixed use projects such as the one proposed that must be adhered to for the life of the project.

4. The proposed use will not jeopardize, endanger, or otherwise constitute a menace to public health, safety, or general welfare.

Pursuant to the conditions of approval, only uses permitted or conditionally permitted in the AR zone may be maintained in the live-work units; auto repair uses, the storage of flammable liquids or hazardous materials beyond that normally associated with a residential use, heavy industrial uses, entertainment uses, and full service restaurants will be prohibited; no uses that cause vibration, noise, odor, traffic or other impacts that could cause excessive impacts to the surrounding properties shall be permitted; and all work associated with a non-residential use in any of the work-live units shall be done indoors. In addition, Chapter 9.18 of the Garden Grove Municipal Code contains express restrictions on the use and operation of work-live mixed use projects such as the one proposed that must be adhered to for the life of the project. Provided that proposed work-live mixed use development adheres to the conditions of approval for the life of the project, the proposed project will not jeopardize, endanger, or otherwise constitute a menace to public health, safety, or general welfare.

5. That the proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in this title or as is otherwise required in order to integrate such use with the uses in the surrounding area.

The proposed project has been designed to comply with the development standards and requirements of the AR (Adaptive Reuse) zone. The site is adequate in size and shape to accommodate the new structure and associated site improvements, which include parking facilities, landscaping, and development walls.

6. The proposed site is adequately served by highways or streets of sufficient width and improved as necessary to carry the kind and quantity of traffic to be generated, and by other public or private service facilities as required.

The site is adequately served by Garden Grove Boulevard and Pearl Street and the development of the project will include accessible driveways providing both ingress and egress. The site is also adequately served by the public service facilities required such as public utilities: gas, electric, water, and sewer facilities.

LOT LINE ADJUSTMENT:

1. The parcel, as a result of the Lot Line Adjustment, will conform to the zoning and building codes.

The subject parcels have a General Plan Land Use designation of Industrial/Commercial Mixed Use and are zoned AR (Adaptive Reuse). The property is comprised of three (3) lots each with a combine lot area of .69 acres. The Lot Line Adjustment will consolidate the three (3) parcels into one lot to allow the construction of a 10-unit, work-live project that is approved via Site Plan No. SP-022-2016 and Conditional Use Permit No. CUP-065-2016. The Lot Line Adjustment and all subsequent site improvements will be in conformance with the applicable zoning and building code regulations as well as be consistent with the City's Subdivision Ordinance and the State Subdivision Map Act.

INCORPORATION OF FACTS AND FINDINGS SET FORTH IN STAFF REPORT

In addition to the foregoing, the Planning Commission incorporates herein by this reference, the facts and findings set forth in the staff report.

BE IT FURTHER RESOLVED that the Planning Commission does conclude:

1. The Site Plan, Conditional Use Permit, and Lot Line Adjustment possess characteristics that would indicate justification of the request in accordance with Municipal Code Sections 9.32.030 and 9.40.190.
2. In order to fulfill the purpose and intent of the Municipal Code, and, thereby, promote the health, safety, and general welfare, the attached Conditions of Approval (Exhibit "A") shall apply to Site Plan No. SP-022-2016, Conditional Use Permit No. CUP-065-2016, and Lot Line Adjustment No. LLA-011-2016.

3. Approval of this Site Plan, Conditional Use Permit, and Lot Line Adjustment shall be contingent upon the approval of Development Agreement No. DA-002-2016 and adoption of the Mitigated Negative Declaration and the Mitigation Monitoring Program for the project by the Garden Grove City Council.

EXHIBIT "A"

Site Plan No. SP-022-2016, Conditional Use Permit No. CUP-065-2016 and Lot Line Adjustment No. LLA-011-2016

10641 and 10661 Garden Grove Boulevard and
10662 Pearl Street

CONDITIONS OF APPROVAL

General Conditions

1. Each owner of the property shall execute, and the applicant shall record against the property, a "Notice of Discretionary Permit Approval and Agreement with Conditions of Approval," as prepared by the City Attorney's Office, within 30 days of approval. The applicant shall provide the City with a copy of the recorded Notice within ten (10) days of its recordation.
2. All Conditions of Approval, approved under Site Plan No. SP-022-2016, Conditional Use Permit No. CUP-065-2016, and Lot Line Adjustment No. LLA-011-2016 contained in Resolution No. 5858-16, shall remain in full force and effect, except as modified herein. All Conditions of Approval set forth herein, or contained in Resolution No. 5858-2016, shall be binding on and enforceable against each of the following, and whenever used herein, the term "applicant" shall mean and refer to each of the following: the project applicant, Tony Lam, the developer of the project, the owner(s) and tenants(s) of the property, and each of their respective successors and assigns. All Conditions of Approval are required to be adhered to for the life of the project, regardless of property ownership. Except for minor modifications approved by the Community Development Director pursuant to Condition No. 4, below, any changes to the Conditions of Approval require approval by the Planning Commission. All Conditions of Approval herein shall apply to Site Plan No. SP-022-2016 and Conditional Use Permit No. CUP-065-2016. The Conditions of Approval applying to Lot Line Adjustment No. LLA-011-2016 shall only be those that so expressly state and/or those necessary to conform to the General Plan, any applicable specific plan, and zoning and building ordinances, to require the prepayment of real property taxes prior to the approval of the lot line adjustment, or to facilitate the relocation of existing utilities, infrastructure, or easements.
3. Approval of this Site Plan, Conditional Use Permit, and Lot Line Adjustment shall not be construed to mean any waiver of applicable and appropriate zoning and other regulations; and wherein not otherwise specified, all requirements of the City of Garden Grove Municipal Code shall apply.
4. Minor modifications to the Site Plan, Conditional Use Permit, Lot Line Adjustment and/or these Conditions of Approval, which do not materially change the scope or intensity of the project and which will not result in impacts that have not previously been addressed, may be approved by the Community Development Director, in his or her discretion. Proposed

modifications to the project, approved site plan, floor plan, and/or these Conditions of Approval determined by the Community Development Director not to be minor in nature shall be subject to approval of new and/or amended land use entitlements by the applicable City hearing body.

5. All conditions of approval shall be implemented at the applicant's expense, except where otherwise expressly specified in the individual condition.
6. All lighting structures shall be placed so as to confine direct rays to the subject property. All exterior lights shall be reviewed and approved by the City's Planning Division. Lighting adjacent to residential properties shall be restricted to low decorative type wall-mounted lights, or a ground lighting system. Lighting shall be provided throughout all private drive aisles and entrances to the development per City standards for street lighting. Lighting in the common areas shall be directed, positioned, or shielded in such manner so as not to unreasonably illuminate the window area of nearby residences.
7. The applicant shall submit detailed plans showing the proposed location of utilities and mechanical equipment to the Community Development Department for review and approval prior to Building Division Plan Check. The project shall also be subject to the following:
 - a. All on-site and off-site utilities (off-site refers to the areas within public right-of-way to the center line of the streets adjacent to the subject property) within the perimeter of the site and to the centerline of the adjacent streets shall be installed or relocated underground.
 - b. Above-ground utility equipment (e.g., electrical, gas, telephone, cable TV) shall not be located in the street setbacks, within the common areas along Garden Grove Boulevard and Pearl Street, or any parking areas and shall be screened to the satisfaction of the Community Development Department.
 - c. No roof-mounted mechanical equipment, including but not limited to dish antennas, shall be permitted unless a method of screening complementary to the architecture of the building is approved by the Community Development Department prior to the issuance of building permits. Said screening shall block visibility of any roof-mounted mechanical equipment from view of public streets and surrounding properties.
 - d. All ground, roof, or wall-mounted mechanical equipment shall be screened from public view from adjacent properties and the public right-of-way and shall also be screened, to the extent feasible, from on-site areas.
 - e. The mitigation measure that is part of the Mitigated Negative Declaration that is adopted for Site Plan No. SP-022-2016, Conditional Use Permit

No. CUP-065-2016, and Lot Line Adjustment No. LLA-011-2016 (the "Mitigated Negative Declaration") is incorporated herein by this reference and shall be implemented as conditions of approval for this project

Public Works Engineering Division

8. The applicant shall be subject to Traffic Mitigation Fees in accordance with Chapter 9.44 of the Garden Grove Municipal Code; In-Lieu Park Fees in accordance with the City's current Fee Resolution; and all other applicable fees duly adopted by the City.
9. A geotechnical study prepared by a registered geotechnical engineer is required. The report shall analyze the liquefaction potential of the site and make recommendations. The report shall analyze sub-surface issues related to the past uses of the site, including sub-surface tanks and basement and septic facilities. Any soil or groundwater contamination shall be remediated prior to the issuance of a building permit in a manner meeting the approval of the City Engineer in concert with the Orange County Health Department. The report shall make recommendations for pavement design the interior streets and parking spaces. The report shall also test and analyze soil conditions for LID (Low Impact Development) principles and implementations, including potential infiltration alternatives, soil compaction, saturation, permeability and groundwater levels.
10. A separate street permit is required for work performed within the public right-of-way.
11. Separate grading and street improvement plans prepared by a registered Civil Engineer are required. The grading plan shall be based on a current survey of the site, including a boundary survey, topography on adjacent properties up to 30' outside the boundary, and designed to preclude cross lot drainage. Minimum grades shall be 0.50% for concrete flow lines and 1.25% for asphalt. The grading plan shall also include water and sewer improvements. The grading plan shall include a coordinated utility plan. Street improvement plan shall conform to all format and design requirements of the City Standard Drawings & Specifications. All fees collected at the time of permit issuance shall be based on the fee schedule in effect at that time.
12. Prior to the issuance of any grading or building permits or prior to recordation upon subdivision of land if determined applicable by the City Building Official, the applicant shall submit to the City for review and approval a *Final* Water Quality Management Plan that:
 - Addresses Site Design BMPs based upon the geotechnical report recommendations and findings such as infiltration minimizing impervious areas, maximizing permeability, minimizing directly connected impervious areas, creating reduced or "zero discharge" areas, and conserving natural areas.

- Incorporates the applicable Routine Source Control BMPs as defined in the DAMP.
 - Incorporates structural and Treatment Control BMPs as defined in the DAMP.
 - Generally describes the long-term operation and maintenance requirements for the Treatment Control BMPs.
 - Identifies the entity that will be responsible for long-term operation and maintenance of the Treatment Control BMPs.
 - Describes the mechanism for funding the long-term operation and maintenance of the Treatment Control BMPs.
13. Prior to grading or building permit closeout and/or the issuance of a certificate of use or a certificate of occupancy, the applicant shall demonstrate compliance with the WQMP in a manner meeting the satisfaction of the City Engineer, including:
- Demonstrate that all structural best management practices (BMPs) described in the Project WQMP have been constructed and installed in conformance with approved plans and specifications.
 - Demonstrate that applicant is prepared to implement all non-structural BMPs described in the Project WQMP.
 - Demonstrate that an adequate number of copies of the approved Project WQMP are available on-site.
 - Submit for review and approval by the City an Operations and Maintenance (O&M) Plan for all structural BMPs.
 - Demonstrate that the applicant has agreed to and recorded an agreement or another legal instrument approved by the City Attorney that shall require the property owner, successors, tenants (if applicable), and assigns to fund, operate and maintain in perpetuity the post-construction BMPs described in the Project WQMP and O&M Plan.
14. Prior to the issuance of a grading permit, the applicant shall provide a hydrological analysis with scaled map and calculations and hydraulic calculations to size drainage facilities per Orange County RDMD standards. Parkway culverts shall be designed per Orange County standard plan 1309, Type B. BMP's shall be sized per the requirements of the latest Technical Guidance Documents.
15. Prior to issuance of a grading permit, the applicant shall design overhead street lighting within the development in a manner meeting the approval of the City Engineer. Location of lighting poles shall be shown on the grading plan.
16. Provide a separate coordinated utility plan showing the location of all utilities serving the site. Any easements required providing locations and access for the utilities and their appurtenances shall be provided by separate instrument.

17. The applicant shall construct the driveway entrance to the development per City of Garden Grove Standard Plan B-120 with conforming ADA landing and pathways where public and private sidewalks intersect. All designs must conform to latest ADA standards.
18. The grading plan shall provide an accessibility route for the ADA pathway in conformance with the requirements of the department of justice standards, latest edition.
19. All trash container areas shall meet the following requirement:
 - Paved with an impervious surface, designed not to allow run-on from adjoining areas, designed to divert drainage from adjoining roofs and pavements diverted around the area, screened or walled to prevent off-site transport of trash;
 - Provide solid roof or awning to prevent direct precipitation into the enclosure per City of Garden Grove Standard Plan B-502;
 - Provide a drain to a sanitary waste line. Connection of trash area drains to the municipal storm drain system is prohibited;
 - Potential conflicts with fire code and garbage hauling activities should be considered in implementing this source control;
 - See CASQA Storm Water Handbook Section 3.2.9 and BMP Fact Sheet SD-32 for additional information.
 - The trash shall be located to allow pick-up and maneuvering, including turnarounds, in the area of enclosures per City of Garden Grove Standard Plan B-502.
20. Prior to the issuance of the street improvements and grading permit, the applicant shall provide completion bonds for all work constructed under the street improvements and grading permit in a manner satisfactory to the City Engineer, City Attorney, and City Finance Department (Risk Management). Alternate forms of security may be considered, solely in the discretion of the City Engineer and with the concurrence of the City Attorney and City Finance Department (Risk Management).
21. No parallel curb parking shall be permitted anywhere on the site and Garden Grove Boulevard.
22. All parking spaces that abut to sidewalks that are not elevated with a curb face to the stall shall have wheel stops.
23. Any new or required block walls and/or retaining walls shall be shown on the grading plans with a minimum height of 6-feet from the highest finished grade. Cross sections shall show vertical and horizontal relations of improvements and property line. Block walls shall be designed in accordance to City standards or designed by a professional registered engineer
24. The applicant shall remove the existing landscaping within sidewalk areas along Garden Grove Boulevard and Pearl Street and construct street frontage

improvements as identified below. All landscaping installed within the public rights-of-way shall be maintained by the applicant in a manner meeting the approval of the City Engineer. A separate street improvement plan shall be prepared for Garden Grove Boulevard and Pearl Street and submitted to the engineering department for improvements within the existing and proposed right of way.

Garden Grove Boulevard

- Remove the existing easterly and westerly substandard driveway approaches and existing landscaping on Garden Grove Boulevard and construct new curb, gutter and sidewalk.
- The new driveway approach to the site shall be constructed in accordance with City of Garden Grove Standard Plan B-120. Standard Plan B-120 calls for a maximum width of 30-feet for commercial and multi residential projects, with any deviation from the standard to be approved by the City Engineer and detailed on the plan showing all modifications.
- Construct 8" curb and gutter along the property frontage at 42' from centerline in accordance with City Standard Plan B-113 (Type C-8).
- Construct a 8-foot sidewalk and landscape adjacent to the street curb in accordance with City Standard Plan B-106 and planning department direction.
- Remove and replace the street pavement from the edge of the median to the edge of the gutter per City Standard B-102 and as directed by the City Engineer.

Pearl Street

- Construct 6" rolled curb and gutter along the property frontage at 20' from centerline in accordance with City Standard Plan B-116.
- Remove and replace the pavement of the street from the edge of the northerly gutter to the edge of new southerly gutter along the property frontage per City Standard Plan B-104 and the direction of the City Engineer.
- Construct new driveway approach to the site in accordance with City of Garden Grove Standard Plan B-121.
- Construct a new 4-foot parkway adjacent to the new 6-inch curb and 4-foot sidewalk per City Standard Plan B-105.

25. Conditions of Approval for LLA-011-2016:

- The applicant shall submit an updated title report along with copies of the recorded instruments listed in the title report.
- The applicant shall submit copies of the reference maps used to prepare the legal description and the plat.
- The Lot Line Adjustment shall comply with all provisions of the City of Garden Grove Public Work's Engineering Service Division and shall be reflected in a deed or record of survey that shall be recorded, with copies filed with the City, prior to issuance of a building permit for the structure.

Public Works Water Services Division

Water Conditions

26. New water services 2" and smaller can be installed by the Water Services Division upon payment of applicable fees, or by the applicant's contractor and inspected by Water Engineering Inspector. Applicant's contractor shall have a Class A or C-34 License. Fire services and larger water services 3" and larger, shall be installed by developer/owner's contractor per City Standards and inspected by the Water Engineering Inspector.
27. A Reduced Pressure Principle Device (RPPD) backflow prevention device shall be installed for meter protection. The landscape system shall also have RPPD device. Installation shall be per City Standards and shall be tested by a certified backflow device tester immediately after installation. Cross connection inspector shall be notified for inspection after the installation is completed. The property owner(s) shall have RPPD device tested once a year thereafter by a certified backflow device tester and the test results to be submitted to Public Works, Water Services Division. Property owner(s) must open a water account upon installation of RPPD device.
28. It shall be the responsibility of the applicant to abandon any existing private water well(s) per Orange County Health Department requirements. Abandonment(s) shall be inspected by Orange County Health Department inspector after permits have been obtained.
29. Any new or existing water valve located within new concrete driveway or sidewalk construction shall be reconstructed per City Standard B-753.
30. The City shall determine if existing water services(s) is/are usable and meets current City Standards. Any existing meter and service located within new driveway(s) shall be relocated at owner's expense.
31. Fire service connection shall have above ground double check detector assembly (DCDA) per City Standard B-773. Device shall be tested immediately after installation and once a year thereafter by a certified backflow device tester and the results to be submitted to Water Quality,

Water Services Division. Device shall be on private property and is the responsibility of the property owner(s). The above ground assembly shall be screened from public view as required by the Planning Division.

32. Location and number of fire hydrants shall be as required by Water Services Division and the Fire Department.

Sewer Conditions

33. The applicant shall install new sewer lateral with clean out at right-of-way line. Lateral in public right-of-way shall be 6" min. dia., extra strength VCP with wedgelock joints.
34. In order for the project to be constructed as proposed by the applicant, the existing off-site and on-site sewer main going from west to east of the property will need to be removed and new sewer improvements constructed on the property and the immediately adjacent properties. Accordingly, the applicant shall remove and remediate the existing sewer main located within the proposed project boundary and construct the new sewer line within the project boundary to tie into the main in Grove Boulevard. The applicant shall also work with the adjacent property owners to ensure that (a) the remaining downstream portion of the sewer main in the adjacent property to the east is capped and plugged and a new sewer cleanout installed at the east property line to allow access to the remaining sewer, and (b) a new reroute for a lateral to the south to tie into the main on Garden Grove Boulevard is installed on the adjacent property to the west. Prior to commencement of any field investigation and design work, the applicant SHALL provide evidence satisfactory to the City Engineer that the applicant has entered into a binding agreement or agreements with the adjacent property owners providing applicant with the right to construct the above-described improvements on the neighboring properties. The sewer improvements described in this Condition shall be designed, constructed and installed at the applicant's expense and shall be fully completed and approved by the City prior to issuance of a certificate of occupancy.
35. Commercial food uses of any type shall require the installation of an approved Grease Control Device (GCD) prior to obtaining a business license.
36. A properly sized Grease Control Device (GCD) shall be installed on the waste line and maintained by the property owner. There shall be a separate sanitary waste line that will connect to the sewer lateral downstream of the GCD. All other waste lines shall be drained through the grease trap. The GCD may be located inside of the building per County Health Department requirements. Prior to City permit issuance, trap location must be approved by the Orange County Health Department as evidenced by their stamp on the plans. Owner shall maintain comprehensive GCD maintenance records and shall make them available to the City of Garden Grove upon demand.

37. Food grinders (garbage disposal devices) are prohibited within the commercial part of the unit per Ordinance 6 of the Garden Grove Sanitary District Code of Regulations.

Building Services Division

38. The buildings shall be designed to comply with all provisions of the California Building Codes and City adopted amendments.
39. All units shall be adaptable and on an accessible route. Office spaces shall meet all disability access requirements.

Planning Services Division

40. This approval is for the construction of a four-story, ten-unit, work-live, mixed use development. The living area of each unit shall be incidental to the work area of the unit and shall not be leased out separately from the work area of the unit. Interior access between the work and live areas of each unit shall be maintained. The portion of each work-live unit used for residential purposes shall at no time exceed 40 percent of the total area of the work-live unit, and no work-live unit may be converted entirely to residential use. Each occupant of a work-live unit shall at all times comply with the restrictions on uses and activities within a vertically integrated residential/commercial mixed use development set forth in Garden Grove Municipal Code section 9.18.020.070 and the use limitations, design standards, and operating requirements for work-live units set forth in Garden Grove Municipal Code section 9.18.030.360. The owner(s) of the property shall be responsible for ensuring that tenants comply with these requirements at all times. In addition, prior to the issuance of a certificate of occupancy the then current owner(s) of the property shall enter into and record a Covenant Agreement (or other appropriate document acceptable to the City) with the City in a form approved by the City Attorney and City Manager, restricting use and occupancy of property in accordance with Conditions of Approval 40, 41, 42, and 43 and sections 9.18.020.070 and 9.18.030.360 of the Garden Grove Municipal Code. The Covenant Agreement shall run with the land and be binding upon all current and future owners and tenants of the property and their respective heirs, successors, and assignees; provide that the Covenant Agreement may not be substantively amended or terminated without City approval; and provide that the City may, but shall not be obligated to, enforce the provisions of the Covenant Agreement. The City Manager shall be authorized to execute the Covenant Agreement on behalf of the City. The Covenant Agreement shall be recorded prior to the issuance of any certificates of occupancy. Evidence of the recordation of the agreement shall be provided to the City prior to the issuance of a certificate of occupancy. The applicant shall provide City with a current title report and/or other evidence satisfactory to the City evidencing title ownership of the property at the time of recordation of the Covenant Agreement.

41. Only uses listed as permitted or conditionally permitted within the Land Use Chart, Table 9.18-1 of Section 9.18.020.030 of Title 9 of the City's Municipal Code shall be maintained in the live-work units. Auto repair uses, the storage of flammable liquids or hazardous materials beyond that normally associated with a residential use, heavy industrial uses, entertainment uses, and full service restaurants shall be prohibited. No uses that cause vibration, noise, odor, traffic or other impacts that could cause excessive impacts to the surrounding properties shall be permitted. All work associated with a non-residential use in any of the work-live units shall be done indoors. The owner(s) of the property shall be responsible for ensuring that tenants comply with these requirements at all times. The applicant and/or property owner(s) or managers shall provide written notice to all occupants and users of the work-live units that the surrounding area may be subject to levels of noise, dust, fumes, or other effects associated with commercial and industrial uses at higher levels than would be expected in strictly residential areas.
42. Parking spaces in the garages shall maintain the ability to park two cars at all times. The garages shall not be used for storage. The owner(s) of the property shall be responsible for ensuring that tenants comply with these requirements at all times.
43. Residents shall not park or store vehicles anywhere on the site except within the designated parking spaces in the garages for their unit. The open parking shall be made available for patrons of the on-site business during all hours of operation. The owner(s) of the property shall be responsible for ensuring that tenants comply with these requirements at all times.
44. No outside storage shall be permitted on-site. Storage of boats, recreational vehicles, or commercial vehicles on the property is prohibited. The owner(s) of the property shall be responsible for ensuring that tenants comply with these requirements at all times.
45. Best Management Practices shall be incorporated in the management of the site to detour and/or abate any graffiti vandalism throughout the life of the project, including, but not limited to, timely removal of all graffiti, the use of graffiti resistant coatings and surfaces, the installation of vegetation screening of frequent graffiti sites, and the installation of signage, lighting, and/or security cameras, as necessary.
46. All landscaping shall be consistent with the landscape requirements set forth and/or incorporated in the Garden Grove Municipal Code. The developer shall submit a complete landscape plan governing the entire development. The landscape irrigation plans shall include type, size, location and quantity of all plant material. The landscape plan shall include irrigation plans and staking and planting specifications. All landscape irrigation shall comply with the City's Landscape Ordinance, associated Water Efficiency Guidelines and all recent applicable revisions from the State of California on water conservation measures shall be to the landscape plans. The landscape plan is also subject to the following:

- a. A complete, permanent, automatic remote control irrigation system shall be provided for all landscaping areas shown on the plan. The sprinklers shall be low flow/precipitation sprinkler heads for water conservation.
- b. The plan shall provide a mixture of a minimum of ten percent (10%) of the trees at 48-inch box, ten percent (10%) of the trees at 36-inch box, fifteen percent (15%) of the trees at 24-inch box and sixty percent (60%) of the trees at 15-gallon. The remaining five percent (5%) may be of any size. These trees shall be incorporated into the landscaped frontages of all streets. Where clinging vines are considered for covering walls, drought tolerant vines shall be used.
- c. Trees planted within 10-feet of any public right-of-way shall be planted in a root barrier shield. All landscaping along street frontages adjacent to driveways shall be of the low height variety to ensure safe sight clearance.
- d. Landscaping along Garden Grove Boulevard shall match the landscape requirements of the Garden Grove Mixed Use Zones. Off-site landscaping shall include 4'-0" x 8'-0" planters with canopy trees spaced 30'-0" apart on center with an under planting of shrubs and flowering ground cover. Plant materials within the public right-of-way shall be determined by the City's Public Work's Department. On-site landscaping shall include both columnar and canopy trees. Columnar trees (minimum height at maturity of 45'-0") shall be planted within 10'-0 of the public right-of-way and shall be placed at regular intervals and no more than 40'-0" on center. On-site canopy trees shall be planted at a ratio of at least one tree for every 50'-0" of the Garden Grove Boulevard street frontage. The on-site front yard landscape area shall also include shrubs and flowering ground covers. All on and off-site canopy trees shall be a minimum size of 24-inch box. Columnar trees shall be a minimum of 25'-0" tall. Should palm trees be proposed, the brown trunk height of the palm trees shall be 25'-0".
- e. All landscape areas, including the areas located within the public right-of-way along Garden Grove Boulevard and Pearl Street that abuts the subject property, are the responsibility of the applicant/property owner(s).
- f. Landscaping within the third floor open space area shall include decorative paving, artificial turf, and planters with canopy trees, shrubs, and flowering plants.
- g. The landscape plan shall incorporate and maintain for the life of the project those means and methods to address water run-off also identified as Low Impact Development provisions, which address water run-off. This is also to be inclusive of any applicable Water Quality Management Plan (WQMP), the Orange County Drainage Area Management Plan

(DAMP), and/or other water conservation measures applicable to this type of development.

47. Enhanced concrete treatment shall be provided within the 20-foot. deep driveway throats along Garden Grove Boulevard and Pearl Street, subject to the Community Development Department's approval. Such enhanced concrete treatment includes decorative stamped concrete or interlocking pavers, or other enhanced treatment, excluding scored and/or colored concrete. Color, pattern, material, and final design and configuration shall be approved by the Community Development Department, Planning Division, and shall be shown on the final site plan, grading plan, and landscape plans.
48. Hours and days of construction and grading shall be as follows as set forth in the City of Garden Grove's Municipal Code Section 8.47.010 referred to as the County Noise Ordinance as adopted:
 - a. Monday through Saturday - not before 7 a.m. and not after 8 p.m. (of the same day).
 - b. Sunday and Federal Holidays - may work same hours, but subject to noise restrictions as established in section 8.47.010 of the Municipal Code.
49. Construction activities shall adhere to SCAQMD Rule 403 (Fugitive Dust) that includes dust minimization measures, the use of electricity from power poles rather than diesel or gasoline powered generators, and the use of methanol, natural gas, propane or butane vehicles instead of gasoline or diesel powered equipment, where feasible. Also, the use of solar or low-emission water heaters, the use of low-sodium parking lot lights, and to ensure compliance with Title 24.
50. Pursuant to the Mitigation Measure stated within the Mitigated Negative Declaration and Initial Study for the subject project, the applicant shall be required to obtain the services of a qualified archaeologist during the grading and excavation phases of the construction. The monitor(s) shall be approved by the tribal representatives and will be present on-site during the construction phases that involve any ground disturbing activities. The monitor(s) shall have Hazardous Waste Operations and Emergency Response (HAZWOPER) certification. In addition, the monitor(s) shall be required to provide insurance certificates, including liability insurance, for archaeological resource(s) encountered during grading and excavation activities. Pertinent provisions outlined in the California Environmental Quality Act, California Public Resources Code Division 13, Section 21083.2(a) through (k) shall apply. The on-site monitoring shall end when the project site grading and excavation activities are complete.
51. The approval and effectiveness of Site Plan No. SP-022-2016, Conditional Use Permit No. CUP-065-2016, and Lot Line Adjustment No. LLA-011-2016 shall be expressly contingent upon the adoption and effectiveness of a

binding Development Agreement between the applicant and the City of Garden Grove.

52. Any new or required block walls and/or retaining wall(s) shall be shown on the grading plans. Block walls shall be developed to City Standards or designed by a Registered Engineer and shall be measured from on-site finished grade. The applicant shall provide the following
 - a. Decorative masonry walls are required along the northerly property lines of the Garden Grove Boulevard properties and along all the easterly, and westerly property lines. The masonry wall shall be constructed to a maximum height of 8-feet, as measured from highest point of finished grade on the project's side. A higher wall may be constructed if needed for additional sound attenuation. These walls shall use slumpstone or split-face block with decorative caps, subject to Community Development Department's approval.
 - b. The applicant shall work with the existing property owner(s) along the northerly, southerly, and westerly property lines in designing and constructing the required block wall. This requirement is to avoid having double walls and minimize any impact that it might cause to the existing landscaping on the neighbor's side as much as possible. The perimeter block wall shall be constructed and situated entirely within the subject property. In the event that the applicant cannot obtain approval from the property owners, the applicant shall construct the new wall with a decorative cap to be placed between the new and existing walls. In the event the location of a new wall adjacent to an existing wall or fence has the potential to affect the landscape planter, then the Developer shall work with City Staff to address this situation.
53. The common recreation area improvements shall be reviewed and approved by the Community Development Department, Planning Division, prior to issuance of building permits. The common recreation area shall include, at a minimum, landscaping, decorative paving, barbecues, benches and table with umbrellas.
54. Building colors and materials samples shall be submitted to the Planning Division for review and approval prior to issuance of building permits. The buildings shall include multi-toned stucco exteriors with a minimum of 1-inch reveal lines, windows recessed a minimum of 2-inches, aluminum store front glazing, metal railings on the balconies and upper story walkways, varying roof height, and decorative garage doors that are in keeping with the modern design of the building.
55. All signage shall comply with Chapter 20 of Title 9 of the City's Municipal Code. A sign program shall be established for the development prior to Certificate of Occupancy.

56. A copy of the resolution approving Site Plan No. SP-022-2016, Conditional Use Permit No. CUP-065-2016, and Lot Line Adjustment No. LLA-011-2016, including these Conditions of Approval, shall be kept on the premises at all times.
57. The permittee shall submit a signed letter acknowledging receipt of the decision approving Site Plan No. SP-022-2016, Conditional Use Permit No. CUP-065-2016, and Lot Line Adjustment No. LLA-011-2016, and his/her agreement with all conditions of the approval.
58. The applicant shall, as a condition of Project approval, at its sole expense, defend, indemnify and hold harmless the City, its officers, employees, agents and consultants from any claim, action, or proceeding against the City, its officers, agents, employees and/or consultants, which action seeks to set aside, void, annul or otherwise challenge any approval by the City Council, Planning Commission, or other City decision-making body, or City staff action concerning Site Plan No. SP-022-2016, Conditional Use Permit No. CUP-065-2016, Lot Line Adjustment No. LLA-011-2016, and/or the associated Development Agreement (collectively, the "Project entitlements"). The applicant shall pay the City's defense costs, including attorney fees and all other litigation related expenses, and shall reimburse the City for court costs, which the City may be required to pay as a result of such defense. The applicant shall further pay any adverse financial award, which may issue against the City including but not limited to any award of attorney fees to a party challenging such project approval. Notwithstanding the foregoing, in the event any legal action or proceeding is filed against the City and/or applicant, seeking to attack, set aside, void or annul any of the Project entitlements, applicant shall have the right and obligation to either: (1) defend the City with legal counsel mutually selected by the applicant and the office of the City Attorney; or (2) request that the City rescind the Project entitlements and mutually terminate the Development Agreement, in which case the applicant would have no obligation to defend or indemnify the City; however, applicant shall reimburse the City for any costs incurred or assessed against the City as a result of the filing of such legal action or proceeding, provided the City acts promptly to rescind the Project entitlements.

Garden Grove Fire Department

59. The applicant, developer or contractor shall submit fire sprinkler plans, as defined by NFPA 13, 2013 Edition, to the City for review and approval prior to issuance of Building permits.
60. The applicant, developer, or contractor shall submit a Fire Alarm plan, as defined by NFPA 72, 2013 Edition, to the City for review and approval prior to issuance of a Building permit.
61. Fire hydrants shall meet the specification as outline by the Fire Chief and the City's Water Department.

62. Fire hydrants shall be spaced in accordance to the California Fire Code and at the directions from the City of Garden Grove's Fire Department.
63. Fire flow requirements and/or peculiar street configurations may dictate the necessity for additional fire hydrants per California Fire Code, Appendix III-A.
64. All water mains and fire hydrants shall be installed, accessible and operable prior to any on-site use or storage of combustible materials per California Fire Code Section 8704.3.
65. Applicant, developer, or contractor shall provide Fire Apparatus access on the site prior to any flammable material is placed on-site.

RECORDING REQUESTED BY)
AND WHEN RECORDED MAIL TO:)

City Clerk's Office)
City of Garden Grove)
11222 Acacia Parkway)
Garden Grove, CA 92840)
)
)

(Space above for Recorder.)

This document is exempt from payment of a recording fee pursuant to Government Code Section 6103.

Dated: _____

DEVELOPMENT AGREEMENT NO. DA-002-2016

SP-022-2016, CUP-065-2016, and LLA-011-2016

(Tony Lam and Jennie Do)

THIS DEVELOPMENT AGREEMENT ("Agreement" or "Development Agreement") is made this _____ day of _____, 2016 ("Effective Date"), by the CITY OF GARDEN GROVE, a municipal corporation ("CITY") on the one hand, and Tony Lam, an individual, and Jennie Do, Trustee of Jennie Do Revocable Trust (collectively, "DEVELOPER"), on the other hand, pursuant to the authority set forth in Article 2.5 of Chapter 4 of Division I of Title 7, Sections 65864 through 65869.5 of the California Government Code.

RECITALS

The following recitals are a substantive part of this Agreement:

- A. The CITY and DEVELOPER desire to enter into this Development Agreement for the construction of a 4-story, 10-unit, work/live mixed use development on a .69 acre lot with related site improvements (the "PROJECT") on that certain real property described on Exhibit "A" attached hereto and incorporated herein by reference (the "PROPERTY")..

- B. In order to implement the PROJECT, DEVELOPER has submitted, and CITY has approved, Site Plan No. SP-022-2016, Conditional Use Permit No. CUP-065-2016, and Lot Line Adjustment No. LLA-022-2016, and associated conditions of approval, for the PROJECT.
- C. The CITY and DEVELOPER desire to enter into this Development Agreement for the construction of the PROJECT pursuant to Article 2.5 (commencing with Section 65864) of Chapter 4 of Division 1 of Title 7 of the California Government Code (the "Development Agreement Statute").
- D. The PROJECT is a development requiring certain discretionary approvals by the CITY before it may be constructed.
- E. The Development Agreement Statute provides the authority for CITY to enter into binding development agreements with a person having a legal or equitable interest in real property.
- F. DEVELOPER represents that it owns the PROPERTY in fee.
- G. As consideration for the benefits gained by DEVELOPER from the vested rights acquired pursuant to the Development Agreement Statute, CITY is requiring that DEVELOPER construct and install as part of development of the PROJECT certain public improvements and provide other public benefits.

AGREEMENT

THE PARTIES MUTUALLY AGREE AS FOLLOWS:

1. DURATION. This Agreement and Land Use Entitlements described in Section 2 shall expire four (4) years from the Effective Date, unless any duty specified remains executory, in which case this Agreement may be renewed for a successive one year term at discretion of CITY, pursuant to law, until all duties are performed. The effective date of this Agreement shall begin on the date first identified above.
2. Permitted Uses/Land Use Entitlements. The following uses are permitted on the PROPERTY: A 4-story, 10-unit work-live development. The units range in size from 2,330 square feet to 3,168 square feet. The PROJECT has been granted the following land use entitlements: Site Plan No. SP-022-2016, Conditional Use Permit No. CUP-065-2016, and Lot Line Adjustment No. LLA-011-2016 (subject to associated conditions of approval). The PROJECT is subject to the development standards of the AR (Adaptive Reuse) zoning requirements of Chapter 18, of Title 9 of the City's Municipal Code and the Conditions of Approval to Site Plan No. SP-022-2016, Conditional Use Permit No. CUP-065-2016, and Lot Line Adjustment No. LLA-011-2016.

3. Density/Intensity. The density or intensity of the PROJECT is as follows: 4-story, work/live development consisting of 10 units with related improvements on a .69 acre site.
4. Maximum Height and Building Size. The maximum height and building sizes are as follows: The maximum building height shall be four (4) stories with an overall height not to exceed 46'-9" and the building area is comprised of 10 work/live units ranging in size from 2,330 square feet to 3,168 square feet, as indicated on the site plan and elevations.
5. Reservation or Dedication. The reservation of easements or dedication of property to the CITY to allow the construction of the proposed residential development shall be as shown on and/or conditioned in the approved Site Plan No. SP-022-2016, Conditional Use Permit No. CUP-065-2016, and Lot Line Adjustment No. LLA-011-2016.
6. Improvements. The improvements described in Planning Commission Resolution No. 5858-16 shall be constructed prior to the occupancy of the proposed development or the issuance of any certificate of occupancy for any unit of the development, all in accordance with the terms and conditions of Site Plan No. SP-022-2016, Conditional Use Permit No. CUP-065-2016, and Lot Line Adjustment No. LLA-011-2016.
7. Scope of PROJECT. The PROJECT shall consist of a work-live project consisting of 10-units that range in size from 2,330 square feet to 3,168 square feet, for a total of 10-units with related improvements.
8. Resolution/Material Terms. All Conditions of Approval of SP-022-2016, Conditional Use Permit No. CUP-065-2016, and Lot Line Adjustment No. LLA-011-2016, as per Planning Commission Resolution No. 5858-16, attached hereto and incorporated herein as "Exhibit B," are material terms of this Agreement. Breach of any condition of approval shall be deemed to be a breach of this Development Agreement.
9. Development Agreement Payment. DEVELOPER shall pay a development agreement payment to the CITY as follows:
 - 9.1 Amount. \$750 per unit and shall be paid prior to issuance of any building permits.
 - 9.2 Amount. The DEVELOPER shall make a contribution of \$1,166 per unit toward construction of a Fire Station, including, but not limited to, related equipment, furnishings, and fixtures, etc., as part of this Development Agreement and shall be paid prior to issuance of any building permits.

- 9.3 Not to Exceed. Payment under this Agreement shall not exceed \$19,160.00.
10. City Agreement. CITY agrees that the sums to be paid to the CITY, pursuant to Paragraph 9, will reimburse CITY for the cost of certain CITY services required by the PROJECT that are not otherwise being reimbursed to CITY.
11. Payment Due Date. The payment amount of \$19,160.00 shall be due and payable prior to the issuance of building permits for the PROJECT.
12. Termination Provisions. This Agreement may be terminated upon the happening of any of the following events:
- A. Failure of DEVELOPER to perform any of the provisions of this Agreement, or
 - B. Mutual agreement of the parties.
13. Periodic Review. CITY's Director of Community Development shall review DEVELOPER'S performance every twelve (12) months at the anniversary of the adoption of this Agreement. DEVELOPER shall demonstrate good faith compliance with the terms of this Agreement. If as a result of the review, CITY's Community Development Director determines that DEVELOPER has not demonstrated good faith compliance with this Agreement, CITY shall hold a public hearing before CITY's City Council. If, following such public hearing, CITY's City Council finds and determines, based upon substantial evidence, that DEVELOPER has not complied in good faith with terms or conditions of this Agreement, CITY may terminate the Agreement.
14. City Discretion. So long as the Agreement remains in effect, DEVELOPER shall have the full vested right to construct and complete development of the PROJECT and the use of the PROPERTY consistent with the land use entitlements identified in Paragraph 2. Otherwise, CITY retains its right and discretion, under all applicable Codes, to approve or disapprove any item related to this PROJECT that it has not specifically agreed to via this Agreement. DEVELOPER acknowledges that it shall comply with all CITY requirements for applications and permits of any nature that apply to the PROJECT and the PROPERTY and that this Agreement does not relieve DEVELOPER of the necessity of filing applications for and obtaining any such permits.
15. Improvement Schedule. The following improvements shall be constructed by the stated dates:

All repairs and improvements to the public right-of-way required pursuant to Planning Commission Resolution No. 5858-16 shall be completed prior to the issuance of any certificates of occupancy or release of any public utilities.

16. Developer Breach. Failure of DEVELOPER to construct improvements as specified, or to pay amounts specified in a timely fashion, shall result in the withholding of building permits, any other permit or certificate of occupancy until the breach is remedied.
17. Non-Liability of Officials and Employees of the City. No official or employee of CITY shall be personally liable to DEVELOPER in the event of any default or breach by CITY, or for any amount that will become due to DEVELOPER, or any obligation under the terms of this Agreement.
18. Notices. All notices shall be personally delivered or mailed to the below listed address, or to such other address as may be designated by written notice. These addresses shall be used for delivery of service of process.
 - A. Address of DEVELOPER is as follows:
Tony Lam
9741 Bolsa Avenue, #201
Westminster, CA 92683
 - B. Address of CITY is as follows:
City of Garden Grove
11222 Acacia Parkway
Garden Grove, CA 92840
19. DEVELOPER'S Proposal. The PROJECT shall include DEVELOPER's proposal, as modified by Planning Commission and City Council, including all Conditions of Approval contained in Planning Commission Resolution No. 5858-16, which shall be incorporated herein by this reference. In the event of any inconsistency between terms of the proposal and this Agreement, the terms of this Agreement shall govern.
20. Licenses, Permits, Fees, and Assessments. At its sole expense, DEVELOPER shall obtain all licenses, permits, and approvals as may be required by this Agreement, or by the nature of the PROJECT.
21. Time of Essence. Time is of the essence in the performance of this Agreement.
22. Successor's In Interest. The provisions of this Agreement shall be binding upon and inure to successors in interest of the parties and shall be specifically binding upon and for the benefit of any future lessees or other owners of an interest in PROPERTY.

23. Authority to Execute. The persons executing this Agreement on behalf of the parties warrant that they are duly authorized to execute this Agreement and that by executing this Agreement, the parties are formally bound.
24. Indemnification. DEVELOPER agrees to protect, defend, and hold harmless CITY and its elective or appointive boards, officers, agents, and employees from any and all claims, liabilities, expenses or damages of any nature, including attorneys' fees, for injury or death of any person, or damage to property, or interference with use of property, arising out of, or in any way connected with performance of the Agreement by DEVELOPER, DEVELOPER'S agents, officers or employees, or contractors or subcontractors hired by DEVELOPER.
25. Modification. This Agreement constitutes the entire agreement between the parties and supersedes any previous agreements, oral or written, regarding the subject matter set forth herein. This Agreement may be modified only by subsequent mutual written agreement executed by CITY and the DEVELOPER and approved by CITY in accordance with the Development Agreement Statute.
26. Recordation. The City Clerk shall cause this Agreement to be recorded against the PROPERTY within ten (10) days of its Effective Date.
27. Remedies. The breach or default of any term or provision of this Agreement by either party shall give the nondefaulting party the right to proceed with any and all remedies set forth in this Agreement, including an action for damages, an action or proceeding at law or in equity to require the defaulting party to perform its obligations and covenants under this Agreement or to enjoin acts or things which may be unlawful or in violation of the provisions of this Agreement, and the right to terminate this Agreement.
28. Force Majeure. Subject to the party's compliance with the notice requirements as set forth below, performance by either party hereunder shall be deemed to be in default, and all performance and other dates specified in this Agreement shall be extended, where delays or default are due to causes beyond the control and without the fault of the party claiming an extension of time to perform, which may include, without limitation, the following: war, insurrection, strikes, lockouts, riots, floods, earthquakes, fires, assaults, acts of God, acts of the public enemy, epidemics, quarantine restrictions, freight embargoes, lack of transportation, governmental restrictions or priority, litigation, unusually severe weather, inability to secure necessary labor, material or tools, acts or omissions of the other party, or acts or failures to act of any public or governmental entity (except that the City's acts or failure to act shall not excuse performance of the City hereunder). An extension of the time for any such cause shall be for the period of the enforced delay and shall commence to run from the time of the commencement of the cause, if notice

by the party claiming such extension is sent to the other party within thirty (30) days of the commencement of the cause.

29. Attorney's Fees. In addition to any other remedies provided hereunder or available pursuant to law, if either party brings an action or proceeding to enforce, protect or establish any right or remedy hereunder, the prevailing party shall be entitled to recover from the other party its costs of suit and reasonable attorney's fees.
30. Remedies Cumulative. No right, power, or remedy given by the terms of this Agreement is intended to be exclusive of any other right, power, or remedy; and each other and every such right, power, remedy shall be cumulative and in addition to every other right, power, or remedy given by the terms of any such instrument, or by any statute or otherwise.
31. Waiver of Terms and Conditions. The CITY may, in its sole discretion, waive in writing any of the terms and conditions of this Agreement. Waivers of any covenant, term, or condition contained herein shall not be construed as a waiver of any subsequent breach of the same covenant, term, or condition.
32. Non-Liability of City Officials and Employees. No member, official, employee or agent of the CITY shall be personally liable to the DEVELOPER, or any successor in interest, in the event of any default or breach by the CITY or for any amount that may become due to the DEVELOPER or its successors, or on any obligations under the terms of this Agreement.

[SIGNATURES ON FOLLOWING PAGE]

IN WITNESS WHEREOF, these parties have executed this Agreement on the day and year shown below.

Date: _____

"CITY"

**CITY OF GARDEN GROVE, a
municipal corporation**

By: _____

Its: _____

ATTEST:

CITY CLERK

DATE: _____

"DEVELOPER"

TONY LAM, an individual

By: _____

Date: _____

(Signature must be notarized.)

**JENNIE DO, as Trustee of Jennie Do
Revocable Trust**

By: _____

Date: _____

(Signature must be notarized.)

APPROVED AS TO FORM:

Garden Grove City Attorney

Date: _____

If DEVELOPER is a corporation, a Corporate Resolution and/or Corporate Seal is required. If a partnership, Statement of Partnership must be submitted to CITY.

EXHIBIT "A"

LEGAL DESCRIPTION OF PROPERTY

PARCEL 1

LOT 17 OF TRACT NO. 412 IN THE CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 16, PAGE 17 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 2

LOTS 7 AND 8 OF TRACT NO. 412 IN THE CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 16, PAGE 17 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 3

LOTS 9 AND 10 OF TRACT NO. 412 IN THE CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 16, PAGE 17 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXHIBIT "B"

CONDITIONS OF APPROVAL

MITIGATION MONITORING AND REPORTING PROGRAM

**MIXED-USE DEVELOPMENT
10641 & 10661 GARDEN GROVE BLVD. &
10642 PEARL ST.
GARDEN GROVE, CALIFORNIA**



LEAD AGENCY:

**CITY OF GARDEN GROVE
PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT
1600 WEST BEVERLY BOULEVARD
GARDEN GROVE, CA 90640**

REPORT PREPARED BY:

**BLODGETT BAYLOSIS ENVIRONMENTAL PLANNING
16388 EAST COLIMA ROAD, SUITE 206J
HACIENDA HEIGHTS, CALIFORNIA 91745**

APRIL 12, 2016

GGRO 006

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1. OVERVIEW OF THE PROJECT

The proposed project is a request to construct ten work-live units within a 0.69-acre site. The project's implementation will necessitate the removal of an existing single-family unit fronting on Pearl Street and two existing commercial structures that have frontage along Garden Grove Boulevard. The new building that will be constructed will contain the ten work-live rental units. The new building will consist of four levels with a maximum height of approximately 47 feet. The total gross floor area of the proposed project will be 28,424 square feet. A total of 32 parking spaces, including two ADA stalls, will be provided. Access to the project will be possible with a driveway connection along the north side of Garden Grove Boulevard and a second driveway connection along the south side of Pearl Street. The project Applicant is Mr. Lam and Ms. Do with offices at 9741 Bolsa Avenue, Suite 201, Westminster, California, 92843.

2. FINDINGS OF THE ENVIRONMENTAL ASSESSMENT

The following findings can be made regarding the Mandatory Findings of Significance set forth in Section 15065 of the CEQA Guidelines based on the results of this Initial Study:

- The proposed project *will not* have a significant effect on the environment.
- The proposed project *will not* have the potential to achieve short-term goals to the disadvantage of long-term environmental goals.
- The proposed project *will not* have impacts that are individually limited, but cumulatively considerable, when considering planned or proposed development in the immediate vicinity.
- The proposed project *will not* have environmental effects that will adversely affect humans, either directly or indirectly.

3. FINDINGS RELATED TO MITIGATION MONITORING

Section 21081(a) of the Public Resources Code states that findings must be adopted by the decision-makers coincidental to the approval of a Mitigated Negative Declaration. In accordance with the requirements of Section 21081(a) and 21081.6 of the Public Resources Code, the following additional findings may be made:

- A mitigation monitoring and reporting program *will be* required;
- Site plans and/or building plans, submitted for approval by the responsible monitoring agency, shall include the required standard conditions; and,
- An accountable enforcement agency or monitoring agency *shall* be identified for the mitigations adopted as part of the decision-maker's final determination.

