

NOTICE AND CALL OF SPECIAL MEETING
OF THE
GARDEN GROVE ZONING ADMINISTRATOR

NOTICE IS HEREBY GIVEN that a special meeting of the Garden Grove Zoning Administrator is hereby called to be held on Wednesday, April 29, 2026, at 9:00 a.m. in the Garden Grove Community Meeting Center, located at 11300 Stanford Avenue, Garden Grove, CA 92840.

Said Special Meeting shall be held to discuss the attached Agenda.

DATED: April 22, 2026

A handwritten signature in blue ink, consisting of a large, stylized 'D' followed by a horizontal line extending to the right.

David Dent
Zoning Administrator



SPECIAL MEETING AGENDA

ZONING ADMINISTRATOR MEETING

APRIL 29, 2026 – 9:00 am

COMMUNITY MEETING CENTER
11300 STANFORD AVENUE

Members of the public who wish to comment on matters before the Zoning Administrator, in lieu of doing so in person, may submit comments by emailing public-comment@ggcity.org no later than 3:00 p.m. the day prior to the meeting. The comments will be provided to the Zoning Administrator as part of the meeting record.

Members of the public desiring to speak on any item of public interest, including any item on the agenda except public hearings, must do so during Comments by the Public. Each speaker shall be limited to three (3) minutes. Members of the public wishing to address public hearing items shall do so at the time of the public hearing.

Meeting Assistance: Any person requiring auxiliary aids and services, due to a disability, should contact the Community Development Department at (714) 741-5312 or email planning@ggcity.org 72 hours prior to the meeting to arrange for special accommodations. (Government Code §5494.3.2).

All revised or additional documents and writings related to any items on the agenda, which are distributed to the Zoning Administrator within 72 hours of a meeting, shall be available for public inspection (1) at the Planning Services Division during normal business hours; and (2) at the Community Meeting Center at the time of the meeting.

Agenda item descriptions are intended to give a brief, general description of the item to advise the public of the item's general nature. The Zoning Administrator may take legislative action deemed appropriate with respect to the item and is not limited to the recommended action indicated in staff reports or the agenda.

1. ORAL COMMUNICATIONS – PUBLIC
2. PUBLIC HEARING ITEM(S):
 - a. [CONDITIONAL USE PERMIT NO. CUP-011-2014 \(REV. 2026\)](#)

APPLICANT: Evergreen World Inc.
LOCATION: 9856 Westminster Ave., Ste. 128

REQUEST: A request to modify Conditional Use Permit No. CUP-011-2014 which currently governs an adult daycare facility, Evergreen World, to increase the occupancy to 260 participants and 40 employees along with a 1,000 square-foot expansion into an adjacent tenant space for

additional lobby area. In conjunction with the request, the Zoning Administrator will also consider a determination that the project is categorically exempt from the California Environmental Quality Act (CEQA).

STAFF RECOMMENDATION: Adopt a Decision approving Conditional Use Permit No. CUP-011-2024 (REV. 2026) pursuant to the recommended Conditions of Approval.

3. ADJOURNMENT

April 22, 2026

I, CAROL SEBBO, being duly appointed the Recording Secretary for the Garden Grove Zoning Administrator HEREBY CERTIFY that the Los Angeles Times, Korea Times, Excelsior, Orange County Register, Garden Grove Journal, Orange County News, Viet Bao, Nguoi Viet, and the Korea Daily Newspaper were notified that a Special Meeting of the Garden Grove Zoning Administrator has been called by the Zoning Administrator for Wednesday, April 29, 2026, at 9:00 a.m. in the Garden Grove Community Meeting Center, located at 11300 Stanford Avenue, Garden Grove, CA 92840.

I FURTHER CERTIFY that I caused to be posted a copy of the notice calling for the Special Meeting in the exterior display cases of City Hall at 11222 Acacia Parkway and the Community Meeting Center at 11300 Stanford Avenue, Garden Grove, CA 92840, and on the City's website.