4. MITIGATION MEASURES

The environmental analysis determined that the proposed project is located in an area that has a high sensitivity for cultural resources. As a result, the following mitigation is required:

Mitigation Measure No. 1 (Cultural Resources Impacts). The project building contractors will be required to obtain the services of a qualified Native American Monitor during construction-related ground

disturbance activities. Ground disturbance is defined by the Tribal Representatives from the Gabrielino Band of Mission Indians, Kizh Nation as activities that include, but are not limited to, pavement removal, pot-holing or auguring, boring, grading, excavation, and trenching, within the project area. The monitor(s) must be approved by the tribal representatives and will be present on-site during the construction phases that involve any ground disturbing activities. The Native American Monitor will complete monitoring logs on a daily basis. The logs will provide descriptions of the daily activities, including construction activities, locations, soil, and any cultural materials identified. The Monitor will photo-document the ground disturbing activities. The monitors must also have Hazardous Waste Operations and Emergency Response (HAZWOPER) certification. In addition, the monitors will be required to provide insurance certificates, including liability insurance, for any archaeological resource(s) encountered during grading and excavation activities, pertinent to the provisions outlined in the California Environmental Quality Act, California Public Resources Code Division 13, Section 21083.2 (a) through (k). The on-site monitoring shall end when the project site grading and excavation activities are completed, or when the monitor has indicated that the site has a low potential for archeological resources.

5. MITIGATION MONITORING

The monitoring and reporting on the implementation of these measures, including the period for implementation, monitoring agency, and the monitoring action, are identified in Table 1 provided below.

TABLE 1 MITIGATION-MONITORING PROGRAM			
Measure	Enforcement Agency	Monitoring Phase	Verification
<p>Mitigation Measure No. 1 (Cultural Resources Impacts). The project building contractors will be required to obtain the services of a qualified Native American Monitor during construction-related ground disturbance activities. Ground disturbance is defined by the Tribal Representatives from the Gabrielino Band of Mission Indians, Kizh Nation as activities that include, but are not limited to, pavement removal, pot-holing or auguring, boring, grading, excavation, and trenching, within the project area. The monitor(s) must be approved by the tribal representatives and will be present on-site during the construction phases that involve any ground disturbing activities. The Native American Monitor will complete monitoring logs on a daily basis. The logs will provide descriptions of the daily activities, including construction activities, locations, soil, and any cultural materials identified. The Monitor will photo-document the ground disturbing activities. The monitors must also have Hazardous Waste Operations and Emergency Response (HAZWOPER) certification. In addition, the monitors will be required to provide insurance certificates, including liability insurance, for any archaeological resource(s) encountered during grading and excavation activities, pertinent to the provisions outlined in the California Environmental Quality Act, California Public Resources Code Division 13, Section 21083.2 (a) through (k). The on-site monitoring shall end when the project site grading and excavation activities are completed, or when the monitor has indicated that the site has a low potential for archeological resources.</p>	<p>City of Garden Grove Community Development Department and the Gabrielino Band of Mission Indians, Kizh Nation</p>	<p><i>Prior to the start of any construction related activities</i></p> <p>•</p> <p>Mitigation ends when ground disturbance is completed or otherwise noted by the tribal representative.</p>	<p>Date:</p> <p>Name & Title:</p>

**MITIGATED NEGATIVE DECLARATION
AND INITIAL STUDY**

**MIXED-USE DEVELOPMENT
10641 & 10661 GARDEN GROVE BLVD. &
10642 PEARL ST.
GARDEN GROVE, CALIFORNIA**



GARDEN GROVE

LEAD AGENCY:

**CITY OF GARDEN GROVE
COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING SERVICES DIVISION
11222 ACACIA PARKWAY
GARDEN GROVE, CA 92840**

REPORT PREPARED BY:

**BLODGETT BAYLOSIS ENVIRONMENTAL PLANNING
16388 E. COLIMA ROAD, SUITE 206J
HACIENDA HEIGHTS, CALIFORNIA 91745**

MARCH 15, 2016

GGR0006

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GARDEN GROVE

MITIGATED NEGATIVE DECLARATION

Title of Project: Mixed Use Development (10641 & 10661 Garden Grove Blvd. and 10642 Pearl St.).

Brief Description of Project: The proposed project is a request to construct ten work-live units within a 0.69-acre site. The project's implementation will necessitate the removal of an existing single-family unit fronting on Pearl Street and two existing commercial structures that have frontage along Garden Grove Boulevard. The new building that will be constructed will contain the ten work-live units. The ten new work-live units will be rental units. The new building will consist of four levels with a maximum height of approximately 47 feet. The total gross floor area of the proposed project will be 28,424 square feet. A total of 32 parking spaces, including two ADA stalls, will be provided. Access to the project will be possible with a driveway connection along the north side of Garden Grove Boulevard and a second driveway connection along the south side of Pearl Street. Landscaping, totaling 4,410 square feet or 14.7% of the site area, will be provided along the project site's Garden Grove Boulevard frontage and around the rear surface parking area. The discretionary approvals that are being requested by the project Applicant include a lot line adjustment, the approval of a Conditional Use Permit, a site plan approval to construct ten work-live units, and the approval of the Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program.

Project Location (see also attached map): The 0.69-acre project site is located within the central portion of the City of Garden Grove. The proposed project site is located on the north side of Garden Grove Boulevard and on the south side of Pearl Street. The project site currently consists of three separate parcels. The legal addresses of the three parcels include 10641 Garden Grove Boulevard, 10661 Garden Grove Boulevard, and 10642 Pearl Street. The corresponding Assessor's Parcel Numbers include 089-092-026, 089-092-025, and 089-092-006.

Name of the Project Proponent: The project Applicant is Mr. Lam and Ms. Do with offices at 9741 Bolsa Avenue, Suite 201, Westminster, California, 92843.

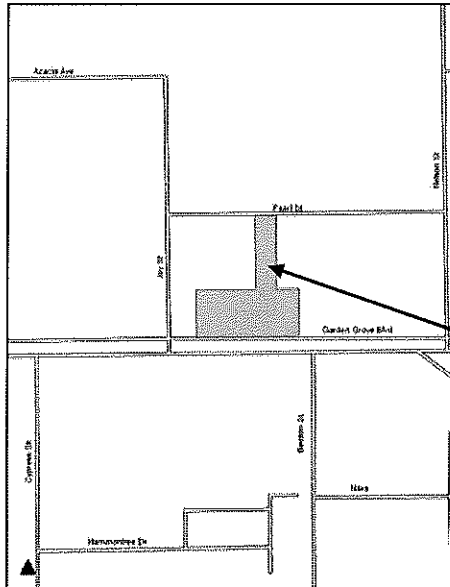
Cortese List: The project does does not involve a site located on the Cortese list.

Project Impacts: The Initial Study/MND found that the environmental effects from the project would be less than significant with the incorporation of mitigation measures.

Mitigation Measures: The mitigation measures required for the project are outlined below:

Mitigation Measure No. 1 (Cultural Resources Impacts). The project building contractors will be required to obtain the services of a qualified Native American Monitor during construction-related ground disturbance activities. Ground disturbance is defined by the Tribal Representatives from the Gabrielino Band of Mission Indians, Kizh Nation as activities that include, but are not limited to, pavement removal, pot-holing or auguring, boring, grading, excavation, and trenching, within the

project area. The monitor(s) must be approved by the tribal representatives and will be present on-site during the construction phases that involve any ground disturbing activities. The Native American Monitor will complete monitoring logs on a daily basis. The logs will provide descriptions of the daily activities, including construction activities, locations, soil, and any cultural materials identified. The Monitor will photo-document the ground disturbing activities. The monitors must also have Hazardous Waste Operations and Emergency Response (HAZWOPER) certification. In addition, the monitors will be required to provide insurance certificates, including liability insurance, for any archaeological resource(s) encountered during grading and excavation activities, pertinent to the provisions outlined in the California Environmental Quality Act, California Public Resources Code Division 13, Section 21083.2 (a) through (k). The on-site monitoring shall end when the project site grading and excavation activities are completed, or when the monitor has indicated that the site has a low potential for archeological resources.



Project Site



PROJECT LOCATION MAP
SOURCE: QUANTUM GIS AND GOOGLE MAPS

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ENVIRONMENTAL CHECKLIST FORM

1. PROJECT TITLE: Mixed-Use Development (10641 & 10661 Garden Grove Blvd. and 10642 Pearl St.).

2. LEAD AGENCY:

City of Garden Grove
11222 Acacia Parkway
P.O. Box 3070
Garden Grove, California 92840

3. CONTACT PERSON:

Lee Marino, Senior Planner
Planning Services Division
City of Garden Grove
(714) 741-5312

4. PROJECT LOCATION:

The proposed project site is located between Garden Grove Boulevard (on the south) and Pearl Street (on the north). The project site currently consists of three separate parcels. The legal addresses of the three parcels include 10641 Garden Grove Boulevard, 10661 Garden Grove Boulevard, and 10642 Pearl Street. The corresponding Assessor's Parcel Numbers include 089-092-026, 089-092-025; and 089-092-006. The 0.69-acre project site is located in the central portion of the City of Garden Grove.

5. PROJECT SPONSOR:

Mr. Lam and Ms. Do
9741 Bolsa Avenue, Suite 201,
Westminster, California, 92843.

6. ENVIRONMENTAL SETTING:

The project site is located in the midst of an urbanized area that includes commercial buildings and surface parking along the site's Garden Grove Boulevard frontage and a single-family unit along the Pearl Street frontage. These existing uses and the related improvements will be demolished to accommodate the proposed project. Commercial uses abut that portion of the project located along the Garden Grove Boulevard frontage while residential uses abut the northern portion of the project site along the Pearl Street frontage.

7. GENERAL PLAN DESIGNATION:

The project site is designated as *Industrial/Residential Mixed Use 2* in the City of Garden Grove General Plan. The properties located on either side of the project site and along the north side of Pearl Street are also designated as *Industrial/Residential Mixed Use 2*. Finally, the properties located to the south and opposite the project site, on the south side of Garden Grove Boulevard, are designated as *Light Commercial*. No General Plan Amendment is required to accommodate the proposed project.

8. ZONING:

The project site is zoned *AR (Adaptive Reuse)*. The properties located to the north, east, and west are also zoned *AR*. The parcels located to the south of the project site, along the south side of Garden Grove Boulevard, are zoned *GGMU3 (Garden Grove Mixed Use 3)*. No Zone Change is required to accommodate the proposed use.

9. DESCRIPTION OF PROJECT:

The proposed project is a request to construct ten work-live units within a 0.69-acre site. The ten work-live units will be rental units. The project's implementation will necessitate the removal of an existing single-family unit located along Pearl Street and the existing commercial structures located on the Garden Grove Boulevard frontage. The new building will include four levels and the building's maximum height will be approximately 47 feet. The total gross floor area of the proposed new building will be 28,424 square feet. A total of 32 parking spaces will be provided including two ADA stalls. Access to the project will be provided by a driveway connection on the north side of Garden Grove Boulevard and a second driveway connection on the south side of Pearl Street. Landscaping, totaling 4,410 square feet or 14.7% of the total site area, will be provided along the project site's Garden Grove Boulevard frontage and along the perimeter of the rear parking area. The discretionary approvals that are being requested by the project Applicant include a lot line adjustment, the approval of a Conditional Use Permit, a site plan approval to construct ten work-live units, approval of a Development Agreement for the mitigation fees, and the approval of the Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program.

10. OTHER AGENCIES WHOSE APPROVAL (AND PERMITS) IS REQUIRED:

City of Garden Grove Planning Commission
 City of Garden Grove City Council

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or "Potentially Significant Unless Mitigated," as indicated by the checklist provided herein in Section 1.3 of the attached Initial Study.

<input type="checkbox"/>	Aesthetics	<input type="checkbox"/>	Agriculture & Forest Resources	<input type="checkbox"/>	Air Quality
<input type="checkbox"/>	Biological Resources	<input checked="" type="checkbox"/>	Cultural Resources	<input type="checkbox"/>	Geology & Soils
<input type="checkbox"/>	Greenhouse Gas Emissions	<input type="checkbox"/>	Hazards & Hazardous Materials	<input type="checkbox"/>	Hydrology & Water Quality
<input type="checkbox"/>	Land Use & Planning	<input type="checkbox"/>	Mineral Resources	<input type="checkbox"/>	Noise
<input type="checkbox"/>	Population & Planning	<input type="checkbox"/>	Public Services	<input type="checkbox"/>	Recreation
<input type="checkbox"/>	Transportation & Circulation	<input type="checkbox"/>	Utilities & Service Systems	<input type="checkbox"/>	Mandatory Findings of Significance

DETERMINATION

<input type="checkbox"/>	I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
<input checked="" type="checkbox"/>	I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
<input type="checkbox"/>	I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
<input type="checkbox"/>	I find that the proposed project MAY have a “potentially significant impact” or “potentially significant unless mitigated” impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
<input type="checkbox"/>	I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

 Signature:

 Date:

 Printed Name

For:
City of Garden Grove

EVALUATION OF ENVIRONMENTAL IMPACTS:

1. A brief explanation is required for all answers except “No Impact” answers that are adequately supported by the information sources a lead agency cited in the parentheses following each question. A “No Impact” answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A “No Impact” answer should be explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
2. All answers must take into account the whole of the action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
3. Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. “Potentially Significant Impact” is appropriate if there is substantial evidence that an effect may be significant. If there are one or more “Potentially Significant Impact” entries when the determination is made, an EIR is required.
4. Negative Declaration: Less Than Significant With Mitigation Incorporated” applies where the incorporation of mitigation measures has reduced an effect from “Potentially Significant Impact” to a “Less than Significant Impact.” The lead agency must describe the mitigation measures and briefly explain how they reduce the effect to a less than significant level (mitigation measures from “Earlier Analysis,” as described in (5) below, may be cross-referenced).
5. Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration. Section 15063(c)(3)(D). In this case, a brief discussion should identify the following:
 - a) Earlier Analysis Used. Identify and state where they are available for review.
 - b) Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such efforts were addressed by mitigation measures based on the earlier analysis.
 - c) Mitigation Measures. For effects that are “Less than Significant with Mitigation Measures Incorporated,” describe the mitigating measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
6. Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g. general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.

7. Supporting Information Sources: A source list should be attached, and other sources used or individuals contacted should be cited in the discussion.
8. This is only a suggested form, and lead agencies are free to use different formats; however, lead agencies should normally address the questions from this checklist that are relevant to a project's environmental effects in whatever format is elected.
9. The explanation of each issue should identify:
 - a) The significance criteria or threshold, if any, used to evaluate each question; and,
 - b) The mitigation measure identified, if any, to reduce the impact to less than significant.

The potential impacts are summarized in Table 1-1 (Initial Study Checklist) and Section 3 of the attached Initial Study.



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SECTION 1 INTRODUCTION

1.1 PURPOSE OF THE INITIAL STUDY

This Initial Study evaluates the environmental impacts associated with the construction and subsequent occupancy of ten work-live units within a 0.69-acre site. The project's implementation will necessitate the removal of an existing single-family unit fronting on Pearl Street and two existing commercial structures located along the Garden Grove Boulevard frontage. The new building will consist of four levels and will have a maximum height of approximately 47 feet. The total gross floor area of the new building will be 28,424 square feet. A total of 32 parking spaces, including two ADA stalls, will be provided. Access to the project will be provided by a driveway connection on the north side of Garden Grove Boulevard and a second driveway connection on the south side of Pearl Street. Landscaping, totaling 4,410 square feet or 14.7% of the site area, will be provided along the project site's Garden Grove Boulevard frontage and around the rear parking area.¹ The proposed project is described further in Section 2.

The proposed development is considered to be a project under the California Environmental Quality Act (CEQA).² The City of Garden Grove is the designated *Lead Agency* for the proposed project and the City will be responsible for the project's environmental review. Section 21067 of CEQA defines a Lead Agency as the public agency that has the principal responsibility for carrying out or approving a project that may have a significant effect on the environment.³ The project Applicants are Mr. Lam and Ms. Jennie Do, with offices located at 9741 Bolsa Avenue, Suite 201, Westminster, California 92883.

As part of the proposed project's environmental review, the City of Garden Grove authorized the preparation of this Initial Study.⁴ The primary purpose of CEQA is to ensure that decision-makers and the public understand the environmental impacts of a specific action or project. The purpose of this Initial Study is to ascertain whether the proposed project will have the potential for significant adverse impacts on the environment. Pursuant to the CEQA Guidelines, additional purposes of this Initial Study include the following:

- To provide the City of Garden Grove with information to use as the basis for deciding whether to prepare an environmental impact report (EIR), mitigated negative declaration, or negative declaration for a project;
- To facilitate the project's environmental assessment early in the design and development of the proposed project;
- To eliminate unnecessary EIRs; and,
- To determine the nature and extent of any impacts associated with the proposed project.

¹ George Behnam, Architect. Design Package [*Mixed Use Development*], 10641 & 10661 Garden Grove Blvd. & 10642 Pearl St. April 21, 2015.

² California, State of. *Title 14, California Code of Regulations. Chapter 3. Guidelines for the Implementation of the California Environmental Quality Act (CEQA Guidelines)*. § 15060 (b).

³ California, State of. *California Public Resources Code. Division 13, Chapter 2.5. Definitions*. § 21067.

⁴ *Ibid.* (CEQA Guidelines) § 15050.

Although this Initial Study was prepared with consultant support, the analysis, conclusions, and findings made as part of its preparation fully represent the independent judgment and position of the City of Garden Grove, in its capacity as the Lead Agency. The City also determined, as part of this Initial Study's preparation, that a Mitigated Negative Declaration is the appropriate environmental document for the project's environmental review pursuant to CEQA.

This Initial Study and the *Notice of Intent to Adopt a Mitigated Negative Declaration* will be forwarded to responsible agencies, trustee agencies, and the public for review and comment. A 20-day public review period will be provided to allow these agencies and other interested parties to comment on the proposed project and the findings of this Initial Study.⁵

1.2 INITIAL STUDY'S ORGANIZATION

The following annotated outline summarizes the contents of this Initial Study:

- *Section 1 Introduction*, provides the procedural context surrounding this Initial Study's preparation and insight into its composition. This section also includes a checklist that summarizes the findings of this Initial Study.
- *Section 2 Project Description*, provides an overview of the existing environment as it relates to the project site and describes the proposed project's physical and operational characteristics.
- *Section 3 Environmental Analysis*, includes an analysis of potential impacts associated with the proposed project's construction and the subsequent occupancy.
- *Section 4 Findings*, indicates the conclusions of the environmental analysis and the Mandatory Findings of Significance.
- *Section 5 References*, identifies the sources used in the preparation of this Initial Study.

1.3 INITIAL STUDY CHECKLIST

The environmental analysis provided in Section 3 of this Initial Study indicates that the proposed project will not result in any unmitigable, significant impacts on the environment. For this reason, the City of Garden Grove determined that a Mitigated Negative Declaration is the appropriate CEQA document for the proposed project. The findings of this Initial Study are summarized in Table 1-1 provided on the following pages.

⁵ California, State of. *California Public Resources Code. Division 13, Chapter 2.5. Definitions. Chapter 2.6, Section 2109(b).* 2000.

**Table 1-1
 Initial Study Checklist**

Section	Description of Issue	Potentially Significant Impact	Less than Significant Impact with Mitigation	Less Than Significant Impact	No Impact
Section 3.1 Aesthetic Impacts					
3.1.A	Would the project have a substantial adverse effect on a scenic vista?				X
3.1.B	Would the project substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a State scenic highway?				X
3.1.C	Would the project substantially degrade the existing visual character or quality of the site and its surroundings?				X
3.1.D	Would the project create a new source of substantial light or glare which would adversely affect day- or –night-time views in the area?			X	
Section 3.2 Agricultural & Forestry Resources Impacts					
3.2.A	Would the project convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?				X
3.2.B	Would the project conflict with existing zoning for agricultural use, or a Williamson Act Contract?				X
3.2.C	Would the project conflict with existing zoning for or cause rezoning of, forest land (as defined in Public Resources Code section §12220(g)), timberland (as defined by Public Resources Code section §4526), or timberland zoned Timberland Production (as defined by Government Code section §51104(g))?				X
3.2.D	Would the project result in the loss of forest land or the conversion of forest land to a non-forest use?				X
3.2.E	Would the project involve other changes in the existing environment which, due to their location or nature, could result in the conversion of farmland to non-agricultural use or the conversion of forest land to a non-forest use?				X
Section 3.3 Air Quality Impacts					
3.3.A	Would the project conflict with or obstruct implementation of the applicable air quality plan?				X
3.3.B	Would the project violate any air quality standard or contribute substantially to an existing or projected air quality violation?			X	

**Table 1-1
 Initial Study Checklist**

Section	Description of Issue	Potentially Significant Impact	Less than Significant Impact with Mitigation	Less Than Significant Impact	No Impact
3.3.C	Would the project result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable Federal or State ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?			X	
3.3.D	Would the project expose sensitive receptors to substantial pollutant concentrations?				X
3.3.E	Would the project create objectionable odors affecting a substantial number of people?				X
Section 3.4 Biological Resources Impacts					
3.4.A	Would the project, either directly or through habitat modifications, have a substantial adverse effect on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U. S. Fish and Wildlife Service?				X
3.4.B	Would the project have a substantial adverse effect on any riparian habitat or other sensitive natural communities identified in local or regional plans, policies, regulations or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?				X
3.4.C	Would the project have a substantial adverse effect on Federally protected wetlands as defined by §404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?				X
3.4.D	Would the project interfere substantially with the movement of any native resident or migratory fish, wildlife species or with established native resident or migratory life corridors, or impede the use of native wildlife nursery sites?				X
3.4.E	Would the project conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?				X
3.4.F	Would the project conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional or State habitat conservation plans?				X
Section 3.5 Cultural Resources Impacts					
3.5.A	Would the project cause a substantial adverse change in the significance of a historical resource as defined in §15064.5 of the CEQA Guidelines?				X

**Table 1-1
 Initial Study Checklist**

Section	Description of Issue	Potentially Significant Impact	Less than Significant Impact with Mitigation	Less Than Significant Impact	No Impact
3.5.B	Would the project cause a substantial adverse change in the significance of an archaeological resource pursuant to §15064.5 of the CEQA Guidelines?		X		
3.5.C	Would the project, directly or indirectly, destroy a unique paleontological resource, site, or unique geologic feature?				X
3.5.D	Would the project disturb any human remains, including those interred outside of formal cemeteries?				X
Section 3.6 Geology & Soils Impacts					
3.6.A	Would the project expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving rupture of a known earthquake fault (as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault), ground-shaking, liquefaction, or landslides?			X	
3.6.B	Would the project result in substantial soil erosion or the loss of topsoil?				X
3.6.C	Would the project be located on a soil or geologic unit that is unstable, or that would become unstable as a result of the project, and potentially result in on-site or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse?			X	
3.6.D	Would the project be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (2012) creating substantial risks to life or property?			X	
3.6.E	Would the project be located on soils that are incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?				X
Section 3.7 Greenhouse Gas Emissions Impacts					
3.7.A	Would the project generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?			X	
3.7.B	Would the project conflict with an applicable plan, policy, or regulation adopted for the purpose of reducing emissions of greenhouse gases?			X	
Section 3.8 Hazards & Hazardous Materials Impacts					
3.8.A	Would the project create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?				X

**Table 1-1
 Initial Study Checklist**

Section	Description of Issue	Potentially Significant Impact	Less than Significant Impact with Mitigation	Less Than Significant Impact	No Impact
3.8.B	Would the project create a significant hazard to the public or the environment or result in reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?				X
3.8.C	Would the project emit hazardous emissions or handle hazardous or acutely hazardous materials, substances or waste within one-quarter mile of an existing or proposed school?				X
3.8.D	Would the project be located on a site which is included on a list of hazardous material sites compiled pursuant to Government Code §65962.5, and as a result, would it create a significant hazard to the public or the environment?				X
3.8.E	Would the project be located within an airport land use plan, or where such a plan has not been adopted, within two miles of a public airport or a public use airport, would the project result in a safety hazard for people residing or working in the project area?				X
3.8.F	Would the project be located within the vicinity of a private airstrip, result in a safety hazard for people residing or working in the project area?				X
3.8.G	Would the project impair implementation of, or physically interfere with an adopted emergency response plan or emergency evacuation plan?				X
3.8.H	Would the project expose people or structures to a significant risk of loss, injury or death involving wild land fire, including where wild lands are adjacent to urbanized areas or where residences are intermixed with wild lands?				X
Section 3.9 Hydrology & Water Quality Impacts					
3.9.A	Would the project violate any water quality standards or waste discharge requirements?			X	
3.9.B	Would the project substantially deplete groundwater supplies or interfere substantially with groundwater recharge in such a way that would cause a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?			X	
3.9.C	Would the project substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site?				X

**Table 1-1
 Initial Study Checklist**

Section	Description of Issue	Potentially Significant Impact	Less than Significant Impact with Mitigation	Less Than Significant Impact	No Impact
3.9.D	Would the project substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner which would result in flooding on- or off-site?				X
3.9.E	Would the project create or contribute runoff water, which would exceed the capacity of existing or planned storm water drainage systems or provide substantial additional sources of polluted runoff?				X
3.9.F	Would the project otherwise substantially degrade water quality?				X
3.9.G	Would the project place housing within a 100-year flood hazard area as mapped on a Federal Flood Hazard Boundary, Flood Insurance Rate Map, or other flood hazard delineation map?			X	
3.9.H	Would the project place within a 100-year flood hazard area structures which would impede or redirect flood flows?				X
3.9.I	Would the project expose people or structures to a significant risk of loss, injury, or death involving flooding, as a result of the failure of a levee or dam?			X	
3.9.J	Would the project result in inundation by seiche, tsunami, or mudflow?				X
Section 3.10 Land Use & Planning Impacts					
3.10.A	Would the project physically divide an established community?				X
3.10.B	Would the project conflict with an applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to, a general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?				X
3.10.C	Would the project conflict with any applicable habitat conservation or natural community conservation plan?				X
Section 3.11 Mineral Resources Impacts					
3.11.A	Would the project result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the State?				X
3.11.B	Would the project result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan, or other land use plan?				X

**Table 1-1
 Initial Study Checklist**

Section	Description of Issue	Potentially Significant Impact	Less than Significant Impact with Mitigation	Less Than Significant Impact	No Impact
Section 3.12 Noise Impacts					
3.12.A	Would the project result in exposure of people to, or generation of, noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?			X	
3.12.B	Would the project result in exposure of people to, or generation of, excessive ground-borne vibration or ground borne noise levels?			X	
3.12.C	Would the project result in substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?				X
3.12.D	Would the project result in substantial temporary or periodic increases in ambient noise levels in the project vicinity above levels existing without the project?			X	
3.12.E	For a project located with an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?				X
3.12.F	For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?				X
Section 3.13 Population & Housing Impacts					
3.13.A	Would the project induce substantial population growth in an area, either directly or indirectly?			X	
3.13.B	Would the project displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?				X
3.13.C	Would the project displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?				X
Section 3.14 Public Services Impacts					
3.14.A	Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, the construction of which would cause significant environmental impacts in order to maintain acceptable service ratios, response times, or other performance objectives in <i>fire protection services</i> ?			X	

**Table 1-1
 Initial Study Checklist**

Section	Description of Issue	Potentially Significant Impact	Less than Significant Impact with Mitigation	Less Than Significant Impact	No Impact
3.14.B	Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, the construction of which would cause significant environmental impacts in order to maintain acceptable service ratios, response times, or other performance objectives in <i>police protection services</i> ?			X	
3.14.C	Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, the construction of which would cause significant environmental impacts in order to maintain acceptable service ratios, response times, or other performance objectives in <i>school services</i> ?			X	
3.14.D	Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered public facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times, or other performance objectives for <i>parks</i> ?			X	
3.14.E	Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, the construction of which would cause significant environmental impacts in order to maintain acceptable service ratios, response times, or other performance objectives in <i>other public facilities</i> ?			X	
Section 3.15 Recreation Impacts					
3.15.A	Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?			X	
3.15.B	Would the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?				X
Section 3.16 Transportation & Circulation Impacts					
3.16.A	Would the project conflict with an applicable plan, ordinance, or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to, intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?			X	

**Table 1-1
 Initial Study Checklist**

Section	Description of Issue	Potentially Significant Impact	Less than Significant Impact with Mitigation	Less Than Significant Impact	No Impact
3.16.B	Would the project conflict with an applicable congestions management program, including but not limited to, level of service standards and travel demand measures, or other standards established by a County Congestion Management Agency for designated roads or highways?				X
3.16.C	Would the project result in a change in air traffic patterns, including either an increase in traffic levels or a change in the location that results in substantial safety risks?				X
3.16.D	Would the project substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?				X
3.16.E	Would the project result in inadequate parking capacity?				X
3.16.F	Would the project result in inadequate emergency access?				X
3.16.G	Would the project conflict with adopted policies, plans or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?				X
Section 3.17 Utilities Impacts					
3.17.A	Would the project exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?			X	
3.17.B	Would the project require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental impacts?			X	
3.17.C	Would the project require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?				X
3.17.D	Would the project have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?			X	
3.17.E	Would the project result in a determination by the wastewater treatment provider, which serves or may serve the project that it has inadequate capacity to serve the project's projected demand in addition to the provider's existing commitments?			X	
3.17.F	Would the project be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?			X	

**Table 1-1
 Initial Study Checklist**

Section	Description of Issue	Potentially Significant Impact	Less than Significant Impact with Mitigation	Less Than Significant Impact	No Impact
3.17.G	Would the project comply with Federal, State, and local statutes and regulations related to solid waste?				X
Section 3.18 Mandatory Findings of Significance. <i>The approval and subsequent implementation of the proposed project:</i>					
3.18.A	Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?				X
3.18.B	Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?				X
3.18.C	Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?				X



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SECTION 2 PROJECT DESCRIPTION

2.1 PROJECT LOCATION

The project site is located within the corporate boundaries of the City of Garden Grove which is located in the western portion of Orange County. Surrounding cities include Stanton on the west, Anaheim on the north, Orange and Santa Ana on the east, and Westminster and Santa Ana on the south.⁶ Regional access to the City is provided by the Garden Grove Freeway (State Route [SR] 22) that extends through the City in an east-west orientation. The location of Garden Grove in a regional context is shown in Exhibit 2-1. A Citywide map is provided in Exhibit 2-2.

The 0.69-acre project site is located in the central portion of the City. The proposed project site is located between Garden Grove Boulevard (on the south) and Pearl Street (on the north). The project site currently consists of three separate parcels. The legal addresses of the three parcels include 10641 Garden Grove Boulevard, 10661 Garden Grove Boulevard, and 10642 Pearl Street. The corresponding Assessor's Parcel Numbers include 089-092-026, 089-092-025; and 089-092-006.⁷ The project site is located approximately 2.63 miles east of Beach Boulevard, 0.52 miles west of Euclid Street, and 0.55 miles north of the Garden Grove Freeway (SR-22). The SR-22 Freeway provides the most direct regional freeway access to the site.⁸ A vicinity map is provided in Exhibit 2-3. A local map is provided in Exhibit 2-4.

2.2 ENVIRONMENTAL SETTING

The project site is located in the midst of an urbanized area that includes commercial development on the site's Garden Grove Boulevard frontage and a single-family unit on the Pearl Street frontage. These existing uses and the related improvements will be demolished to accommodate the proposed project. Commercial uses abut that portion of the project site located along the Garden Grove Boulevard frontage while residential uses abut the northern portion of the project site along the Pearl Street frontage. The dominant land uses located further north of the project site are manufacturing uses.⁹ Photographs of the project site are provided in Exhibits 2-5 through 2-7.

The project site is designated as *Industrial/Residential Mixed Use 2* in the City of Garden Grove General Plan. The properties located on either side of the project site and to the north are also designated as *Industrial/Residential Mixed Use*. Finally, the properties located to the south and opposite the project site, on the south side of Garden Grove Boulevard, are designated as *Light Commercial*. The project site is zoned *AR (Adaptive Reuse)*. The properties that surround the project site continuing north are also zoned *AR*.¹⁰ The parcels located to the south of the project site, along the south side of Garden Grove Boulevard, are zoned *GGMU3 (Garden Grove Mixed Use 3)*.

⁶ United States Geological Survey and Microsoft Research Maps. *The National Map, Garden Grove, California*.

⁷ George Behnam, Architect. Design Package [*Mixed Use Development*], 10641 & 10661 Garden Grove Blvd. & 10642 Pearl St. April 21, 2015.

⁸ Ibid.

⁹ Blodgett Baylosis Environmental Planning. *Site Survey* (Survey were completed on August 24 and 27, 2015.)

¹⁰ George Behnam, Architect. Design Package [*Mixed Use Development*], 10641 & 10661 Garden Grove Blvd. & 10642 Pearl St. April 21, 2015.

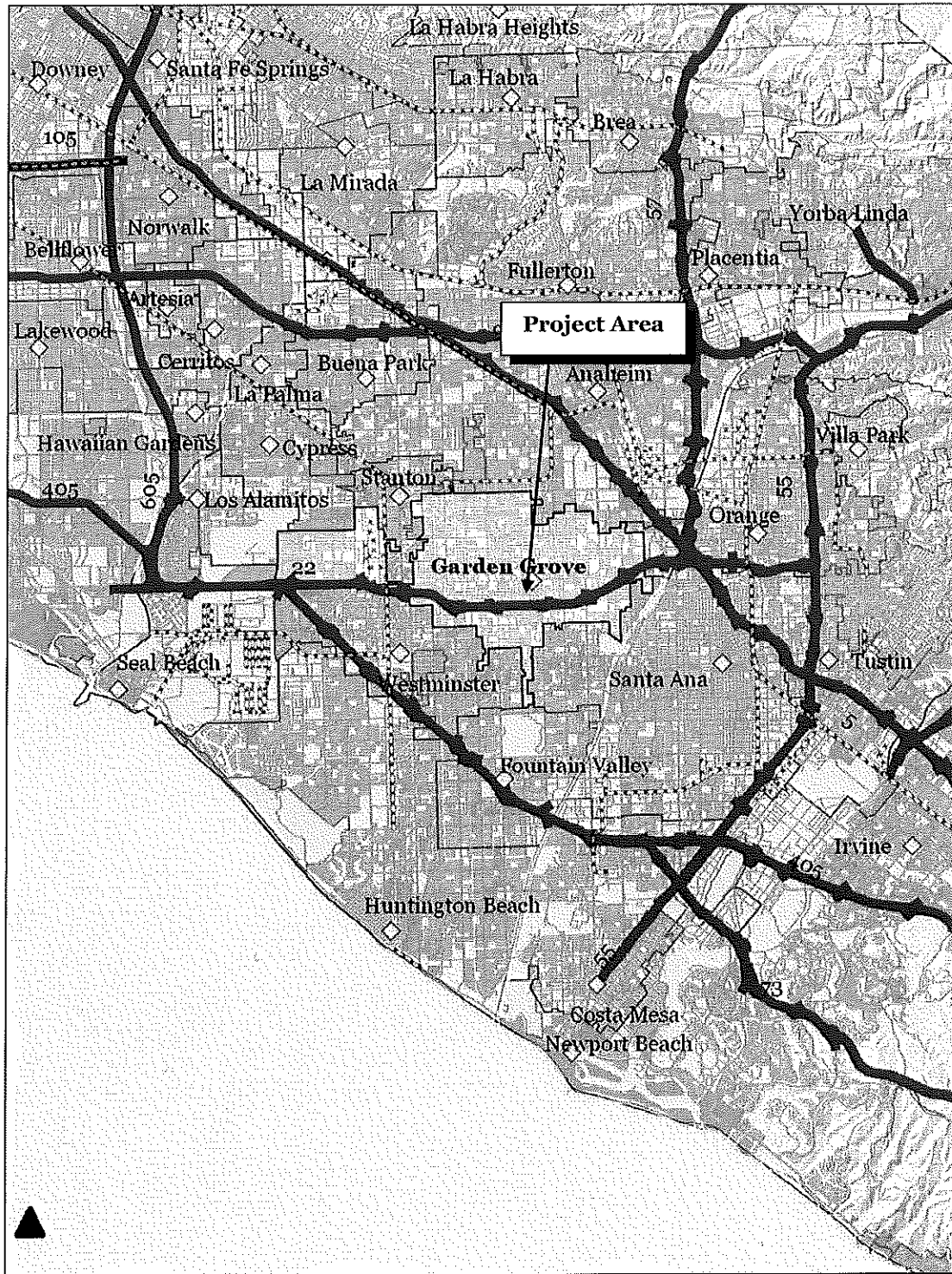


EXHIBIT 2-1
REGIONAL LOCATION MAP
SOURCE: QUANTUM GIS, 2015

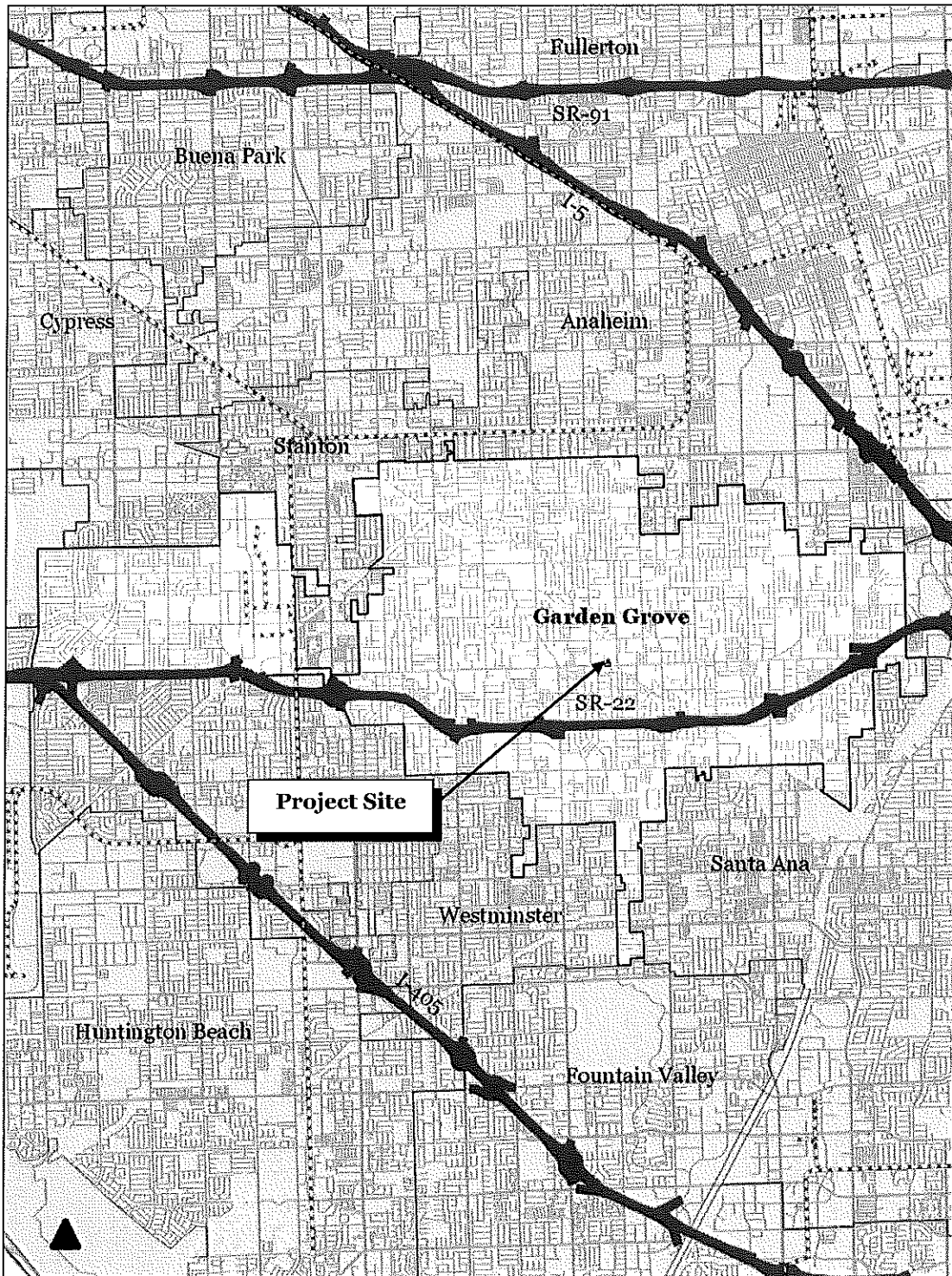


EXHIBIT 2-2
CITYWIDE MAP
SOURCE: QUANTUM GIS, 2015

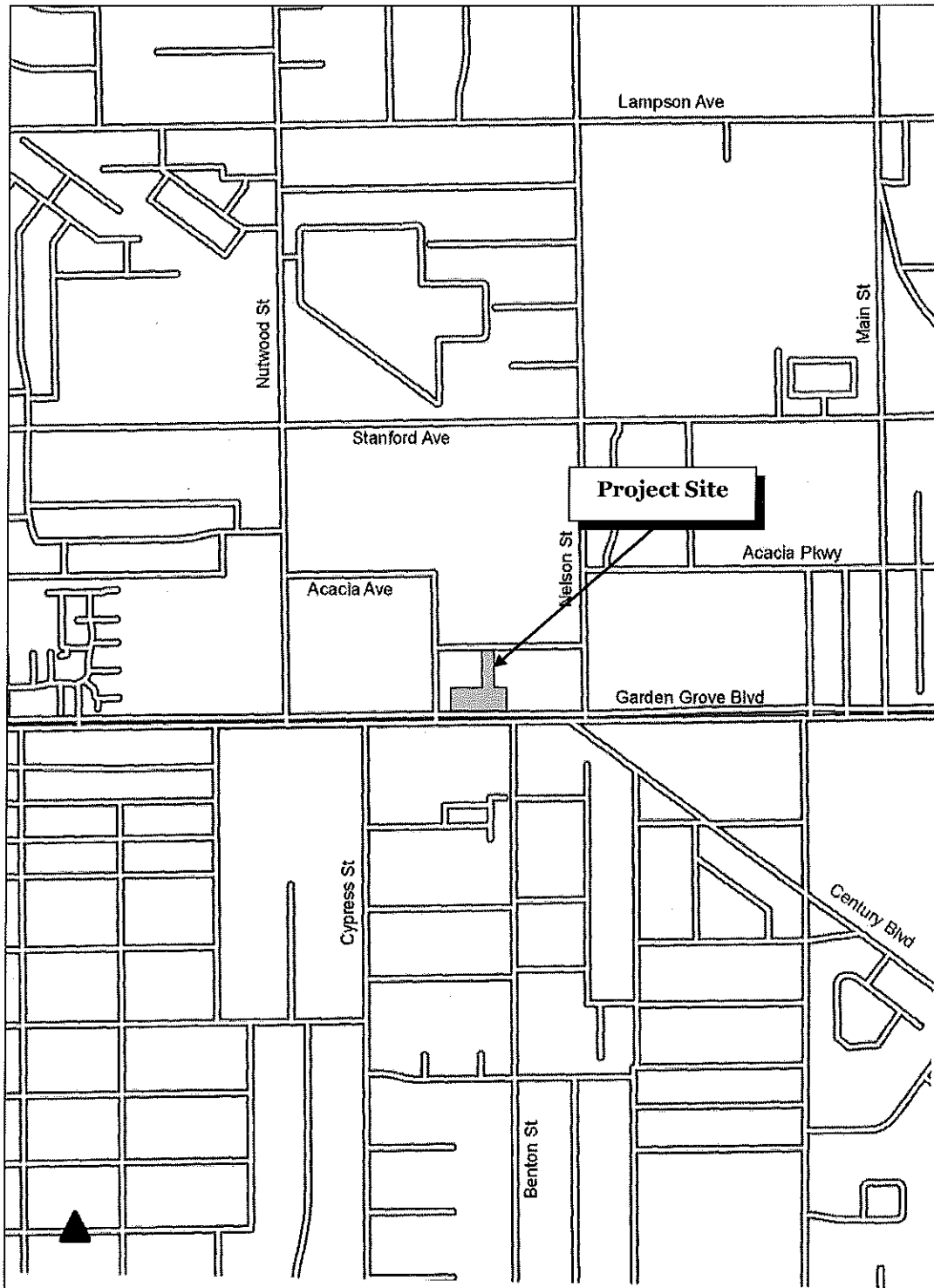
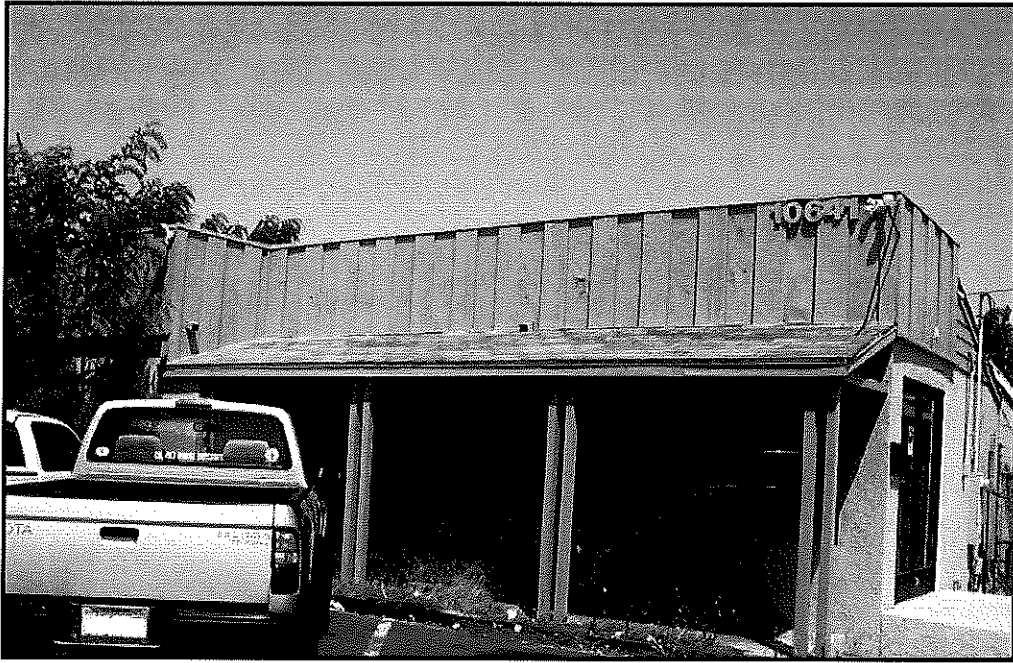


EXHIBIT 2-3
VICINITY MAP
QUANTUM GIS, 2015

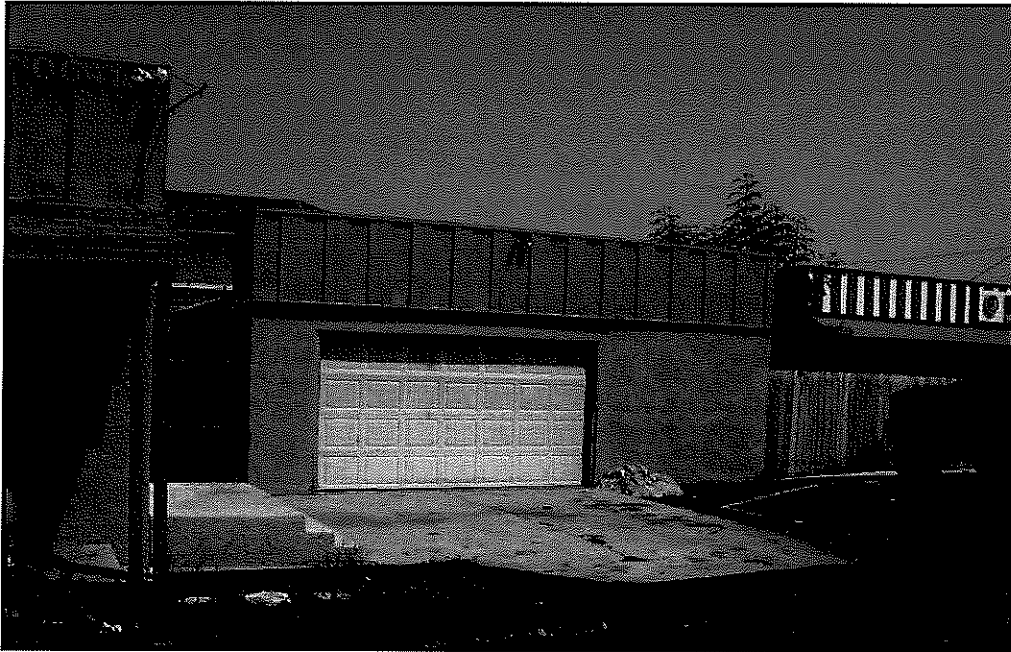


EXHIBIT 2-4
AERIAL PHOTOGRAPH OF THE SITE AND THE
SURROUNDING AREA

SOURCE: GOOGLE



View of vacant business along the Garden Grove Blvd. frontage (10641 Garden Grove Blvd.). This building will be demolished to accommodate the project.



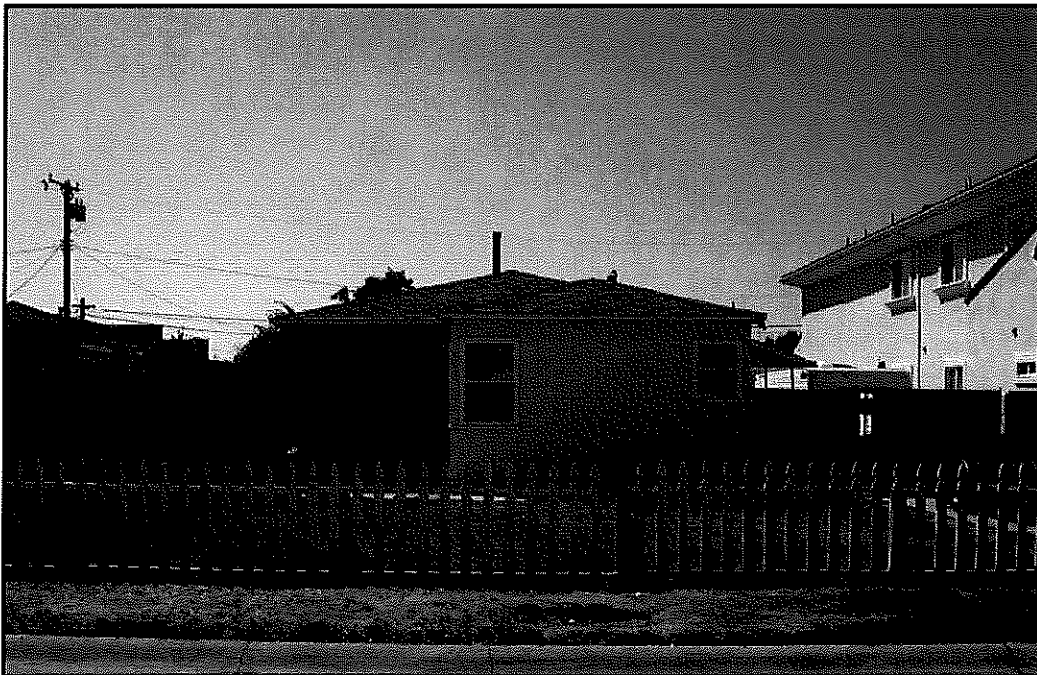
View of the garage located next to the vacant business in the preceding photograph. This building will be demolished to accommodate the proposed project

EXHIBIT 2-5
PHOTOGRAPHS OF THE PROJECT SITE

SOURCE: SOURCE: BLODGETT BAYLOSIS ENVIRONMENTAL PLANNING, 2015



View of existing business along the Garden Grove Blvd. frontage (10661 Garden Grove Blvd.). This building will be demolished to accommodate the project.



View of existing residence located on Pearl St. (10642 Pearl St.). This residence will be demolished to accommodate the project.

EXHIBIT 2-6
PHOTOGRAPHS OF THE PROJECT SITE

SOURCE: BLODGETT BAYLOSIS ENVIRONMENTAL PLANNING, 2015



View along Garden Grove Blvd., looking east.



View along Pearl St., looking east.

EXHIBIT 2-7
PHOTOGRAPHS OF THE PROJECT SITE
SOURCE: BLODGETT BAYLOSIS ENVIRONMENTAL PLANNING, 2015

2.3 PROJECT DESCRIPTION

The proposed project is a request to construct ten owner-occupied, work-live units within a 0.69-acre site. The new structure that will contain the ten work-live units will consist of four levels with a maximum height of approximately 47 feet. The total gross floor area of the new building will be 28,424 square feet. A total of 32 parking spaces, including two ADA stalls, will be provided. Access to the project will be provided by a driveway connection on the north side of Garden Grove Boulevard and a second driveway connection on the south side of Pearl Street. Landscaping, totaling 4,410 square feet or 14.7% of the site area, will be provided along the project site's Garden Grove Boulevard frontage and around the rear parking area.¹¹ The proposed ten mixed-use units (referred to as Unit #1 to Unit #10) are described below.

- *Unit #1* will have a total floor area of 3,096 square feet. The total commercial floor area will be 2,196 square feet. The commercial floor area will be located on the first and second levels. The floor area of the residential unit will be 900 square feet. This unit will contain two bedrooms and two baths.
- *Unit #2* will have a total floor area of 3,168 square feet. The total commercial floor area will be 2,268 square feet. The commercial floor area will be located on the first and second levels. The floor area of the residential unit will be 900 square feet. This unit will contain two bedrooms and two baths.
- *Unit #3* will have a total floor area of 3,157 square feet. The total commercial floor area will be 2,257 square feet. The commercial floor area will be located on the first and second levels. The floor area of the residential unit will be 900 square feet. This unit will contain two bedrooms and two baths.
- *Unit #4* will have a total floor area of 3,093 square feet. The total commercial floor area will be 2,193 square feet. The commercial floor area will be located on the first and second levels. The floor area of the residential unit will be 900 square feet. This unit will contain two bedrooms and two baths.
- *Unit #5* will have a total floor area of 3,105 square feet. The total commercial floor area will be 2,205 square feet. The commercial floor area will be located on the first and second levels. The floor area of the residential unit will be 900 square feet. This unit will contain two bedrooms and two baths.
- *Unit #6* will have a total floor area of 2,330 square feet. The total commercial floor area will be 1,415 square feet. The commercial floor area will be located on the fourth level. The floor area of the residential unit will be 915 square feet. This unit will contain one bedroom and one and one-half baths.
- *Unit #7* will have a total floor area of 2,588 square feet. The total commercial floor area will be 1,838 square feet. The commercial floor area will be located on the fourth level. The floor area of the residential unit will be 750 square feet. This unit will contain one bedroom and one bath.

¹¹ George Behnam, Architect. Design Package [Mixed Use Development], 10641 & 10661 Garden Grove Blvd. & 10642 Pearl St. April 21, 2015.

- *Unit #8* will have a total floor area of 2,635 square feet. The total commercial floor area will be 1,885 square feet. The commercial floor area will be located on the fourth level. The floor area of the residential unit will be 750 square feet. This unit will contain one bedroom and one bath.
- *Unit #9* will have a total floor area of 2,635 square feet. The total commercial floor area will be 1,885 square feet. The commercial floor area will be located on the fourth level. The floor area of the residential unit will be 750 square feet. This unit will contain one bedrooms and one bath.
- *Unit #10* will have a total floor area of 2,330 square feet. The total commercial floor area will be 1,415 square feet. The commercial floor area will be located on the fourth level. The floor area of the residential unit will be 915 square feet. This unit will contain one bedroom and one and one half baths.

Other project elements are described below.¹²

- The total gross floor area of the proposed new four level building will be 28,424 square feet. The maximum height of the building will be approximately 47 feet.
- A total of 32 parking spaces, including two ADA stalls, will be provided. Access to the project will be provided by a driveway connection on the north side of Garden Grove Boulevard and a second driveway connection on the south side of Pearl Street.
- Landscaping, totaling 4,410 square feet or 14.7% of the site area, will be provided along the project site's Garden Grove Boulevard frontage and around the rear parking area. A total floor area of 3,500 square feet consisting of outside terrace area will be centrally located on the third level.

A conceptual site plan for the proposed project is provided in Exhibit 2-8. Floor plans are illustrated in Exhibit 2-9 and 2-10. Building elevations are provided in Exhibit 2-11. The proposed project is summarized below in Table 2-1.

Table 2-1
Summary of Proposed Project

Project Element	Description
Land Area of Project Site	0.69 acre (30,056 sq. ft.)
Building Floor Area (Total)	28,424 sq. ft.
Land Use	10 live work units (residential)
Residential	10 work-live rental units.
Parking	32 parking stalls

Source: George Behnam, Architect. Design Package [*Mixed Use Development*], 10641 & 10661 Garden Grove Blvd. & 10642 Pearl St.

¹² George Behnam, Architect. Design Package [*Mixed Use Development*], 10641 & 10661 Garden Grove Blvd. & 10642 Pearl St. April 21, 2015.

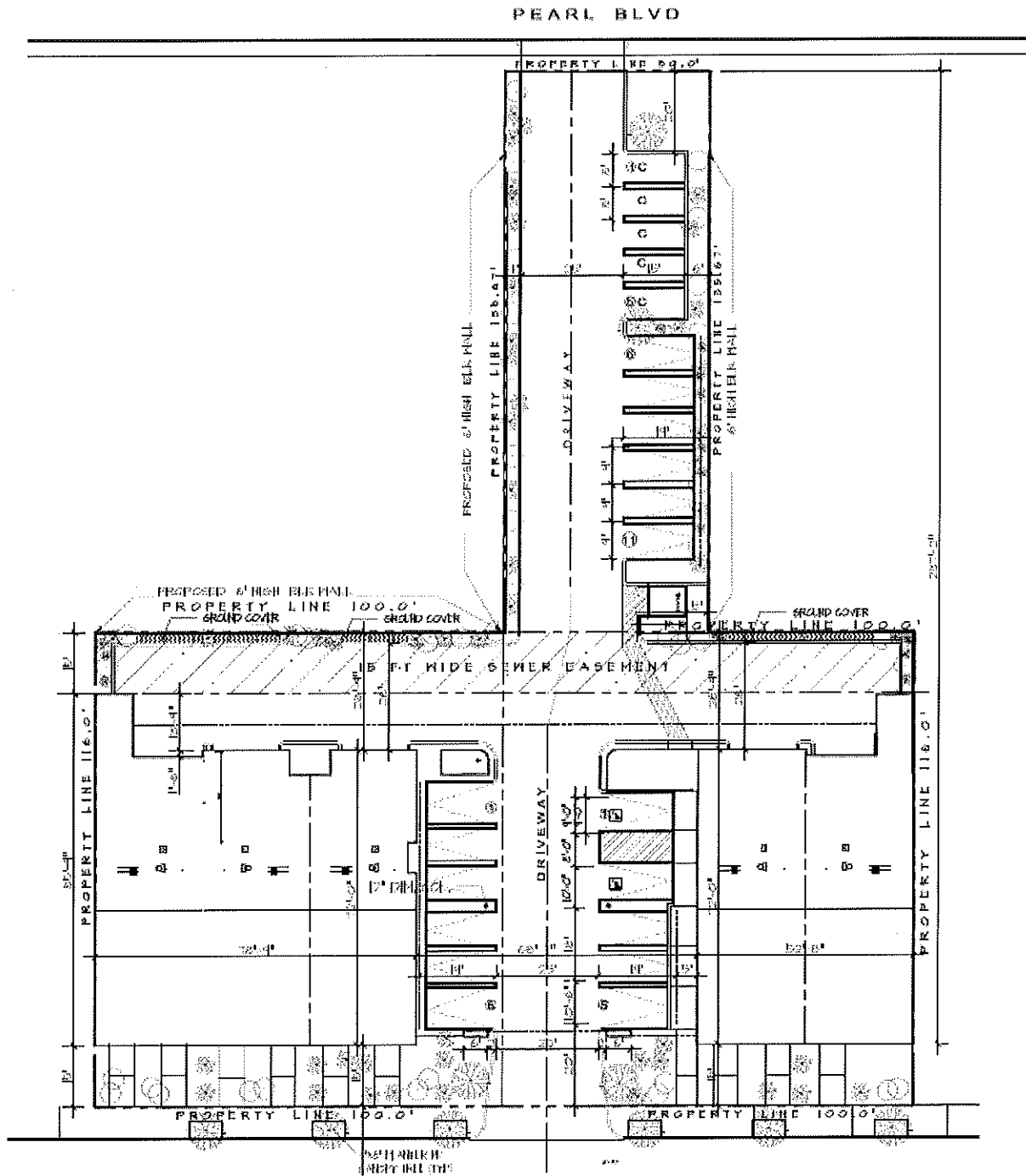


EXHIBIT 2-8 SITE PLAN

SOURCE: GEORGE BEHNAM, ARCHITECTS

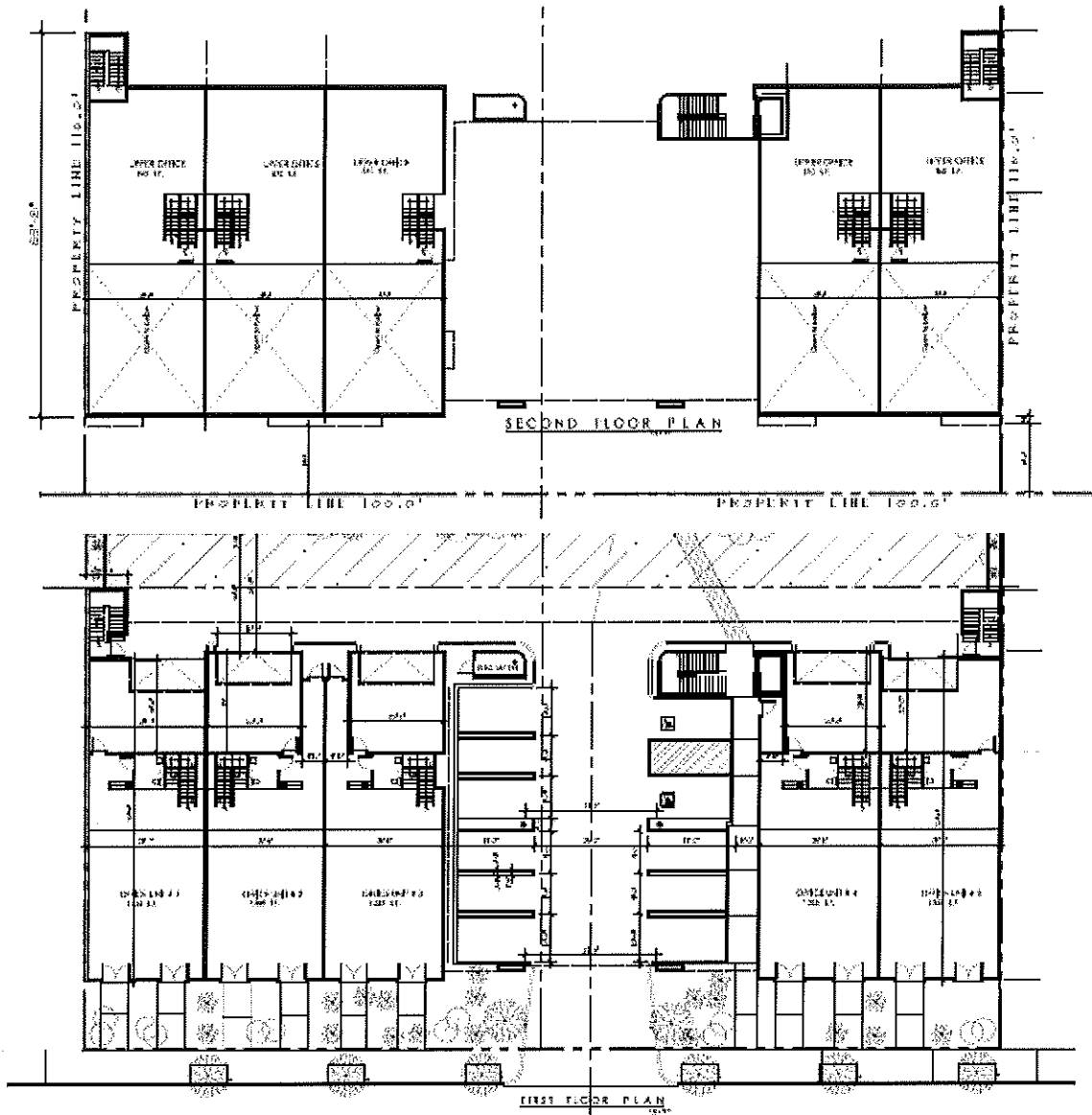


EXHIBIT 2-9
FLOOR PLAN – FIRST AND SECOND FLOORS
SOURCE: GEORGE BEHNAM, ARCHITECTS

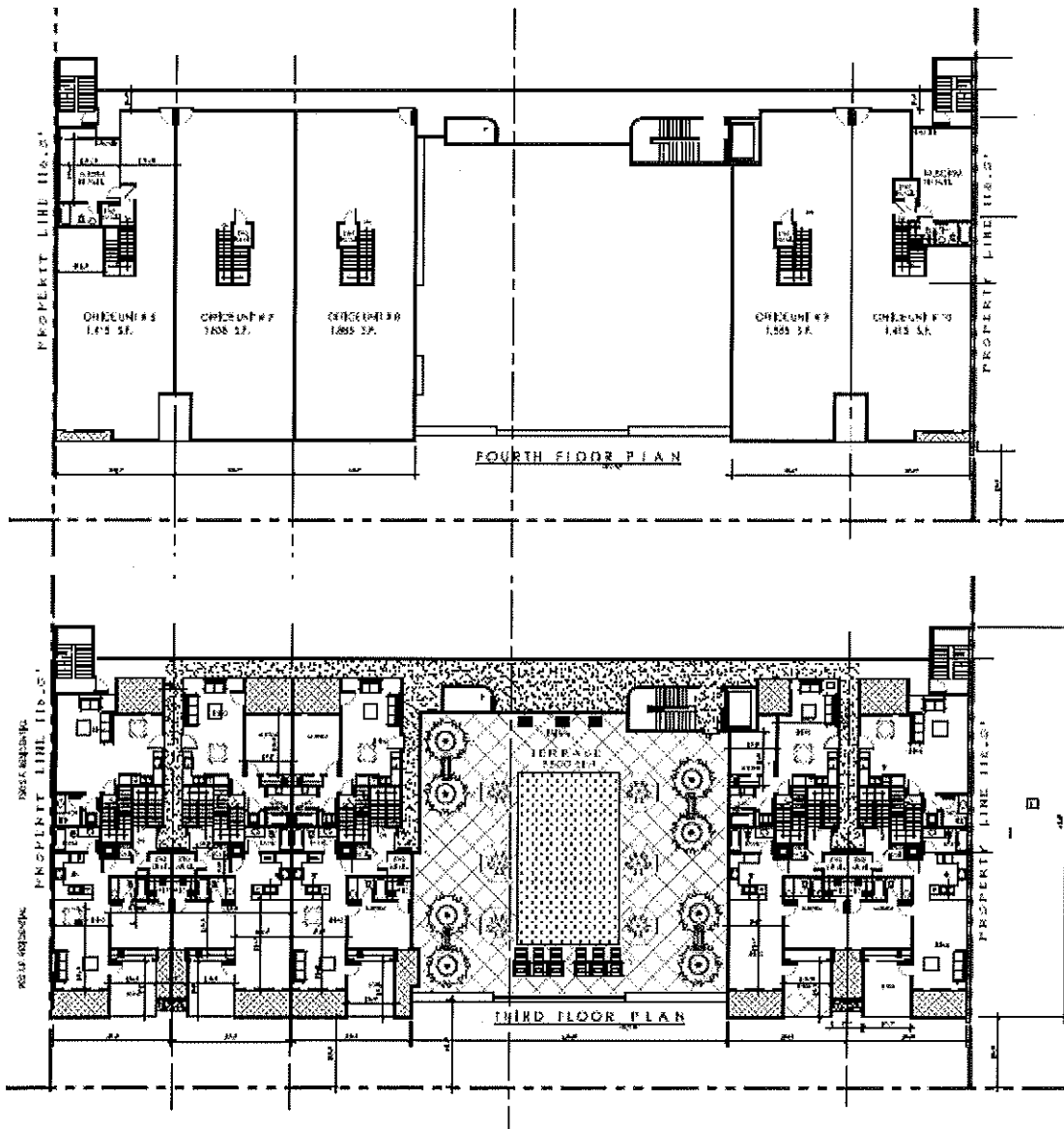


EXHIBIT 2-10
FLOOR PLANS – THIRD AND FOURTH FLOORS
SOURCE: GEORGE BEHNAME, ARCHITECTS

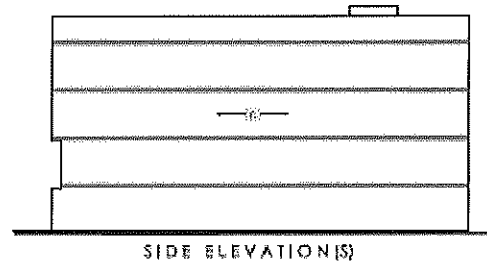
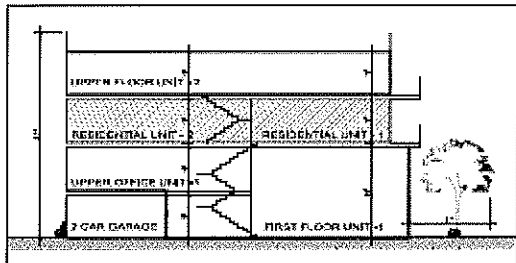
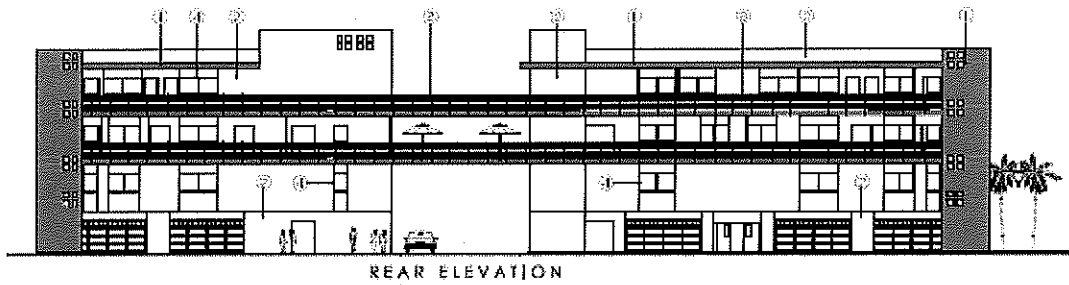
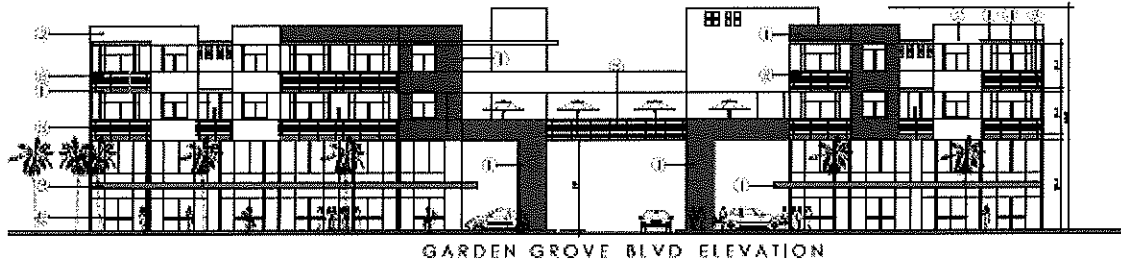


EXHIBIT 2-11
BUILDING ELEVATIONS
SOURCE: GEORGE BEHNAM, ARCHITECT'S

2.4 PROJECT CONSTRUCTION CHARACTERISTICS

According to the project architect, the proposed project is anticipated to take approximately nine months to complete. The proposed project's construction will consist of the following phases:

- *Demolition.* The foundations, staircases, and other on-site improvements from the existing buildings (the commercial buildings and the residential unit) will need to be demolished in order to accommodate the proposed project. This phase will take approximately one month to complete.
- *Grading.* During this phase, the entire project site will be graded and leveled. This phase will take approximately one month to complete.
- *Site Preparation.* The project site will be prepared for the construction of the new four-level structure. This phase will take approximately one month to complete.
- *Construction.* The new four-level, 28,424 square-foot building will be constructed during this phase. This phase will take approximately four months to complete.
- *Paving, Landscaping, and Finishing.* This phase will involve paving, the installation of the landscaping, and the completion of the on-site improvements. This phase will last approximately two months.

2.5 OBJECTIVES OF THE PROJECT

The objectives that the City of Garden Grove seek to accomplish as part of the proposed project's implementation include the following:

- To further facilitate new residential infill development as a means to provide new housing opportunities for various income groups;
- To ensure that the proposed project conforms to all pertinent City of Garden Grove land use and development regulations; and,
- To ensure that the proposed project's environmental impacts are mitigated.

The objectives of the project Applicant include the following:

- To facilitate the development of a blighted, underutilized property;
- To facilitate the development of new rental, work-live housing; and,
- To realize a fair return on investment.

2.6 DISCRETIONARY ACTIONS

A Discretionary Action is an action taken by a government agency (for this project, the government agency is the City of Garden Grove) that calls for an exercise of judgment in deciding whether to approve a project. As part of the proposed project's implementation, the City will consider the following approvals:

- The approval of a lot line adjustment;

- The approval of a Conditional Use Permit (CUP);
- A site plan approval to construct ten work-live units;
- The approval of the Development Agreement (for the mitigation fees); and,
- The adoption of the Mitigation Negative Declaration and Mitigation Monitoring and Reporting Program.

Other permits required for the project will include, but may not be limited to, the issuance of encroachment permits for the new driveways and sidewalks, demolition permits, grading permits, building permits, and permits for the new utility connections.



SECTION 3 ENVIRONMENTAL ANALYSIS

This section of the Initial Study prepared for the proposed project analyzes the potential environmental impacts that may result from the proposed project's implementation. The issue areas evaluated in this Initial Study include the following:

- Aesthetics (Section 3.1);
- Agricultural & Forestry Resources (Section 3.2);
- Air Quality (Section 3.3);
- Biological Resources (Section 3.4);
- Cultural Resources (Section 3.5);
- Geology & Soils (Section 3.6);
- Greenhouse Gas Emissions (Section 3.7);
- Hazards & Hazardous Materials (Section 3.8);
- Hydrology & Water Quality (Section 3.9);
- Land Use & Planning (Section 3.10);
- Mineral Resources (Section 3.11);
- Noise (Section 3.12);
- Population & Housing (Section 3.13);
- Public Services (Section 3.14);
- Recreation (Section 3.15);
- Transportation (Section 3.16);
- Utilities (Section 3.17); and,
- Mandatory Findings (Section 3.18).

Under each issue area, a description of the thresholds of significance is provided. These thresholds will assist in making a determination as to whether there is a potential for significant impacts on the environment. The analysis considers both the short-term (construction-related) and long-term (operational) impacts associated with the proposed project's implementation, and where appropriate, the cumulative impacts. To each question, there are four possible responses:

- *No Impact.* The proposed project will not result in any adverse environmental impacts.
- *Less than Significant Impact.* The proposed project may have the potential for affecting the environment, although these impacts will be below levels or thresholds that the City of Garden Grove or other responsible agencies consider to be significant.
- *Less than Significant Impact with Mitigation.* The proposed project may have the potential to generate a significant impact on the environment. However, the level of impact may be reduced to levels that are less than significant with the implementation of the recommended mitigation measures.
- *Potentially Significant Impact.* The proposed project may result in environmental impacts that are significant. This finding will require the preparation of an environmental impact report (EIR).

3.1 AESTHETIC IMPACTS

3.1.1 THRESHOLDS OF SIGNIFICANCE

According to the City of Garden Grove, acting as Lead Agency, a project may be deemed to have a significant adverse aesthetic impact if it results in any of the following:

- A substantial adverse effect on a scenic vista;
- Substantial damage to scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a State scenic highway;
- Substantial degrading of the existing visual character or quality of the site and its surroundings; or,
- A new source of substantial light and glare that would adversely affect day-time or night-time views in the area.

3.1.2 ANALYSIS OF ENVIRONMENTAL IMPACTS

A. Would the project have a substantial adverse effect on a scenic vista? • No Impact.

The proposed project is a request to construct ten work-live rental units within a 0.69-acre site. The project's implementation will necessitate the removal of an existing single family-unit fronting on Pearl Street and two existing commercial structures that have frontage along Garden Grove Boulevard. The new structure that will contain the ten work-live units will consist of four levels with a maximum height of approximately 47 feet. The total gross floor area of the new building will be 28,424 square feet.¹³ The site plan calls for the aforementioned four-level structure to be constructed along the Garden Grove Boulevard frontage. The rear (northerly) portion of the property will be used for surface parking. As a result, the main building will be located away from the residential properties located along Pearl Street.

The new building will be located to the south of an existing sewer line easement approximately 29 feet from the property line of the existing homes located to the north. The parcels located to the east and west of the new building are commercial properties. The project site and the surrounding area is relatively level with no obvious scenic vistas that are visible.¹⁴ The proposed use's development density will be 15 units per acre and the maximum building height will be approximately 47 feet. Both the density and height are consistent with newer residential development that is occurring along the Garden Grove Boulevard corridor. The building's cross-section from two perspectives is illustrated in Exhibit 2-11. Given the new building's orientation within the project site and the nature and extent of the existing uses, no impacts on scenic vistas will result from the proposed project's implementation.

¹³ George Behnam, Architect. Design Package [*Mixed Use Development*], 10641 & 10661 Garden Grove Blvd. & 10642 Pearl St. April 21, 2015.

¹⁴ Blodgett Baylosis Environmental Planning. *Site Survey* (Survey were completed on August 24 and 27, 2015.)

B. Would the project substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a State scenic highway? • No Impact.

As indicated previously, the 0.69-acre project site is occupied by an existing single-family unit fronting on Pearl Street and two existing commercial structures that have frontage along Garden Grove Boulevard.¹⁵ No designated State or County designated scenic highways are located in the vicinity of the project site. In addition, there are no historically significant buildings that would be affected by the proposed project.¹⁶ As a result, no impacts on scenic resources will result from the proposed project's implementation.

C. Would the project substantially degrade the existing visual character or quality of the site and its surroundings? • No impact.

The proposed project is a request to construct ten renter-occupied, work-live units within a 0.69-acre site. The project's implementation will necessitate the removal of an existing single-family unit fronting on Pearl Street and two existing commercial structures that have frontage along Garden Grove Boulevard. The new structure that will contain the ten work-live units will consist of four levels with a maximum height of approximately 47 feet. The total gross floor area of the new building will be 28,424 square feet.¹⁷ The proposed use (mixed-use), development density (15 units per acre), and the maximum building height (approximately 47 feet) are consistent with newer development that is occurring along the Garden Grove Boulevard corridor. As a result, no impacts to the existing visual character or quality of the site and its surroundings will occur.

D. Would the project create a new source of substantial light or glare that would adversely affect day- or night-time views in the area? • Less than Significant Impact.

The proposed project is considered to be a light sensitive receptor. The northern portion of the project site extends to Pearl Street. Residential uses extend along both sides of the aforementioned street. Potential sources of light and glare that may result from the proposed project's implementation include decorative lighting, parking area lighting, interior lighting, exterior safety lighting, and vehicle headlights. The project will be required to comply with the City's lighting requirements. The City of Garden Grove Zoning Ordinance (Section 9.08.020.050.A.7) states that "All lights provided to illuminate any parking area or building on such site shall be so arranged as to direct the light away from any adjoining premise." The developer may utilize a number of design measures to accomplish this including the use of light shielding, directing light downward, and employing lower intensity lighting. Conformance with the standard conditions required under the City's Zoning requirements will reduce the potential light and glare impacts to levels that are less than significant.

¹⁵ George Behnam, Architect. Design Package [Mixed Use Development], 10641 & 10661 Garden Grove Blvd. & 10642 Pearl St. April 21, 2015.

¹⁶ The historical significance of the site and the potential impacts are evaluated herein in Section 3.5.

¹⁷ George Behnam, Architect. Design Package [Mixed Use Development], 10641 & 10661 Garden Grove Blvd. & 10642 Pearl St. April 21, 2015.

3.1.3 MITIGATION MEASURES

The analysis determined that the proposed project would not result in any aesthetic impacts. As a result, no mitigation is required.

3.2 AGRICULTURE & FORESTRY RESOURCES IMPACTS

3.2.1 THRESHOLDS OF SIGNIFICANCE

According to the City of Garden Grove, acting as Lead Agency, a project may be deemed to have a significant impact on agriculture resources if it results in any of the following:

- The conversion of Prime Farmland, Unique Farmland, or Farmland of Statewide Importance;
- A conflict with existing zoning for agricultural use or a Williamson Act Contract;
- A conflict with existing zoning for, or cause rezoning of, forest land (as defined in *Public Resources Code section §12220(g)*), timberland (as defined by *Public Resources Code section §4526*), or timberland zoned Timberland Production (as defined by *Government Code section §51104(g)*);
- The loss of forest land or the conversion of forest land to a non-forest use; or,
- Changes to the existing environment that due to their location or nature may result in the conversion of farmland to non-agricultural uses.

3.2.2 ANALYSIS OF ENVIRONMENTAL IMPACTS

A. *Would the project convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?* • *No Impact.*

No agricultural activities are located within the project site or within the adjacent parcels (refer to Exhibit 3-1). The project site and the surrounding area are underlain by the Hueneme-Bolsa Soils Association.¹⁸ In the urbanized areas of Orange County, this soil is not considered to be a *prime farmland soil, unique farmland soil, or a soil of statewide importance*. As a result, no impacts will occur as part of the project site's development.

B. *Would the project conflict with existing zoning for agricultural use or a Williamson Act Contract?*
• *No Impact.*

No agricultural activities are located within the project site or in the surrounding area. In addition, the project site is not zoned for an agricultural use.¹⁹ Finally, the project site is not subject to a Williamson Act Contract.²⁰ As a result, no impacts on existing Williamson Act Contracts will result.

¹⁸ United States Department of Agriculture. *Soil Survey of Orange County and Western Park of Riverside County*. 1969.

¹⁹ City of Garden Grove. City of Garden Grove Zoning Map. <http://www.ci.garden-grove.ca.us/commdev/maproom>. Site accessed August 24, 2015.

²⁰ State of California. *The California Land Conservation (Williamson) Act, 2010 Status Report*. November 2010.

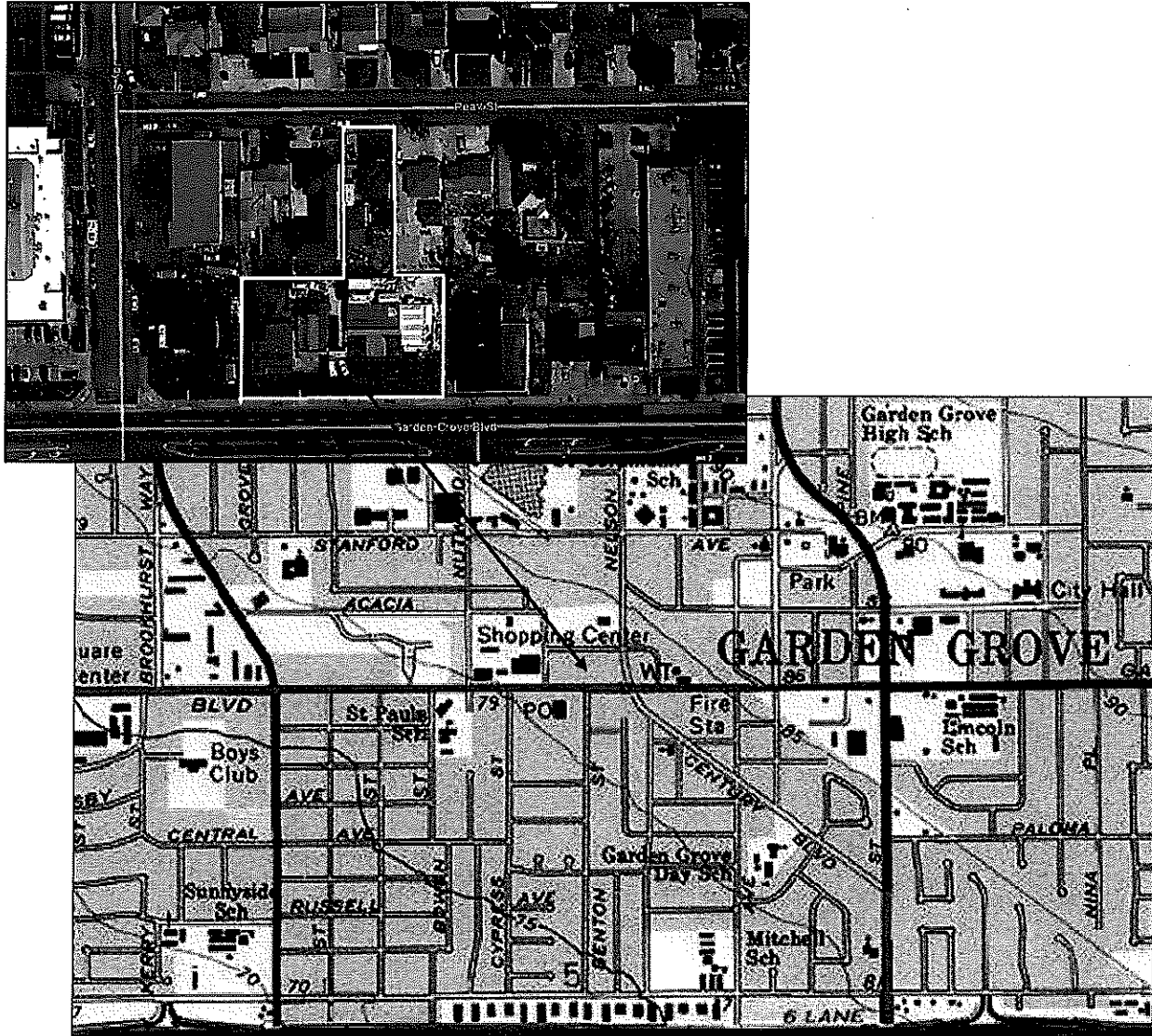


EXHIBIT 3-1 EXISTING LAND COVER

SOURCE: BLODGETT BAYLOSIS ENVIRONMENTAL PLANNING, 2015

- C. *Would the project conflict with existing zoning for or cause rezoning of, forest land (as defined in Public Resources Code section §12220(g)), timberland (as defined by Public Resources Code section §4526), or timberland zoned Timberland Production (as defined by Government Code section §51104(g))?* • No impact.

The City of Garden Grove and the project site are located in the midst of a larger urban area and no forest lands are located within the City or within this portion of Orange County (refer to Exhibit 3-1). In addition, the project site is not zoned for a forestland use.²¹ As a result, no impacts on forest land or timber resources will result from the proposed project's implementation.

- D. *Would the project result in the loss of forest land or the conversion of forest land to a non-forest use?* • No Impact.

As indicated in the previous section, no forest lands will be affected by the proposed project. As a result, there will not be any loss or conversion of existing forest lands and no impacts will result from the project's implementation.

- E. *Would the project involve other changes in the existing environment that, due to their location or nature, may result in conversion of Farmland to non-agricultural use or the conversion of forest land to a non-forest use?* • No Impact.

No agricultural activities or farmland uses are located on the project site or in the surrounding area.²² The proposed project will not involve the conversion of any existing farmland area to urban uses and, as a result, no impacts are anticipated.

3.2.3 MITIGATION MEASURES

The analysis of agricultural and forestry resources indicated that no impacts on these resources would occur as part of the proposed project's implementation. As a result, no mitigation is required.

²¹ City of Garden Grove. City of Garden Grove Zoning Map. <http://www.ci.garden-grove.ca.us/commdev/maproom>. Site accessed August 24, 2015.

²² Blodgett Baylosis Environmental Planning. *Site Survey*. (Survey were completed on August 24 and 27, 2015).

3.3 AIR QUALITY IMPACTS

3.3.1 THRESHOLDS OF SIGNIFICANCE

According to the City of Garden Grove, acting as Lead Agency, a project will normally be deemed to have a significant adverse environmental impact on air quality, if it results in any of the following:

- A conflict with the obstruction of the implementation of the applicable air quality plan;
- A violation of an air quality standard or substantial contribution to an existing or projected air quality violation;
- A cumulatively considerable net increase of any criteria pollutant for which the project region is in non-attainment under an applicable Federal or State ambient air quality standard;
- The exposure of sensitive receptors to substantial pollutant concentrations; or,
- The creation of objectionable odors affecting a substantial number of people.

The South Coast Air Quality Management District (SCAQMD) has established quantitative thresholds for criteria pollutants that include the following:

- *Ozone (O₃)* is a nearly colorless gas that irritates the lungs, damages materials, and vegetation. O₃ is formed by photochemical reaction (when nitrogen dioxide is broken down by sunlight).
- *Carbon monoxide (CO)*, a colorless, odorless toxic gas that interferes with the transfer of oxygen to the brain, is produced by the incomplete combustion of carbon-containing fuels emitted as vehicle exhaust.
- *Nitrogen dioxide (NO₂)* is a yellowish-brown gas, which at high levels can cause breathing difficulties. NO₂ is formed when nitric oxide (a pollutant from burning processes) combines with oxygen.
- *Sulfur dioxide (SO₂)* is a colorless, pungent gas formed primarily by the combustion of sulfur-containing fossil fuels.
- *PM₁₀ and PM_{2.5}* refers to particulate matter less than ten microns and two and one-half microns in diameter, respectively. Particulates of this size cause a greater health risk than larger-sized particles since fine particles can more easily be inhaled.

The California Air Resources Board (CARB) has also established ambient air quality standards for six of the pollutants regulated by the EPA (CARB has not established standards for PM_{2.5}).²³ Table 3-1 lists the current National and State ambient air quality standards for each criteria pollutant.

²³ South Coast Air Quality Management District, *Final 2007 Air Quality Plan*, Adopted June 2007.

**Table 3-1
 National and California Ambient Air Quality Standards**

Pollutants	National Standards	State Standards
Lead (Pb)	1.5 µg/m ³ (calendar quarter)	1.5 µg/m ³ (30-day average)
Sulfur Dioxide (SO ₂)	0.14 ppm (24-hour)	0.25 ppm (1-hour); 0.04 ppm (24-hour)
Carbon Monoxide (CO)	9.0 ppm(8-hour); 35 ppm(1-hour)	9.0 ppm (8-hour); 20 ppm (1-hour)
Nitrogen Dioxide (NO ₂)	0.053 ppm; (annual average)	0.25 ppm; (1-hour)
Ozone (O ₃)	0.12 ppm; (1-hour)	0.09 ppm; (1-hour)
Particulates (PM ₁₀)	150 µg/m ³ (24-hour)	50 µg/m ³ (24-hour)
Sulfate	None	25 µg/m ³ (24-hour)

Source: South Coast Air Quality Management District, 2010.

In addition to the Federal and State ambient air quality standards (AAQS) thresholds, there are daily and quarterly emissions thresholds for construction emissions, mobile emissions, and stationary emissions established by the SCAQMD. Projects in the South Coast Air Basin (SCAB) generating *construction-related* emissions that exceed any of the following emissions thresholds are considered to be significant under CEQA:

- 75 pounds per day of reactive organic compounds;
- 100 pounds per day of nitrogen dioxide;
- 550 pounds per day of carbon monoxide;
- 150 pounds per day of PM₁₀;
- 55 pounds per day of PM_{2.5}; or,
- 150 pounds per day of sulfur oxides.

The proposed project would have a significant effect on air quality if any of the following *operational* emissions thresholds for criteria pollutants are exceeded:

- 55 pounds per day of reactive organic compounds;
- 55 pounds per day of nitrogen dioxide;
- 550 pounds per day of carbon monoxide;
- 150 pounds per day of PM₁₀;
- 55 pounds per day of PM_{2.5}; or,
- 150 pounds per day of sulfur oxides.

3.3.2 ANALYSIS OF ENVIRONMENTAL IMPACTS

- A. *Would the project conflict with or obstruct the implementation of the applicable air quality plan?*
• *No Impact.*

The SCAB is subject to the Final 2012 AQMP, which was jointly prepared with the CARB and the Southern California Association of Governments (SCAG).²⁴ Two consistency criteria that should be referred to in determining a project's conformity with the AQMP are identified in Section 12.3 of the SCAQMD's CEQA Air Quality Handbook. The two consistency criteria and the proposed project's conformity with each are summarized below.

- *Consistency Criteria 1* refers to a project's potential for resulting in an increase in the frequency or severity of an existing air quality violation or a contribution to the continuation of an existing air quality violation. The proposed project's construction and operational emissions are below the SCAQMD's thresholds (refer to Tables 3-2 and 3-3).
- *Consistency Criteria 2* refers to the project's potential for exceeding the assumptions included in the AQMP or other regional growth projections relevant to the AQMP's implementation.²⁵ According to the City's regional population growth projections developed for the City by the SCAG, the City's 2020 population will be 179,400 persons.²⁶ This 2020 projection translates into a population increase of 4,626 persons over the Current 2015 population estimate of 174,774 persons. Assuming an average household size of 3.76 persons per unit derived from the 2015 California Department of Finance (DOF), the ten new units would result in a potential population of 36 persons. As a result, the proposed project's implementation will not result in the SCAG projections being exceeded.

The proposed project is also an infill development which further promotes the region's sustainable growth objectives. Based on the above findings, the proposed project will not result in an obstruction of the AQMP and no impacts are anticipated.

- B. *Would the project violate any air quality standard or contribute substantially to an existing or projected air quality violation?* • *Less than Significant Impact.*

The proposed project's implementation will result in short-term (construction-related) emissions associated with demolition, site preparation, grading, and construction activities. The emissions were estimated using the computer model (CalEEModV.2013. 2.2) developed for the SCAQMD. Estimated Mass Daily Construction Emissions are estimated emissions that will potentially occur on peak construction days. The analysis assumed that the proposed project would be constructed over a nine-month period. As shown in Table 3-2, daily construction emissions are not anticipated to exceed the SCAQMD significance thresholds. Therefore, the mass daily construction-related impacts associated with the proposed project would be less than significant.

²⁴ South Coast Air Quality Management District, *Final 2007 Air Quality Plan*, Adopted June 2007.

²⁵ South Coast Air Quality Management District. *CEQA Air Quality Handbook*. April 1993 [as amended 2009]. Table 11-4.

²⁶ These SCAG projections are used in the preparation of the Regional Transportation Plan.

Table 3-2
Estimated Daily Construction Emissions

Construction Phase	ROG	NO ₂	CO	SO ₂	PM ₁₀	PM _{2.5}
Demolition (on-site)	1.31	11.23	8.70	0.01	0.91	0.78
Demolition (off-site)	0.05	0.19	0.75	--	0.12	0.03
Total Demolition Phase	1.36	11.42	9.45	0.01	1.03	0.81
Site Preparation (on-site)	1.35	13.63	7.34	--	0.85	0.76
Site Preparation (off-site)	0.02	0.02	0.32	--	0.05	0.01
Total Site Preparation	1.37	13.65	7.66	--	0.90	0.77
Grading (on-site)	1.31	11.23	8.70	0.01	1.55	1.18
Grading (off-site)	0.04	0.05	0.65	--	0.11	0.03
Total Grading	1.35	11.28	9.65	0.01	1.66	1.21
Building Construction (on-site)	1.38	13.70	8.21	0.01	0.93	0.86
Building Construction (off-site)	0.07	0.32	1.14	--	0.16	0.04
Total Building Construction	1.45	14.02	9.35	0.01	1.09	0.90
Paving (on-site)	1.15	10.62	7.29	0.01	0.66	0.61
Paving (off-site)	0.07	0.09	1.17	--	0.20	0.05
Total Paving	1.22	10.71	8.46	0.01	0.86	0.66
Architectural Coatings (on-site)	4.16	2.37	1.88	--	0.19	0.19
Architectural Coatings (off-site)	0.01	0.01	0.19	--	0.03	--
Total Architectural Coatings	4.17	2.38	2.07	--	0.22	0.19
Maximum Daily Emissions	4.17	14.03	9.45	0.01	1.66	1.21
Daily Thresholds	75	100	550	150	150	55

Source: CalEEMod V.2013.2.2.

Long-term emissions refer to those air quality impacts that will occur once the proposed project has been constructed and is operational. These impacts will continue over the operational life of the project. The long-term air quality impacts associated with the proposed project include the following: mobile emissions associated with vehicular traffic and off-site stationary emissions associated with the generation of energy (natural gas and electrical). The analysis of long-term operational impacts also used the CalEEModV.2013.2.2 computer model.

**Table 3-3
 Estimated Operational Emissions**

Emissions Type	Criteria Pollutants (lbs/day)					
	ROG	NO ₂	CO	SO ₂	PM ₁₀	PM _{2.5}
Area-wide	3.12	0.07	5.86	--	0.76	0.76
Energy	--	0.04	0.01	--	--	--
Mobile	0.25	0.74	3.00	--	0.52	0.14
Total (lbs/day)	3.38	0.85	0.88	0.01	1.30	0.92
Daily Thresholds	55	55	550	150	150	55

Source: California Air Resources Board, CalEEMod [CalEEMod V. 2013. 2.2]

As indicated in Table 3-3, the projected long-term emissions are below those thresholds considered to be a significant impact. As a result, the long-term air quality impacts will be less than significant.

C. Would the project result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable Federal or State ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)? • Less than Significant Impact.

The SCAB is a designated non-attainment area for ozone and particulates. The proposed project's implementation will result in construction-related emissions due to the use of construction equipment as well as particulate emissions generated during demolition and grading (refer to the discussion provided in the previous section). Operational emissions will be limited to vehicles traveling to and from the proposed project and off-site area-wide stationary emissions related to power generation.

As indicated in Table 3-3, the projected long-term emissions are below thresholds considered to represent a significant adverse impact. In addition, the project is an infill development, which is beneficial because it reduces urban sprawl and the overall vehicle miles traveled (VMT). Finally, the proposed project will not exceed these adopted projections used in the preparation of the Regional Transportation Plan (refer to the discussion included in Subsection 3.3.2.A). As a result, the potential cumulative air quality impacts are deemed to be less than significant related to the generation of criteria pollutants.

D. Would the project expose sensitive receptors to substantial pollutant concentrations? • No Impact.

The SCAQMD requires that CEQA air quality analyses indicate whether a proposed project will result in an exceedance of *localized emissions thresholds* or LSTs. LSTs only apply to short-term (construction) and long-term (operational) emissions at a fixed location and do not include off-site or area-wide emissions. The approach used in the analysis of the proposed project utilized a number of screening tables that identified maximum allowable emissions (in pounds per day) at a specified distance to a receptor. The pollutants that are the focus of the LST analysis include the conversion of

NO_x to NO₂; carbon monoxide (CO) emissions from construction and operations; PM₁₀ emissions from construction and operations; and PM_{2.5} emissions from construction and operations.²⁷

Sensitive receptors refer to land uses and/or activities that are especially sensitive to poor air quality and typically include homes, schools, playgrounds, hospitals, convalescent homes, and other similar facilities where children or the elderly may congregate.²⁸ Sensitive receptors, including homes located in the vicinity of the proposed project site, are identified in Exhibit 3-2. The nearest sensitive receptors to the project site are the single-family homes located along Pearl Street on either side of the project site. Furthermore, the proposed project, once occupied, will be a sensitive receptor.

The use of the “look-up tables” (LSTs) is permitted since each of the construction phases will involve the disturbance of less than one acre of land area. As indicated in Table 3-4, the proposed project will not exceed any LSTs based on the information included in the Mass Rate LST Look-up Tables provided by the SCAQMD. For purposes of the LST analysis, the receptor distance used was 25 meters. As indicated in the table, the proposed project will not exceed any LSTs based on the information included in the Mass Rate LST Look-up Tables.

**Table 3-4
 Local Significance Thresholds Exceedance SRA 17**

Emissions	Project Emissions (lbs/day)	Type	Allowable Emissions Threshold (lbs/day) and a Specified Distance from Receptor (in meters)				
			25	50	100	200	500
NO ₂	14.03	Construction	81	83	98	123	192
NO ₂	0.85	Operations	81	83	98	123	192
CO	9.45	Construction	485	753	1,128	2,109	6,841
CO	0.88	Operations	485	753	1,128	2,109	6,841
PM ₁₀	1.30	Operations	1	3	7	15	38
PM ₁₀	1.66	Construction	4	12	28	60	158
PM _{2.5}	0.92	Operations	1	1	2	6	21
PM _{2.5}	1.21	Construction	3	4	9	22	85

Source: South Coast Air Quality Management District. Final Localized Significance Threshold Methodology. June 2003.

²⁷ South Coast Air Quality Management District. Final Localized Significance Threshold Methodology. June 2003.

²⁸ South Coast Air Quality Management District. *CEQA Air Quality Handbook*. April 1993.

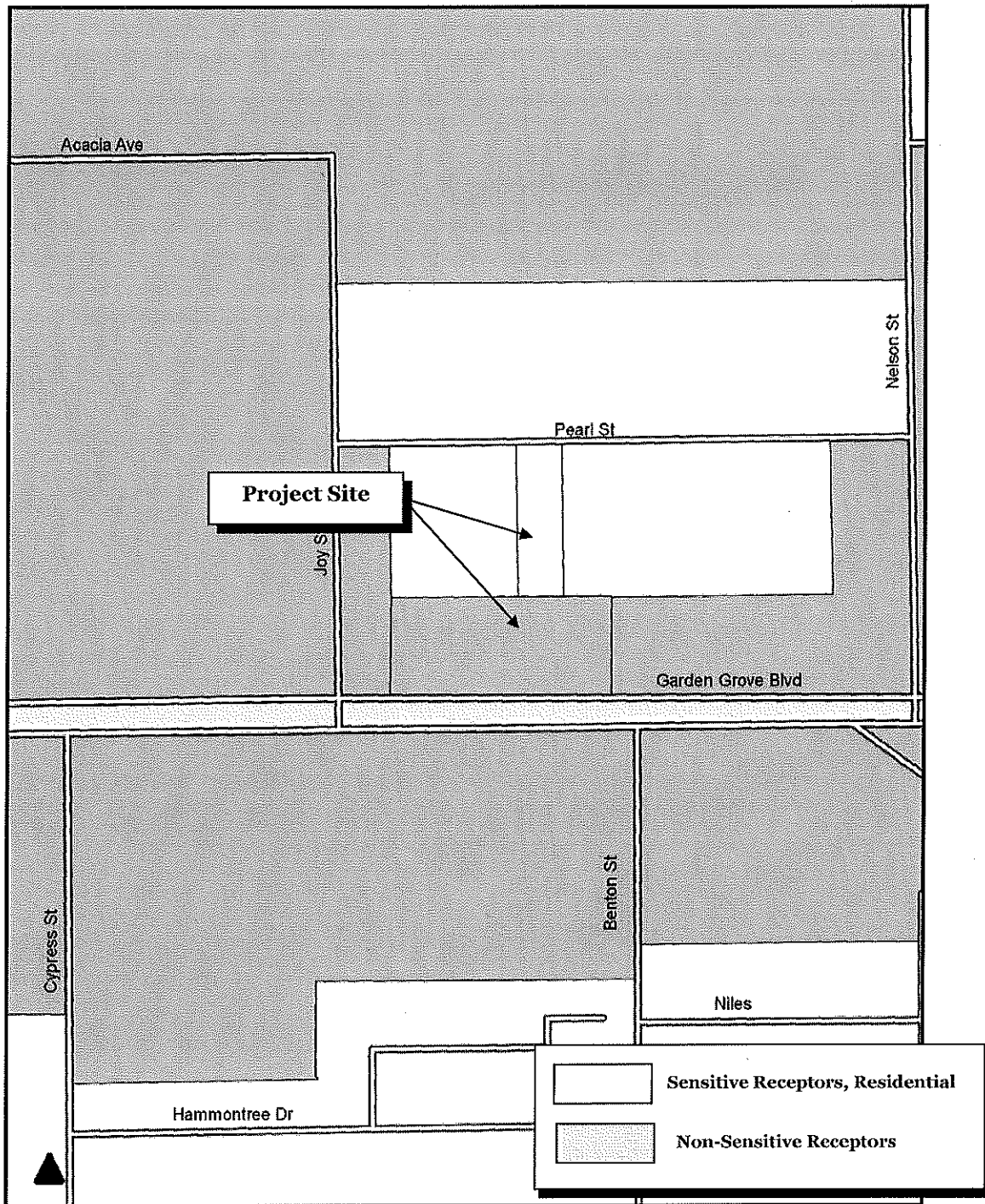


EXHIBIT 3-2
AIR QUALITY SENSITIVE RECEPTORS
SOURCE: BLODGETT BAYLOSIS ENVIRONMENTAL PLANNING, 2015

Most vehicles generate carbon monoxide (CO) as part of the tail-pipe emissions and high concentrations of CO along busy roadways and congested intersections are a concern. Two variables influence the creation of a hot-spot and these variables include traffic volumes and traffic congestion. Typically, a hot-spot may occur near an intersection that is experiencing severe congestion.²⁹

The SCAQMD stated in its CEQA Handbook that a CO hot-spot would not likely develop at an intersection operating at LOS C or better.³⁰ Since the Handbook was written, there have been new CO emissions controls added to vehicles and reformulated fuels are now sold in the SCAB. These new automobile emissions controls, along with the reformulated fuels, have resulted in a lowering of both ambient CO concentrations and vehicle emissions. The proposed project will generate approximately eight AM peak hour trips and ten PM peak hour trips. This additional peak hour traffic will not affect any local intersection's level of service (LOS E or F). The nearest major intersection is Euclid Street to the east and Brookhurst Street, to the west. For the Euclid Street and Garden Grove Boulevard intersection, the morning (AM) peak hour LOS is LOS D and the evening (PM) peak hour LOS is LOS E. For the Brookhurst Street and Garden Grove Boulevard intersection, the morning (AM) peak hour LOS is LOS B and the evening (PM) peak hour LOS is LOS B. The additional project-generated traffic at these intersections will be no more than five trips during the peak hours and, as a result, this additional traffic will not result in the creation of a carbon monoxide hot-spot. As a result, no impacts are anticipated to occur.

E. Would the project create objectionable odors affecting a substantial number of people? No Impact.

The SCAQMD has identified those land uses that are typically associated with odor complaints. These uses include activities involving livestock, rendering facilities, food processing plants, chemical plants, composting activities, refineries, landfills, and businesses involved in fiberglass molding.³¹ The proposed project will be a mixed-use, work-live development and no generation of odors is anticipated. The placement and design of the trash receptacles must also be approved by the City. As a result, no odor-related impacts from the proposed residential development are anticipated.

3.3.3 MITIGATION MEASURES

The proposed project's air emissions are not considered to represent a significant adverse impact. The construction activities will also be required to comply with SCAQMD rules and regulations. As a result, no mitigation is required.

²⁹ South Coast Air Quality Management District. *CEQA Air Quality Handbook*. April 1993.

³⁰ Ibid.

³¹ South Coast Air Quality Management District. *CEQA Air Quality Handbook*. April 1993.

3.4 BIOLOGICAL RESOURCES IMPACTS

3.4.1 THRESHOLDS OF SIGNIFICANCE

According to the City of Garden Grove, acting as Lead Agency, a project may be deemed to have a significant adverse impact on biological resources if it results in any of the following:

- A substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or the U.S. Fish and Wildlife Service;
- A substantial adverse effect on any riparian habitat or other sensitive natural communities identified in local or regional plans, policies, regulations or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service;
- A substantial adverse effect on Federally protected wetlands as defined by Section §404 of the Clean Water Act through direct removal, filling, hydrological interruption, or other means;
- A substantial interference with the movement of any native resident or migratory fish, or wildlife species or with established native resident or migratory life corridors, or impede the use of native wildlife nursery sites;
- A conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance; or,
- A conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or State habitat conservation plans.

3.4.2 ANALYSIS OF ENVIRONMENTAL IMPACTS

- A. *Would the project either directly or through habitat modifications, have a substantial adverse effect on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?* • *No Impact.*

The project's implementation will necessitate the removal of an existing single-family unit fronting on Pearl Street and two existing commercial structures that have frontage along Garden Grove Boulevard.³² A review of the California Natural Diversity Database indicates that no sensitive habitats or protected plant and animal species are located on the project site or within the adjacent parcels.³³ As a result, no impacts will result from proposed project's implementation.

³² George Behnam, Architect. Design Package [*Mixed Use Development*], 10641 & 10661 Garden Grove Blvd. & 10642 Pearl St. April 21, 2015.

³³ California Department of Fish and Game, *Natural Diversity Database*, 1998.

B. *Would the project have a substantial adverse effect on any riparian habitat or other sensitive natural communities identified in local or regional plans, policies, regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service? • No Impact.*

No natural plant communities or habitats remain on the project site or the surrounding properties. The project site is located in the midst of an urbanized area that does not include any riparian areas.³⁴ As a result, no impacts on natural or riparian habitats or sensitive habitats will occur.

C. *Would the project have a substantial adverse effect on Federally protected wetlands as defined by Section §404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means? • No Impact.*

The project site and the adjacent developed properties do not contain any natural wetland and/or riparian habitat. The project site is located in an urbanized setting.³⁵ As a result, the proposed project will not impact any protected wetland areas, Waters of the U.S., or a designated "blue-line" stream.

D. *Would the project interfere substantially with the movement of any native resident or migratory fish, wildlife species or with established native resident or migratory life corridors, or impede the use of native wildlife nursery sites? • No Impact.*

No natural open space areas are located on-site or in the adjacent properties that would potentially serve as an animal migration corridor (refer to Exhibit 3-3). The project site is surrounded by urban development and all of the adjacent properties are presently developed. As a result, no impacts are anticipated.

E. *Would the project conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance? • No Impact.*

The affected parcels contain limited shrubbery and several smaller trees. No mature trees or *heritage trees* are located within the three parcels that comprise the project site.³⁶ This existing landscaping will be removed to accommodate the project site's development. The proposed project is not in conflict with any local policies or ordinances protecting biological resources and no impacts are anticipated.

³⁴ U.S. Fish and Wildlife, Wetlands Mapper. <http://www.fws.gov/wetlands/Data/Mapper.html>. Site accessed August 29, 2015.

³⁵ Ibid.

³⁶ Blodgett Baylosis Environmental Planning. *Site Survey* (Survey were completed on August 24 and 27, 2015.)

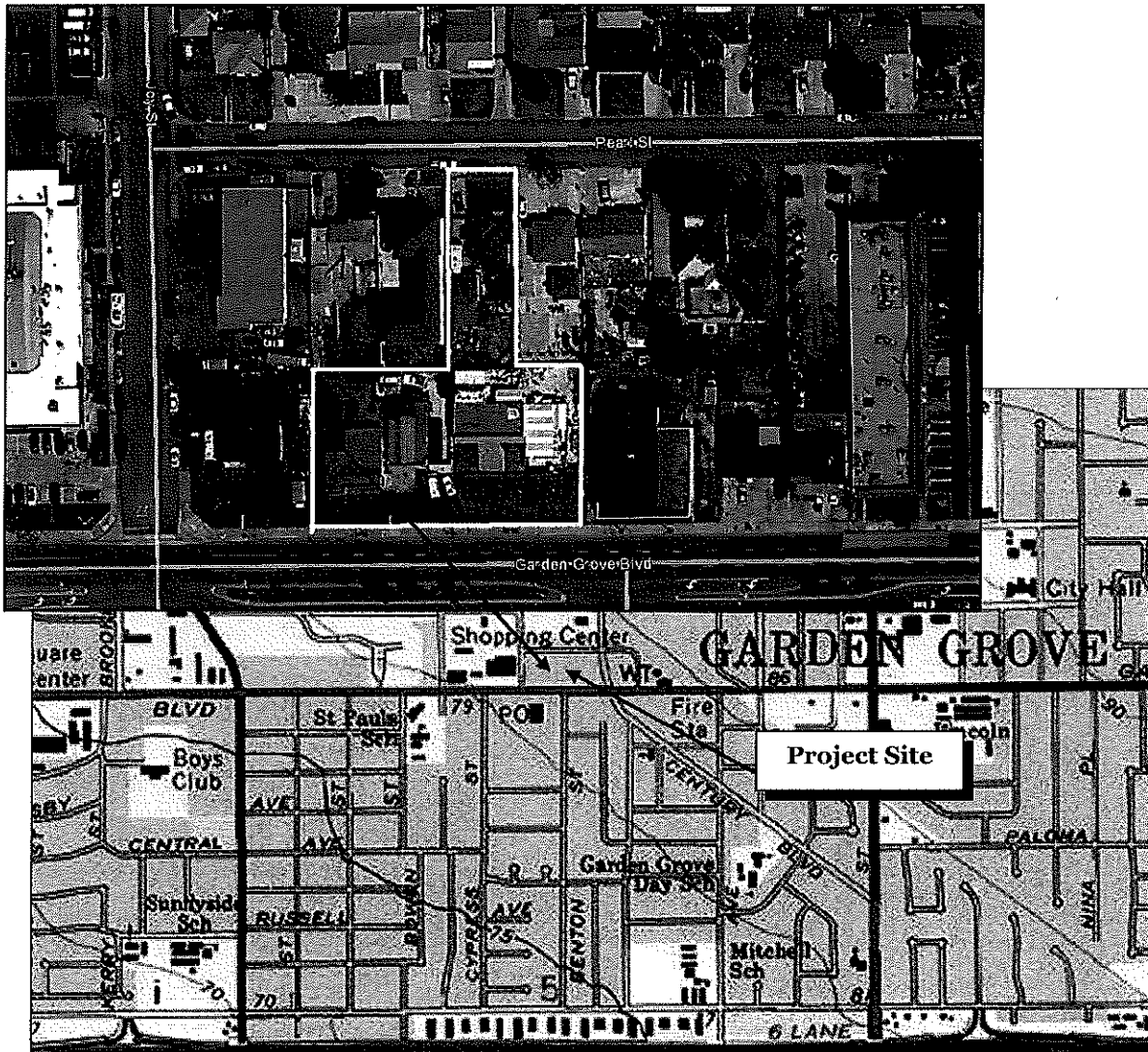


EXHIBIT 3-3
LAND USES AND GROUND COVER
SOURCE: UNITED STATES GEOLOGICAL SURVEY

F. Would the project conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or State habitat conservation plans? • No Impact.

The project site is located within an urban area and no natural habitats are found on the project site or within the adjacent properties.³⁷ The project site is not located within an area governed by a habitat conservation or community conservation plan. As a result, no impacts on local, regional, or State habitat conservation plans will result from the proposed project's implementation.

3.4.3 MITIGATION MEASURES

The analysis indicated that the proposed project would not result in any impacts on biological resources. As a result, no mitigation measures are required.

³⁷ United States Geological Survey. *Garden Grove 7 1/2 Minute Quadrangle*. Release Date March 25, 1999.

3.5 CULTURAL RESOURCES IMPACTS

3.5.1 THRESHOLDS OF SIGNIFICANCE

According to the City of Garden Grove, acting as Lead Agency, a project will normally have a significant adverse impact on cultural resources if it results in any of the following:

- A substantial adverse change in the significance of a historical resource as defined in §15064.5 of the State CEQA Guidelines;
- A substantial adverse change in the significance of an archaeological resource pursuant to §15064.5 of the State CEQA Guidelines;
- The destruction of a unique paleontological resource, site, or unique geologic feature; or,
- The disturbance of any human remains, including those interred outside of formal cemeteries.

3.5.2 ANALYSIS OF ENVIRONMENTAL IMPACTS

- A. *Would the project cause a substantial adverse change in the significance of a historical resource as defined in §15064.5 of the State CEQA Guidelines?* • *No Impact.*

Historic structures and sites are generally defined by local, State, and Federal criteria. A site or structure may be historically significant if it is protected through a local general plan or historic preservation ordinance. The U.S. Department of the Interior has established specific guidelines and criteria that indicate the manner in which a site, structure, or district is to be identified as having historic significance through a determination of eligibility for listing on the National Register of Historic Places. Significance may be determined if the property is associated with events, activities, or developments that were important in the past, with the lives of people who were important in the past, or represents significant architectural, landscape, or engineering elements.³⁸ Buildings and properties will qualify for a listing on the National Register if they are integral parts of districts that meet certain criteria or if they fall within the following categories:

- A religious property deriving primary significance from architectural or artistic distinction or historical importance;
- A birthplace or grave of a historical figure of outstanding importance if there is no appropriate site or building associated with his or her productive life;
- A building or structure removed from its original location but which is primarily significant for architectural value, or which is the surviving structure most importantly associated with a historic person or event;

³⁸ U. S. Department of the Interior, National Park Service. National Register of Historic Places. <http://nrhp.focus.nps.gov>. 2010.

- A cemetery that derives its primary importance from graves of persons of transcendent importance, from age, from distinctive design features, or from association with historic events;
- A reconstructed building when accurately executed in a suitable environment and presented in a dignified manner as part of a restoration master plan, and when no other building or structure with the same association has survived;
- A property primarily commemorative in intent if design, age, tradition, or symbolic value has invested it with its own exceptional significance; or,
- A property achieving significance within the past 50 years if it is of exceptional importance.³⁹

The project site is occupied by commercial structures located along the Garden Grove Boulevard frontage and a single-family residence along Pearl Street. These structures will be demolished to accommodate the proposed project. The existing structures do not meet any of the aforementioned significance criteria. Furthermore, the project site is not identified as a historic resource by the City's Historical Society.⁴⁰ In addition, the proposed project will not adversely impact any designated landmark. As a result, no impacts are anticipated with the proposed project's implementation.

B. Would the project cause a substantial adverse change in the significance of an archaeological resource pursuant to §15064.5 of the State CEQA Guidelines? • Less than Significant Impact with Mitigation.

Prior to European contact, the local Gabrieleño Indians lived in more than 50 villages located throughout the Los Angeles Basin and Orange County coastal plain. Archaeological sites are often located along creek areas, ridgelines, and vistas.⁴¹ The project site has been extensively disturbed due to the previous development activities. No unknown archaeological sites or resources are likely to be discovered during excavation activities due to the previous soil disturbance. Native American consultation was undertaken pursuant to AB-52 on September 28th, 2015. Formal AB-52 consultation letters were mailed to a total of six tribes, including the different Gabrieleño subsets and the Soboba tribe. The specific tribal contacts included the following:

- Linda Candelaria, Co-Chairperson, Gabrielino-Tongva Tribe;
- Anthony Morales, Chairperson, Gabrieleno/Tongva – San Gabriel Band of Mission Indians;
- Robert F. Dorame, Tribal Chair/Cultural Resources, Gabrielino Tongva Indians of California Tribal Council;
- Joseph Ontiveros, Cultural Resource Director, Soboba Band of Luiseno Indians;

³⁹ U.S. Department of the Interior, National Park Service. National Register of Historic Places. <http://nrhp.focus.nps.gov>. 2010.

⁴⁰ City of Garden Grove. City of Garden Grove Historical Society. <http://www.ci.garden-grove.ca.us/?q=/HistoricalSociety>. Website accessed on August 29, 2015.

⁴¹ McCawley. The First Angelinos, The Gabrieleño Indians of Los Angeles County. 1996.

- Andrew Salas, Chairman, Gabrieleno Band of Mission Indians – Kizh Nation; and,
- Sam Dunlap, Cultural Resources Director, Gabrielino/Tongva Nation.

The State of California Native American Heritage Commission indicated that the project site was located within the ancestral homeland of the Gabrieleño-Kizh. As a result, this latter tribe was contacted as part of the early consultation requirements. Representatives from the Gabrieleño-Kizh indicated that development sites that would require grading and/or excavation will need to be monitored during these activities. The tribal representatives indicated that this monitoring was necessary due to the area's high sensitivity for cultural resources.

Tribal representatives were concerned that construction workers not familiar with archeological resources might unknowing damage and/or destroy significant resources. For this reason, the following mitigation will be required:

- *Mitigation Measure 10 (Cultural Resources Impacts)*. The project building contractors will be required to obtain the services of a qualified Native American Monitor during construction-related ground disturbance activities. Ground disturbance is defined by the Tribal Representatives from the Gabrielino Band of Mission Indians, Kizh Nation as activities that include, but are not limited to, pavement removal, pot-holing or auguring, boring, grading, excavation, and trenching, within the project area. The monitor(s) must be approved by the tribal representatives and will be present on-site during the construction phases that involve any ground disturbing activities. The Native American Monitor will complete monitoring logs on a daily basis. The logs will provide descriptions of the daily activities, including construction activities, locations, soil, and any cultural materials identified. The Monitor will photo-document the ground disturbing activities. The monitors must also have Hazardous Waste Operations and Emergency Response (HAZWOPER) certification. In addition, the monitors will be required to provide insurance certificates, including liability insurance, for any archaeological resource(s) encountered during grading and excavation activities, pertinent to the provisions outlined in the California Environmental Quality Act, California Public Resources Code Division 13, Section 21083.2 (a) through (k). The on-site monitoring shall end when the project site grading and excavation activities are completed, or when the monitor has indicated that the site has a low potential for archeological resources.

The aforementioned mitigation will reduce the potential impacts to levels that are less than significant.

C. Would the project, directly or indirectly, destroy a unique paleontological resource, site, or unique geologic feature? • No Impact.

The City is generally underlain by Pleistocene shallow marine, lagoonal, floodplain, and terrace deposits approximately 40,000 years to 1.8 million years old.⁴² The potential for paleontological resources in the area is also considered low due to the character of subsurface soils (recent alluvium)

⁴² Blodgett Baylosis Environmental Planning. *Site Survey* (Survey were completed on August 24 and 27, 2015.)

and the amount of disturbance associated with the previous development that has occurred. The construction activities will be limited to the removal of the existing buildings, concrete foundations, the excavation required for new utility connections, and limited excavation for the new building footings. No excavation will be below the layer of recent alluvium and due to the limited excavation depths, no impacts on paleontological resources are anticipated.

D. Would the project disturb any human remains, including those interred outside of formal cemeteries? • No Impact.

The historic map collection at California State University, Chico was also reviewed and no cemeteries were identified on a historic USGS map of the area dated 1901.⁴³ However, any unanticipated discovery of human remains must be handled pursuant to Health and Safety Code §70505 which provides that in the event that human remains are discovered during construction, construction activity shall cease and the coroner shall be notified. As a result, no impacts are anticipated.

3.5.3 MITIGATION MEASURES

Tribal representatives were concerned that construction workers not familiar with archeological resources might unknowing damage and/or destroy significant resources. For this reason, the following mitigation will be required to address potential cultural resources impacts:

Mitigation Measure No. 1 (Cultural Resources). The project building contractors will be required to obtain the services of a qualified Native American Monitor during construction-related ground disturbance activities. Ground disturbance is defined by the Tribal Representatives from the Gabrielino Band of Mission Indians, Kizh Nation as activities that include, but are not limited to, pavement removal, pot-holing or auguring, boring, grading, excavation, and trenching, within the project area. The monitor(s) must be approved by the tribal representatives and will be present on-site during the construction phases that involve any ground disturbing activities. The Native American Monitor will complete monitoring logs on a daily basis. The logs will provide descriptions of the daily activities, including construction activities, locations, soil, and any cultural materials identified. The Monitor will photo-document the ground disturbing activities. The monitors must also have Hazardous Waste Operations and Emergency Response (HAZWOPER) certification. In addition, the monitors will be required to provide insurance certificates, including liability insurance, for any archaeological resource(s) encountered during grading and excavation activities, pertinent to the provisions outlined in the California Environmental Quality Act, California Public Resources Code Division 13, Section 21083.2 (a) through (k). The on-site monitoring shall end when the project site grading and excavation activities are completed, or when the monitor has indicated that the site has a low potential for archeological resources.

The aforementioned mitigation will reduce the potential impacts to levels that are less than significant.

⁴³ California State University, Chico. Meriam Library Special Collections. California Historic Map Collection.

3.6 GEOLOGY & SOILS IMPACTS

3.6.1 THRESHOLDS OF SIGNIFICANCE

According to the City of Garden Grove, acting as Lead Agency, a project may be deemed to have a significant adverse impact on the environment if it results in the following:

- The exposure of people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving rupture of a known earthquake fault (as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault), ground-shaking, liquefaction, or landslides;
- Substantial soil erosion resulting in the loss of topsoil;
- The exposure of people or structures to potential substantial adverse effects, including location on a geologic unit or a soil that is unstable, or that would become unstable as a result of the project, and potentially result in on-or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse;
- Locating a project on an expansive soil, as defined in the California Building Code, creating substantial risks to life or property; or,
- Locating a project in, or exposing people to potential impacts, including soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater.

3.6.2 ANALYSIS OF ENVIRONMENTAL IMPACTS

- A. *Would the project expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving rupture of a known earthquake fault (as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault), ground-shaking, liquefaction, or landslides?* • *Less than Significant Impact.*

A number of active faults traverse the Southern California region, posing a threat to millions of residents including those who reside in the City. Earthquakes from several active and potentially active faults in the surrounding region could affect the project site. The project site is not located in an area that is at risk for fault rupture according to the latest Alquist-Priolo Earthquake Fault Zone list. In 1972, the Alquist-Priolo Earthquake Zoning Act was passed in response to the damage sustained in the 1971 San Fernando Earthquake.⁴⁴

⁴⁴ California Department of Conservation. *What is the Alquist-Priolo Act* <http://www.conservation.ca.gov/cgs/rghm/ap/Pages/main.aspx>

Major active faults in the region are identified in Table 3-5, along with their distance from the City and their Maximum Credible Richter (MCR) magnitude. A map indicating the location and extent of major faults in the Southern California region is provided in Exhibit 3-4. The project site is not located within an Alquist-Priolo Special Studies Zone, and no fault rupture from a known fault is anticipated.

Table 3-5
Active Earthquake Faults Near the Site

Fault Name	Miles from Site	MCR
San Andreas Fault	43 miles N	8.0
Palos Verdes Fault	22 miles SW	6.7
Elsinore Fault	37 miles SE	7.1
Newport-Inglewood Fault	6 miles SW	7.6
Whittier Fault	6 miles NE	7.0
Sierra Madre Fault	20 miles N	8.0

MCR - Maximum Credible Richter Magnitude.

Source: United States Geological Survey.

The California Geological Survey (CGS) is authorized to implement the Seismic Hazards Mapping Act of 1990.⁴⁵ According to the Seismic Zones Hazard Map (refer to Exhibit 3-5) prepared for the Garden Grove 7½ Minute Quadrangle, the project site is in a potential risk area for liquefaction. As is apparent from the review of the map, major portions of the City are also included within an area where there is an elevated risk for liquefaction. The map also indicates the site is not located in an area that is subject to potential landslides. The topography of the project site and the surrounding area is generally level. The design of the residential units will be required to conform to the current Building Code seismic requirement. The most recent California Building Code requirements call for stronger masonry construction on-site through shear-testing, wall anchors, and embedded wall bolts. As a result, the impacts will be less than significant.

B. Would the project result in substantial soil erosion or the loss of topsoil? • No Impact.

The project site will continue to be covered over in impervious surfaces (paved parking areas, roadways, and buildings) following development. Limited excavation will be required for building footings and utility connections. Given the developed character of the project area, no impacts related to soil erosion or the loss of topsoil are anticipated.

⁴⁵ United States Geological Survey. <http://earthquake.usgs.gov/regional/nca/bayarea/apfaults.php>. Site accessed on September 2, 2015.

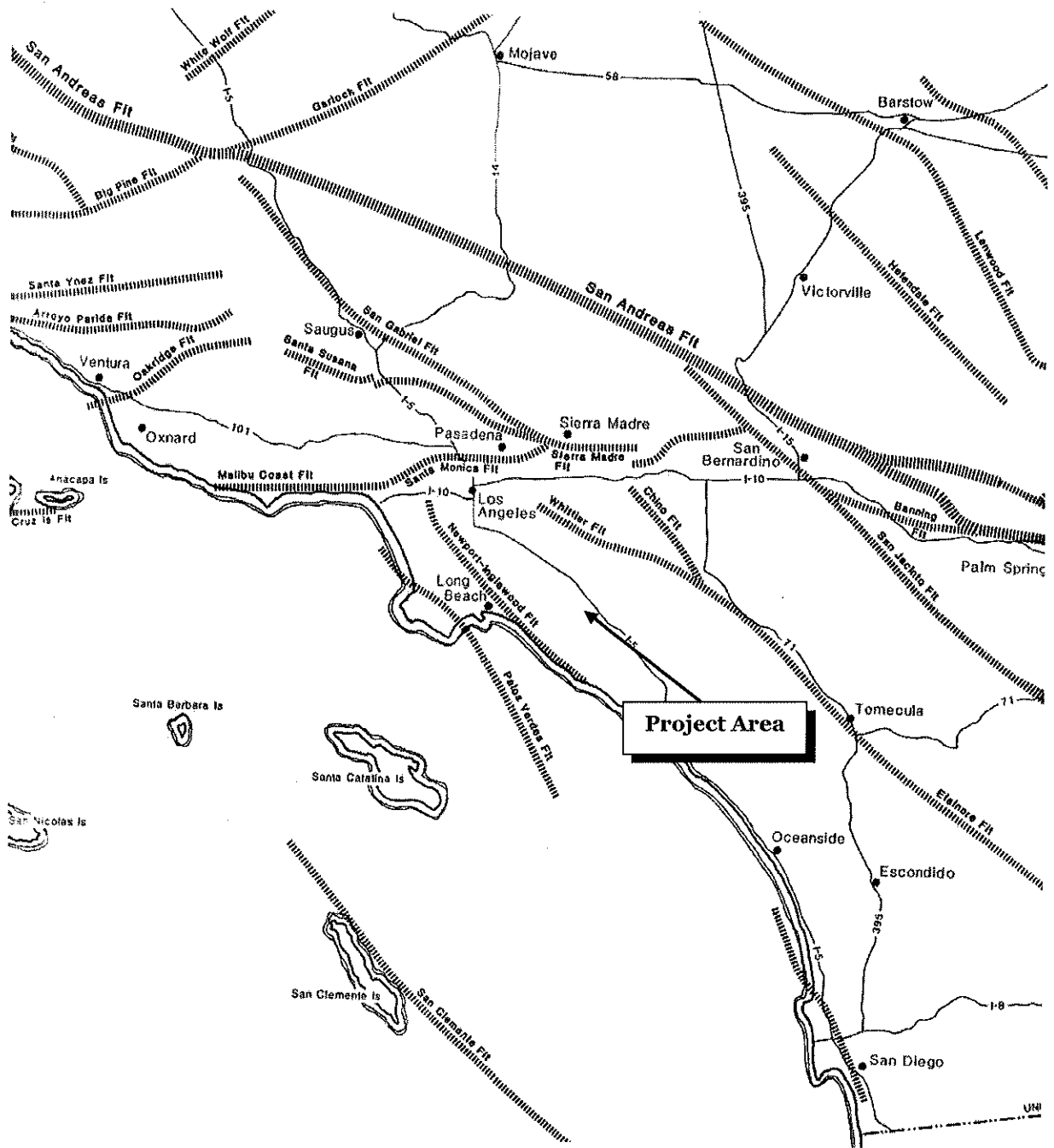


EXHIBIT 3-4
GENERAL LOCATION OF MAJOR SOUTHERN CALIFORNIA FAULTS
SOURCE: UNITED STATES GEOLOGICAL SURVEY

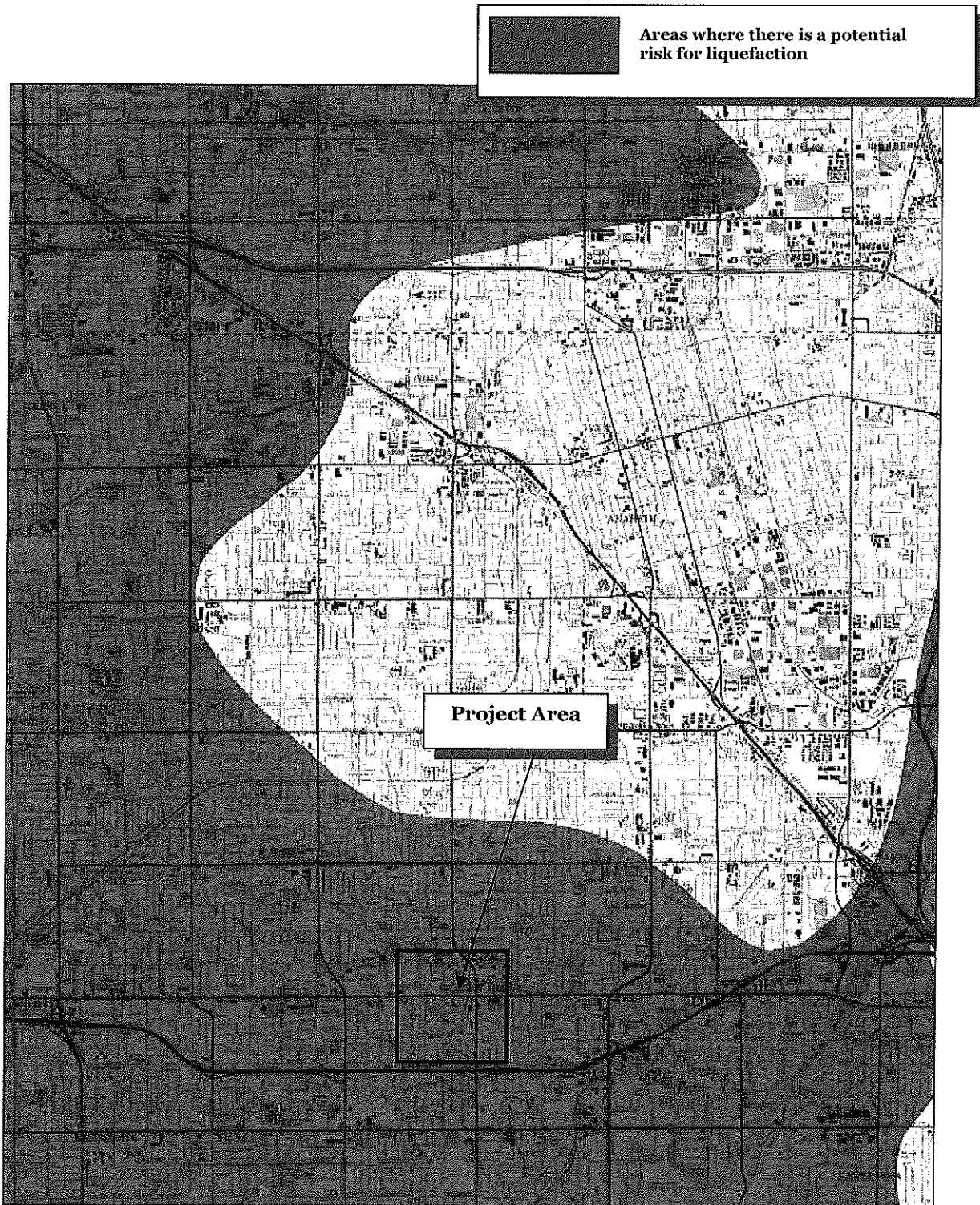


EXHIBIT 3-5
LIQUEFACTION RISKS
SOURCE: CALIFORNIA GEOLOGICAL SURVEY

- C. *Would the project be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on-site or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse? • Less than Significant Impact.*

Recent studies completed by the CGS Seismic Hazard Zones Mapping Program indicate the project site is not located within an area that is subject to potential slope failure. As indicated previously, the project site is located within an area that may be subject to potential liquefaction risk. The soils that underlie the project site are suitable for future development. The design of the project improvements will be required to conform to the current Building Code seismic requirement. As indicated previously, the most recent Building Code requirements call for stronger masonry construction, the use of wall anchors, and embedded wall bolts. As a result, the impacts will be less than significant.

- D. *Would the project be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (2012) creating substantial risks to life or property? • Less than Significant Impact.*

The Hueneme-Bolsa Soils Association exhibits severe shrink-swell characteristics according to the United States Department of Agriculture (USDA).⁴⁶ The shrink swell potential refers to the extent to which the soil shrinks as it dries out or swells when the soils get wet. The extent of shrinking and swelling is influenced by the amount and kind of clay in the soil. Shrinking and swelling of soils may cause damage to building foundations, roads, and other structures. Special geotechnical and structural considerations can mitigate the effects of soils that have a high shrink-swell potential. The proposed project will be designed to ameliorate the effects of the underlying expansive soils. As a result, the potential impacts will be less than significant.

- E. *Would the project be located on soils that are incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater? • No Impact.*

No septic tanks will be used as part of proposed project. The proposed project will be required to connect with the sanitary sewer system. As a result, no impacts associated with the use of septic tanks will occur as part of the proposed project's implementation.

3.6.3 MITIGATION MEASURES

The analysis determined that the proposed project would not result in any impacts related to earth and geology. As a result, no mitigation measures are required.

⁴⁶ United States Department of Agriculture, Soil Conservation Service. *Soil Survey of Orange County and Western Part of Riverside County, California.*

3.7 GREENHOUSE GAS EMISSIONS IMPACTS

3.7.1 THRESHOLDS OF SIGNIFICANCE

A project may be deemed to have a significant adverse impact on greenhouse gas emissions if it results in any of the following:

- The generation of greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment; and,
- The potential for conflict with an applicable plan, policy or regulation adopted for the purpose of reducing emissions of greenhouse gases.

3.7.2 ENVIRONMENTAL ANALYSIS

A. *Would the project generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment? • Less than Significant Impact.*

The State of California requires CEQA documents to include an evaluation of greenhouse gas (GHG) emissions or gases that trap heat in the atmosphere. GHG are emitted by both natural processes and human activities. Examples of GHG that are produced both by natural and industrial processes include carbon dioxide (CO₂), methane (CH₄), and nitrous oxide (N₂O). The accumulation of GHG in the atmosphere regulates the earth's temperature. Without these natural GHG, the Earth's surface would be about 61°F cooler.⁴⁷ However, emissions from fossil fuel combustion have elevated the concentrations of GHG in the atmosphere to above natural levels.

GHG differ from criteria or toxic air pollutants in that the GHG emissions do not cause direct adverse human health effects. Rather, the direct environmental effect of GHG emissions is the increase in global temperatures, which in turn has numerous impacts on the environment and humans. For example, some observed changes to include shrinking glaciers, thawing permafrost, later freezing and earlier break-up of ice on rivers and lakes, a lengthened growing season, shifts in plant and animal ranges, and earlier flowering of trees. Other, longer term environmental impacts of global warming may include a rise in sea level, changing weather patterns with increases in the severity of storms and droughts, changes to local and regional ecosystems including the potential loss of species, and a significant reduction in winter snow pack.

Table 3-6 summarizes annual greenhouse gas (CO₂E) emissions from build-out of the proposed project. Carbon Dioxide equivalent, or CO₂E, is a term that is used for describing different greenhouses gases in a common and collective unit. The SCAQMD has recommended several GHG thresholds of significance. These thresholds include 1,400 metric tons per year of CO₂E for commercial projects, 3,500 tons per year for residential projects, 3,000 tons per year for mixed-use projects, and 7,000 tons per year for industrial projects.

⁴⁷ California, State of. OPR Technical Advisory – CEQA and Climate Change: Addressing Climate Change through the California Environmental Quality Act (CEQA) Review. June 19, 2008.

**Table 3-6
 Greenhouse Gas Emissions Inventory**

Source	GHG Emissions (Lbs/Day)			
	CO ₂	CH ₄	N ₂ O	CO ₂ E
Construction Phase – Demolition	1,093.61	0.23	--	1,098.62
Construction Phase – Site Preparation	973.08	0.29	--	979.24
Construction Phase – Grading	1,093.61	0.23	--	1,198.62
Construction Phase - Construction	1,178.55	0.35	--	1,186.02
Construction Phase - Paving	1,083.58	0.29	--	1,089.81
Construction Phase - Coatings	281.44	0.03	--	282.14
Long-Term Area Emissions	275.16	0.28	--	283.03
Long-Term Energy Emissions	58.00	--	--	51.31
Long-Term Mobile Emissions	660.70	0.02	--	661.22
Total Long-Term Emissions	986.87	0.30	--	995.57

Source: California Air Resources Board, CalEEMod [CalEEMod V. 2013 2.2.

As indicated in Table 3-6, the CO₂E total for the project is 995.57 pounds per day (0.45 tons of MTCO₂E per day). This equates to approximately 164.25 tons per year. This amount is well under the thresholds of significance for mixed-use, which is 3,000 tons per year. Therefore, the project's GHG impacts are less than significant.

B. Would the project conflict with an applicable plan, policy, or regulation adopted for the purpose of reducing emissions of greenhouse gases? • Less than Significant Impact.

The proposed project will be consistent with the California Environmental Protection Agency Climate Action Team's proposed early action measures to mitigate climate change. These early action measures are designed to ensure that projects meet the Governor's climate reduction targets, and are documented in the *Climate Action Team Report to Governor Schwarzenegger at the Legislature*, March 2006. The early action measures are also included in the CARB Scoping Plan and are mandated under AB 32. A complete list of CARB Scoping Plan Measures/Recommended Actions needed to obtain AB 32 goals, as well as the Governor's Executive Order, are referenced in Table 3-7. Table 3-7 also identifies which CARB *Recommended Actions* apply to the proposed project, and of those, whether the proposed project is consistent.

**Table 3-7
 Recommended Actions for Climate Change**

ID #	Sector	Strategy Name	Applicable to Project?	Will Project Conflict With Implementation?
T-1	Transportation	Pavley I and II – Light-Duty Vehicle GHG Standards	No	No
T-2	Transportation	Low Carbon Fuel Standard (Discrete Early Action)	No	No
T-3	Transportation	Regional Transportation-Related GHG Targets	No	No
T-4	Transportation	Vehicle Efficiency Measures	No	No
T-5	Transportation	Ship Electrification at Ports (Discrete Early Action)	No	No
T-6	Transportation	Goods-movement Efficiency Measures	No	No
T-7	Transportation	Heavy Duty Vehicle Greenhouse Gas Emission Reduction Measure	No	No
T-8	Transportation	Medium and Heavy-Duty Vehicle Hybridization	No	No
T-9	Transportation	High Speed Rail	No	No
E-1	Electricity and Natural Gas	Increased Utility Energy Efficiency Programs More Stringent Building and Appliance Standards	Yes	No
E-2	Electricity and Natural Gas	Increase Combined Heat and Power Use by 30,000GWh	No	No
E-3	Electricity and Natural Gas	Renewable Portfolio Standard	No	No
E-4	Electricity and Natural Gas	Million Solar Roofs	No	No
CR-1	Electricity and Natural Gas	Energy Efficiency	Yes	No
CR-2	Electricity and Natural Gas	Solar Water Heating	No	No
GB-1	Green Buildings	Green Buildings	No	No
W-1	Water	Water Use Efficiency	Yes	No
W-2	Water	Water Recycling	No	No
W-3	Water	Water System Energy Efficiency	Yes	No
W-4	Water	Reuse Urban Runoff	No	No
W-5	Water	Increase Renewable Energy Production	No	No
W-6	Water	Public Goods Charge (Water)	No	No
I-1	Industry	Energy Efficiency and Co-benefits Audits for Large Industrial Sources	No	No
I-2	Industry	Oil and Gas Extraction GHG Emission Reduction	No	No
I-3	Industry	GHG Leak Reduction from Oil and Gas Transmission	No	No
I-4	Industry	Refinery Flare Recovery Process Improvements	No	No
I-5	Industry	Removal of Methane Exemption from Existing Refinery Regulations	No	No
RW-1	Recycling and Waste Management	Landfill Methane Control (Discrete Early Action)	No	No

**Table 3-7
 Recommended Actions for Climate Change (continued)**

ID #	Sector	Strategy Name	Applicable to Project?	Will Project Conflict With Implementation?
RW-2	Recycling and Waste Management	Additional Reductions in Landfill Methane – Capture Improvements	No	No
RW-3	Recycling and Waste Management	High Recycling/Zero Waste	Yes	No
F-1	Forestry	Sustainable Forest Target	No	No
H-1	High Global Warming Potential Gases	Motor Vehicle Air Conditioning Systems (Discrete Early Action)	No	No
H-2	High Global Warming Potential Gases	SF6 Limits in Non-Utility and Non-Semiconductor Applications (Discrete Early Action)	No	No
H-3	High Global Warming Potential Gases	Reduction in Perfluorocarbons in Semiconductor Manufacturing (Discrete Early Action)	No	No
H-4	High Global Warming Potential Gases	Limit High GWP Use in Consumer Products (Discrete Early Action, Adopted June 2008)	No	No
H-5	High Global Warming Potential Gases	High GWP Reductions from Mobile Sources	No	No
H-6	High Global Warming Potential Gases	High GWP Reductions from Stationary Sources	No	No
H-7	High Global Warming Potential Gases	Mitigation Fee on High GWP Gases	No	No
A-1	Agriculture	Methane Capture at Large Dairies	No	No

Source: California Air Resources Board, *Assembly Bill 32 Scoping Plan*, 2008.

Of the 39 measures identified, those that would be considered to be applicable to the proposed project include actions related to electricity and natural gas use and water conservation. The proposed project would not conflict with adopted initiatives that are designed to control GHG emissions in the coming years. The project will involve the reuse of an existing urban property and *infill development* is seen as an important strategy in reducing regional GHG emissions. The proposed project’s implementation of Title 24 measures, the installation and use of Energy Star® appliances, and water conservation measures will be effective in indirectly reducing GHG emissions. Therefore, the proposed project will not be in conflict with the State’s recommended actions for addressing climate change. As a result, the impacts will be less than significant.

3.7.3 MITIGATION MEASURES

The analysis of potential impacts related to greenhouse gas emissions indicated that the potential GHG impacts associated with the project's implementation would be less than significant. As a result, no mitigation measures are required.

3.8 HAZARDS & HAZARDOUS MATERIALS IMPACTS

3.8.1 THRESHOLDS OF SIGNIFICANCE

According to the City of Garden Grove, acting as Lead Agency, a project may be deemed to have a significant adverse impact on risk of upset and human health if it results in any of the following:

- The creation of a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials;
- The creation of a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment;
- The generation of hazardous emissions or the handling of hazardous or acutely hazardous materials, substances or waste within one-quarter mile of an existing or proposed school;
- Locating the project on a site that is included on a list of hazardous material sites compiled pursuant to Government Code Section §65962.5 resulting in a significant hazard to the public or the environment;
- Locating the project within an area governed by an airport land use plan, or where such a plan has not been adopted, within two miles of a public airport or a public use airport that would result in a safety hazard for people residing or working in the project area;
- Locating the project in the vicinity of a private airstrip that would result in a safety hazard for people residing or working in the project area;
- The impairment of the implementation of, or physical interference with, an adopted emergency response plan or emergency evacuation plan; or,
- The exposure of people or structures to a significant risk of loss, injury, or death involving wild land fire.

3.8.2 ANALYSIS OF ENVIRONMENTAL IMPACTS

A. *Would the project create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?* • *No Impact.*

The Environmental Protection Agency's (EPA's) *Environfacts* Database was consulted to identify EPA-regulated facilities within the project area. The site is not included on this list. All demolition debris that may contain lead or asbestos containing materials will be handled and disposed of in accordance with existing regulations. These regulations include equipment and the training of personnel engaged in the handling and removal of hazardous materials, and the means of transport and disposal. Finally, the proposed ten work-live units will not involve the storage and use of any hazardous products other than those commonly used in a household setting. As a result, no impacts are anticipated.

B. Would the project create a significant hazard to the public or the environment, or result in reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment? • No Impact.

Future development arising as part of the proposed project's implementation will include ten work-live units. The use of hazardous materials for the development will consist of those commonly used in a household setting for routine maintenance and cleaning. As a result, no impacts are anticipated.

C. Would the project emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school? • No impact.

Hazardous chemicals and materials used on-site will be limited to common household maintenance and cleaning products. Because of the nature of the proposed use, no hazardous or acutely hazardous materials will be emitted. During the demolition phases, asbestos containing materials and/or lead paint may be encountered. As indicated in subsection 3.8.2.A, any such materials would be handled and disposed of in accordance with the existing regulations. As a result, no impacts concerning a release of hazardous materials are anticipated.

D. Would the project be located on a site, which is included on a list of hazardous material sites compiled pursuant to Government Code Section §65962.5, and, as a result, would it create a significant hazard to the public or the environment? • No Impact.

The project site is not included on a hazardous sites list compiled pursuant to California Government Code Section §65962.5.⁴⁸ As a result, no impacts are anticipated.

E. Would the project be located within an airport land use plan, or where such a plan has not been adopted, within two miles of a public airport or a public use airport, would the project result in a safety hazard for people residing or working in the project area? • No Impact.

The nearest general aviation airport is the Fullerton Municipal Airport (FMA) located at 4011 West Commonwealth Avenue, 6.92 miles to the northwest of the project site. The FMA is within the oversight of the Orange County Airport Land Use Commission (ALUC). The ALUC is required to prepare and adopt an airport land use plan for each of the airports within its jurisdiction. The ALUC prepared the *Airport Environs Land Use Plan for Fullerton Municipal Airport (AELUP)* as a means to protect the public from the adverse effects of aircraft noise, to ensure that people and facilities are not concentrated in areas susceptible to aircraft accidents, and to ensure that no structures or activities adversely affect navigable airspace. A *Runway Protection Zone (RPZ)* is a trapezoidal area located off of each end of a runway that is used to enhance the protection of people and property on the ground. The proposed project site is located over 6.92 miles to the southeast of the nearest RPZ.

⁴⁸ California, State of, Department of Toxic Substances Control, DTSC's Hazardous Waste and Substances Site List - Site Cleanup (Cortese List), 2009.

The nearest military airport is the Los Alamitos Joint Forces Training Base (JFTB), located approximately 5.78 miles to the northwest of the project site. As a result, the proposed project will not affect or be affected by aircraft operations and no impacts will result.

F. Would the project be located within the vicinity of a private airstrip, result in a safety hazard for people residing or working in the project area? • No Impact.

The project site is not located within two miles of a *private* airstrip.⁴⁹ As a result, the proposed project will not present a safety hazard related to aircraft and/or airport operations at a private use airstrip and no impacts are anticipated.

G. Would the project impair implementation of, or physically interfere with, an adopted emergency response plan or emergency evacuation plan? • No Impact.

At no time will the adjacent public streets, Garden Grove Boulevard or Pearl Street, be completely closed to traffic during the construction phases. The construction plans will be reviewed by the City to identify specific provisions for the regulation of construction vehicle ingress and egress to the site during construction as a means to provide continued access. As a result, no impacts are associated with the proposed project's implementation.

H. Would the project expose people or structures to a significant risk of loss, injury, or death involving wild lands fire, including where wild lands are adjacent to urbanized areas or where residences are intermixed with wild lands? • No Impact.

The project area is developed as are the surrounding properties. There are no areas of native vegetation found within the project site or in the surrounding properties that could provide a fuel source for a wildfire.⁵⁰ As a result, there are no impacts associated with potential wildfires from off-site locations.

3.8.3 MITIGATION MEASURES

The analysis determined that no significant impacts related to hazardous materials or human health would be associated with the proposed project's implementation. As a result, no mitigation is required.

⁴⁹ United States Geological Survey. *Garden Grove 7 1/2 Minute Quadrangle*. 1994.

⁵⁰ *Ibid.*

3.9 HYDROLOGY & WATER QUALITY IMPACTS

3.9.1 THRESHOLDS OF SIGNIFICANCE

According to the City of Garden Grove, acting as Lead Agency, a project may be deemed to have a significant adverse environmental impact on water resources or water quality if it results in any of the following:

- A violation of any water quality standards or waste discharge requirements;
- A substantial depletion of groundwater supplies or interference with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level;
- A substantial alteration of the existing drainage pattern of the site or area through the alteration of the course of a stream or river in a manner that would result in substantial erosion or siltation on- or off-site;
- A substantial alteration of the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that would result in flooding on-site or off-site;
- The creation or contribution of water runoff that would exceed the capacity of existing or planned storm water drainage systems or the generation of substantial additional sources of polluted runoff;
- The substantial degradation of water quality;
- The placement of housing within a 100-year flood hazard area as mapped on a Federal Flood Hazard Boundary, Flood Insurance Rate Map, or other flood hazard delineation map;
- The placement of structures within 100-year flood hazard areas that would impede or redirect flood flows;
- The exposure of people or structures to a significant risk of loss, injury, or death involving flooding as a result of dam or levee failure; or,
- The exposure of a project to inundation by seiche, tsunami, or mudflow.

3.9.2 ANALYSIS OF ENVIRONMENTAL IMPACTS

A. *Would the project violate any water quality standards or waste discharge requirements? • Less than Significant Impact.*

The proposed project will consist of ten work-live units within the 0.69-acre site. The major source of potential water pollution is related to sheet runoff capturing surface pollutants from driveways and other impervious areas that are then conveyed into the local storm water system that is composed of

gutters, drains, catch basins, and pipes. This storm water infrastructure will collect the water run-off which will be conveyed to the local storm drain system. In the absence of certain design measures, trash, animal waste, chemicals, and other pollutants would be transported untreated through the storm water system where it is ultimately conveyed to the regional storm drain system.

As part of the development, certain improvements will be installed that will affect the amount of potential storm water runoff.⁵¹ For example, the majority of the project site will continue to be paved or otherwise covered in impervious surfaces. The existing landscaping includes the front and rear yard areas of the single-family home and very limited landscaping for the commercial properties. The estimated existing pervious area is 3,358 square feet. According to the proposed project's site plan, the total landscaped area will be 4,410 square feet.⁵² As a result, the proposed project's pervious area will be greater than the existing amount. In addition, the site's topography will not significantly change. As a result, there will not be an increase in either peak run-off volumes or peak run-off velocity.

The proposed project will be required to comply with all pertinent requirements of the National Pollutant Discharge Elimination System (NPDES). The first NPDES requirement involves the preparation, submittal, and implementation of a Standard Urban Storm Water Mitigation Plan (SUSMP) that includes design features and Best Management Practices (BMPs). These BMPs may include, but not be limited to, the use of sandbag berms, stabilized construction entrance/exit, sediment traps, and storm drain inlet projections. The purpose of the SUSMP is to reduce the potential for post-construction pollutants entering into the storm water system. The City is required to approve the SUSMP prior to the issuance of any grading or building permit.

The second requirement involves the preparation of a Storm Water Pollution Prevention Plan (SWPPP) for development that disturbs areas of between two to five acres. The Applicant must ensure that a SWPPP is approved, or file a Notice of Intent to comply with the State permit prior to issuance of a grading permit.⁵³ Adherence to the aforementioned requirements will reduce the potential impacts to levels that are less than significant.

B. Would the project substantially deplete groundwater supplies or interfere substantially with groundwater recharge in such a way that would cause a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)? • Less than Significant Impact.

The proposed development is projected to consume approximately 2,500 gallons per day assuming 250 gallons per day per unit. However, the proposed project will utilize low-flush toilets and other water conservation devices as a means to reduce water consumption. In addition, the development will be required to employ the water conserving irrigation equipment as a means to further reduce consumption. When considering the consumption from the three existing units, the net change will be

⁵¹ The first 3/4 inches of rainfall from any storm shall be treated and infiltrated through the use of vegetated swales.

⁵² George Behnam, Architect. Design Package [Mixed Use Development], 10641 & 10661 Garden Grove Blvd. & 10642 Pearl St. April 21, 2015.

⁵³ City of Garden Grove. *The Garden Grove Plan, Program Environmental Impact Report*. February 2012.

negligible. Because of the minimal change in overall water consumption, the projected water consumption will not result in an overdraft of the existing available groundwater supply. In addition, the landscaping will consist of drought tolerant species that will conserve water. As a result, the potential impacts are anticipated to be less than significant.

C. Would the project substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner, which would result in substantial erosion or siltation on- or off-site? • No Impact.

No natural drainage or riparian areas remain within the project site or the surrounding area due to the past development. During construction, the contractors must adhere to all regulations that govern erosion control during construction (refer to Section 3.9.2.A). Since there are no natural streams or riparian areas, no impacts are anticipated.

D. Would the project substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner, which would result in flooding on- or off-site? • No Impact.

The project site and the adjacent properties are developed in residential and commercial uses. There are no natural lakes or streams within or adjacent to the project site.⁵⁴ The project site is located in the midst of an existing urban area and no natural drainage features are found within the project site or on the adjacent parcels.⁵⁵ As a result, no impacts are anticipated.

E. Would the project create or contribute runoff water, which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff? • No Impact.

The stormwater runoff will continue to be conveyed to local storm drains via the curb and gutters. The nature and extent of stormwater runoff ultimately discharged into the existing storm drain system will not significantly change from the existing levels. The areas where the new construction will occur are presently covered over in impervious surfaces. In addition, BMPs will be employed to capture storm water runoff during construction. These potential BMPs are summarized under Section 3.9.2.A. As a result, no impacts are anticipated.

F. Would the project otherwise substantially degrade water quality? • No Impact.

The standard regulations concerning stormwater runoff will mitigate any potential impacts from the proposed project. The existing landscaping includes the front and rear yard areas of the single-family home and very limited landscaping for the commercial properties. The estimated existing pervious area is 3,358 square feet. According to the proposed project's site plan, the total landscaped area will be 4,410 square feet.⁵⁶ As a result, the proposed project's pervious area will be greater than the

⁵⁴ Blodgett Baylosis Environmental Planning. *Site Survey* (Survey were completed on August 24 and 27, 2015.)

⁵⁵ United States Geological Survey. *Garden Grove 7 1/2 Minute Quadrangle*. 1994.

⁵⁶ George Behnam, Architect. Design Package [Mixed Use Development], 10641 & 10661 Garden Grove Blvd. & 10642 Pearl St. April 21, 2015.

existing amount, and no additional impacts beyond those previously identified are anticipated.

G. Would the project place housing within a 100-year flood hazard area as mapped on a Federal Flood Hazard Boundary, Flood Insurance Rate Map or other flood hazard delineation map? • Less than Significant Impact.

The project site is not located within a designated 100-year flood hazard area as defined by FEMA (the flood zones are well east of the site, east of Euclid Street). However, the project site is located within the Regular Flood Hazard Zone "X" as determined by FEMA Flood Insurance Rate Map No.06059C0138J (Community No. 060229, Panel 0138J), issued on December 3, 2009. Flood Zone "X", which is not subject to the Flood Hazard Overlay Zone, includes areas of a potential 500-year flood; with average flood water depths of less than one foot, or with an average drainage area less of less than one square mile, and areas protected by levees from 100-year floods.⁵⁷ As a result, the proposed project will not involve the placement of any structures that would impede or redirect potential floodwater flows. Therefore, less than significant flood-related impacts are anticipated.

H. Would the project place within a 100-year flood hazard area, structures that would impede or redirect flood flows? • No Impact.

As indicated previously, the project site is not located within a designated 100-year flood hazard area as defined by FEMA.⁵⁸ The proposed project will not involve the placement of any structures that would impede or redirect potential floodwater flows. Therefore, no impacts are anticipated with the proposed project's implementation.

I. Would the project expose people or structures to a significant risk of loss, injury, or death, involving flooding as a result of the failure of levee or dam? • Less than Significant Impact.

The project site and the majority of the City are located within an area that could be subject to flows due to failure or overflow at the Prado Dam. Inundation from dam failure will potentially affect the entire City. The primary impact associated with potential dam failure will be related to property damage since flood water will be relatively shallow and the flood water releases would be gradual.⁵⁹ In addition, this risk generally applies to the entire City. As a result, the potential impact is considered to be less than significant.

J. Would the project result in inundation by seiche, tsunami, or mudflow? • No Impact.

The project site is located approximately ten miles inland from the Pacific Ocean and, as a result, would not be exposed to the effects of a tsunami. In addition, there are no surface water bodies in the immediate area of the project site that would result in a potential seiche hazard. As a result, no impacts related to seiche, tsunami, or mudflows will result from the implementation of the proposed project.

⁵⁷ Blodgett Baylosis Environmental Planning. *Site Survey* (Survey were completed on August 24 and 27, 2015.)

⁵⁸ City of Garden Grove. The Garden Grove Plan, Program Environmental Impact Report. Exhibit 5.8-2.

⁵⁹ United States Army Corps of Engineers, Los Angeles District. Dam Safety Program. <http://www.spl.usacc.army.mil/Media/FactSheets/tabid/1321/Article/477349/dam-safety-program.aspx>.

3.9.3 MITIGATION MEASURES

The analysis determined that the proposed project would not result in any significant hydrology or water quality impacts. As a result, no mitigation is required.

3.10 LAND USE & PLANNING IMPACTS

3.10.1 THRESHOLDS OF SIGNIFICANCE

According to the City of Garden Grove, acting as Lead Agency, a project may be deemed to have a significant impact on land use and development if it results in any of the following:

- The physical division and disruption of an established community;
- A conflict with an applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to, a general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect; or,
- A conflict with any applicable habitat conservation or natural community conservation plan.

3.10.2 ANALYSIS OF ENVIRONMENTAL IMPACTS

A. Would the project physically divide an established community? • No Impact.

The project site is located in the midst of an urbanized area that includes commercial development along the site's Garden Grove Boulevard frontage and a single-family unit along the Pearl Street frontage. These existing uses and the related improvements will be demolished to accommodate the proposed project. Commercial uses abut that portion of the project located along the Garden Grove Boulevard frontage while residential uses abut the northern portion of the project site along the Pearl Street frontage. The dominant land uses located further north of the project site are manufacturing uses.⁶⁰ The existing land uses in the vicinity of the project site are noted in Exhibit 3-6. The proposed mixed-use project will not result in the division of an established residential neighborhood. As a result, no impacts are anticipated.

B. Would the project conflict with an applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to, a general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect? • No Impact.

The project site is designated as *Industrial/Residential Mixed Use 2* in the City of Garden Grove General Plan. The properties located on either side of the project site and to the north are also designated as *Industrial/Residential Mixed Use 2*. Finally, the properties located to the south and opposite the project site, on the south side of Garden Grove Boulevard, are designated as *Light Commercial*. The project site is zoned *AR (Adaptive Reuse)*. The properties located to the north, east, and west are also zoned *AR*.⁶¹

⁶⁰ Blodgett Baylosis Environmental Planning. *Site Survey* (Survey were completed on August 24 and 27, 2015.)

⁶¹ George Behnam, Architect. Design Package [*Mixed Use Development*], 10641 & 10661 Garden Grove Blvd. & 10642 Pearl St. April 21, 2015.

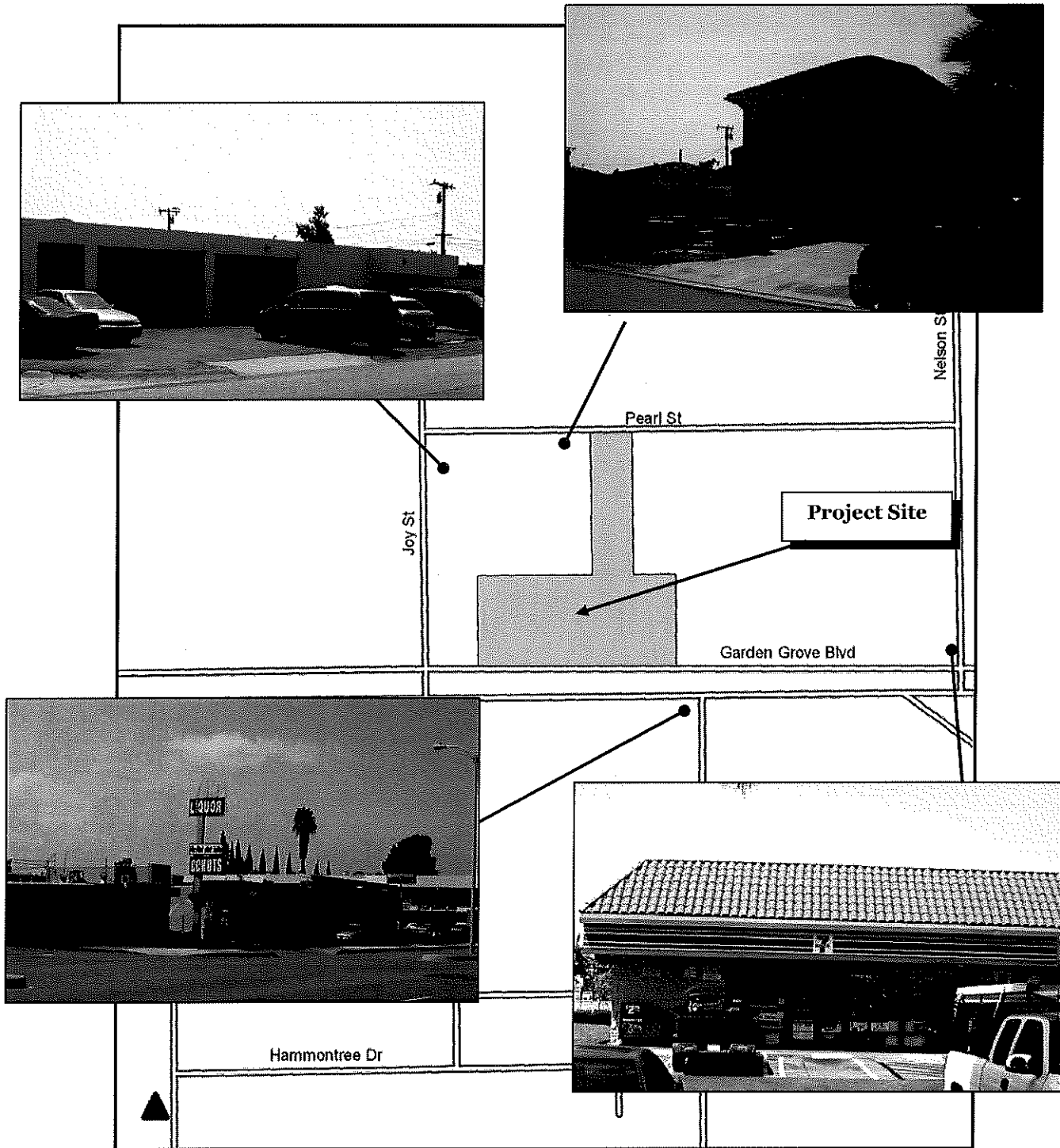


EXHIBIT 3-6
EXISTING LAND USES AND DEVELOPMENT
SOURCE: BLODGETT BAYLOSIS ENVIRONMENTAL PLANNING

parcels located to the south of the project site, along the south side of Garden Grove Boulevard, are zoned *GGMU3 (Garden Grove Mixed Use 3)*. The General Plan and Zoning Map are shown in Exhibit 3-7 and 3-8, respectively. As indicated previously, the project site and the properties located to the west, east, and north of the project site are zoned *AR (Adaptive Reuse)*. The AR zone allows for a mix of work-live units, light industrial uses including activities engaged in research and technology, office, limited entertainment, and complementary uses. Residential uses within the AR zone are permitted only as work-live, either in new developments or as adaptive reuse of existing structures. The AR zone implements the Industrial/Residential Mixed-Use 2 land use designation which is applicable to the project site. The applicable zoning regulations for the AR zone are summarized below and on the following pages.⁶²

- *Permitted Uses.* Residential uses within the AR zone are permitted only as work-live, either in new developments or as adaptive reuse of existing structures. The non-residential component of a work-live development shall be a use allowed within the applicable zone by Section 9.18.020 (Uses Permitted) and Table 9.18-1 (Use Regulations for the Mixed-Use Zones). All floor area other than that reserved for living space shall be reserved and regularly used for working space. The proposed ten work-live units conform to these land use requirements.
- *Prohibited Uses.* Prohibited uses include auto repair uses, including paint, body work, or auto maintenance; storage of flammable liquids or hazardous materials (beyond that normally associated with a residential use); and any other activity or use, as determined by the responsible review authority to not be compatible with residential activities.⁶³ The proposed ten work-live units will include the residential units and office space which is permitted.
- *Conversion of Work-live Units.* After approval, a work-live unit may not be converted to entirely residential use. The covenants, conditions, and restrictions of any work-live project or unit in any Mixed-Use zone shall include the requirement that the work-live use shall not be converted to exclusive residential use. The proposed project will be required to comply with this requirement.
- *Floor Area Requirement.* A work-live unit shall have a minimum floor area of at least 750 square feet. The maximum size of the residential portion of the work-live unit shall be no more than 40 percent of the unit to ensure that the residential portion remains accessory to the primary commercial use. The proposed project will comply with this requirement.

⁶² City of Garden Grove. Garden Grove Mixed Use Zones Zoning Ordinance Amendment. <http://www.ci.garden-grove.ca.us/pdf/citymanager/mixed-use-regulations.pdf>.

⁶³ Uses that have the possibility of affecting the health or safety of work-live unit residents due to the potential for the use to create dust, glare, heat, noise, noxious gases, odor, smoke, traffic, vibration or other impacts, or would be hazardous because of materials, processes, products, or wastes.

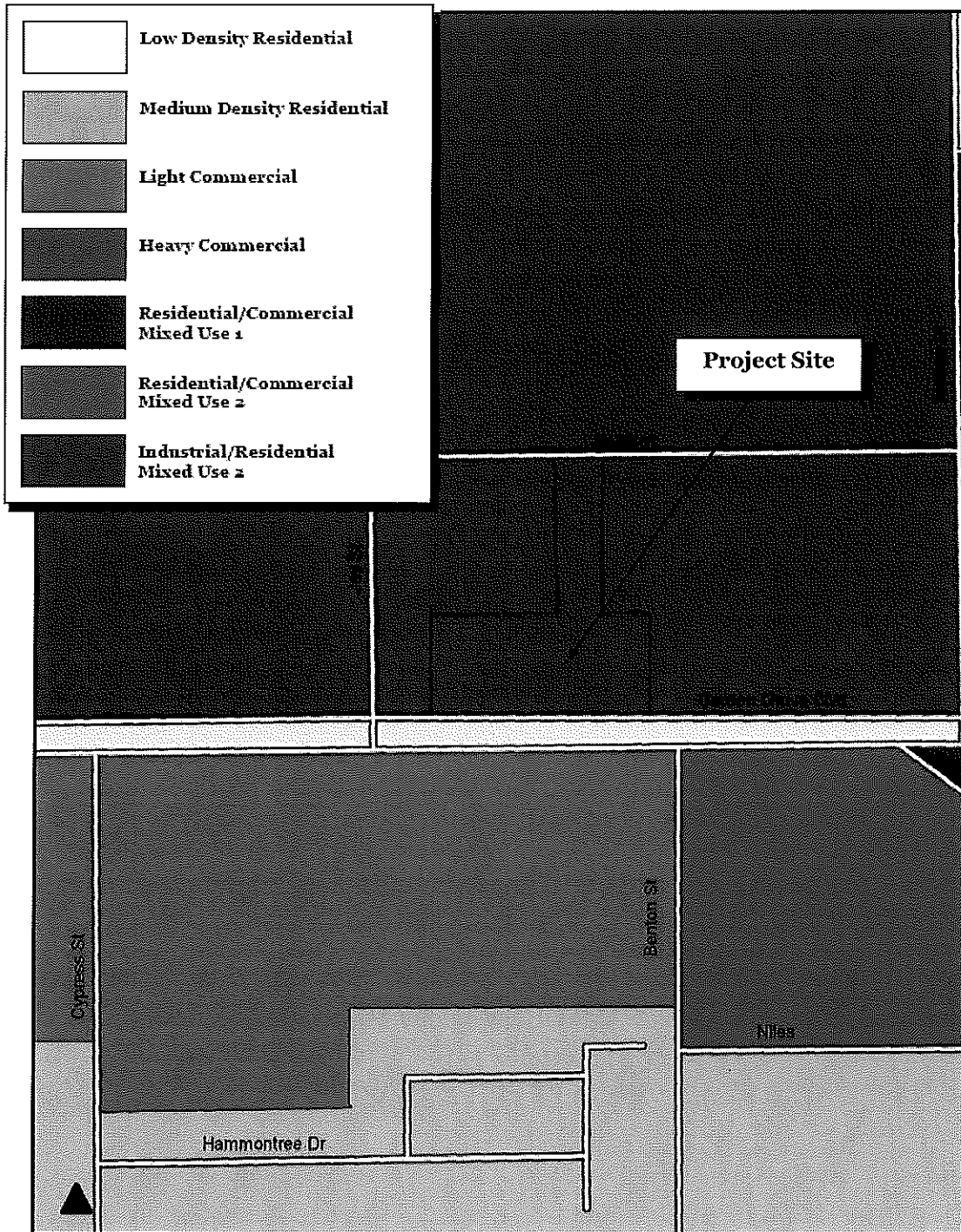


EXHIBIT 3-7
EXISTING GENERAL PLAN LAND USE DESIGNATIONS
SOURCE: CITY OF GARDEN GROVE

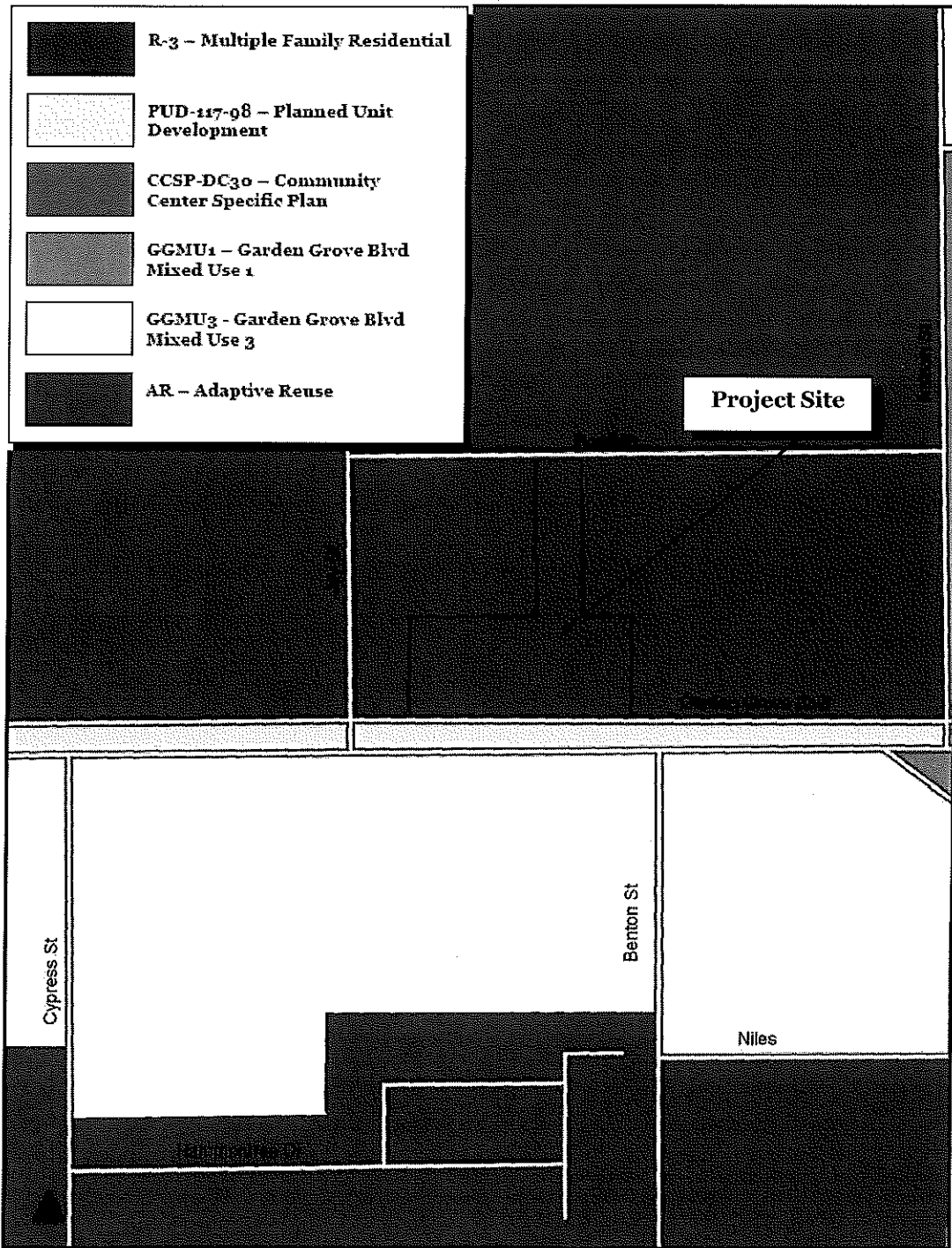


EXHIBIT 3-8 EXISTING ZONING LAND USE DESIGNATIONS

SOURCE: CITY OF GARDEN GROVE

- *Separation and Access of Individual Units.* Each work-live unit shall be separated from other units and other uses in the building. Access to each unit shall be provided via storefronts or from common access areas, corridors, or halls. The access to each unit shall be clearly separated from other work-live units or other uses within the building. Living space shall be located in the rear ground level or second floor and above to maintain activity and commercial access along the frontage.
- *Facilities to Accommodate Commercial or Industrial Activities.* A work-live unit shall be designed to accommodate non-residential uses as evidenced by the provision of ventilation, interior storage, flooring, and other physical improvements of the type commonly found in exclusively nonresidential facilities used for the same work activity. The proposed project will comply with this requirement.
- *Integration of Living and Working Space.* Areas within a work-live unit that are designated as living space shall be an integral part of the work-live unit and not separated (or occupied and/or rented separately) from the work space, except that mezzanines and lofts may be used as living space. The proposed project will comply with this requirement.
- *Parking Requirements.* Each work-live unit shall meet off-street parking requirements as provided in Section 9.18.140 (parking). The proposed project will provide 32 parking spaces while 30 spaces are required.
- *Operating/Occupancy Requirements.* A work-live unit shall be occupied and used only by the operator of the business within the unit or a household of which at least one member shall be the business operator. At least one of the residents of a work-live unit shall be required to have a business license with the City of Garden Grove. The proposed project will comply with this requirement.
- *Sale or Rental of Portions of Unit.* No portion of a work-live unit may be separately rented or sold as a commercial space for any person not living in the premises or as a residential space for any person not working in the same unit. The proposed project will comply with this requirement.
- *Non-Resident Employees.* Up to two persons who do not reside in the work-live unit may work in the unit unless this employment is prohibited or limited by the conditional use permit. The employment of three or more persons who do not reside in the work-live unit may be permitted subject to conditional use permit approval. The proposed project will comply with this requirement.
- *Client and Customer Visits.* Client and customer visits to work-live units are permitted subject to any applicable conditions of the conditional use permit, to ensure compatibility with adjacent commercial or industrial uses, or adjacent residentially zoned areas or uses. The proposed project will comply with this requirement.

The proposed project will conform to all pertinent development regulations. As a result, no impacts are anticipated.

C. Will the project conflict with any applicable habitat conservation or natural community conservation plan? • No Impact.

The project site is located in the midst of an existing urbanized commercial and residential area. No natural or native habitats are found within the site or on the adjacent parcels. In addition, there are no areas within the vicinity of the project site that are subject to habitat conservation plans. As a result, no impacts are anticipated.

3.10.3 MITIGATION MEASURES

The analysis determined that no impacts on land use and planning would result from the implementation of the proposed project. As a result, no mitigation measures are required.

3.11 MINERAL RESOURCES IMPACTS

3.11.1 THRESHOLDS OF SIGNIFICANCE

According to the City of Garden Grove, acting as Lead Agency, a project may be deemed to have a significant adverse impact on energy and mineral resources if it results in any of the following:

- The loss of availability of a known mineral resource that would be of value to the region and the residents of the State; or,
- The loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan, or other land use plan.

3.11.2 ANALYSIS OF ENVIRONMENTAL IMPACTS

A. *Would the project result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the State?* • *No Impact.*

According to the State of California Department of Conservation Regional Wildcat Map, the project site is not located over any oil wells. In addition, the project area is not located within a *Significant Mineral Aggregate Resource Area (SMARA)*, nor is it located in an area with active mineral extraction activities.⁶⁴ As a result, no impacts on existing mineral resources will result from the proposed project's implementation.

B. *Would the project result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan, or other land use plan?* • *No Impact.*

There are no mineral, oil, or energy extraction activities located within the project area. Review of maps provided by the State Department of Conservation indicated that there are no oil wells located within the project site.⁶⁵ The resources and materials used in the construction of the proposed ten work-live units will not include any materials that are considered rare or unique. Thus, the proposed project will not result in any impacts on mineral resources in the region.

3.11.3 MITIGATION MEASURES

The analysis of potential impacts related to mineral resources indicated that no impacts would result from the proposed project's approval and subsequent implementation. As a result, no mitigation measures are required.

⁶⁴ California Department of Conservation, *Mineral Land Classification of the Greater Los Angeles Area*, 1987.

⁶⁵ State of California Department of Conservation, *Regional Wildcat Map*, September 2015.

3.12 NOISE IMPACTS

3.12.1 THRESHOLDS OF SIGNIFICANCE

According to the City of Garden Grove, acting as Lead Agency, a project may be deemed to have a significant impact on the environment if it results in any of the following:

- The exposure of people to, or generation of, noise levels in excess of standards established in the local general plan or noise ordinance or applicable standards of other agencies;
- The exposure of people to, or generation of, excessive vibration or ground-borne noise levels;
- A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project;
- A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project;
- Located within an area with an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, where the project would expose people to excessive noise levels; or,
- Located within the vicinity of a private airstrip that would result in the exposure of people residing or working in the project area to excessive noise levels.

3.12.2 ANALYSIS OF ENVIRONMENTAL IMPACTS

A. *Would the project result in exposure of people to, or generation of, noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies? • Less than Significant Impact.*

Noise levels may be described using a number of methods designed to evaluate the "loudness" of a particular noise. The most commonly used unit for measuring the level of sound is the decibel (dB). Zero on the decibel scale represents the lowest limit of sound that can be heard by humans. The eardrum may rupture at 140 dB. In general, an increase of between 3.0 dB and 5.0 dB in the ambient noise level is considered to represent the threshold for human sensitivity. Noise levels that are associated with common, everyday activities are illustrated in Exhibit 3-9. Noise may be generated from a point source, such as a piece of construction equipment, or from a line source, such as a road containing moving vehicles. Because the area of the sound wave increases as the sound gets further and further from the source, less energy strikes any given point over the surface area of the wave. This phenomenon is known as *spreading loss*. Due to spreading loss, noise decreases with distance. The City of Garden Grove's noise control regulations are included in Title 8, Chapter 47 (Noise Control) of the Municipal Code. The State of California has mandated that local governments prepare a noise element as part of their general plans. The Garden Grove Noise Element contains noise guidelines with respect to land use and noise exposure compatibility (refer to Exhibit 3-10). These standards are contained in the Garden Grove General Plan Noise Element (page 7-7; Table 7-1).

Noise Levels – in dBA

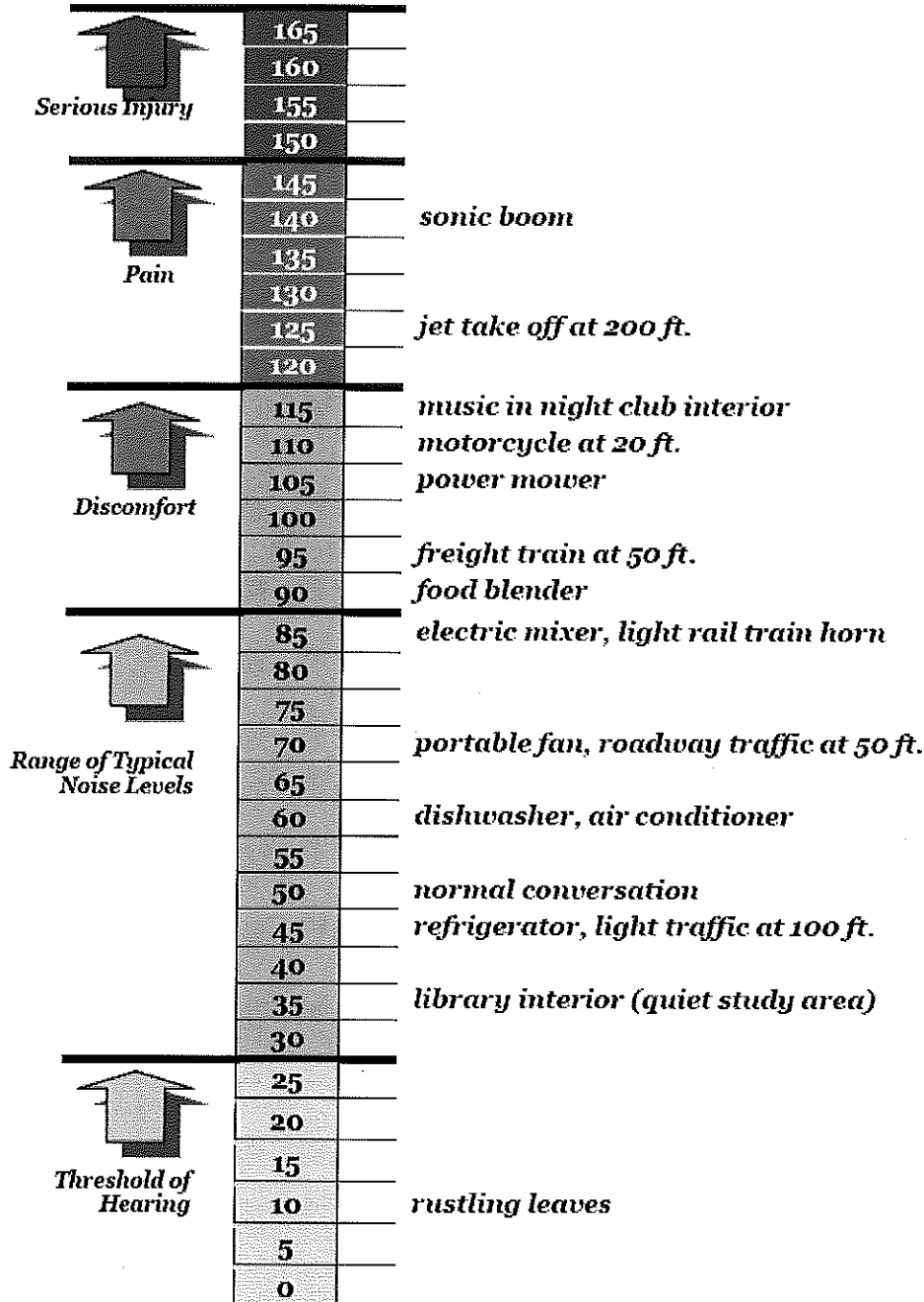


EXHIBIT 3-9
TYPICAL NOISE LEVELS FROM COMMON ACTIVITIES

SOURCE: BLODGETT BAYLOSIS ENVIRONMENTAL PLANNING

City of Garden Grove Noise and Land Use Compatibility Standards

Land Use Category	Community Noise Exposure (L _{dn} or CNEL, dBA)			
	Normally Acceptable	Conditionally Acceptable	Normally Unacceptable	Clearly Unacceptable
Residential - Low Density, Single-Family, Duplex, Mobile Homes	50 - 60	55 - 70	70-75	75-85
Residential - Multiple Family	50 - 65	60 - 70	70 - 75	70 - 85
Transient Lodging - Motel, Hotels	50 - 65	60 - 70	70 - 80	80 - 85
Schools, Libraries, Churches, Hospitals, Nursing Homes	50 - 70	60 - 70	70 - 80	80 - 85
Auditoriums, Concert Halls, Amphitheaters	NA	50 - 70	NA	65 - 85
Sports Arenas, Outdoor Spectator Sports	NA	50 - 75	NA	70 - 85
Playgrounds, Neighborhood Parks	50 - 70	NA	67.5 - 75	72.5 - 85
Golf Courses, Riding Stables, Water Recreation, Cemeteries	50 - 70	NA	70 - 80	80 - 85
Office Buildings, Business Commercial and Professional	50 - 70	67.5 - 77.5	75 - 85	NA
Industrial, Manufacturing, Utilities, Agriculture	50 - 75	70 - 80	75 - 85	NA

NA: Not Applicable
 Source: Office of Planning and Research, California, *General Plan Guidelines*, October 2003.

Normally Acceptable – Specified land use is satisfactory, based upon the assumption that any buildings involved are of normal conventional construction, without any special noise insulation requirements.
Conditionally Acceptable – New construction or development should be undertaken only after a detailed analysis of the noise reduction requirements is made and needed noise insulation features included in the design. Conventional construction, but with closed windows and fresh air supply systems or air conditioning, will normally suffice.
Normally Unacceptable – New construction or development should be discouraged. If new construction or development does proceed, a detailed analysis of the noise reduction requirements must be made and needed noise insulation features included in the design.
Clearly Unacceptable – New construction or development should generally not be undertaken.

City of Garden Grove Noise Ordinance Standards

Land Use Designation		Ambient Base Noise Level	Time Of Day
Sensitive Uses	Residential Use	55 dBA	7:00 AM – 10:00 PM
		50 dBA	10:00 PM – 7:00 AM
Conditionally Sensitive Uses	Institutional Use	65 dBA	Any Time
	Office-Professional Use	65 dBA	Any Time
	Hotels and Motels	65 dBA	Any Time
Non-Sensitive Uses	Commercial Uses	70 dBA	Any Time
	Commercial/Industrial Uses within 150 feet of Residential Uses	65 dBA	7:00 AM – 10:00 PM
		50 dBA	10:00 PM – 7:00 AM
	Industrial Uses	70 dBA	Any Time

Source: City of Garden Grove, *Municipal Code, Section 8.47, Noise Control*, 2005.

EXHIBIT 3-10
NOISE AND LAND USE COMPATIBILITY, CITY OF GARDEN GROVE
GENERAL PLAN
 SOURCE: CITY OF GARDEN GROVE

A series of noise measurements were taken to characterize the existing noise environment. The noise measurements indicated that the average noise levels within the property ranged from 64 dBA to 71 dBA. The ambient noise environment was dominated by traffic on Garden Grove Boulevard. Overall, the ambient noise levels were well below the 70 dBA level. According to the aforementioned land use and noise exposure compatibility guidelines, residential development is compatible in those areas where the ambient noise levels are 70 dBA, CNEL, or less. The proposed ten work-live units will be required to conform to the City's noise control requirements in the same manner as other residential development in the City. The potential construction noise impacts are discussed under Section 3.12.2.D. As a result, the impacts are less than significant.

B. Would the project result in exposure of people to, or generation of, excessive ground borne vibration or ground borne noise levels? • Less than Significant Impact.

The current noise environment within the project area is dominated by traffic noise emanating from Garden Grove Boulevard. The major source of noise from the proposed project itself will be related to typical residential activities and vehicle noise (horns, alarms, etc.) from the internal drive-aisle and parking area. As indicated previously, the City of Garden Grove's noise control regulations are included in Title 8, Chapter 47 (Noise Control) of the Municipal Code. The proposed ten work-live units will be required to conform to the requirements included in the City's Noise Control Ordinance. The aforementioned regulations will reduce the potential impacts to levels that are less than significant.

C. Would the project result in a substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project? • No Impact.

The proposed project is considered to be a noise sensitive receptor. As indicated previously, the proposed use will also be required to conform to the City of Garden Grove's noise control regulations included in the Municipal Code. The cumulative traffic will not be great enough to result in a measurable or perceptible increase in traffic noise on either Pearl Street or Garden Grove Boulevard. It typically requires a doubling of traffic volumes to increase the ambient noise levels to 3.0 dBA or greater which is considered to be the threshold for persons with normal hearing to discern a change in the ambient noise levels. As a result, the proposed project's implementation will not result in any permanent noise impacts.

D. Would the project result in substantial temporary or periodic increases in ambient noise levels in the project vicinity above levels existing without the project? • Less than Significant Impact.

Noise levels associated with various types of construction equipment are illustrated in Exhibit 3-11. The noise levels that are indicated in the exhibit illustrate the typical noise at a distance of 50 feet from the noise source. The construction noise would subside once construction of a particular project is completed. Two types of noise impacts could occur during the construction phase: the transport of workers and noise from construction equipment. Composite construction noise is best characterized by Bolt, Beranek, and Newman.⁶⁶

⁶⁶ USEPA, Protective Noise Levels. 1971.

			Noise Levels in dBA, 50 feet from noise source			
			70	80	90	100
Equipment Powered by Internal Combustion Engines	Earth Moving Equipment	Compactors (Rollers)		■		
		Front Loaders		■	■	
		Backhoes		■	■	■
		Tractors		■	■	■
		Scrapers, Graders		■	■	
		Pavers		■	■	
		Trucks		■	■	■
	Materials Handling Equipment	Concrete Mixers		■	■	
		Concrete Pumps		■	■	
		Cranes (Movable)		■	■	
		Cranes (Derrick)		■	■	
	Stationary Equipment	Pumps	■			
		Generators		■		
		Compressors		■	■	
	Impact Equipment	Pneumatic Wrenches			■	
Jack Hammers				■	■	
Pile Drivers				■	■	
Other Equipment	Vibrators	■	■			
	Saws		■			

EXHIBIT 3-11
TYPICAL CONSTRUCTION NOISE LEVELS

SOURCE: BLODGETT BAYLOSIS ENVIRONMENTAL PLANNING

In this study, the noisiest phases of construction for residential development is presented at 89 dBA as measured at a distance of 50 feet from the construction activity. These values take into account both the number of construction equipment and the timing of heavy equipment use during construction. In later phases during building erection, noise levels are typically reduced from these values because the physical structures recently constructed further break up line-of-sight noise. However, as a worst-case scenario the 89 dBA value is used as an average noise level for the construction effort.

In general, the noise level adjustment that takes the spreading loss into account calls for a 6.0 dBA reduction for every doubling of the distance beginning with the initial 50-foot distance. When taking into account the spreading loss, the construction equipment will generate noise levels in excess of 80 dBA during the noisiest construction phases at the nearest sensitive receptor. While there will be a limited duration for the construction activities, all construction activities must adhere to the City's noise control requirements. The demolition activities along with the proposed project's construction operations must adhere to the requirements of the City of Garden Grove Noise Control Ordinance.⁴⁵ The aforementioned noise control regulations will limit construction noise levels and construction times, and will reduce the potential demolition and construction noise impacts to levels that are less than significant.

E. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels? • No Impact.

The nearest airport is the Los Alamitos Joint Forces Training Base (JFTB), located approximately 5.78 miles to the northwest of the project site. The Los Alamitos JFTB is located in the City of Los Alamitos. A second airport, the Fullerton Municipal Airport, is a general aviation airport that is located approximately 7.29 miles to the north of the project site. As a result, no impacts related to the exposure of persons to aircraft noise from a public use airport are anticipated.

F. Within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels? • No Impact.

The project site is not located within two miles of a private airstrip.⁶⁷ No private airports are located in the City. As a result, no noise impacts from a private airstrip will affect the project site.

3.12.3 MITIGATION MEASURES

The analysis of potential noise impacts indicated no significant noise impacts would result from the proposed project's implementation. As a result, no mitigation is required.

⁶⁷ United States Geological Survey. TerraServer USA. *The National Map* — Garden Grove, California. July 1, 1979.

3.13 POPULATION & HOUSING IMPACTS

3.13.1 THRESHOLDS OF SIGNIFICANCE

According to the City of Garden Grove, acting as Lead Agency, a project may be deemed to have a significant impact on housing and population if it results in any of the following:

- A substantial growth in the population within an area, either directly (for example by proposing new homes or businesses) or indirectly (for example, through extension of new homes or infrastructure) related to a project;
- The displacement of a substantial number of existing housing units, necessitating the construction of replacement housing; or,
- The displacement of substantial numbers of people, necessitating the construction of replacement housing.

3.13.2 ANALYSIS OF ENVIRONMENTAL IMPACTS

A. Would the project induce substantial population growth in an area, either directly (for example by proposing new homes or businesses) or indirectly (for example, through extension of new homes or infrastructure) related to a project)? • Less than Significant Impact.

The existing uses within the project site include commercial and residential. A single-family home is located in the northern portion of the project site. The proposed project involves the construction of ten work-live units. Assuming an average household size of 3.64 persons per unit, which was derived from the 2010 Census, a potential of 36 residents would occupy the proposed units.

According to the City's regional population growth projections developed for the City by the Southern California Association of Governments (SCAG), the City's 2020 population will be 179,400 persons.⁶⁸ This 2020 projection translates into a population increase of 4,626 persons over the current 2015 population estimate of 174,774 persons. Assuming an average household size of 3.76 persons per unit derived from the 2015 California Department of Finance (DOF), the ten new units would result in a potential population of 36 persons. As a result, the proposed project's implementation will not result in the SCAG projections being exceeded.

Growth-inducing impacts are generally associated with the provision of urban services to an undeveloped or rural area, such as utilities, improved roadways, and expanded public services. The variables that typically contribute to growth-inducing impacts, and the project's contribution to potential growth-inducing impacts, are identified in Table 3-8. The utility connections and other infrastructure will continue to serve the project site. The increase in on-site population will not lead to substantial growth. As a result, the impacts are less than significant.

⁶⁸ These SCAG projections are used in the preparation of the Regional Transportation Plan.

**Table 3-8
 Potential Growth-Inducing Impacts**

Factor Contributing to Growth Inducement	Project's Potential Contribution	Basis for Determination
New development in an area presently undeveloped and economic factors which may influence development.	The proposed project will promote development of an underutilized parcel.	The new development will promote new infill residential development.
Extension of roadways and other transportation facilities.	The proposed project will not involve the extension or modification of any off-site existing roadways.	The only off-site improvements include those required to facilitate access.
Extension of infrastructure and other improvements.	No off-site water, sewer, and other critical infrastructure improvements are anticipated.	The only infrastructure improvements will be designed to serve the proposed project.
Major off-site public projects (treatment plants, etc.).	No major facilities are proposed at this time.	No off-site facilities will be required to accommodate the projected demand for wastewater treatment or water.
Removal of housing requiring replacement housing elsewhere.	The project does not involve the removal or the replacement of existing <i>affordable</i> or subsidized housing units.	No affordable housing will be affected by the proposed project.
Additional population growth leading to increased demand for goods and services.	The proposed project will provide additional employment opportunities in the 10 work-live units.	Limited potential long-term employment will be provided by the proposed mixed-use development.
Short-term growth inducing impacts related to the project's construction.	The proposed project may result in the creation of new construction employment.	Short-term increases in construction employment are considered a beneficial impact.

Source: Blodgett Baylosis Environmental Planning, 2015.

B. Would the project displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere? • No Impact.

The proposed project involves the construction of ten work-live units within a site that is currently occupied by a single-family units and commercial uses.⁶⁹ The existing housing unit will be demolished to accommodate the proposed new mixed-use development. However, the existing unit is a market rate unit which will be replaced by the proposed ten-unit development. As a result, no impacts related to housing displacement will result from the proposed project's implementation.

⁶⁹ Blodgett Baylosis Environmental Planning. *Site Survey* (Survey were completed on August 24 and 27, 2015.)

C. Would the project displace substantial numbers of people, necessitating the construction of replacement housing elsewhere? • No Impact.

The existing housing unit will be demolished to accommodate the proposed new mixed-use development. As indicated previously, the existing unit is market rate units which will be replaced by the proposed ten-unit development. As a result, no impacts will result.

3.13.3 MITIGATION MEASURES

The analysis of potential population and housing impacts indicated that no impacts would result from the proposed project's approval and subsequent implementation. As a result, no mitigation is required.

3.14 PUBLIC SERVICES IMPACTS

3.14.1 THRESHOLDS OF SIGNIFICANCE

According to the City of Garden Grove, acting as Lead Agency, a project may be deemed to have a significant adverse impact on public services if it results in any of the following:

- A substantial adverse physical impact associated with the provision of new or physically altered governmental facilities, the construction of which would cause significant environmental impacts in order to maintain acceptable service ratios, response times, or other performance objectives relative to *fire protection services*;
- A substantial adverse physical impact associated with the provision of new or physically altered governmental facilities, the construction of which would cause significant environmental impacts in order to maintain acceptable service ratios, response times, or other performance objectives relative to *police protection services*;
- A substantial adverse physical impact associated with the provision of new or physically altered governmental facilities, the construction of which would cause significant environmental impacts in order to maintain acceptable service ratios, response times, or other performance objectives relative to *school services*;
- A substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which would cause significant environmental impacts in order to maintain acceptable service ratios, response times, or other performance objectives for *parks*; or,
- A substantial adverse physical impact associated with the provision of new or physically altered governmental facilities, the construction of which would cause significant environmental impacts in order to maintain acceptable service ratios, response times, or other performance objectives relative to other *public facilities*.

3.14.2 ANALYSIS OF ENVIRONMENTAL IMPACTS

- A. *Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, the construction of which would cause significant environmental impacts in order to maintain acceptable service ratios, response times, or other performance objectives relative to fire protection services?* • *Less than Significant Impact.*

The Garden Grove Fire Department (GGFD) provides fire and emergency services to the project site. The GGFD operates seven fire stations within its service area. The nearest station to the project site is located at 11301 Acacia Parkway within the Civic Center. The proposed project will be subject to review and approval by the GGFD to ensure that fire safety and fire prevention measures are incorporated into the project. The GGFD currently reviews all new development plans, and the project will be required to

conform to all fire protection and prevention requirements, including, but not limited to, building setbacks, emergency access, the availability of fire hydrants, use of interior sprinklers, etc.⁷⁰ GGFD conditions of approval will be incorporated into the applicable plans prior to the issuance of building permits. As a result, the impacts will be less than significant.

B. Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, the construction of which would cause significant environmental impacts in order to maintain acceptable service ratios, response times, or other performance objectives relative to police protection services? • Less than Significant Impact.

The Garden Grove Police Department (GGPD) provides law enforcement services to the City. The GGPD operates from a central facility located in the Civic Center complex (11301 Acacia Parkway). The proposed site plan, lighting plan, and other recommended improvements must be reviewed by the GGPD. Any Department’s conditions of approval must be incorporated into the applicable plans prior to the issuance of building permits. The implementation of these conditions will reduce the level of impact to levels that are less than significant.

C. Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, the construction of which would cause significant environmental impacts in order to maintain acceptable service ratios or other performance objectives relative to school services? • Less than Significant Impact.

A majority of the students residing within the City of Garden Grove and the project site are served by the Garden Grove Unified School District (GGUSD). The GGUSD provides educational services for students in kindergarten through the 12th grade. Student generation factors were used to calculate the proposed project’s potential enrollments (refer to Table 3-9). As indicated in Table 3-9, there is a potential for seven students.

**Table 3-9
 Projected School Enrollments**

Grade Levels	Student Generation Factor	Projected Enrollment
Elementary/Middle School	0.5 students/unit	5 students
High School	0.205 students/unit	2 students
Total		7 students

Source: Garden Grove Unified School District.

School districts assess development fees against residential development to mitigate impacts resulting from the increase in demand for school-related services. Pursuant to SB-50, payment of fees to the applicable school district is considered full mitigation for project-related impacts. The proposed project’s school enrollment impacts will be off-set by the school fees that will be paid by the developer. As a result, the impacts will be less than significant.

⁷⁰ City of Garden Grove. <http://www.ci.garden-grove.ca.us/fire/generalinfo>

D. Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered public facilities, need for new or physically altered public facilities, the construction of which would cause significant environmental impacts in order to maintain acceptable service ratios, response times, or other performance objectives for parks? • Less than Significant Impact.

The City of Garden Grove Community Services Department maintains public parks located throughout the City. The proposed project's ten work-live units will potentially result in a projected resident population of up to 36 persons. The potential resident population will lead to a slight incremental increase in the demand on existing recreation services. However, no physical change to an existing park or recreation facility will occur as part of the proposed project's implementation. The project site is privately owned and secured from public use. As a result, the impacts will be less than significant.

E. Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered public facilities, the construction of which would cause significant environmental impacts in order to maintain acceptable service ratios, response times, or other performance objectives in other public facilities? • Less than Significant Impact.

The addition of ten new work-live units will translate into an incremental increase in the demand for other governmental services. However, the proposed project is consistent with the growth projections developed for the City by the Southern California Association of Governments (SCAG). In addition, any impact may be partially offset by the increase in the taxes and in the assessed valuation of the property. As a result, the potential impacts associated with the proposed project's adoption and subsequent implementation, are considered to be less than significant.

3.14.3 MITIGATION MEASURES

The analysis determined that the proposed project would not result in any significant impact on public services. As a result, no mitigation is required.

3.15 RECREATION IMPACTS

3.15.1 THRESHOLDS OF SIGNIFICANCE

According to the City of Garden Grove, acting as Lead Agency, a project may be deemed to have a significant adverse impact on the environment if it results in any of the following:

- The use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated; or,
- The construction or expansion of recreational facilities, which might have an adverse physical effect on the environment.

3.15.2 ANALYSIS OF ENVIRONMENTAL IMPACTS

A. Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated? • Less than Significant Impact.

The City of Garden Grove Community Services Department maintains public parks located throughout the City. The nearest park facility to the project site is the Village Green Park located at 12732 Main Street. This 6.3-acre park includes a play area, game courts, and a community center. The park is located approximately 0.39 miles to the northwest of the project site. No physical change to an existing park or recreation facility will occur as part of the proposed project's implementation. As a result, the impact will be less than significant.

B. Would the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment? • No Impact.

The proposed project's ten work-live units will potentially result in a resident population of up to 36 persons. This additional population will lead to a slight incremental increase in the demand on existing recreation services. However, no physical change to an existing park or recreation facility will occur as part of the proposed project's implementation. The project site is privately owned and secured from public use. As a result, no impacts related to the need for replacing park facilities will result.

3.15.3 MITIGATION MEASURES

The analysis of potential impacts related to parks and recreation indicated that no impacts would result from the proposed project's approval and subsequent implementation. As a result, no mitigation measures are required.

3.16 TRANSPORTATION & CIRCULATION IMPACTS

3.16.1 THRESHOLDS OF SIGNIFICANCE

According to the City of Garden Grove, acting as Lead Agency, a project will normally have a significant adverse impact on traffic and circulation if it results in any of the following:

- A conflict with an applicable plan, ordinance, or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to, intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit;
- A conflict with an applicable congestions management program, including but not limited to, level of service standards and travel demand measures, or other standards established by the County Congestion Management Agency for designated roads or highways;
- Results in a change in air traffic patterns, including either an increase in traffic levels or a change in the location that results in substantial safety risks;
- Substantially increases hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment);
- Results in inadequate parking capacity;
- Results in inadequate emergency access; or,
- A conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities.

3.16.2 ANALYSIS OF ENVIRONMENTAL IMPACTS

- A. *Would the project cause a conflict with an applicable plan, ordinance, or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to, intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit? • Less than Significant Impact.*

Trip generation rates are developed by the ITE (Institution of Transportation Engineers) in their *Trip Generation Manual*, 9th Edition, 2012. The trip generation rates for this project are shown in Table 3-10. As indicated in Table 3-10, the proposed project will generate 95 trip ends per day, with eight vehicle trip ends per hour during the AM peak hour and ten vehicle trip ends per hour during the PM peak hour. Compared to the existing land uses (the commercial businesses and the single-family residence), the proposed project's potential net increased trip generation is negligible.

Table 3-10
Project Traffic Forecast

ITE Land Use Code/ Project Description	Daily 2-Way	AM Peak Hour			PM Peak Hour		
		Enter	Exit	Total	Enter	Exit	Total
Future Rates (Trips/Unit)	9.52	0.19	0.56	--	0.63	0.37	--
Future Trips (10 live units)	95	2	6	8	6	4	10

Source: Blodgett Baylosis Environmental Planning

The traffic volumes fall below the threshold of 50 peak hour trips that have been identified as requiring a project traffic study. The proposed project is an urban infill development that will be effective in reducing overall VMT. Therefore, a full traffic study is not required and the potential impacts will be less than significant.

B. Would the project result in a conflict with an applicable congestions management program, including but not limited to, level of service standards and travel demand measures, or other standards established by the County Congestion Management Agency for designated roads or highways? • No Impact.

The proposed project will generate 95 trip ends per day, with eight vehicle trip ends per hour during the AM peak hour and ten vehicle trip ends per hour during the PM peak hour. These figures do not take into account the existing land uses (the commercial businesses and the single-family residence) that occupy the project site. When factoring the existing trips generated by the appliance business and the single-family residence, the proposed project's potential net increased trip generation will be negligible. The only CMP "intersection" located in Garden Grove is the SR-22 freeway ramp connections with Harbor Boulevard. No other CMP intersections are located in the study area. As a result, no CMP impacts are anticipated.

C. Would the project result in a change in air traffic patterns, including either an increase in traffic levels or a change in the location that results in substantial safety risks? • No Impact.

The nearest airport is the Los Alamitos Joint Forces Training Base (JFTB), located approximately 5.78 miles to the northwest of the project site. The Los Alamitos JFTB is located in the City of Los Alamitos. The nearest general aviation airport is the Fullerton Municipal Airport (FMA) located at 4011 West Commonwealth Avenue approximately 6.92 miles to the northwest of the project site. The proposed ten work-live units will not result in a change in air traffic patterns or otherwise impact aircraft operations. As a result, no impacts are anticipated.

D. Would the project substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)? • No Impact.

The design features of the project will not create any safety hazards since no modifications to any existing public roadways will occur. As a result, no impacts are anticipated.

E. Would the project result in inadequate parking capacity? • No Impact.

A total of 32 parking spaces within the enclosed garages of each unit and in the surface parking area located in the northern portion of the project site. According to the to the City's off-street parking requirements, a total of 30 parking spaces are required.⁷¹ The proposed project will exceed these requirements and, as a result, no parking impacts are anticipated.

F. Would the project result in inadequate emergency access? • No Impact.

The proposed project would not result in inadequate emergency access. The proposed project will be required to comply with conditions of approval established by the GGFD and the GGPD. As indicated previously, the GGFD and GGPD will review the site plan including all buildings, fences, drive gates, or other features that might affect emergency access. This review process, along with the project's compliance with the applicable regulations and standards, would ensure that adequate emergency access would be provided. As a result, no impacts are anticipated.

G. Would the project result in a conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities? • No Impact.

The Orange County Transportation Authority (OCTA) operates several bus routes throughout the City of Garden Grove. The nearest bus route that serves the project site is OCTA Line 56 which extends along Garden Grove Boulevard. No bus stop is located along the project site's Garden Grove Boulevard frontage. The proposed project will not affect any existing bus stops and/or routes. As a result, no impacts will result from the proposed project's implementation.

3.16.3 MITIGATION MEASURES

The analysis of potential impacts related to traffic and circulation indicated that no traffic impacts would result. As a result, no mitigation is required.

⁷¹ George Behnam, Architect. Design Package [Mixed Use Development], 10641 & 10661 Garden Grove Blvd. & 10642 Pearl St. April 21, 2015.

3.17 UTILITIES IMPACTS

3.17.1 THRESHOLDS OF SIGNIFICANCE

According to the City of Garden Grove, acting as Lead Agency, a project may be deemed to have a significant adverse impact on utilities if it results in any of the following:

- An exceedance of the wastewater treatment requirements of the applicable Regional Water Quality Control Board;
- The construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental impacts;
- The construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects;
- Insufficient water supplies to serve the project from existing entitlements and resources, or need new or expanded entitlements;
- A determination by the wastewater treatment provider that serves or may serve the project that it has inadequate capacity to serve the project's projected demand;
- The project will be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs; or,
- Non-compliance with Federal, State, and local statutes and regulations relative to solid waste;

3.17.2 ANALYSIS OF ENVIRONMENTAL IMPACTS

A. *Would the project exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?* • *Less than Significant Impact.*

The City of Garden Grove's sewer system operates entirely using gravity flow and the effluent is conveyed to one of several of Orange County Sanitation District's (OCSD) sewer trunk lines.⁷² The future residential development contemplated under the proposed project (ten work-live units) is anticipated to generate approximately 1,800 gallons of effluent daily.⁷³ This effluent generation assumes a rate of 180 gallons per day, per unit. The OCSD has indicated that there is sufficient capacity to treat the additional effluent. No new off-site treatment facilities will be required to meet the projected demand. As a result, the potential impacts are less than significant.

⁷² City of Garden Grove. *City of Garden Grove General Plan, Chapter 6 Infrastructure Element*. <http://www.ci.gardengrove.ca.us/> (website accessed on September 8, 2015).

⁷³ Orange County Sanitation District rates. 2015

B. Would the project require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental impacts? • Less than Significant Impact.

The City receives its water from two main sources: the Lower Santa Ana River Groundwater Basin and imported water from the Metropolitan Water District of Southern California (MWD). This imported water is treated at the Robert B. Diemer Filtration Plant located north of Yorba Linda and the F.E. Weymouth Treatment Plant in the City of La Verne.⁷⁴ The proposed ten work-live units are projected to consume 2,500 gallons of water on a daily basis. This consumption assumes 250 gallons of water per day per unit.⁷⁵

The OCSD collects, treats, and disposes of and/or reclaims the wastewater generated by 2.5 million people living and working in central and northwestern Orange County. OCSD's service area encompasses approximately 479 square miles, and its system includes approximately 580 miles of sewer lines and two treatment plants located in the Cities of Fountain Valley and Huntington Beach. Through these facilities, OCSD collects, conveys, treats, and/or reclaims approximately 230 million gallons of wastewater generated daily in its service area. Wastewater from the City's local conveyance system is then conveyed to the OCSD trunk sewers and treated at the OCSD Plant No. 2 located in Huntington Beach. The OCSD Revenue Area 3 serves the City of Buena Park, La Habra, Garden Grove, Anaheim, Cypress, La Palma, Stanton, Los Alamitos, Westminster, and Fountain Valley. All sewage flow from Revenue Area 3 is collected and treated at Treatment Plant No. 2, which is located at 22212 Brookhurst Street, Huntington Beach.⁷⁶

The estimated average daily effluent received at Plant No. 2 is 127 million gallons (mgd). This facility currently has a total primary treatment capacity of 168 mgd, with an average daily treatment of approximately 127 mgd. Therefore, there is approximately 41 mgd of excess primary treatment capacity at OCSD Plant No. 2. Plant No. 2 also has 90 mgd of secondary treatment capacity. The future mixed-use development contemplated under the proposed project (ten work-live units) is anticipated to generate approximately 1,800 gallons of effluent daily. This effluent generation assumes a rate of 180 gallons per day, per unit.⁷⁷ This effluent generation represents a small proportion of the remaining total treatment capacity of Treatment Plant No. 2. As a result, the potential impacts will be less than significant.

⁷⁴ City of Garden Grove. *City of Garden Grove General Plan, Chapter 6 Infrastructure Element*. <http://www.ci.gardengrove.ca.us/> (website accessed on September 8, 2015).

⁷⁵ Derived from Orange County Sanitation District rates (150% of effluent generation).

⁷⁶ City of Garden Grove. *City of Garden Grove General Plan, Chapter 6 Infrastructure Element*. <http://www.ci.gardengrove.ca.us/> (website accessed on September 8, 2015).

⁷⁷ Orange County Sanitation District rates. 2015.

C. *Would the project require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?* • *No Impact.*

The City of Garden Grove is served by the County of Orange, Orange County Flood Control District (OCFCD), which operates and maintains regional and municipal storm drainage facilities. As part of the development, certain improvements will be installed that will affect the amount of potential storm water runoff.⁷⁸ For example, the majority of the project site will continue to be paved or otherwise covered in impervious surfaces. The existing landscaping includes the front and rear yard areas of the single-family home and very limited landscaping for the commercial properties. The estimated existing pervious area is 3,358 square feet. According to the proposed project's site plan, the total landscaped area will be 4,410 square feet.⁷⁹ Therefore, the proposed project's pervious area will be greater than the existing amount. In addition, the site's topography will not significantly change. As a result, there will not be an increase in either peak run-off volumes or peak run-off velocity.

D. *Would the project have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?* • *Less than Significant Impact.*

The proposed ten work-live units are projected to consume approximately 2,500 gallons of water per day assuming 250 gallons per day per unit.⁸⁰ The proposed project will utilize low-flush toilets and other water conservation devices as a means to reduce water consumption. In addition, the development will be required to employ the water conserving irrigation equipment as a means to further reduce consumption. When considering the consumption from the existing uses, the net change will be minimal. As a result, the potential impacts are anticipated to be less than significant. As a result, the potential impacts will be less than significant.

E. *Would the project result in a determination by the wastewater treatment provider, which serves or may serve the project that it has inadequate capacity to serve the project's projected demand in addition to the provider's existing commitments?* • *Less than Significant Impact.*

The potential impacts on this issue are discussed herein in Section 3.17.2.B. No increase on wastewater treatment capacity and/or water supply commitments are required to accommodate the proposed project. As a result, the impacts are less than significant.

⁷⁸ The first 3/4 inches of rainfall from any storm shall be treated and infiltrated through the use of vegetated swales.

⁷⁹ George Behnam, Architect. Design Package [Mixed Use Development], 10641 & 10661 Garden Grove Blvd. & 10642 Pearl St. April 21, 2015..

⁸⁰ Derived from Orange County Sanitation District rates (150% of effluent generation).

F. Would the project be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs? • Less than Significant Impact.

The proposed project is projected to generate 40 pounds of solid waste on a daily basis. This waste generation rate assumes that each unit will generate four pounds of solid waste per average day. This generation rate represents a small proportion of the total waste generated citywide. As a result, the potential impacts are less than significant.

G. Would the project comply with Federal, State, and local statutes and regulations related to solid waste? • No Impact.

The proposed project, like all other development in Garden Grove, will be required to adhere to City and County ordinances with respect to waste reduction and recycling. As a result, no impacts related to State and local statutes governing solid waste are anticipated.

3.17.3 MITIGATION MEASURES

The analysis of utilities impacts indicated that no impacts would result from the proposed project's approval and subsequent implementation. As a result, no mitigation is required.

3.18 MANDATORY FINDINGS OF SIGNIFICANCE

The following findings can be made regarding the Mandatory Findings of Significance set forth in Section 15065 of the CEQA Guidelines based on the results of this environmental assessment:

- The approval and subsequent implementation of the proposed project *will not* have the potential to degrade the quality of the environment.
- The approval and subsequent implementation of the proposed project *will not* have the potential to achieve short-term goals to the disadvantage of long-term environmental goals.
- The approval and subsequent implementation of the proposed project *will not* have impacts that are individually limited, but cumulatively considerable, when considering planned or proposed development in the immediate vicinity. The potential for cumulative impacts are outlined below:
 - The potential aesthetic impacts related to views, aesthetics, and light and glare is site specific. As a result, no cumulative aesthetic impacts are anticipated.
 - The analysis determined that there are no agricultural or forestry resources in the project area and that the implementation of the proposed project would not result in any impacts on these resources. As a result, no cumulative impacts on agricultural or farmland resources will occur.
 - The proposed project's long-term operational emissions are not considered to represent a significant impact. As a result, the potential cumulative air quality impacts will be less than significant.
 - The impacts on biological resources are site specific. The proposed project will not involve any loss of protected habitat. The analysis also determined that the proposed project will not result in any impacts on protected plant and animal species. As a result, no cumulative impacts on biological resources will be associated with the proposed project's implementation.
 - The potential cumulative impacts related to cultural resources are site specific. Consultation with the Gabrieleño-Kizh Band of Mission Indians indicated that there was a potential for impacts as part of any construction activity involving ground disturbance. As a result, any cumulative project where a discretionary action is involved that would require ground disturbance to implement would likely have the same mitigation identified herein (refer to Section 3.5.3).
 - The analysis herein determined that the proposed project would not result in any cumulative impacts related to landform modification, grading, or the destruction of a geologically significant landform or feature. As a result, no cumulative earth and geology impacts are anticipated.

- The analysis herein also determined that the proposed project would not result in any cumulative impacts related to the emissions of greenhouse gases. As a result, no cumulative impacts will result from the proposed project's implementation.
- The potential cumulative impacts related to hazardous materials are site specific. Furthermore, the analysis herein also determined that the implementation of the proposed project would not result in any impacts related to hazards and/or hazardous materials. As a result, no cumulative impacts related to hazards or hazardous materials will result from the proposed project's implementation.
- The potential cumulative impacts related to hydrology and storm water runoff are typically site specific. Furthermore, the analysis determined that the implementation of the proposed project would not result in any impacts. As a result, no cumulative impacts are anticipated.
- The potential cumulative impacts with respect to land use are site specific. Furthermore, the analysis determined that the proposed project will not result in any impacts. As a result, no cumulative land use impacts will occur as part of the proposed project's implementation.
- The potential cumulative impacts on mineral resources are site specific. Furthermore, the analysis determined that the proposed project would not result in any impacts on mineral resources. As a result, no cumulative impacts will occur.
- The analysis indicated the proposed project would not result in any cumulative noise impacts. The stationary noise from the proposed residential development will be comparable to that associated with the existing residential use. The anticipated mobile noise impacts will be consistent with that considered in the Garden Grove General Plan. As a result, no cumulative noise impacts will occur.
- The analysis of potential population and housing impacts indicated that no cumulative impacts would result from the proposed project's implementation. As a result, no cumulative noise impacts related to population and housing will occur.
- The future development contemplated as part of the proposed project's implementation will not result in an incremental increase in the demand for emergency services. As a result, no cumulative impacts are anticipated.
- The analysis determined the proposed project would not result in any potential cumulative impact on recreational facilities and services. As a result, no cumulative impacts on recreational facilities would result from the proposed project's implementation.

- The future development contemplated as part of the proposed project's implementation will result in an incremental increase in citywide traffic. However, the residential units address an existing need contemplated in the SCAG's RTP. As a result, no cumulative impacts are anticipated.
- The potential cumulative impacts related to water line and sewer line capacities are site specific. There is sufficient water and sewer infrastructure serving the project to provide capacity for the project at build-out and cumulatively. As a result, no cumulative impacts are anticipated.
- The approval and subsequent implementation of the proposed project *will not* have environmental effects that will adversely affect humans, either directly or indirectly.
- This Initial Study indicated there is no evidence that the proposed project will have an adverse effect on wildlife resources or the habitat upon which any wildlife depends.



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SECTION 4 CONCLUSIONS

4.1 FINDINGS

The Initial Study determined that the proposed project is not expected to have significant adverse environmental impacts. The following findings can be made regarding the Mandatory Findings of Significance set forth in Section 15065 of the CEQA Guidelines based on the results of this Initial Study:

- The proposed project *will not* have a significant effect on the environment.
- The proposed project *will not* have the potential to achieve short-term goals to the disadvantage of long-term environmental goals.
- The proposed project *will not* have impacts that are individually limited, but cumulatively considerable, when considering planned or proposed development in the immediate vicinity.
- The proposed project *will not* have environmental effects that will adversely affect humans, either directly or indirectly.
- A Mitigation Monitoring and Reporting Program *will* be required.



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SECTION 5 REFERENCES

5.1 PREPARERS

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5.2 REFERENCES

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APPENDICES

APPENDIX A – AIR QUALITY WORKSHEETS

CITY OF GARDEN GROVE • MITIGATED NEGATIVE DECLARATION & INITIAL STUDY
MIXED-USE DEVELOPMENT • 10641 & 10661 GARDEN GROVE BLVD. & 10642 PEARL ST.

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Garden Grove Mixed Use
South Coast AQMD Air District, Summer

1.0 Project Characteristics

1.1 Land Usage

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
Condo/Apartment	10,000	Dwelling Unit	0.63	10,000.00	29
Parking Lot	32,000	Space	0.29	12,800.00	0

1.2 Other Project Characteristics

Urbanization	Urban	Wind Speed (m/s)	2.2	Precipitation Freq (Days)	31
Climate Zone	8	Operational Year	2017		
Utility Company	Southern California Edison				
CO2 Intensity (lb/MWh)	630.09	CH4 Intensity (lb/MWh)	0.029	N2O Intensity (lb/MWh)	0.006

1.3 User Entered Comments & Non-Default Data

- Project Characteristics -
- Land Use -
- Construction Phase - construction times discussed in MND
- Demolition -
- Architectural Coating - Per SCAQMD
- Construction Off-road Equipment Mitigation -

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Table Name	Column Name	Default Value	New Value
tblArchitecturalCoating	EF_Nonresidential_Exterior	250.00	150.00
tblArchitecturalCoating	EF_Nonresidential_Interior	250.00	150.00
tblConstructionPhase	NumDays	5.00	22.00
tblConstructionPhase	NumDays	100.00	65.00
tblConstructionPhase	NumDays	10.00	44.00
tblConstructionPhase	NumDays	2.00	22.00
tblConstructionPhase	NumDays	5.00	21.00
tblConstructionPhase	NumDays	1.00	21.00
tblGrading	AcresOfGrading	10.50	0.50
tblProjectCharacteristics	OperationalYear	2014	2017

2.0 Emissions Summary

CITY OF GARDEN GROVE • MITIGATED NEGATIVE DECLARATION & INITIAL STUDY
MIXED-USE DEVELOPMENT • 10641 & 10661 GARDEN GROVE BLVD. & 10642 PEARL ST.

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2.1 Overall Construction (Maximum Daily Emission)
Unmitigated Construction

Year	lb/day											lb/day				
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NRBio-CO2	Total CO2	CH4	N2O	CO2e
2018	4.1790	14.0328	9.4561	0.0138	0.8545	0.9453	1.6694	0.4434	0.6697	1.2116	0.0000	1,398,593	1,398,593	0.3639	0.0000	1,408,234
Total	4.1790	14.0328	9.4561	0.0138	0.8545	0.9453	1.6694	0.4434	0.6697	1.2116	0.0000	1,398,593	1,398,593	0.3639	0.0000	1,408,234

Mitigated Construction

Year	lb/day											lb/day				
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NRBio-CO2	Total CO2	CH4	N2O	CO2e
2018	4.1700	14.0328	9.4561	0.0138	0.4054	0.9453	1.2102	0.1910	0.6697	0.9592	0.0000	1,398,593	1,398,593	0.3639	0.0000	1,408,234
Total	4.1700	14.0328	9.4561	0.0138	0.4054	0.9453	1.2102	0.1910	0.6697	0.9592	0.0000	1,398,593	1,398,593	0.3639	0.0000	1,408,234

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NRBio-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	53.11	0.60	27.21	55.92	0.60	20.93	0.00	0.00	0.00	0.00	0.00	0.00

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2.2 Overall Operational
Unmitigated Operational

Category	lb/day											lb/day				
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NRBio-CO2	Total CO2	CH4	N2O	CO2e
Area	3.1219	0.0782	5.9631	0.0400e-003		0.7884	0.7884		0.7893	0.7893	93.6692	181.4925	278.1617	0.2809	8.3600e-003	283.0304
Energy	4.6800e-003	0.0400	0.0170	2.8000e-004		3.2300e-003	3.2300e-003		3.2300e-003	3.2300e-003		51.0078	51.0078	9.8000e-004	9.4000e-004	51.3182
Mobils	0.2840	0.7420	3.0068	7.7600e-003	0.5189	0.0110	0.5200	0.1387	0.0101	0.1487		660.7098	660.7098	0.0249		661.2270
Total	3.3806	0.8591	8.9967	0.0161	0.5189	0.7926	1.3015	0.1387	0.7916	0.9203	93.6692	233.2098	968.8711	0.3067	7.3000e-003	995.5765

Mitigated Operational

Category	lb/day											lb/day				
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NRBio-CO2	Total CO2	CH4	N2O	CO2e
Area	3.1210	0.0782	5.9631	0.0400e-003		0.7884	0.7884		0.7893	0.7893	93.6692	181.4925	278.1617	0.2809	8.3600e-003	283.0304
Energy	4.6800e-003	0.0400	0.0170	2.8000e-004		3.2300e-003	3.2300e-003		3.2300e-003	3.2300e-003		51.0078	51.0078	9.8000e-004	9.4000e-004	51.3182
Mobils	0.2840	0.7420	3.0068	7.7600e-003	0.5189	0.0110	0.5200	0.1387	0.0101	0.1487		660.7098	660.7098	0.0249		661.2270
Total	3.3806	0.8591	8.9967	0.0161	0.5189	0.7926	1.3015	0.1387	0.7916	0.9203	93.6692	233.2098	968.8711	0.3067	7.3000e-003	995.5765

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	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-Gen	NO2-Gen	Total CO2	GHG	MTH	CO2e
Percent Reduction	8.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

3.0 Construction Detail

Construction Phase

Phase Number	Phase Name	Phase Type	Start Date	End Date	Sum Days Week	Num Days	Phase Description
1	Demolition	Demolition	2/1/2016	3/31/2016	5	44	
2	Site Preparation	Site Preparation	4/1/2016	4/28/2016	6	21	
3	Grading	Grading	4/30/2016	5/31/2016	6	22	
4	Building Construction	Building Construction	6/1/2016	6/30/2016	5	60	
5	Paving	Paving	10/1/2016	10/31/2016	5	21	
6	Architectural Coating	Architectural Coating	11/1/2016	11/30/2016	6	22	

Acres of Grading (Site Preparation Phase): 0.5

Acres of Grading (Grading Phase): 0

Acres of Paving: 0

Residential Indoor: 20,250; Residential Outdoor: 6,750; Non-Residential Indoor: 576; Non-Residential Outdoor: 192 (Architectural Coating – sqft)

OffRoad Equipment

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Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Architectural Coating	Air Compressors	1	6.00	75	0.48
Paving	Cement and Mortar Mixers	4	6.00	9	0.56
Demolition	Concrete/Industrial Saws	1	6.00	61	0.73
Grading	Concrete/Industrial Saws	1	6.00	61	0.73
Building Construction	Cranes	1	4.00	228	0.28
Building Construction	Forklifts	2	6.00	69	0.20
Site Preparation	Graders	1	6.00	174	0.41
Paving	Pavers	1	7.00	126	0.42
Paving	Rollers	1	7.00	60	0.38
Demolition	Rubber Tired Dozers	1	1.00	255	0.40
Grading	Rubber Tired Dozers	1	1.00	255	0.40
Building Construction	Tractors/Loaders/Backhoes	2	6.00	97	0.37
Demolition	Tractors/Loaders/Backhoes	2	6.00	97	0.37
Grading	Tractors/Loaders/Backhoes	2	6.00	97	0.37
Paving	Tractors/Loaders/Backhoes	1	7.00	97	0.37
Site Preparation	Tractors/Loaders/Backhoes	1	6.00	97	0.37

Trips and VMT

Phase Name	Offroad Equipment Count	Worker Trip Number	Vendor Trip Number	Hauling Trip Number	Worker Trip Length	Vendor Trip Length	Hauling Trip Length	Worker Vehicle Class	Vendor Vehicle Class	Hauling Vehicle Class
Demolition	4	10.00	0.00	23.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Site Preparation	2	6.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Grading	4	10.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Building Construction	5	13.00	3.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Paving	7	16.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Architectural Coating	1	3.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT

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3.1 Mitigation Measures Construction

- Use Soil Stabilizer
- Water Exposed Area
- Clean Paved Roads

3.2 Demolition - 2016

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NRBio-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					0.1120	0.0060	0.1120	0.0171	0.0000	0.0171			0.0000			0.0000
Off-Road	1.3122	11.2393	0.7048	0.0120		0.8039	0.8039		0.7674	0.7674			1,193,610.6	1,193,610.6	0.2386	1,198,621.7
Total	1.3122	11.2393	0.7048	0.0120	0.1120	0.8039	0.8169	0.0171	0.7674	0.7845			1,193,610.6	1,193,610.6	0.2386	1,198,621.7

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3.2 Demolition - 2016

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NRBio-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	6.0400e-003	0.1433	0.1814	3.0000e-004	0.1100e-003	2.2700e-003	0.0114	2.4000e-003	2.0000e-003	4.5000e-003			38.8466	38.8466	2.9000e-004	38.8524
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000	0.0000	0.0000
Worker	0.0418	0.0222	0.6500	1.4200e-003	0.1110	0.3000e-004	0.1127	0.0298	6.6000e-004	0.0303			118.0456	118.0456	6.1000e-003	119.0740
Total	0.0587	0.1933	0.7214	1.9100e-003	0.1209	3.2000e-003	0.1241	0.0321	2.9500e-003	0.0351			157.7924	157.7924	8.3800e-003	157.9264

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NRBio-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					0.0440	0.0060	0.0440	6.6700e-003	0.0000	6.6700e-003			0.0000			0.0000
Off-Road	1.3122	11.2393	0.7048	0.0120		0.8039	0.8039		0.7674	0.7674	0.0000		1,193,610.6	1,193,610.6	0.2386	1,198,621.7
Total	1.3122	11.2393	0.7048	0.0120	0.0440	0.8039	0.8479	6.6700e-003	0.7674	0.7740	0.0000		1,193,610.6	1,193,610.6	0.2386	1,198,621.7

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3.2 Demolition - 2016

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	HC-CO2	HC-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0400e-003	0.1433	0.1014	0.0000e-004	0.1100e-003	2.2700e-003	0.0114	2.4900e-003	2.0000e-003	4.5000e-003			35.8466			35.8524
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000	0.0000	0.0000
Worker	0.0418	0.0522	0.8500	1.4200e-003	0.1110	0.3000e-004	0.1127	0.0208	0.0000e-004	0.0300			118.0408	118.0408	6.1000e-003	110.0740
Total	0.0818	0.1955	0.9514	1.4200e-003	0.1209	3.2000e-003	0.1241	0.0321	2.0000e-003	0.0351			157.7924	157.7924	6.3000e-003	157.9264

3.3 Site Preparation - 2016

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	HC-CO2	HC-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					0.0253	0.0000	0.0253	2.7300e-003	0.0000	2.7300e-003			0.0000			0.0000
Off-Road	1.3593	13.6390	7.3401	0.3500e-003		0.8338	0.8338		0.7671	0.7671			973.0842	973.0842	0.2935	979.2481
Total	1.3593	13.6390	7.3401	0.3500e-003	0.0253	0.8338	0.8590	2.7300e-003	0.7671	0.7699			973.0842	973.0842	0.2935	979.2481

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3.3 Site Preparation - 2016

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	HC-CO2	HC-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000			0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000	0.0000	0.0000
Worker	0.0209	0.0261	0.3250	7.1000e-004	0.0559	4.7000e-004	0.0564	0.0148	4.3000e-004	0.0153			59.4729	59.4729	3.0500e-003	60.8370
Total	0.0209	0.0261	0.3250	7.1000e-004	0.0559	4.7000e-004	0.0564	0.0148	4.3000e-004	0.0153			59.4729	59.4729	3.0500e-003	60.8370

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	HC-CO2	HC-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					0.0500e-003	0.0000	0.0500e-003	1.0500e-003	0.0000	1.0500e-003			0.0000			0.0000
Off-Road	1.3593	13.6390	7.3401	0.3500e-003		0.8338	0.8338		0.7671	0.7671			973.0842	973.0842	0.2935	979.2481
Total	1.3593	13.6390	7.3401	0.3500e-003	0.0500e-003	0.8338	0.8436	1.0500e-003	0.7671	0.7681			973.0842	973.0842	0.2935	979.2481

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3.3 Site Preparation - 2016
Mitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
	lb/day										lb/Day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0200	0.0281	0.3250	7.1000e-004	0.0550	4.7000e-004	0.0554	0.0148	4.3000e-004	0.0153		59.4729	59.4729	3.0500e-003		59.5370
Total	0.0200	0.0281	0.3250	7.1000e-004	0.0550	4.7000e-004	0.0554	0.0148	4.3000e-004	0.0153		59.4729	59.4729	3.0500e-003		59.5370

3.4 Grading - 2016
Unmitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
	lb/day										lb/Day					
Fugitive Dust					0.7528	0.0000	0.7528	0.4138	0.0000	0.4138			0.0000			0.0000
Off-Road	1.3122	11.2385	8.7048	0.0120	0.8038	0.8038	0.8038	0.7674	0.7674	0.7674		1,193,610.6	1,193,610.6	0.2386		1,193,621.7
Total	1.3122	11.2385	8.7048	0.0120	0.7528	0.8038	1.5566	0.4138	0.7674	1.1811		1,193,610.6	1,193,610.6	0.2386		1,193,621.7

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3.4 Grading - 2016
Unmitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
	lb/day										lb/Day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0418	0.0522	0.8500	1.4200e-003	0.1118	9.3000e-004	0.1127	0.0286	8.6000e-004	0.0305		118,9458	118,9458	6.1000e-003		119,0740
Total	0.0418	0.0522	0.8500	1.4200e-003	0.1118	9.3000e-004	0.1127	0.0286	8.6000e-004	0.0305		118,9458	118,9458	6.1000e-003		119,0740

Mitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
	lb/day										lb/Day					
Fugitive Dust					0.2938	0.0000	0.2938	0.1614	0.0000	0.1614			0.0000			0.0000
Off-Road	1.3122	11.2385	8.7048	0.0120	0.8038	0.8038	0.8038	0.7674	0.7674	0.7674		1,193,610.6	1,193,610.6	0.2386		1,193,621.7
Total	1.3122	11.2385	8.7048	0.0120	0.2938	0.8038	1.0976	0.1614	0.7674	0.9287		1,193,610.6	1,193,610.6	0.2386		1,193,621.7

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3.4 Grading - 2016
Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0418	0.0322	0.8500	1.4200e-003	0.1118	8.3000e-004	0.1127	0.0298	8.6000e-004	0.0305		118.9458	118.9458	6.1000e-003		119.0740
Total	0.0418	0.0322	0.8500	1.4200e-003	0.1118	8.3000e-004	0.1127	0.0298	8.6000e-004	0.0305		118.9458	118.9458	6.1000e-003		119.0740

3.5 Building Construction - 2016
Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.3818	13.7058	8.2122	0.0113		0.9398	0.9398		0.8648	0.8648		1,178.5549	1,178.5549	0.3555		1,188.0202
Total	1.3818	13.7058	8.2122	0.0113		0.9398	0.9398		0.8648	0.8648		1,178.5549	1,178.5549	0.3555		1,188.0202

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3.5 Building Construction - 2016
Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0250	0.2501	0.2098	6.5000e-004	0.0188	4.2700e-003	0.0230	5.3400e-003	3.0280e-003	0.2800e-003		85.4087	85.4087	4.7000e-004		85.4185
Worker	0.0543	0.0870	0.8480	1.8400e-003	0.1453	1.2100e-003	0.1465	0.0385	1.1280e-003	0.0397		154.6206	154.6206	7.9300e-003		154.7962
Total	0.0793	0.3370	1.1438	2.4900e-003	0.1641	5.4800e-003	0.1695	0.0439	3.0480e-003	0.0409		220.0383	220.0383	8.4000e-003		220.2147

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.3818	13.7058	8.2122	0.0113		0.9398	0.9398		0.8648	0.8648	0.0000	1,178.5549	1,178.5549	0.3555		1,188.0202
Total	1.3818	13.7058	8.2122	0.0113		0.9398	0.9398		0.8648	0.8648	0.0000	1,178.5549	1,178.5549	0.3555		1,188.0202

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3.5 Building Construction - 2016

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0290	0.2591	0.2093	6.5000e-004	0.0183	4.2700e-003	0.0230	5.3400e-003	3.0200e-003	0.2800e-003		86.4067	86.4067	4.7000e-004		63.4183
Worker	0.0543	0.0670	0.8450	1.8400e-003	0.1453	1.2100e-003	0.1465	0.0385	1.1200e-003	0.0397		154.6266	154.6266	7.0300e-003		154.7662
Total	0.0793	0.3270	1.1438	2.4900e-003	0.1644	5.4800e-003	0.1695	0.0439	5.6400e-003	0.0499		220.0333	220.0333	0.4000e-003		220.2147

3.6 Paving - 2016

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.1203	10.6262	7.2035	0.0111		0.6606	0.6606		0.6113	0.6113		1,083.5832	1,083.5832	0.2969		1,089.8175
Paving	0.0362					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Total	1.1565	10.6262	7.2035	0.0111		0.6606	0.6606		0.6113	0.6113		1,083.5832	1,083.5832	0.2969		1,089.8175

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3.6 Paving - 2016

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0762	0.0940	1.1700	2.5500e-003	0.2012	1.8800e-003	0.2029	0.0534	1.3500e-003	0.0549		214.1025	214.1025	0.0110		214.3332
Total	0.0762	0.0940	1.1700	2.5500e-003	0.2012	1.8800e-003	0.2029	0.0534	1.3500e-003	0.0549		214.1025	214.1025	0.0110		214.3332

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.1203	10.6262	7.2035	0.0111		0.6606	0.6606		0.6113	0.6113		1,083.5832	1,083.5832	0.2969		1,089.8175
Paving	0.0362					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Total	1.1565	10.6262	7.2035	0.0111		0.6606	0.6606		0.6113	0.6113		1,083.5832	1,083.5832	0.2969		1,089.8175

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3.6 Paving - 2016

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	GHG	N2O	CO2e	
Category	lb/day										lb/day						
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000			0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000			0.0000
Worker	0.0762	0.0940	1.1700	2.5500e-003	0.2812	1.6900e-003	0.2028	0.0534	1.0500e-003	0.0540		214.1025	214.1025	0.0110			214.3332
Total	0.0762	0.0940	1.1700	2.5500e-003	0.2812	1.6900e-003	0.2028	0.0534	1.0500e-003	0.0540		214.1025	214.1025	0.0110			214.3332

3.7 Architectural Coating - 2016

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	GHG	N2O	CO2e	
Category	lb/day										lb/day						
Archit. Coating	3.7000					0.0000	0.0000		0.0000	0.0000			0.0000				0.0000
Off-Road	0.3595	2.3722	1.8830	2.9700e-003		0.1966	0.1966		0.1966	0.1966		281.4481	281.4481	0.0332			282.1440
Total	4.1594	2.3722	1.8830	2.9700e-003		0.1966	0.1966		0.1966	0.1966		281.4481	281.4481	0.0332			282.1440

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3.7 Architectural Coating - 2016

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	GHG	N2O	CO2e	
Category	lb/day										lb/day						
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000			0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000			0.0000
Worker	0.0125	0.0157	0.1950	4.2000e-004	0.0335	2.8000e-004	0.0338	8.8000e-003	2.6000e-004	0.1900e-003		35.6838	35.6838	1.8300e-003			36.7222
Total	0.0125	0.0157	0.1950	4.2000e-004	0.0335	2.8000e-004	0.0338	8.8000e-003	2.6000e-004	0.1900e-003		35.6838	35.6838	1.8300e-003			36.7222

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	GHG	N2O	CO2e	
Category	lb/day										lb/day						
Archit. Coating	3.7000					0.0000	0.0000		0.0000	0.0000			0.0000				0.0000
Off-Road	0.3595	2.3722	1.8830	2.9700e-003		0.1966	0.1966		0.1966	0.1966		281.4481	281.4481	0.0332			282.1440
Total	4.1594	2.3722	1.8830	2.9700e-003		0.1966	0.1966		0.1966	0.1966		281.4481	281.4481	0.0332			282.1440

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3.7 Architectural Coating - 2016

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	NO2	CO2	CH4	N2O	CO2e
Category	lb/day										lb/day				
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0125	0.0157	0.1950	4.2000e-004	0.0335	2.8000e-004	0.0338	8.6000e-003	2.6000e-004	0.1500e-003	3.56838	3.56838	1.9300e-003		35.7222
Total	0.0125	0.0157	0.1950	4.2000e-004	0.0335	2.8000e-004	0.0338	8.6000e-003	2.6000e-004	0.1500e-003		3.56838	3.56838	1.9300e-003	35.7222

4.0 Operational Detail - Mobile

4.1 Mitigation Measures Mobile

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	NO2	CO2	CH4	N2O	CO2e
Category	lb/day										lb/day				
Mitigated	0.2540	0.7420	3.0098	7.7900e-003	0.5180	0.0110	0.8290	0.1387	0.0101	0.1487	660.7056	660.7056	0.0249		691.2279
Unmitigated	0.2540	0.7420	3.0098	7.7900e-003	0.5180	0.0110	0.8290	0.1387	0.0101	0.1487	660.7056	660.7056	0.0249		691.2279

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4.2 Trip Summary Information

Land Use	Average Daily Trip Rate			Unmitigated Annual VMT	Mitigated Annual VMT
	Weekday	Saturday	Sunday		
Condo/Townhouse	85.90	71.60	80.70	225,434	225,434
Parking Lot	0.00	0.00	0.00		
Total	85.90	71.60	80.70	225,434	225,434

4.3 Trip Type Information

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Condo/Townhouse	14.70	5.60	6.70	40.20	19.20	40.60	88	11	3
Parking Lot	16.60	6.40	6.80	0.00	0.00	0.00	0	0	0

LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
0.612183	0.089173	0.180257	0.139084	0.042244	0.006684	0.016017	0.031680	0.001940	0.002497	0.004358	0.000692	0.002122

5.0 Energy Detail

Historical Energy Use: N

5.1 Mitigation Measures Energy

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	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Natural Gas Mitigated	4.8830e-003	0.0497	0.0170	2.6000e-004		3.2300e-003	3.2300e-003		3.2300e-003	3.2300e-003		0.0078	0.0078	0.0000e-004	0.4000e-004	0.3182
Natural Gas Unmitigated	4.8830e-003	0.0497	0.0170	2.6000e-004		3.2300e-003	3.2300e-003		3.2300e-003	3.2300e-003		0.0078	0.0078	0.0000e-004	0.4000e-004	0.3182

5.2 Energy by Land Use - Natural Gas
Unmitigated

	Natural Gas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Land Use	MBTU/yr	lb/day										lb/day					
Condo/ Townhouse	433,968	4.6600e-003	0.0490	0.0170	2.6000e-004		3.2300e-003	3.2300e-003		3.2300e-003	3.2300e-003		0.0078	0.0078	0.0000e-004	0.4000e-004	0.3182
Parking Lot	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Total		4.6600e-003	0.0490	0.0170	2.6000e-004		3.2300e-003	3.2300e-003		3.2300e-003	3.2300e-003		0.0078	0.0078	0.0000e-004	0.4000e-004	0.3182

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5.2 Energy by Land Use - Natural Gas
Mitigated

	Natural Gas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Land Use	MBTU/yr	lb/day										lb/day					
Condo/ Townhouse	0.433968	4.6600e-003	0.0490	0.0170	2.6000e-004		3.2300e-003	3.2300e-003		3.2300e-003	3.2300e-003		0.0078	0.0078	0.0000e-004	0.4000e-004	0.3182
Parking Lot	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Total		4.6600e-003	0.0490	0.0170	2.6000e-004		3.2300e-003	3.2300e-003		3.2300e-003	3.2300e-003		0.0078	0.0078	0.0000e-004	0.4000e-004	0.3182

6.0 Area Detail

6.1 Mitigation Measures Area

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	3.1210	0.0782	0.0170	0.0000e-003		0.7684	0.7684		0.7683	0.7683	0.36602	191.4025	275.1617	0.2800	6.3600e-003	283.0304
Unmitigated	3.1210	0.0782	0.0170	0.0000e-003		0.7684	0.7684		0.7683	0.7683	0.36602	191.4025	275.1617	0.2800	6.3600e-003	283.0304

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6.2 Area by SubCategory

Unmitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	0.0239					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	0.4514					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Hearth	2.6204	0.0985	5.0264	8.0000e-003		0.7830	0.7830		0.7838	0.7838	93.6602	180.0000	273.6602	0.2793	6.3600e-003	281.5062
Landscaping	0.0263	0.7800e-003	0.5367	4.0000e-003		4.5400e-003	4.5400e-003		4.5400e-003	4.5400e-003		1.4925	1.4925	1.5100e-003		1.5243
Total	3.1219	0.0762	5.6431	8.0400e-003		0.7864	0.7864		0.7863	0.7863	93.6602	181.4925	275.1617	0.2809	6.3600e-003	283.0304

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6.2 Area by SubCategory

Mitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	0.0239						0.0000	0.0000		0.0000			0.0000			0.0000
Consumer Products	0.4514						0.0000	0.0000		0.0000			0.0000			0.0000
Hearth	2.6204	0.0985	5.0264	8.0000e-003		0.7830	0.7830		0.7838	0.7838	93.6602	180.0000	273.6602	0.2793	6.3600e-003	281.5062
Landscaping	0.0263	0.7800e-003	0.5367	4.0000e-003		4.5400e-003	4.5400e-003		4.5400e-003	4.5400e-003		1.4925	1.4925	1.5100e-003		1.5243
Total	3.1219	0.0762	5.6431	8.0400e-003		0.7864	0.7864		0.7863	0.7863	93.6602	181.4925	275.1617	0.2809	6.3600e-003	283.0304

7.0 Water Detail

7.1 Mitigation Measures Water

8.0 Waste Detail

8.1 Mitigation Measures Waste

9.0 Operational Offroad

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
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10.0 Vegetation

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**City of Garden Grove
INTER-DEPARTMENT MEMORANDUM**

To: Planning Commission

From: Lisa Kim

Dept:

Dept: Community Development

Subject: REVIEW OF CODE OF ETHICS

Date: April 21, 2016

Chapter 2.02 of the Municipal Code comprises the City's Code of Ethics. Pursuant to that Chapter, the Planning Commission has a duty to review the Code of Ethics annually during their first meeting in the month of April; however, if the first meeting is cancelled, the review shall be re-scheduled to the next regular meeting.

Accordingly, the Code of Ethics is scheduled for your formal review at the Commission meeting of April 21, 2016. There is no resolution required; rather, your action will be documented in the minutes of the meeting.



LISA KIM

Community and Economic Development Director

Attachment: Municipal Code Chapter 2.02

Chapter 2.02

CODE OF ETHICS FOR PUBLIC OFFICERS AND EMPLOYEES

Sections:

- 2.02.005 Code Review**
- 2.02.010 Declaration of Policy**
- 2.02.020 Responsibilities of Public Office**
- 2.02.030 Dedicated Service**
- 2.02.040 Fair and Equal Treatment**
- 2.02.050 Use of Public Property**
- 2.02.060 Obligations to Citizens**
- 2.02.070 Disclosure of Interest and Disqualification**
- 2.02.080 Compliance with State Law**
- 2.02.090 Violations—Actions**
- 2.02.100 State Laws—Control**
- 2.02.110 Violations—Penalty**

2.02.005 Code Review

All official boards, commissions, and committees of the City are to formally review the following Code of Ethics provided in this chapter with their members annually during their first meeting in the month of April. New members are to be provided a copy of the Code of Ethics for their review when they are appointed or elected to each board, commission, or committee. (2813 § 1, 2012; 1437 § 1, 1975)

2.02.010 Declaration of Policy

The proper operation of municipal government requires that public officials and employees be independent, impartial, and responsible to the people; that governmental decisions and policy be made in the proper channels of the governmental structure; and that public office not be used for personal gain. (2813 § 1, 2012; 1301 § 1, 1972)

2.02.020 Responsibilities of Public Office

Public officials are all elective officials of the City and the members of all official boards, commissions, and committees of the City. Public officials and employees are bound to uphold the Constitution of the United States and the Constitution of the State and to carry out the laws of the

nation, state, and municipality. Public officials and employees are bound to observe in their official acts the highest standards of morality and to discharge faithfully the duties of their offices, regardless of personal considerations; recognizing that the public interest must be their primary concern, and that conduct in both their official and private affairs should be above reproach. (2813 § 1, 2012; 1301 § 1, 1972)

2.02.030 Dedicated Service

Public officials and employees should not exceed their authority or breach the law or ask others to do so, and they should work in full cooperation with other public officials and employees unless prohibited from so doing by law or the officially recognized confidentiality of their work. (2813 § 1, 2012; 1301 § 1, 1972)

2.02.040 Fair and Equal Treatment

Preferential consideration of the request or petition of any individual citizen or group of citizens shall not be given. No person shall receive special advantages beyond that which are available to any other citizen. (2813 § 1, 2012; 1301 § 1, 1972)

2.02.050 Use of Public Property

No public official or employee shall request or permit the use of City-owned vehicles, equipment, materials, or property for personal convenience or profit, except when such services are available to the public generally or are provided as municipal policy for the use of such public official or employee in the conduct of official business. No public official or employee shall use the time of any City employee during working hours for personal convenience or profit. (2813 § 1, 2012; 1301 § 1, 1972)

2.02.060 Obligations to Citizens

A. CONFLICT WITH PROPER DISCHARGE OF DUTIES. No public official or employee, while serving as such, shall have any interest, financial or otherwise, direct or indirect, or engage in any business or transaction or professional activity, or incur any obligation of any nature that is in substantial conflict with the proper discharge of his or her duties in the public interest and of his or her responsibilities as prescribed by law.

B. **INCOMPATIBLE EMPLOYMENT.** No public official or employee shall accept other employment that he or she has reason to believe will either impair his or her independence of judgment as to his or her official duties or require him or her or induce him or her to disclose confidential information acquired by him or her in the course of and by reason of his or her official duties.

C. **DISCLOSURE OF CONFIDENTIAL INFORMATION.** No public official or employee shall willfully and knowingly disclose for pecuniary gain to any other person confidential information acquired by him or her in the course of and by reason of his or her official duties nor shall any public official or employee use any such information for the purpose of pecuniary gain.

D. **CONFLICT OF INTEREST.** A conflict of interest exists in a matter before a public official for consideration or determination if:

1. The public official has a substantial financial or substantial personal interest in the outcome or as owner, member, partner, officer, employee, or stockholder of any corporation or other professional enterprise that will be affected by the outcome, and such interest is or may be adverse to the public interest in the proper performance of governmental duties by the public official;

2. The public official has reason to believe or expect that he or she will derive direct monetary gain or suffer a direct monetary loss, as the case may be, by reason of his or her official activity;

3. The public official, because of bias, prejudice, or because he or she has prejudged a matter set for public hearing, is incapable because of such bias, prejudice or prejudgment of granting to the matter before him or her a fair and impartial hearing.

4. Personal interest as distinguished from financial interest is defined as including, among other matters, an interest arising from blood or marriage relationships, or close business association. (2813 § 1, 2012; 1301 § 1, 1972)

2.02.070 Disclosure of Interest and Disqualification

A. Any Councilmember who has a conflict of interest as defined herein, in any matter before the City Council, shall disclose such fact on the record of the City Council and refrain from participating in any discussion of voting thereon, pro-

vided that such exceptions shall be observed as are required by law.

B. Any member of any official board, commission, or committee who has a conflict of interest as defined herein in any matter before the board, commission, or committee of which he or she is a member, shall disclose such fact on the record of such board, commission, or committee and refrain from participating in any discussion or voting thereon, provided that such exceptions shall be observed as are required by law.

C. Any employee who has a financial or other special interest in a matter before the City Council or any board, commission, or committee and who participates in discussion with, or gives an official opinion to the City Council, or to such board, commission, or committee relating to such matter, shall disclose on the record of the City Council or such board, commission, or committee, as the case may be, the nature and extent of such interest. (2813 § 1, 2012; 1301 § 1, 1972)

2.02.080 Compliance with State Law

Public officials and employees of the City shall comply with applicable provisions of state law relative to conflicts of interest and generally regulating the conduct of public officials and employees. (2813 § 1, 2012; 1301 § 1, 1972)

2.02.090 Violations—Actions

The violation of any provision of this chapter shall be:

A. As to all City employees, grounds for dismissal from City employment;

B. As to any appointed position on any board, commission, or committee, grounds for removal from any such board, commission, or committee;

C. As to any prosecution of any elected public official, the City Council shall make findings of fact by at least a vote of three City Councilmembers that an elected public official has, in fact, violated this chapter as a prerequisite to prosecution. (2813 § 1, 2012; 1301 § 1, 1972)

2.02.100 State Laws—Control

This chapter and its application are intended to be supplemental to and consistent with all applicable state laws. (2813 § 1, 2012; 1301 § 1, 1972)

2.02.110 Violations—Penalty

Any person violating any of the provisions of this chapter is guilty of a misdemeanor and, upon conviction thereof, is punishable as provided in Section 1.04.010 of this Code. (2813 § 1, 2012; 1301 § 1, 1972)

COMMUNITY DEVELOPMENT DEPARTMENT PLANNING STAFF REPORT

AGENDA ITEM NO.: D.2.	SITE LOCATION: N/A
HEARING DATE: April 21, 2016	GENERAL PLAN: N/A
CASE NO.: N/A	ZONE: N/A
APPLICANT: N/A	CEQA DETERMINATION: N/A

REQUEST:

The purpose of this report is to request that the Planning Commission receive and file the 2015 Annual Report on the Status of the General Plan.

BACKGROUND/DISCUSSION:

The City is required by the State to submit an annual report on the status of the General Plan and progress in its implementation to their legislative bodies, the Governor's Office of Planning and Research (OPR), and the Housing and Community Development (HCD).

The report focuses on the calendar year of 2015. Projects approved, ordinances adopted, and programs implemented during this time are included within the report. Additionally, the City reviews the previous year's residential development activity and programs that work toward providing housing throughout the City.

The report also covers the Regional Housing Need Allocation (RHNA) for the 2014-2021 planning period. California General Plan law requires each city and county to accommodate its fair share of the regional housing needs. As determined by the Southern California Association of Governments (SCAG), Garden Grove's fair share allocation is 747 new housing units during this planning cycle. This report shows the City's progress in meeting its RHNA.

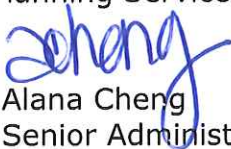
RECOMMENDATION:

Staff recommends that the Planning Commission take the following action:

- Receive and file the 2015 Annual Report on the Status of the General Plan

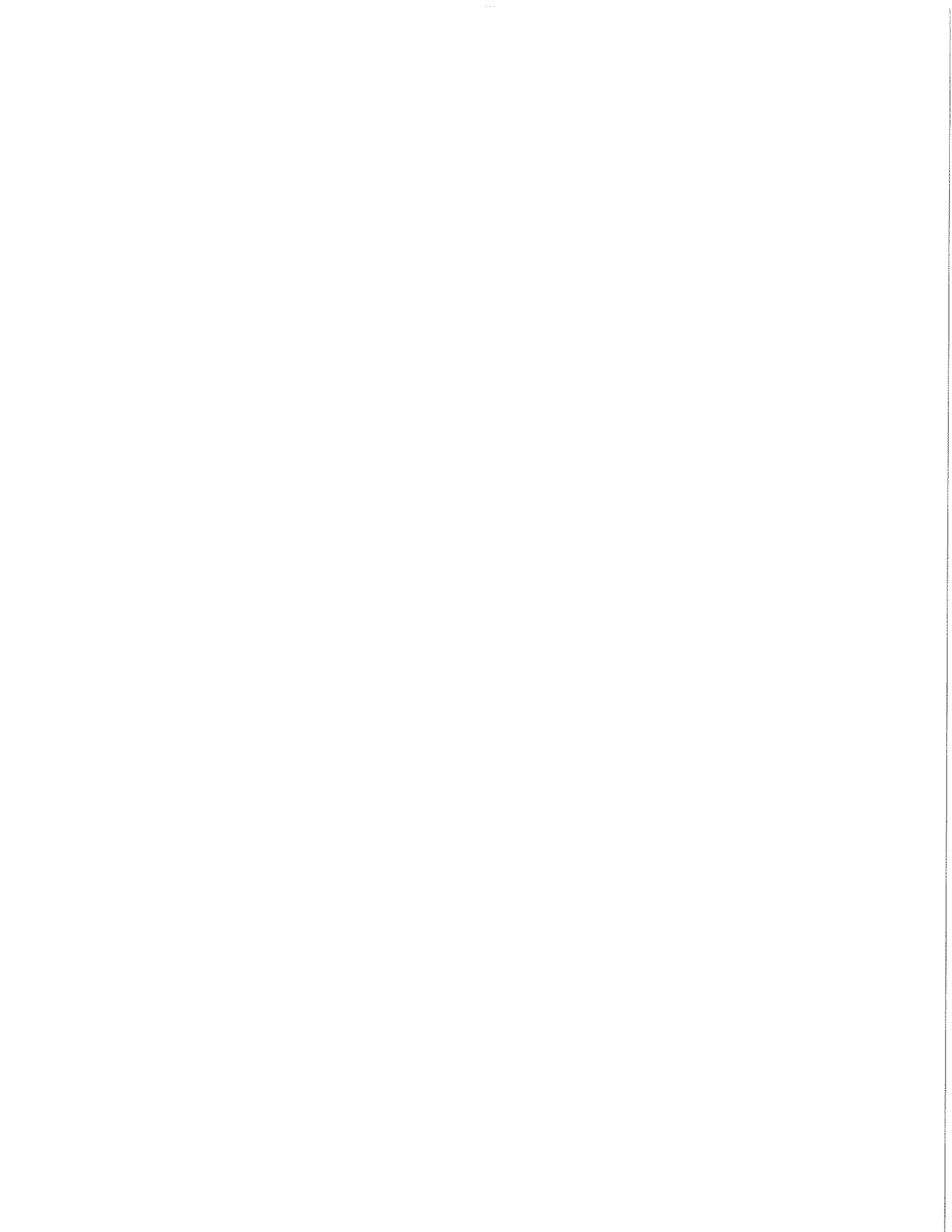


Karl Hill
Planning Services Manager



By: Alana Cheng
Senior Administrative Analyst

Attachment: 2015 Annual Report on the Status of the General Plan



**2015
ANNUAL REPORT
ON THE STATUS OF
THE GENERAL PLAN**



Prepared by the Garden Grove Community Development Department

MARCH 2016

2015 Garden Grove Annual Report on the Status of the General Plan

Introduction

Every year, the City of Garden Grove reviews the previous year's residential development activity and programs that work toward providing housing throughout the city. The City prepares this report as a review of the activities undertaken to implement the General Plan. The report focuses on the calendar year of 2015. Projects approved, ordinances adopted, and programs implemented during this time are included within the report.

The City continues its process of updating the General Plan, which was last updated in 1995. The Administrative Draft of the General Plan was approved for public review in 2008. More information about the General Plan Update is available at <http://www.gardengrovefuture.info> or contact Erin Webb, General Plan Project Manager at 714-741-5313.

The City is required by the State to prepare an Annual Progress Report on the status of the Housing Element of its General Plan and indicate the progress in the implementation and status of its programs and objectives.

The Annual Element Progress Report includes; an Annual Building Activity Report Summary; Rehabilitation, Preservation and Acquisition Activity; Regional Housing Needs Allocation Progress; and Housing Element Program Implementation Status updates. Using the Neighborhood Improvement and Conservation Commission (NICC) as an avenue, the City must provide opportunities for public discussion and input on housing issues and housing element implementation.

The programs and objectives in the 2014-2021 Housing Element Plan aim to make adequate provision for the housing needs of all economic segments of the community. The programs outlined in the plan have been implemented in an effort to conserve and improve the conditions of the existing affordable housing stock, assist in the development of housing for low- and moderate-income households, identify adequate sites to encourage the development of a variety of types of housing for all income levels, address and, where appropriate and legally possible, remove government constraints to the maintenance, improvement, and development of housing, and promote equal opportunities for all persons.

In addition, the City has prepared a Development Project Update List, which is available on the Planning Division's webpage at <http://www.ci.garden-grove.ca.us>. The report is updated every quarter and includes all residential, commercial, and industrial projects that move through the Community Development Department.

City of Garden Grove
2015 Annual Report on the Status of the General Plan

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A G E N D A

GARDEN GROVE PLANNING COMMISSION

REGULAR MEETING

APRIL 21, 2016

COMMUNITY MEETING CENTER
11300 STANFORD AVENUE

REGULAR SESSION - 7:00 P.M. COUNCIL CHAMBER

ROLL CALL: CHAIR O'NEILL, VICE CHAIR KANZLER
COMMISSIONERS BARKER, MARGOLIN, PAREDES, ZAMORA

Members of the public desiring to speak on any item of public interest, including any item on the agenda except public hearings, must do so during Oral Communications at the beginning of the meeting. Each speaker shall fill out a card stating name and address, to be presented to the Recording Secretary, and shall be limited to five (5) minutes. Members of the public wishing to address public hearing items shall do so at the time of the public hearing.

Any person requiring auxiliary aids and services due to a disability should contact the City Clerk's office at (714) 741-5035 to arrange for special accommodations. (Government Code §5494.3.2).

All revised or additional documents and writings related to any items on the agenda, which are distributed to all or a majority of the Planning Commissioners within 72 hours of a meeting, shall be available for public inspection (1) at the Planning Services Division during normal business hours; and (2) at the City Council Chamber at the time of the meeting.

Agenda item descriptions are intended to give a brief, general description of the item to advise the public of the item's general nature. The Planning Commission may take legislative action it deems appropriate with respect to the item and is not limited to the recommended action indicated in staff reports or the agenda.

PLEDGE OF ALLEGIANCE TO THE FLAG OF THE UNITED STATES OF AMERICA

- A. ORAL COMMUNICATIONS - PUBLIC
- B. APPROVAL OF MINUTES: March 17, 2016
- C. PUBLIC HEARING(S) (Authorization for the Chair to execute Resolution shall be included in the motion.)
 - C.1. CONDITIONAL USE PERMIT NO. CUP-066-2016

APPLICANT: KARIE BARKER

LOCATION: SOUTH OF STANFORD AVENUE, WEST OF
BROOKHURST STREET AND STANFORD AVENUE AT
12755 BROOKHURST STREET

REQUEST: Conditional Use Permit approval to operate a new 1,850 square foot after-school tutoring center for 46 students and six (6) instructors. The site is in the GGMU1 (Garden Grove Mixed Use 1) zone. The project is exempt pursuant to CEQA Section 15301 – Existing Facilities.

STAFF RECOMMENDATION: Approval of Conditional Use Permit No. CUP-066-2016, subject to the recommended conditions of approval.

C.2. MITIGATED NEGATIVE DECLARATION

SITE PLAN NO. SP-022-2016

CONDITIONAL USE PERMIT NO. CUP-065-2016

LOT LINE ADJUSTMENT NO. LLA-011-2016

DEVELOPMENT AGREEMENT NO. DA-002-2016

APPLICANT: TONY LAM

LOCATION: NORTH SIDE OF GARDEN GROVE BOULEVARD, WEST OF NELSON STREET. PEARL STREET PROPERTY IS CONTIGUOUS TO NORTH SIDE OF GARDEN GROVE PROPERTIES AND FRONTS SOUTH SIDE OF PEARL STREET, WEST OF NELSON STREET AT 10641 GARDEN GROVE BOULEVARD, 10661 GARDEN GROVE BOULEVARD, AND 10662 PEARL STREET.

REQUEST: Site Plan and Conditional Use approval to construct a four-story, 10-unit, work-live mixed-use development on three separate properties, in conjunction with a Lot Line Adjustment to consolidate three properties into one. A Development Agreement is also included.

STAFF RECOMMENDATION: Recommend adoption of the Mitigated Negative Declaration and approval of Development Agreement No. DA-002-2016 to City Council, and approve Site Plan No. SP-022-2016, Conditional Use Permit No. CUP-065-2016, and Lot Line Adjustment No. LLA-011-2016, subject to the recommended conditions of approval and City Council approval of Development Agreement No. DA-002-2016.

D. ITEMS FOR CONSIDERATION

D.1. REVIEW OF THE CODE OF ETHICS



D.2. ACKNOWLEDGEMENT OF THE 2015 ANNUAL PROGRESS REPORT ON THE STATUS OF THE GENERAL PLAN AND HOUSING ELEMENT

E. MATTERS FROM COMMISSIONERS

F. MATTERS FROM STAFF

G. ADJOURNMENT

Measures Associated with the Implementation of the General Plan

LAND USE ELEMENT

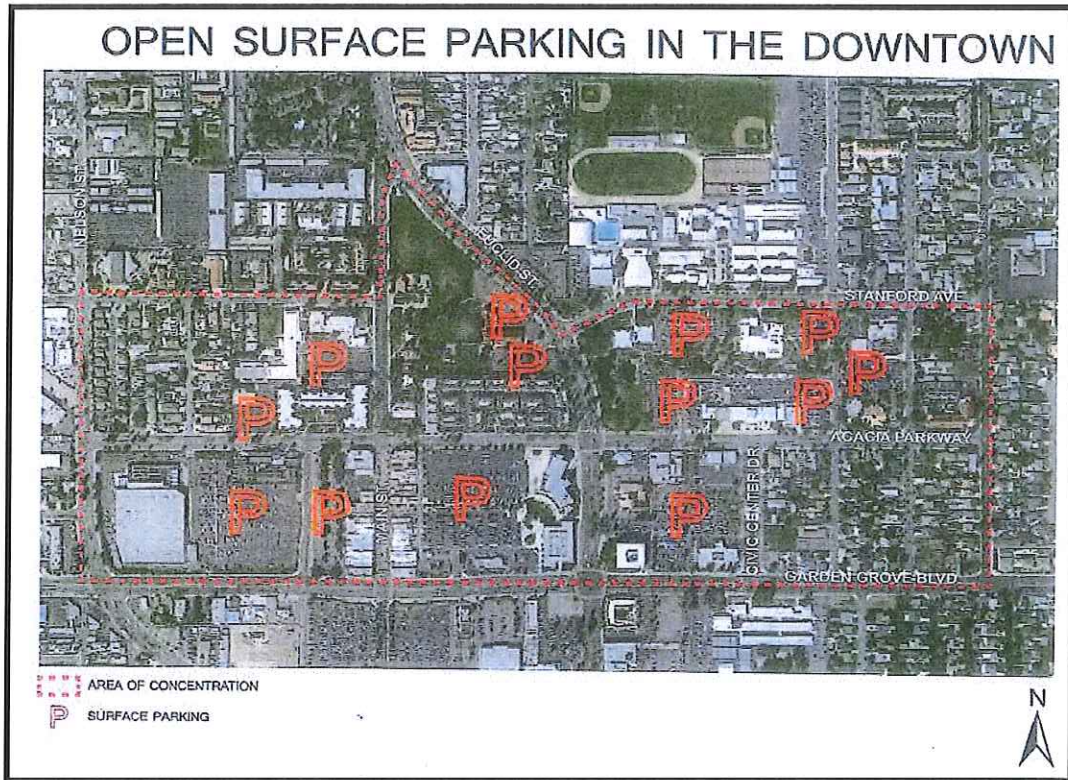
The Land Use Element, more than any other element in the General Plan, will shape the way that the City of Garden Grove develops and redevelops over the next 20+ years. It will serve as a guide for both public officials and private citizens in its description of the type, intensity, and general distribution of uses of land for housing, business, industry, open space and public uses. It is the basis for short-range, mid, and long-range vision, ideas, and goals.

From the onset of updating the General Plan, the community clearly stated preserving their residential neighborhoods was one of the highest priorities. Most new development was envisioned as mixed use buildings located along major arterial roadways/adjacent to existing shopping centers. A mixed use type of project allows greater opportunities for developers through higher density while leaving existing residential neighborhoods protected and preserved. The plan identifies 15 "Focus Areas", the area we concentrated the most on in 2015 was "Focus Area E1-Civic Center (Area 1)."

Key ideas for this area:

- The Civic Center Park area should include *parking structures*.
- Acacia Parkway is an important secondary path of travel in the east-west direction.
- *Pedestrian pathways* across Euclid Street should be reinforced to connect the different areas of the Civic Center.
- The civic center uses should be interspersed with *parking structures* and a mix of uses.
- Add pedestrian paths, courtyards and small plazas throughout the area.
- Construct *parking structures* to replace the existing surface lots in the Main Street Area.
- Allow the expansion of mixed use and commercial uses north of Acacia Parkway on Main Street.
- Pedestrian paths, plazas, and storefronts should be added to the area.





Goal LU-10: Restoration of the Civic Center as the heart of the City.

Policy LU-10.1: Maintain and enhance the centralized public function of the Civic Center.

Policy LU-10.2: Develop a Master Plan for the Civic Center area.

Policy LU-10.3: Redevelop, consolidate and rezone properties within the Civic Center area to accommodate the *mix of uses* allowed in this focus area.

LU-IMP-10A: Link the City Hall with other civic or institutional uses across Acacia Parkway so that the centrality of government services is retained in the Civic Center area.

LU-IMP-10B: Continue to encourage the use of the Civic Center's facilities for public and private community and social events.

LU-IMP-10C: Continue to support cultural activities conducted near the Civic Center, such as *theater productions* or the Strawberry Festival, and experiment with offering new *citywide celebrations* to be held in this area.

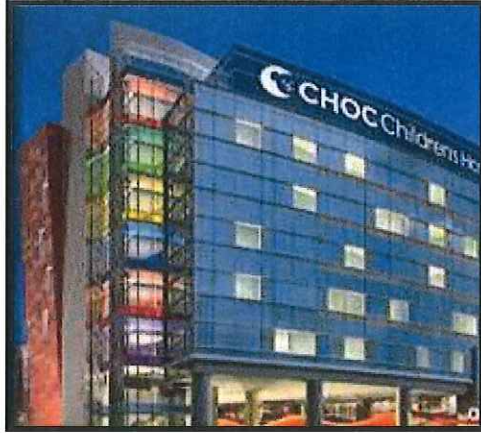
LU-IMP-10D: Maximize the opportunities offered by higher educational institutions to be located in the Civic Center area.

2015 GARDEN GROVE ANNUAL REPORT
ON THE STATUS OF THE GENERAL PLAN



In continuing to work hard to bring the community to identify a sense of place and improving the Garden Grove’s Downtown “Focus Area E1-Civic Center (Area 1);” “Heart of the City”, a new horizontal mixed-use project was proposed in 2014 and the City proceeded in 2015 to amend the CC-1 Mixed Use Zone to further encourage Adaptive Reuse and Preservation of existing cottage neighborhoods and help this project move forward. The vision for this project is to use the existing residential cottages as commercial businesses and invigorate outdoor activities. The City has amended the Zoning (CC-1 Mixed Use) to allow this development located in the neighborhoods south of Acacia Parkway, north of Garden Grove Boulevard, west of Ninth Street, and east of Civic Center Boulevard.

In addition, the City starting working on an RFP in 2015 to conduct a Downtown Parking Study. The objectives of this study are to analyze the City’s current public and private parking utilization and design, and anticipate future parking needs. The hope is to explore options to consolidate the many surface parking lots and replace them with interesting *parking structures*. The study will also provide ideas for new uses that will create a more cohesive, walkable, lively Downtown; such as adding pocket parks, plazas, kiosks, and other retail uses. The Department would like to explore the possibilities for the future of these surface lots. Some of these lots could be incorporated into existing parks, while others could incorporate *commercial storefronts* to improve the pedestrian experience along the Civic Center Area.



COMMUNITY DESIGN ELEMENT

The Community Design Element represents a community identity and a visual image of the community that is held in the minds of residents and visitors. These images include the City's physical form, districts and gathering areas, landmarks, paths and street corridors, buildings, and wayfinding/signage.

The City's vision is to move away from the old style of strip commercial development that is dominated by parking and automobiles to a pedestrian friendly, attractive, and diverse commercial/mixed-use development type with well-designed rear parking or unique parking structures.

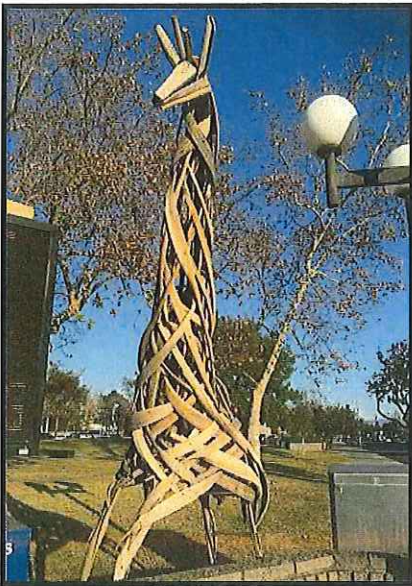
Key ideas for this element:

- Medians along primary corridors should incorporate the same types of trees to be consistent with the sidewalk plantings and employ a continuous and tightly spaced pattern.
- Although typical high-level cobra-head style lighting maybe still be required for the high level of traffic, secondary thematic, *pedestrian level lighting* should be considered with in or oriented toward the sidewalk area.
- *Street trees* should be planted within the parkway areas, with ground cover and shrubs filling in underneath.
- Visual enhancements or rear properties, special accent paving at entries, *pedestrian level lighting*, and landscaping where feasible should be encouraged.
- *Public art* includes statues and murals that are visible from public spaces and streets.
- Currently, the primary location of *public art* is within the Civic Center.
- Opportunities for additional forms of public art should be considered which can include *street furniture* and lighting and it is not confined to physical objects.



2015 GARDEN GROVE ANNUAL REPORT
ON THE STATUS OF THE GENERAL PLAN

The City brought in a local artist, Glen Mann, and his strong connection to nature in his organic Palm art creating sculptures inspired by the palm fronds, bamboo or tree branches that he finds. "It is important for our future to become better stewards of our planet". "Rather than chopping down a tree, I use what the tree gives or drops." Glen has created an unusual array of frond creatures held together with screws: a giraffe, an alligator, a couple of peacocks, fish, sheep, giant bugs, etc. With open invitations to display his work at many festivals he stays very busy. His frond animals have been featured artist at the Aquarium of the Pacific and he has also received a stewardship award from the City of Long Beach. Glen produced 22 "creatures" around our Civic Center Area a few weeks before Open Streets 2015 to draw interest from the community to come to a gathering place to see temporary art installations. Glen does not accept payment for his art work. "I'm not making money on these, I'm just doing it for the uplifting of humanity." "Putting a price on them takes the fun out of spreading the love and light."



GOAL CD-4: Create comfortable and safe corridors that accommodate all modes of transportation.

Policy CD-4.2: Develop a comprehensive or a series of focused streetscape programs to retrofit/redevelop primary and secondary corridors with appropriate design features, including sidewalks, paving patterns, street trees, parkways, *median planting*, lighting improvements, and benches.

Policy CD-4.5: Encourage new public and private parking facilities to meet aesthetic and functional standards beneficial to the urban environment.

CD-IMP-4B: Review and update all street standards to support design features that will create an attractive and safe environment for pedestrians, transit users, and bicyclists.

Policy CD-7.2: Develop unique *streetscape palettes* for the Civic Center Areas. The landscape palettes shall reinforce the existing character of these districts, for example, Civic Center includes sycamores along Main Street and on major streets, so the use of sycamores or a similar type of tree would create a consistent landscape element that identifies an important place.



Policy CD-7.3: Promote linkages between separate districts through bike trails, pedestrian paths, common medians or parkway landscaping in connecting streets, and other physical improvements as necessary.

CD-IMP-7A: Encourage the use of specific plans, master plans, or other planning and design tools to develop detailed plans, revitalization strategies, and implementation tools for Garden Grove's districts, incorporating the General Plan 2030 ideas, goals, and policies.

CD-IMP-7D: Establish minimum standards for pedestrian-oriented circulation in the Civic Center, and other pedestrian-oriented districts.

CD-IMP-7E: Urban Trails on public and/or private property shall have identifiable landscape plantings and signage.

2015 GARDEN GROVE ANNUAL REPORT
ON THE STATUS OF THE GENERAL PLAN

Goal CD-8: Lively and attractive activity nodes or gathering places, with a combination of quality seating, shade, fountains, and other pedestrian amenities enhance the experience for people to gather.

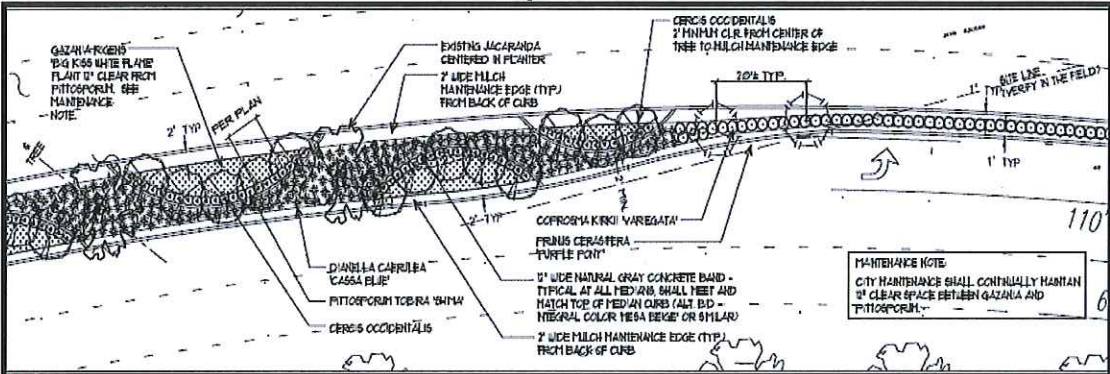
Policy CD-8.1: Ensure that activity nodes and gathering places are visible from the street or parking areas.

Policy CD-8.3: Provide ample and comfortable sitting areas, preferably moveable seating, in shaded plazas, courtyards, and arcades.

While continuing to work with the Studio 606 Master's students design group from Cal Poly Pomona, they discovered that one of the main desires of the community was to add more trees and focus on improving the landscaping in the Civic Center Area. Keeping with the Re:Imagine Downtown goal of enhancing the functional and physical look and feel of the downtown area, the students have provided input on the quantity and types of trees and landscape materials to be used in the medians. With lots of ideas coming from the Public Online Forum, the Euclid Street Project expanded to include new median landscape and tree replacement. The City added approximately 20 pine trees and various drought-tolerant plants planted in the new wider areas of the median, replacing grass with low-water foliage that conserves water and maintenance costs by preventing irrigation run-off and asphalt deterioration.



Euclid Street Median landscape plans located between Garden Grove Boulevard and Lampson Avenue





Goal CD-2: Provide attractive and appropriate signage throughout the City.

Policy CD-2.1: Continue and expand the wayfinding signage program

CD-IMP-2D: Develop new sign standards in the Zoning Code that are up to date with current industry design such as larger pylon and *monument signs*. Look for opportunities for different types of signs that reinforce the character of specific areas such as blade signs and old-fashioned wall-painted signs on Main Street/Civic Center District.

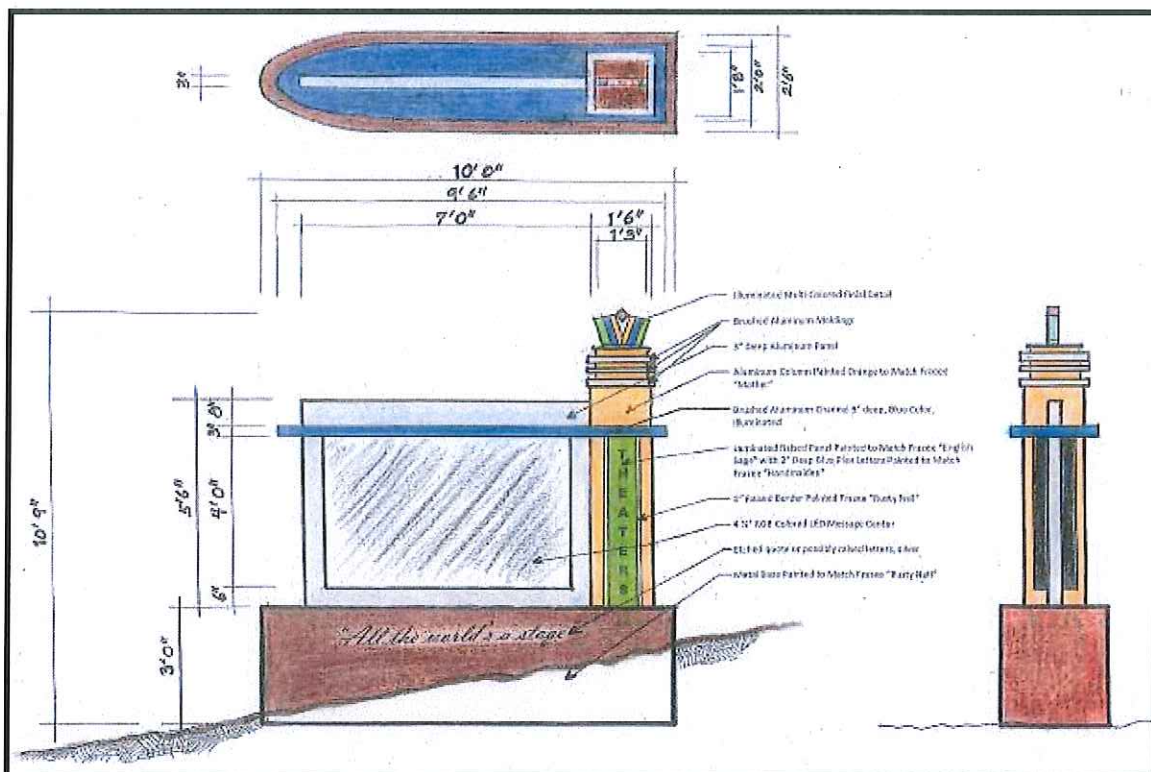
CD-IMP-3B: Encourage and implement the development of *new logo designs* identifying special districts and citywide entry signs.

In addition, the City is working on new sign standards in satisfying the Goals and Policy plans above, to create a standard design for the GEM Theater and the Strawberry Bowl Amphitheater to reinforce a specific Downtown character identified as part of the Civic Center District.

Also as a section included in the Downtown Parking Study scope of work, the City has requested the Consultant to include a proposal for new ideas in a wayfinding program with a creative placemaking component. This shall include a Parking-Vehicular Wayfinding in which the City seeks to enhance and facilitate visitor and residential awareness of the Downtown. Wayfinding should provide excellent directional information for drivers, parking needs, identifying municipal buildings, and for future downtown destinations.

Wayfinding recommendations should also include bicycle and pedestrian safe access through the Downtown area to landmarks in the Civic Center including proposed bike parking sites within a half mile radius of the boundaries for the area of concentration.

Proposed Sign Design for the Theaters



CIRCULATION ELEMENT

The Circulation Element represents the City's overall transportation plan. The transportation plan consists not only of the physical transportation system itself, such as streets, highways, *bicycle routes and sidewalks*, but also to the various modes of transportation, such as cars, buses, trucks, rail, bicycles, ridesharing and walking.

Land Use and circulation must be closely tied to ensure that citizens are able to move in and around the City to locations where they live, work, shop, and spend leisure hours.

Goal CIR-4: A reduction in vehicle miles traveled in order to create a more efficient urban form.

Policy CIR-4.1: Strive to achieve a balance of land uses whereby residential, commercial, and public land uses are proportionally balanced.

Policy CIR-4.2: Strive to reduce the number of miles traveled by residents to their places of employment.

Policy CIR-4.3: Ensure the reduction in vehicle miles traveled through the approval of mixed-use development proposals.

CIR-IMP-4A: Encourage the development of mixed-use projects as a means of reducing peak commute period traffic.

Goal CIR-5: Increased awareness and use of alternative forms of transportation generated in, and traveling through, the City.

Policy CIR-5.3: Provide appropriate *bicycle access* throughout the City.

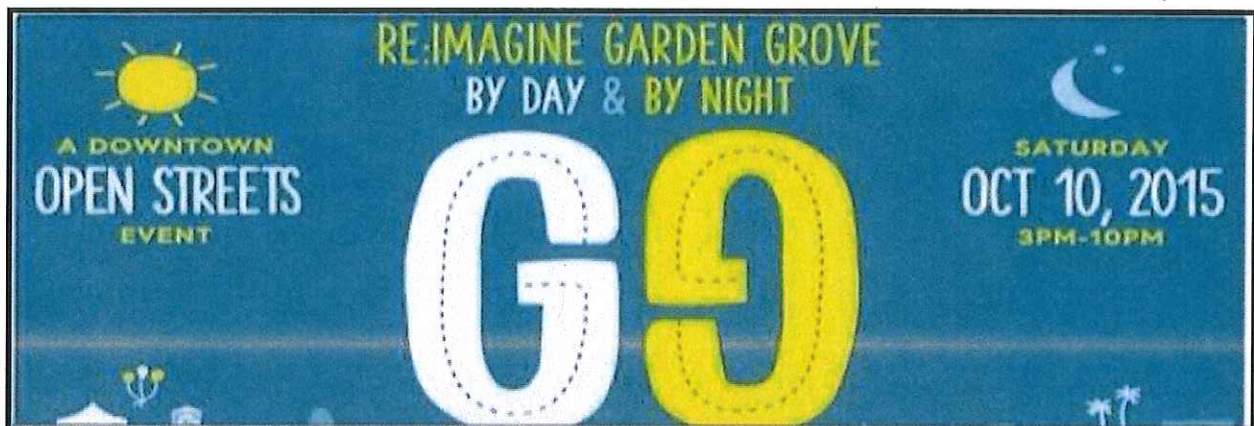
Policy CIR-5.4: Provide appropriate pedestrian access throughout the City.

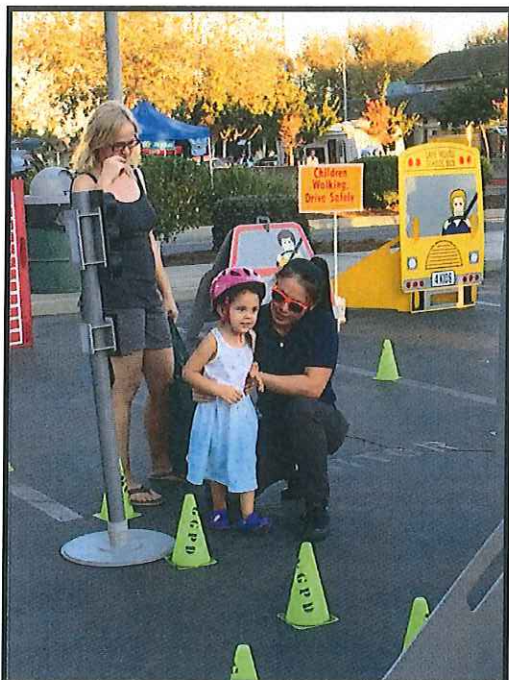
CIR-IMP-5C: Encourage incentives for the creation and use of car or vanpools for City Employees.

Goal CIR-6: A safe, appealing, and comprehensive *bicycle network* provides additional recreational opportunities for Garden Grove residents and employees.

Policy CIR-6.4: Continue to pursue and monitor funding sources for bikeway facilities.

Policy CIR-6.5: Sponsor *bicycle safety* and education programs.





"The event programming is being designed to showcase all of the unique cultural diversity that the city of Garden Grove has to offer. Bringing that culture to life on car-free streets will give the community a whole new perspective of the downtown environment,"

Aaron Paley, President and Co-Founder of CARS.

In early 2015, Alta Planning & Design was chosen by the City to develop a Bike and Pedestrian Master Plan (BPMP) along with their sub consultants: Iteris Engineering, to cover the engineering portion, and Community Arts Resources (CARS) to conduct a community event such as Open Streets 2015. Programming for the Open Streets 2015 event was influenced by the Goals and Policies in the General Plan that support the awareness of bike safety and bike education, as well as implementing some of the ideas from the Re:Imagine community forum short term goals to explore new ways to enjoy biking and walking in the civic center while combining it with a street fair, food, music, art, and adding a night time component.



How can Garden Grove become a better place to walk and ride your bike?

We want to hear your suggestions!

Take our **online survey** in English, Vietnamese (tiếng việt), Spanish (español), or Korean (한국어), and share your ideas on the **interactive map** at:

GardenGroveActiveStreets.org

2015 GARDEN GROVE ANNUAL REPORT
ON THE STATUS OF THE GENERAL PLAN



The southern portion of Civic Center Park, closer to Acacia Parkway, hosted a series of interactive art workshops for all ages, including a workshop to create a wall mosaic, a gardening workshop and photo booth. The Police Department's Community Liaison Division will lead a bicycle safety course in the parking lot to educate the public on safe riding skills.



Mosaic Art and Rain Stick Workshops



Re:Imagine Garden Grove by Night brought Historic Main Street to life with live performances, DJs, dance floor, for a downtown block party under the stars.



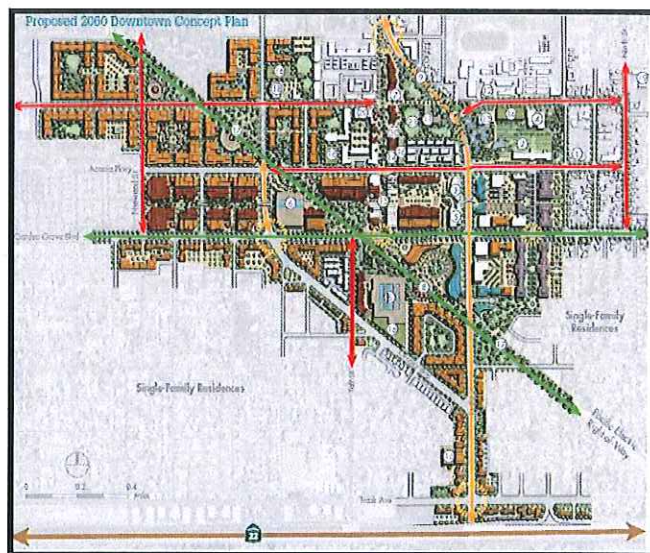
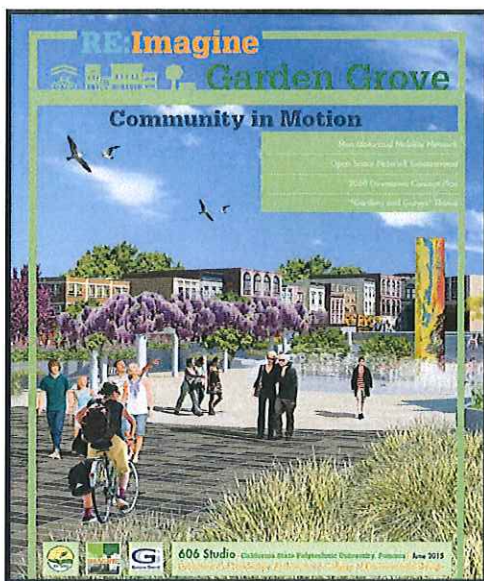
The entire 2015 Open Streets event was completely funded by grant funding from: OC-PICH, GG Community Foundation, Republic Services, Cirque de Soleil Funding, and SCAG Sustainability Program Active Transportation Grant awarded to the City in 2013-2014.

The City also attempted to partner with the Boys & Girls Club of Garden Grove to apply for future ATP grants. In working with together we hope to create more programming for getting bikes to young people by fixing them up learning how to ride in afterschool programs/ including bike safety programs at two elementary and one middle school that are in close to the completed paved segment from Nelson to Stanford Street.

606 Studio Mobility Plan –Re: Imagine Garden Grove Community in Motion

Four person team of Landscape Architecture Master Students contracted with the City to create the Mobility Plan and Civic Center District Design which is intended to create a connected community with enhanced mobility access that links local neighborhoods to the Downtown.

- Began in 2013 and completed in 2015
- Department Chair LeAnne Milborne is the faculty lead for the Study called Re:Imagine Garden Grove Community in Motion.
- She presented the final document and its findings to the Planning Commission, Council, and the Public in a Study Session in November 2015.
- The approximately 450 page book includes 4 elements:
 1. Non-Motorized Mobility Network
 2. Open Streets Network Enhancement
 3. 2060 Downtown Concept Plan
 4. "Gardens and Groves" Theme
- A summarized booklet is available in the Garden Grove City Hall for the public to view



Regional Housing Needs

State law requires that the annual report provide a status of the City's progress in meeting its share of regional housing needs.

Senate Bill 12 authorized the Southern California Association of Governments (SCAG) to develop the Regional Housing Needs Assessment (RHNA) for the six-county SCAG region, which includes the City of Garden Grove. As determined by SCAG, Garden Grove's fair share allocation is 747 new housing units during this cycle. Currently, we are in planning year one (2) of eight (8) years, which covers the periods from January 1, 2014 through December 30, 2021.

As of December 31, 2015 the City is on track to meet its annual and long-term goals.

The RHNA numbers adopted for Garden Grove are presented in the Tables attached for the Annual Element Progress Report for 2015.

ANNUAL ELEMENT PROGRESS REPORT

Housing Element Implementation

(CCR Title 25 §6202)

Jurisdiction Garden Grove
 Reporting Period 1/1/2015 - 12/31/2015

Table A
Annual Building Activity Report Summary - New Construction
Very Low-, Low-, and Mixed-Income Multifamily Projects

Housing Development Information										Housing with Financial Assistance and/or Deed Restrictions		Housing without Financial Assistance or Deed Restrictions
1 Project Identifier (may be APN No., project name or address)	2 Unit Category	3 Tenure R=Renter O=Owner	4 Affordability by Household Incomes				5 Total Units per Project	5a Est. # Infill Units*	6 Assistance Programs for Each Development See Instructions	7 Deed Restricted Units See Instructions	8 Note below the number of units determined to be affordable without financial or deed restrictions and attach an explanation how the jurisdiction determined the units were affordable. Refer to instructions.	
			Very Low-Income	Low-Income	Moderate-Income	Above Moderate-Income						
			0	0	0	0	0	0				
			0	0	0	0	0	0				
(9) Total of Moderate and Above Moderate from Table A3			7	7	7	46	53	0				
(10) Total by income Table A/A3			7	7	7	46	53	0				
(11) Total Extremely Low-Income Units*			0									

* Note: These fields are voluntary

ANNUAL ELEMENT PROGRESS REPORT Housing Element Implementation (CCR Title 25 §6202)

Jurisdiction: Garden Grove
Reporting Period: 1/1/2015 - 12/31/2015

**Table A2
Annual Building Activity Report Summary - Units Rehabilitated, Preserved and Acquired pursuant
to GC Section 65583.1(c)(1)**

Please note: Units may only be credited to the table below when a jurisdiction has included a program, its housing element to rehabilitate, preserve or acquire units to accommodate a portion of its RHNA which meet the specific criteria as outlined in GC Section 65583.1(c)(1)

Activity Type	Affordability by Household Incomes				(4) The Description should adequately document how each unit complies with subsection (c)(7) of Government Code Section 65583.1
	Extremely Low-Income*	Very Low-Income	Low-Income	TOTAL UNITS	
(1) Rehabilitation Activity	0	0	0	0	
(2) Preservation of Units At-Risk	0	0	0	0	
(3) Acquisition of Units	0	0	0	0	
(5) Total Units by Income	0	0	0	0	

* Note: This field is voluntary

**Table A3
Annual building Activity Report Summary for Above Moderate-Income Units
(not including those units reported on Table A)**

No. of Units Permitted for Moderate	1. Single Family	2. 2 - 4 Units	3. 5+ Units	4. Second Unit	5. Mobile Homes	6. Total	7. Number of Infill units*
	0	0	0	0	7	0	7
No. of Units Permitted for Above Moderate	46	0	0	0	0	46	0

* Note: This field is voluntary

ANNUAL ELEMENT PROGRESS REPORT

Housing Element Implementation

(CCR Title 25 §6202)

Jurisdiction: Garden Grove
 Reporting Period: 1/1/2015 - 12/31/2015

Table B
Regional Housing Needs Allocation Progress

Permitted Units Issued by Affordability

Enter Calendar Year starting with the first year of the RHNA allocation period. See Example.												Total Units to Date (all years)	Total Remaining RHNA by Income Level	
Income Level	RHNA Allocation by Income Level	Year 2013	Year 2014	Year 2015	Year 2016	Year 2017	Year 2018	Year 2019	Year 2020	Year 2021				
		Very Low	Deed Restricted Non-deed restricted Deed Restricted Non-deed restricted	164	0	0	0	0	0	0	0	0	0	0
Low	Deed	0	14	0	0	0	0	0	0	0	0	0	14	
	Restricted Non-deed restricted	120	0	0	0	0	0	0	0	0	0	0	106	
Moderate	Deed	0	0	0	0	0	0	0	0	0	0	0	0	
	Restricted Non-deed restricted	135	3	50	7	0	0	0	0	0	0	0	60	
Above Moderate		328	38	37	46	0	0	0	0	0	0	0	121	
Total RHNA by COG. Enter allocation number.		747	41	101	53	0	0	0	0	0	0	0	195	
Total Units														552
Remaining Need for RHNA Period														

Note: units serving extremely low-income households are included in the very low-income permitted units totals.

ANNUAL ELEMENT PROGRESS REPORT Housing Element Implementation (CCR Title 25 §6202)

Jurisdiction Garden Grove
Reporting Period 1/1/2015 - 12/31/2015

Table C
Program Implementation Status

Program Description (By Housing Element Program Names)	Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.	Housing Programs Progress Report - Government Code Section 65583.	
Name of Program	Objective	Timeframe in H.E.	Status of Program Implementation
Housing Rehabilitation Grants	Provide 10 Senior Home Improvement Grants annually (70 total) to make exterior home improvements, interior repairs to address safety issues, and mobility and accessibility improvements.	2014-2021	Due to lack of funding no senior homes were repaired or improved.
Code Enforcement	<p>Property Maintenance Ordinance</p> <p>Enforce established standards of home maintenance practices through continued application of the Property Maintenance Ordinance, Building and Land Use Code.</p> <p>Enforcement. Preserve the quality of housing in the City's target areas through building code enforcement inspections</p> <p>Inspect all newly constructed and remodeled units.</p> <p>Continue to use Land Use Code enforcement activities to reduce the incidences of zoning violations. Proactively prevent violations through education and outreach of home improvement assistance.</p>	2014-2021	<p>The City through its Neighborhood Improvement Committee chose the Bayport neighborhood and worked on fixing 9 properties with the help of Living Springs Church. A total of 3564 code compliance cases were completed in 2015. 46 all new construction projects and 183 addition or remodeled projects were inspected and issued final permits.</p>
Multi-Family Acquisition and Rehabilitation	Increase the affordable housing stock through acquisition and rehabilitation of 20 aging and/or deteriorating residential units annually (140 units total). Identify potential acquisition and rehabilitation units for interested non-profit housing organizations.	2014-2021	In the year 2015 housing efforts were focused more towards new construction.

ANNUAL ELEMENT PROGRESS REPORT

Housing Element Implementation

(CCR Title 25 §6202)

Jurisdiction Garden Grove
 Reporting Period 1/1/2015 - 12/31/2015

<p style="text-align: center;">Affordable Housing Construction</p>	<p>Affordable Housing Provide technical and financial (as available) assistance for the construction of 15 affordable units annually (90 units total) using a combination of HUD and City funds to provide land cost write-downs and other construction assistance. Offer priority processing for projects that include affordable housing units. Senior Housing Encourage the new construction of senior housing in areas designated for Community Residential, which allows higher densities and development standards reflective of the senior population. Marketing Continue to inform non-profit and for-profit developers of assistance available for the construction of affordable housing, including density bonuses. Energy Conservation Encourage residential developments that lower housing costs through reduced energy consumption. Maximizing energy efficiency and the incorporation of energy conservation and green building features can reduce housing costs for homeowners and renters.</p>	<p style="text-align: center;">2014-2021</p>	<p>We have been working with Jamboree Housing Corporation on the United Methodist Church Project to provide high-quality housing to 47 families and seniors who earn between 50% and 60% of the area median income(AMI) in a community with excellent job and educational opportunities. The project is expected to be completed in late 2016.</p>
<p style="text-align: center;">Rental Assistance</p>	<p>Provide rental assistance to 2,337 very low-income persons or households. Pursue additional funding for the Section 8 program.</p>	<p style="text-align: center;">2014-2021</p>	<p>Provided rental assistance to 2296 Section 8 tenants due to funding cuts. Pursued additional Section 8 funding, no funding was available.</p>
<p style="text-align: center;">Home Ownership Assistance</p>	<p>Provide assistance to potential lower income homeowners through the First Time Homebuyer Assistance program. Provide first time homebuyer assistance to 1 household, subject to availability of funding.</p>	<p style="text-align: center;">2014-2021</p>	<p>There was 1 First Time Home Buyer Loan that was issued in 2015. The loan was issued under the City's Call-HOME grant program.</p>

ANNUAL ELEMENT PROGRESS REPORT Housing Element Implementation (CCR Title 25 §6202)

Jurisdiction Garden Grove
Reporting Period 1/1/2015 - 12/31/2015

<p>Preservation of Affordable Rental Housing</p>	<p>Assist in the preservation of 528 affordable units at risk of converting to market rents by: Periodically monitoring the status of the units that are at risk of converting to market rate during the planning period. If any property owners indicate plans to convert affordable units to market rate rents, the City will contact qualified entities to explore transfer of ownership options. The entities will be selected from the State's list of qualified entities to acquire/manage affordable housing. Make the State's list of qualified entities to acquire/manage affordable housing available to interested residents, developers, or property owners. Inform residents in units that are converting to market rents of affordable housing programs available in the City, including Section 8 and other affordable housing developments.</p>	<p>2014-2021</p>	<p>In 2015 covenants expired for one rehab project, Framingham Investment. Of the 8 units in the project, all 8 were affordable rental units. The property owner did not indicate that the units would be converted to market rate rents.</p>
<p>Sites Inventory</p>	<p>Continue to provide appropriate land use designations and maintain an inventory of suitable sites for residential and mixed use development. Provide technical assistance and information on available City-owned parcels for lower-income housing developments to housing providers. Technical assistance may include development counseling and lot consolidation assistance. Update the vacant and underutilized residential sites inventory every two years to maintain accurate information. Publish the residential sites inventory and housing opportunity list on the City's website. Address sewer infrastructure constraints by completing sewer upgrades to the sewer capacity deficiency zone as units are constructed and reimbursing developers for sewer upgrades that are consistent with the Sewer Capital Improvements Plan.</p>	<p>2014-2021</p>	<p>Chapter 4 of the Housing Element provides the most updated inventory of suitable sites for residential and mixed-use development. The adoption of the Mixed-Use Zoning Code has made available 5 mixed-used sites. These 5 sites have the capacity to provide approximately 1324 housing units on residential and mixed use. Planning Staff continuously meet with developers to discuss housing opportunities and provide technical assistance.</p>

ANNUAL ELEMENT PROGRESS REPORT

Housing Element Implementation

(CCR Title 25 §6202)

Jurisdiction Garden Grove
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<p style="text-align: center;">Mixed Use Development</p>	<p>Facilitate the development of residential units in mixed use areas by providing technical support to facilitate lot consolidation, financial assistance, where feasible, and streamlined permit processing. The City will establish specific and objective criteria for mixed use site plan reviews and will target development densities as estimated in the Housing Element.</p> <p>Play a proactive role in development of mixed use areas by pursuing strategic partnerships with developers, lenders, and property owners to ensure the development of housing at appropriate densities and the inclusion of affordable housing units.</p> <p>Establish a protocol to annually monitor development interest, inquiries, and progress towards mixed use development and affordable housing creation.</p> <p>Periodically re-evaluate approach and progress. Should monitoring reveal a shortfall in residential and affordable residential uses in mixed use developments, the City will develop additional incentives and approaches (including examination of development standards) to ensure the City satisfies its identified housing need (RHNA).</p>	<p style="text-align: center;">2014-2021</p>	<p>Mixed Use Zoning Code was approved by the City Council in March 2012 and it went into effect on April 28, 2012. Mixed use zones vary in use and density. The standards allow for more flexibility with the intent of making mixed use development more feasible and facilitate and encourage such type of development. In 2014 we approved the Jamboree project which is mixed use. It has a total of 47 low-income units, a church and 2 pre-schools. The project is expected to be completed in late 2016. Planning staff continuously meet with developers to discuss housing opportunities.</p>
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ANNUAL ELEMENT PROGRESS REPORT Housing Element Implementation (CCR Title 25 §6202)

Jurisdiction Garden Grove
Reporting Period 1/1/2015 - 12/31/2015

<p style="text-align: center;">Special Needs Housing</p>	<p>Periodically evaluate emergency shelter development and siting standards and based on existing needs and development interest and as warranted, re-evaluate and make appropriate changes to facilitate the development of emergency shelters. Prioritize projects that include special needs housing or housing for extremely/very low-income households in the development application review process. Refer residents to the Regional Center of Orange County for housing and services available for persons with developmental disabilities. Provide information on services on the City's website. As available, the City will pursue State and federal monies for direct support of housing construction and rehabilitation specifically targeted for housing for persons with disabilities.</p>	<p style="text-align: center;">2014-2021</p>	<p>The City's Municipal Code has been amended to provide for emergency homeless shelters as a permitted use in the M-1 zone as required by Senate Bill 2 (SB2). The amendment has established development standards for Emergency Shelters, Transitional Housing, and Supportive Housing. The following are the service providers who have received 2015 ESG funds: Interval House, Woman's Transitional Living Center, Thomas House and Mercy House Living Centers.</p>
<p style="text-align: center;">Parking Standards</p>	<p>Periodically review parking regulations or standards, and modify only as needed. Parking standards should facilitate and encourage a variety of housing types including affordable lower income housing and should not constrain development. Continue using ministerial procedures for reducing parking based on proximity to transit lines, larger projects, projects with on-site amenities, projects near community facilities (shopping, schools, recreation, etc), projects with a variety of unit types, and projects for senior, disabled, or that are affordable.</p>	<p style="text-align: center;">2014-2021</p>	<p>Parking requirements were evaluated during the amendment of Title 9 of the Garden Grove Municipal Code to provide emergency homeless shelters per SB 2 requirements. Parking standards and requirements were assessed within the Mixed Use Zoning update that was completed in March 2012. Parking study update was conducted for the public parking facilities serving downtown Garden Grove. Any affordable housing projects approved in the City incorporates with the reduced parking standards that are consistent with State requirements.</p>

ANNUAL ELEMENT PROGRESS REPORT Housing Element Implementation (CCR Title 25 §6202)

Jurisdiction Garden Grove
Reporting Period 1/1/2015 - 12/31/2015

<p>Water and Sewer Service Providers</p>	<p>Within 30 days of adoption of the Housing Element, deliver the Garden Grove Housing Element to all providers of sewer and water service within the City of Garden Grove.</p>	<p>Within 30 days of adoption of the Housing Element</p>	<p>The Garden Grove Housing Element was provided to all providers of sewer and water services within the City of Garden Grove.</p>
<p>Fair Housing Services</p>	<p>Consistent with the Consolidated Plan, provide fair housing services to Garden Grove residents. Serve 500 persons annually with general housing/fair housing issues (3,500 persons total). Require all recipients of federal funds that are in any way related to housing, including in the development of housing, placement of clients in housing, or acceptance of Section 8 tenants, to assist in affirmatively furthering fair housing. Advise the availability of fair housing services through flyers at public counters. Posting of available fair housing services will also be made available on the City's website.</p>	<p>2014-2021</p>	<p>The City has a contract with the Fair Housing Foundation. Assisted 20 households with fair housing counseling, assisted in 10 discrimination cases, responded to 429 other housing issues, conducted 21 community outreach/trainings and distributed 10,272 pieces of literature. Fair Housing services have been advertised at the public counter, through direct mail, and on the City's website.</p>
<p>Homeless Housing Needs</p>	<p>Consistent with the Consolidated Plan, address the needs of at-risk and homeless individuals and families through assistance to non-profits serving the homeless population. Provide emergency/transitional housing or homeless services to 250 extremely low-income or at-risk clients annually (1,750 persons total). As part of the annual General Plan report, identify any new shelters that have been constructed in the City.</p>	<p>2014-2021</p>	<p>Provided 873 extremely low-income or at-risk clients emergency/transitional housing or homeless services.</p>

ANNUAL ELEMENT PROGRESS REPORT Housing Element Implementation (CCR Title 25 §6202)

Jurisdiction Garden Grove

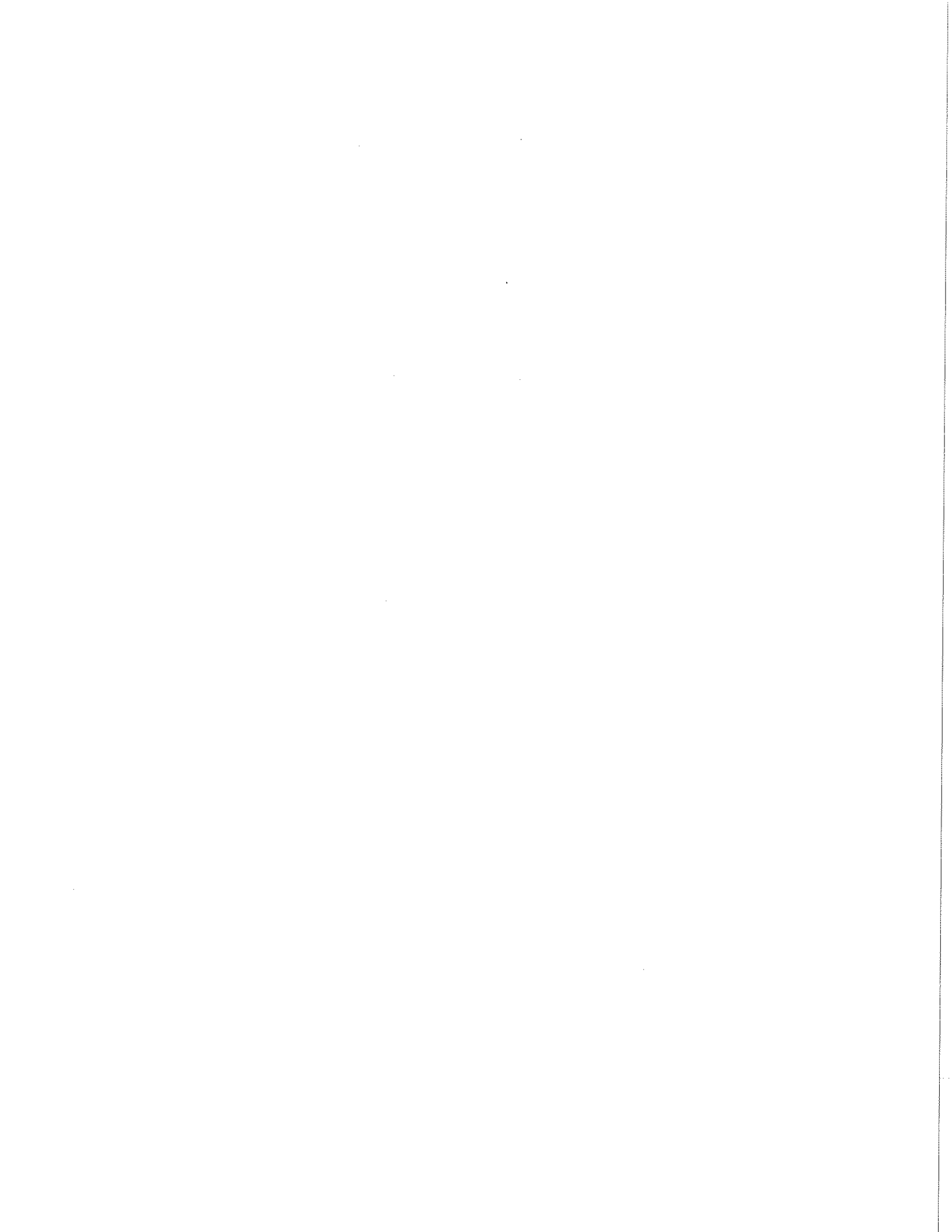
Reporting Period 1/1/2015 - 12/31/2015

<p>Implementation and Community Engagement</p>	<p>Conduct an annual Housing Element review. Provide opportunities for public engagement and discussion in conjunction with the State requirement for written review of the General Plan by April 1 of each year (per Government Code Section 65400). Use the Neighborhood Improvement and Conservation Commission as an avenue for public input on housing issues and housing element implementation.</p>	<p>Annually (April 1 of each year) or within 60 days of deadline (based on Council approval dates)</p>	<p>Conducted annual Housing Element Review, using the Neighborhood Improvement and Conservation Commission as the avenue for public input on the housing issues and housing element implementation. In March last year we conducted a neighborhood cleanup day in district 105 with Living Springs church.</p>
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ANNUAL ELEMENT PROGRESS REPORT
Housing Element Implementation
(CCR Title 25 §6202)

Jurisdiction Garden Grove
Reporting Period 1/1/2015 - 12/31/2015

General Comments:



COMMUNITY DEVELOPMENT PERFORMANCE REPORT (Fiscal Year 14-15):



NOTE: The significant achievements included in this Performance Report are in a reporting period between Fiscal Year 2014-2015 for the Community Development Department, which is in a different reporting period as the Calendar Year 2015 reflected in the Measures Associated with the Implementation of the General Plan prior to this section.

The Community Development Department offers a broad spectrum of services to the community. Community Development also manages, reviews, and approves development plans for all properties located within the city boundaries. There are four divisions in the department: Planning Services Division, Building Services Division, Housing Authority Division, and Neighborhood Improvement/Code Enforcement Services Division.

NEW DEVELOPMENT PROJECTS (COMMERCIAL & RESIDENTIAL)

9737 Chapman Ave.

Construct a new 6,200 square foot pad building at the Promenade Shopping Mall. The Building will have 4 tenant spaces that include: Chipotle, Blaze Pizza, and Wingstop.

7761 Garden Grove Blvd.

Construct a two-story addition to an existing 11,405 square foot medical clinic, Nhan Hoa Comprehensive Health Care Center.

7191 Acacia Ave.

Construct a 3,760 square foot addition to an existing industrial building. The addition will hold a new machine used to manufacture parts for American Metal Bearing Company.

9472 Katella Ave.

Construct a 1,600 square foot multi-tenant commercial building on a property improved with an existing gas station and convenience market.

12502 Brookhurst St.

Construct a new 2,447 building on a lot with an existing 1,755 square foot medical building with site improvements, new parking lot, and new landscaping.

12381 Nelson St.

Construct 4 detached 2-story, single-family homes with unit and private street improvements. Also, Tentative Tract Map to subdivide 39,340 square foot property into 5 separate lots.

10721 Westminster Ave.

Construct a new 1,154 square foot addition to existing building currently used as a minor auto maintenance and auto sales business on site, includes office area and service bays.

CONDITIONAL USE PERMITS

Processed eight (8) Type 41 (On Sale, Beer & Wine, Public Eating Place) Licenses for new restaurants.

Processed three (3) Type 21 (Off-Sale, General) Licenses for new markets and convenience stores.

Processed two (2) Type 47 (On-Sale, Full Liquor) Licenses for restaurants, night club or bar.

CODE AMENDMENTS

Citywide.

Code amendment to establish standards and requirements pertaining to electronic changeable copy in signs, and to revise the existing monument sign regulations.

Citywide.

Code Amendment to permit "Parking Facilities (For a fee) in the M-P zone, subject to a Conditional Use Permit.

12951 Main St.

Amend the Civic Center Mixed Use-2 Zone to allow art gallery/retail business to include a Tattoo Art Studio as a portion of the business.

9721 11th St.

Re-approve Site Plan and Variance to allow subdivision of 24,000 square foot lot into 4 single-family home parcels. Variance to deviate from 6,000 square foot minimum lot size width.

Citywide.

Code Amendment to allow the relocation of the existing billboards along the 22 freeway and be converted into a dual-faced electronic billboard, subject to special standards located at 11615 Cardinal Circle.

Citywide.

CC-1 (Civic Center Mixed Use-1) and AR (Adaptive Reuse) Zones amended to add current non permitted uses to Land Use chart, add definitions for new uses, allow parking at offsite locations further than 1500 feet from site, add more standards for conversion of single-family homes to commercial uses, add standards for outside eating areas, non-vehicular and vehicular vending, event space.

TIME EXTENSIONS

8372 Central Ave.

Time Extension 7: Rezone 34,533 square foot lot from R-3 to Residential PUD for small-lot subdivision of 8 lots, with Lot 8 as a common area, 3-acre lot to construct 7 detached SFR, TT Map for 8-lot subdivision for development.

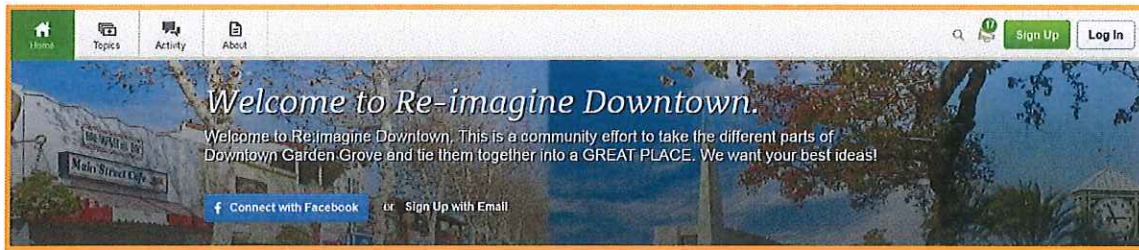
GENERAL PLAN AMENDMENTS

12741 Main Street and 10882 Stanford Ave. (Jamboree Housing Corporation)

Develop 2.2 acres of United Methodist Church site with integrated Mixed Use project of 47 affordable housing apartments for low/very low income seniors and families. Project includes Lot Line Adjustment, Site Plan to construct 2 buildings, and a 3,000 square foot retail/commercial space, CUP for church operated preschool and HS program. Variance to reduce parking for church, preschool, and commercial space.

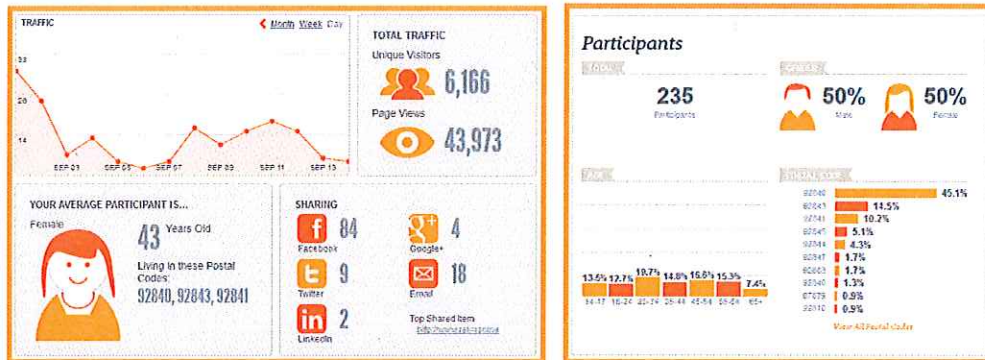
MIND MIXER COMMUNITY ONLINE FORUM / RE:IMAGINE DOWNTOWN

The Planning Division continues its efforts to bring together the community and to identify a sense of place and ownership and improve Garden Grove's Downtown by creating a Vision/Master Plan for the future.



Public Online Forum continued with Visions/Ideas in Action

- In 2014, the public was encouraged to continue sharing thoughts and visuals at www.reimaginedowntowngg.com. In the summer of 2014, the website received 43,973 page views and 6,166 visitors sharing 840 new ideas.



- July 2014, Saw "Ideas in Action": Permanent Public Art. The Girl Scout Cadettes from Garden Grove Troop 1224, pursued the Girl Scout Silver Award, by improving the look of downtown, one utility box at a time. The award is designed to give girls the chance to show leadership, organization, determination, and dedication to improving their community.



2015 GARDEN GROVE ANNUAL REPORT
ON THE STATUS OF THE GENERAL PLAN

- September 2014, Had the Main Street Logo Design Contest. The first place winner received \$200 cash and had their design placed on bollards along downtown Main Street. The winner was a student that attended school in Garden Grove.

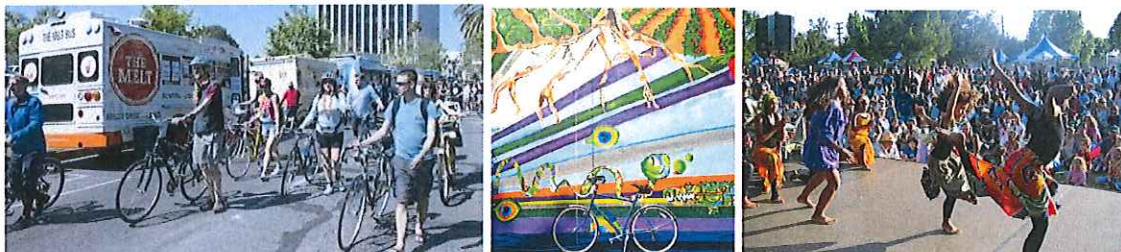
Re:Imagine DOWNTOWN

Design the New Logo for Historic Main Street and you could win \$200 Cash!

The City's Re:Imagine Downtown campaign and Garden Grove Main Street Commission proudly announce the Main Street Logo Design Contest. The first-place winner will receive \$200 cash, and have their design placed on bollards (concrete posts) along downtown Main Street.

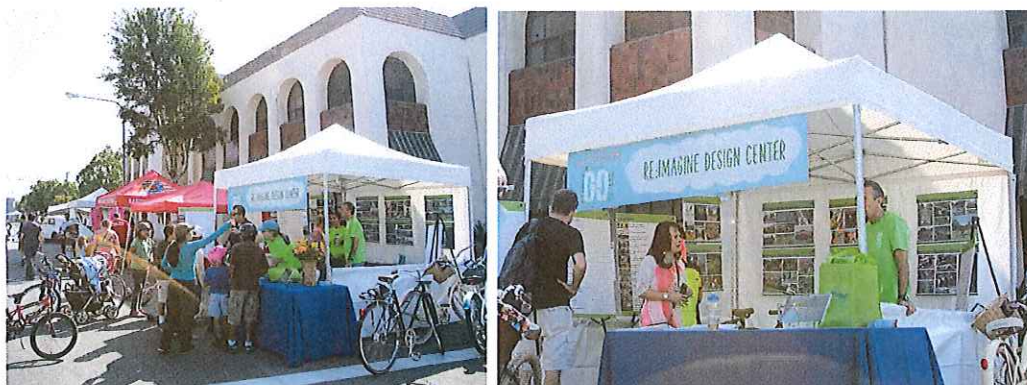
Designs must measure 6" x 6" and represent the unique qualities of historic downtown Main Street. Participants need to live, work, or attend school in Garden Grove. Winners under 18 are required to have a legal parent or guardian accept any winnings on their behalf. Please submit files as a jpeg format photo by February 14, 2014, to the Re:Imagine Downtown website at <http://www.reimaginedowntowngg.com>.

- October 2014, Had the first ever Open Streets event to explore the downtown in a new way by biking, walking, skating & playing in car-free streets with food, music, art and performances.



Re:Imagine goals (Short, Mid, Long) generated from 840 Ideas

- Winter 2014/2015, "Implementation Vision and Ideas" created for Short, Mid, and Long Term goals- decided by the community through interactive activity boards that were located in a Re:Imagine Booth at Open Streets 2014.



- Short Term:** Classic film night, free summer movie nights, live street music/car show night, enhance farmers market, create a bike sharing program, continue

2015 GARDEN GROVE ANNUAL REPORT
ON THE STATUS OF THE GENERAL PLAN

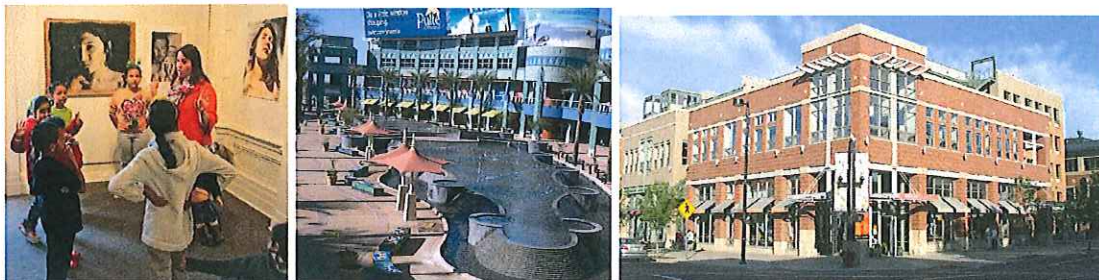
multiple open streets events, bicycle/pedestrian master plan, OCTA demonstration project.



- Mid Term: Create branding for downtown, downtown improvement manager, adopt downtown landscape plan, enhance pedestrian use on Main Street, Vision/Idea for public gathering space, outdoor amphitheater, and identify sites for new retail & housing opportunity, market hall, enhance community garden, holiday art walk, bike racks, WiFi in the downtown.



- Long Term: Museum/gallery downtown anchor, culinary arts schools, splash pad/pond and art water feature, interactive art pieces for children, Main Street pocket parks, implement plan for public gathering space, themed bus shelters & kiosks, parking management plan, parking garages w/ retail storefronts, Main Street extension-North, East/West bridge connection, consider TOD adjacent to OCTA right-of-way, expand Civic Center Park by vacating Acacia Parkway from Euclid Street toward Civic Center Drive.



- Although these visions, ideas and goals generated by the Re:Imagine Downtown outreach for the City's future downtown may take 20+ years to be fully established and completed, these developments together will generate more new jobs and annual tax revenue for the City and encourage visitors from outside the City to visit and buy in Garden Grove.

FEDERAL AND STATE GRANTS

Active Transportation Program Cycle 2 Grant (ATP):

- For the design and the construction of the "First Mile" of the OCTA bike and pedestrian path extension of the ROW from Downtown (Stanford and Nelson) to Brookhurst, submitted to Caltrans in early June 2015.



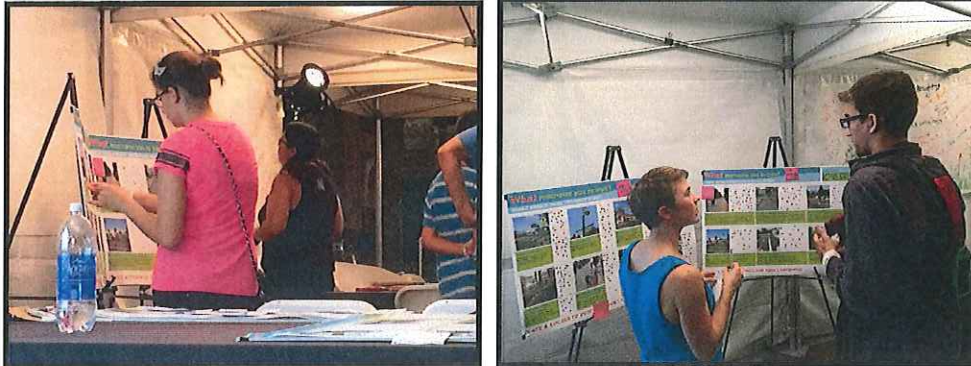
- City applied for \$1.9 million in funding
- Award announcements November 2015
- The OCTA Regional Planning & Highways Committee is funding a portion of the projects that applied under the ATP Grant that the City applied for this past spring. Giving local cities additional points. 11 projects will get funded using the \$12 Million (and one partial funded).
- Project #4 includes the Garden Grove PE ROW project. Further approvals are needed by the OCTA Board, SCAG RC, and CTC, but assuming it goes well – we have some funding awarded to us that can be used toward our PE ROW project.

Alta Planning + Design (lead consultant) Bike and Pedestrian Master Plan:

- Sub consultants: Iteris Engineering and Community Arts Resources (CARS)
- Alta collected bike and pedestrian counts during National Bike Count Week (September 13-19) on our existing ridership and pedestrian use

2015 GARDEN GROVE ANNUAL REPORT
ON THE STATUS OF THE GENERAL PLAN

- City staff and Volunteers were stationed at the major intersections that are also crossings in our ROW to take down the numbers that will be used for study.
- Public outreach at the 2015 Open Streets (10/10/15) Alta had 2 booths



- Alta and City Staff are gathering a Community Advisory Committee to help with the review and analysis of the document
- First draft plan anticipated in Summer 2016 & Staff and Alta will also have a Community Meeting to introduce the Plan to the public.
- Fall 2016 Final Plan for Council approval and adopt it as part of our General Plan.

SCAG campaign Tactical Urbanism Program:

- Planning Staff applied for a project we called "Pop-Up Garden Grove" which included temporary pop-up installations to promote the Bike and Pedestrian Master Plan and the Downtown Parking Study.



POp-Up gArDeN gRoVe

Temporary pop-up installations to promote the Bike and Pedestrian
Master Plan (BPMP) and the Downtown Parking Study (DPS)
June 2015

2015 GARDEN GROVE ANNUAL REPORT
ON THE STATUS OF THE GENERAL PLAN

- This includes street improvements such as vinyl striping of crosswalks and creating temporary traffic circles in busy intersections bringing “live” examples of potential improvements. (These were at Open Streets 2015)
- The pop up examples help the community understand the benefits staged around the Downtown and show a “cycle track” on the street and traffic calming measures.
- We were selected 1 out of 5 “eligible projects” located in the Orange County Region
- SCAG will be hosting this event with us in the Fall of 2016.
- Award will be approximately \$125,000 in funding.

Targeted Brownfields Assessment for the no cost soil testing of a portion of the OCTA Right-of-Way through EPA Grant that will be awarded early next year.

BUILDING PERMITS & INSPECTIONS

- Issued permits with a construction valuation of \$45.3 million.
- Responded to 11,438 inspection requests. Up from a previous count of 10,416.

BUILDING ABATEMENT

- Opened 383 new cases, and closed 250 cases. The primary type of cases center on an increase in single-family residences converted to multi-family use and non permitted additions and building alterations.
- A significant increase in cases requiring civil abatement prosecution with 4 cases requiring court-appointed receiverships to gain compliance.
- Continued to work with the Neighborhood Improvement Committee, which focuses on improving specific neighborhoods on an annual basis.

GARDEN GROVE GALLERIA PROJECT (10080 & 10082 GARDEN GROVE BLVD.)

- A proposed eight story mixed-use building approved in 2005. Construction began April 2007 and due to economic reasons all construction ceased July 2009. Building permit expirations were extended over the next 2½ years expiring in September 2012.
- Over the last three years the project has been the center of litigation with the developer, the property owner, and the bank. Currently, the project consists of a steel-framed structure and a concrete parking structure.
- July 2013 the City issued a Notice and Order to demolish and remove the structure within one year. The “Notice” was appealed by Cathay Bank and subsequently upheld by the Board of Appeals.

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- November 25, 2014, Cathay Bank, Hoag, and Tri-Millennium Homes entered into a draft agreement to progress toward developing the property.
- A determination by the City Council is expected in December on whether to enforce the Notice and Order for demolition or allow the project to continue.

11461 WESTMINSTER AVE & 13931 NEWHOPE ST. (RECEIVERSHIP CASES)

****BOTH PROPERTIES ARE ADJACENT TO EACH OTHER, WITH THE SAME PROPERTY OWNER**

- Single-family residences, non-habitable and designated a public nuisance. Became homeless encampment with excessive accumulation of debris in the dwellings and all yard areas. Multiple fires created a public safety hazard. Complaints received by the City September 9, 2013 with regard to illegal structures used for habitation and substandard housing conditions. The property was inspected by warrant to verify life safety violations. The Notice and Orders to abate the violations went unheeded. Civil abatement prosecution is correcting the violations. Demolition of all structures by Receiver to be completed December 2015.
- Assistance from the City Attorney's office was requested to assist in gaining compliance. The joint inspection by the Building, Code Enforcement, Fire and Police departments was videotaped to present to Council.
- The intent was to gain voluntary compliance. Legal options available included court ordered "receivership" to correct the numerous life safety and substandard violations on the property.

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SECTION 8 MANAGEMENT ASSESSMENT PROGRAM (SEMAP)

- The Housing Authority scored 100 percent and earned the designation for a "High-Performance Agency" for the fiscal year 2014-2015 from the Department of Housing and Urban Development.

HOUSING AUTHORITY RENTAL VOUCHERS

- Assisted approximately 2300 low-income households through Section 8.
- Contacted over 500 applicants from the new wait list to schedule initial qualification interviews. Priorities were given to applicants who were Garden Grove residents with U.S. Veteran status or victims of domestic violence.

HOUSING PORTABILITY PROGRAM

- Administered an additional 300 tenants from other jurisdictions, mostly Santa Ana, through the Portability program.
- By fully administering tenants from Santa Ana, the Housing Authority earns approximately \$17,000 a month in administration fees.

HOUSING QUALITY STANDARDS & BUILDING & SAFETY CODES COMPLIANCE

- Conducted 427 initial and 3542 annual and follow-up inspections, and 45 special inspections to ensure that subsidized units meet Housing Quality Standards and Building and Safety Codes.

HOUSING FAMILY SELF-SUFFICIENCY PROGRAM

- All of the Family Self-Sufficiency graduates signed a contract and are required to successfully complete classroom training or job training, become independent of welfare cash aide (if applicable) and obtain suitable full-time employment based on their training, skills, and education. Through their training and education they increased their earning capacity, obtained improved employment and became independent of welfare cash aide. As an outcome, the Housing Authority pays fewer subsidies and the client pays more subsidies. In some cases, the clients no longer need housing assistance.
- Four participants of the Family Self-Sufficiency program successfully completed their 5-year contract.

NEIGHBORHOOD IMPROVEMENT PROGRAMS

Neighborhood Improvement oversees the Emergency Solutions Grant (ESG) program, which provides homeless prevention and intervention services, and the Community Development Block Grant (CDBG) program, which offers a variety of tools for public service grants and community improvement grants and projects. ESG and CDBG programs are funded by the U.S. Department of Housing and Urban Development (HUD).

ESG program funded the following organizations:

- Thomas House (\$41,875) to provide shelter and resources to 247 individuals from formerly homeless families in service-enriched transitional housing apartments.
- Women's Transitional Living Center (WTLC) (\$18,000) for essential services, homeless prevention, shelter, support services, substance abuse treatment and accessibility to other services for 288 survivors of family violence, including men, women, and their children.
- Interval House (\$62,714) to provide support services, homeless prevention and rapid re-housing to 257 victims of domestic violence.
- Mercy House (\$10,000) to provide emergency, temporary shelter, food, hygiene and other services to 70 homeless individuals.

CDBG funded the following organizations:

- Fair Housing Foundation (\$34,923) helped provide fair housing services to 429 individuals.
- Community SeniorServ, Inc. (\$20,000) to serve 649 Garden Grove seniors through daily hot lunches at the Senior Center and other congregate dining and delivered breakfast, hot lunch, and dinner every weekday.
- H. Louis Lake Senior Center (\$163,078) assisted the City to enhance services and provide meals to 711 individuals.

Additional Neighborhood Improvement Achievements:

- Provided funding for Tenant Based Rental Assistance for 62 low-income households.
- Code Enforcement addressed 3,336 complaints of violations of the Garden Grove Municipal Code.

General Plan Amendments

No General Plan Amendments processed in 2015

Housing Goals and Policies

- Conserve and improve the condition of the existing affordable housing stock;
- Assist in the development of housing for low- and moderate-income households;
- Identify adequate sites to encourage the development of a variety of types of housing for all income levels;
- Address and, where appropriate and legally possible, remove governmental constraints to the maintenance, improvement, and development of housing; and
- Promote equal housing opportunities for all persons.

The City has developed the following 15 programs with the stated objectives:

Program 1: Housing Rehabilitation Grants

Objectives: Provide 10 Senior Home Improvement Grants annually (70 total) to make exterior home improvements, interior repairs to address safety issues, and mobility, and accessibility improvements.

Program 2: Code Enforcement

Objectives:

Property Maintenance Ordinance

Enforce established standards of home maintenance practices through continued application of the Property Maintenance Ordinance.

Building and Land Use Code Enforcement

Preserve the quality of housing in the City's target areas through building code enforcement inspections. Inspect all newly constructed and remodeled units.

Continue to use Land Use Code enforcement activities to reduce the incidences of zoning violations.

Proactively prevent violations through education and outreach of home improvement assistance.

Program 3: Multi-Family Acquisition and Rehabilitation

Objective: Increase the affordable housing stock through acquisition and rehabilitation of 20 aging and/or deteriorating residential units annually (140 units total). Identify potential acquisition and rehabilitation units for interested non-profit housing organizations.

Program 4: Affordable Housing Construction

Objectives:

Affordable Housing

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Provide technical and financial (as available) assistance for the construction of 15 affordable units annually (90 units total) using a combination of US Department of Housing and Urban Development (HUD) and City funds to provide land cost write-downs and other construction assistance. Offer priority processing for projects that include affordable housing units.

Senior Housing

Encourage the new construction of senior housing in areas designated for Community Residential, which allows higher densities and development standards reflective of the senior population.

Marketing

Continue to inform non-profit and for-profit developers of assistance available for the construction of affordable housing, including density bonuses.

Energy Conservation

Encourage residential developments that lower housing costs through reduced energy consumption. Maximizing energy efficiency and the incorporation of energy conservation and green building features can reduce housing costs for homeowners and renters.

Program 5: Rental Assistance

Objective: Provide rental assistance to 2,337 very low-income persons or households and pursue additional funding for the Section 8 program.

Program 6: Home Ownership Assistance

Objectives: Provide assistance to potential lower-income homeowners through the First Time Homebuyer Assistance program. Provide first time homebuyer assistance to 1 household, subject to availability of funding.

Program 7: Preservation of Affordable Rental Housing

Objectives: Assist in the preservation of 528 affordable units at risk of converting to market rents by: Periodically monitor status of the units that are at risk of converting to market rate during the planning period.

If any property owners indicate plans to convert affordable units to market rate rents, the City will contact qualified entities to explore transfer of ownership options. The entities will be selected from the State's list of qualified entities to acquire/manage affordable housing.

Make the State's list of qualified entities to acquire/manage affordable housing available to interested residents, developers, or property owners.

Inform residents in units that are converting to market rents of affordable housing programs available in the City, including Section 8 and other affordable housing developments.

Program 8: Sites Inventory

Objectives: Continue to provide appropriate land use designations and maintain an inventory of suitable sites for residential and mixed-use development.

Provide technical assistance and information on available City-owned parcels for lower-income housing developments to housing providers. Technical assistance may include development counseling and lot consolidation assistance.

Update the vacant and underutilized residential sites inventory every two years to maintain accurate information.

Publish the residential sites inventory and housing opportunity list on the City's website.

Address sewer infrastructure constraints by completing sewer upgrades to the sewer capacity deficiency zone as units are constructed and reimbursing developers for sewer upgrades that are consistent with the Sewer Capital Improvements Plan.

Program 9: Mixed-Use Development

Objectives: Facilitate the development of residential units in mixed-use areas by providing technical support to facilitate lot consolidation, financial assistance, where feasible, and streamlined permit processing. The City will establish specific and objective criteria for mixed-use site plan reviews and will target development densities as estimated in the Housing Element.

Play a proactive role in development of mixed use areas by pursuing strategic partnerships with developers, lenders, and property owners to ensure the development of housing at appropriate densities and the inclusion of affordable housing units.

Establish a protocol to annually monitor development interest, inquiries, and progress towards mixed use development and affordable housing creation. Periodically re-evaluate approach and progress. Should monitoring reveal a shortfall in residential and affordable residential uses in mixed use developments, the City will develop additional incentives and approaches (including examination of development standards) to ensure the City satisfies its identified housing need (RHNA).

Program 10: Special Needs Housing

Objectives: Periodically evaluate emergency shelter development and siting standards and based on existing needs and development interest and as warranted, re-evaluate and make appropriate changes to facilitate the development of emergency shelters.

Prioritize projects that include special needs housing or housing for extremely/very low-income households in the development application review process.

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Refer residents to the Regional Center of Orange County for housing and services available for persons with developmental disabilities. Provide information on services on the City's website. As available, the City will pursue State and federal monies for direct support of housing construction and rehabilitation specifically targeted for housing for persons with disabilities.

Program 11: Parking Standards

Objectives: Periodically review parking regulations or standards, and modify only as needed. Parking standards should facilitate and encourage a variety of housing types including affordable lower income housing and should not constrain development.

Continue using ministerial procedures for reducing parking based on proximity to transit lines, larger projects, projects with on-site amenities, projects near community facilities (shopping, schools, recreation, etc.), projects with a variety of unit types, and projects for senior, disabled, or that are affordable.

Program 12: Water and Sewer Service Providers

Objective: Within 30 days of adoption of the Housing Element, deliver the Garden Grove Housing Element to all providers of sewer and water service within the City of Garden Grove.

Program 13: Fair Housing Services

Objectives: Consistent with the Consolidated Plan, provide fair housing services to Garden Grove residents. Serve 500 persons annually with general housing/fair housing issues (3,500 persons total).

Require all recipients of federal funds that are in any way related to housing—including in the development of housing, placement of clients in housing, or acceptance of Section 8 tenants—to assist in affirmatively furthering fair housing. Advertise the availability of fair housing services through: flyers at public counters. Posting of available fair housing services will also be made available on the City's website.

Program 14: Homeless Housing Needs

Objectives: Consistent with the Consolidated Plan, address the needs of at-risk and homeless individuals and families through assistance to non-profits serving the homeless population. Provide emergency/transitional housing or homeless services to 250 extremely low-income or at-risk clients annually (1,750 persons total).

As part of the annual General Plan Report, identify any new shelters that have been constructed.

Program 15: Implementation and Community Engagement

Objective: Conduct an annual Housing Element review. Provide opportunities for public engagement and discussion in conjunction with the State requirement for written review of the General Plan by April 1 of each year (per Government Code Section 65400). Or the intent to have it completed within 60 days of the deadline.

Use the Neighborhood Improvement and Conservation Commission as an avenue for public input on housing issues and housing element implementation.

Neighborhood Improvement & Conservation Commission: March 7, 2016

Planning Commission Date: April 21, 2016

City Council Date: May 2016 (TBD)

Conclusion

The General Plan continues to direct all land use decisions for the City and is a good guide for direction in our future development. The City continues to follow opportunities that meet the Garden Grove Community vision, which is to be a safe, attractive, and economically vibrant city with an informed and involved public. We are a diverse community that promotes our unique attributes and to preserves our residential character.