CAROL SEBBO
Recording Secretary

COMMUNITY DEVELOPMENT DEPARTMENT PLANNING STAFF REPORT

AGENDA ITEM NO.: 2.a.	SITE LOCATION: South side of Westminster Avenue, west of Brookhurst Street, at 9856 Westminster Avenue
HEARING DATE: April 29, 2026	GENERAL PLAN: Light Commercial (LC)
CASE NO.: Conditional Use Permit No. CUP-011-2014 (REV. 2026)	ZONE: C-1 (Neighborhood Commercial)
APPLICANT: Evergreen World Inc.	APN: 098-361-22
PROPERTY OWNER: Southern Fortune, a California Limited Partnership	CEQA DETERMINATION: Exempt – Section 15301 - Existing Facilities

REQUEST:

A request to modify Conditional Use Permit No. CUP-011-2014 which currently governs an adult daycare facility, Evergreen World, to increase the occupancy to 260 participants and 40 employees, including care providers, staff members/administrative staff, along with a 1,000 square-foot expansion into an adjacent tenant space for additional lobby area.

BACKGROUND:

The subject adult daycare facility is located on the south side of Westminster Avenue, east of Brookhurst Street, within the Mall of Fortune shopping center. The shopping center is a multi-tenant shopping center comprised of various parcels with reciprocal parking and vehicular access agreements. Vehicular access is provided via three (3) existing driveways located along Westminster Avenue and an additional three (3) driveways along Brookhurst Street. The shopping center consists of commercial retail uses, such as retail stores, restaurants, bakeries, and apparel shops.

The property is located in the C-1 (Neighborhood Commercial) Zone and has a General Plan Land Use Designation of Light Commercial (LC). The subject shopping center abuts R-1 (Single-Family Residential) zoned properties to the south currently improved with single-family dwellings, PUD-112-77 (Planned Unit Development) zoned properties to the east currently improved with multi-family units, C-2 (Community Commercial) zoned properties to the north across Westminster Avenue currently improved with a commercial shipping center, and C-1 zoned properties to the east across Brookhurst Street currently improved with commercial uses.

In 2002, Conditional Use Permit No. CUP-625-02 was approved to allow the operation of an adult daycare facility, Evergreen World, within an approximately 7,500 square-foot in-line tenant space, along with a 650 square-foot outdoor patio. The facility consisted of 100 participants and up to ten (10) employees.

In May 2013, Director's Review No. DR-105-13 was approved to allow a temporary increase in the number of participants for a period of eighteen (18) months while the applicant prepared a land use application submittal. The temporary occupancy increase was from 100 to 200 participants.

In 2014, Conditional Use Permit No. CUP-011-2014 was approved to formally increase the occupancy from 100 to 200 participants, and to expand the facility into an adjacent tenant space by approximately 6,000 square feet, to create a large group activity room, an isolation room, a group conference room, and a small group activity room. However, Staff was unable to locate records for permits and inspections following approval of the CUP for the necessary tenant improvements.

The applicant, Evergreen World, is requesting to increase the occupancy to 260 participants and 40 employees along with a 1,000 square-foot expansion into an adjacent tenant space for additional lobby area. The maximum number of employees includes direct care providers, administrative staff, and other staff members. Increasing the number of occupants, as well as the floor area expansion, requires modification of CUP-011-2014 since there are multiple conditions of approval limiting the number of participants to 200 persons without indication of the specific number of employees. No other modifications are proposed to the adult daycare facility, except for minor alterations to the existing space to address Building Code requirements, such as emergency exiting, and to incorporate the adjacent 1,000 square-foot tenant space for additional lobby area, which will also provide required emergency exiting.

In addition, during site visits, Staff noted that alterations were conducted without benefit of a building permit within the tenant space and the parking lot. Therefore, the conditions of approval will require that proper permits and inspections be obtained to legalize prior work done without building permits, within and outside of the facility. Unpermitted interior improvements include tenant improvements, and unpermitted exterior improvements include upgrades to ADA parking stalls directly to the south of the adult daycare facility and striping of new parking stalls behind the shopping center within the easterly portion of the parking lot area.

DISCUSSION:

The existing tenant space is located at the southwest corner of the shopping center with existing parking areas to the north and south of the tenant space. As a result, the tenant space has parking lot and pedestrian access from both the north and south sides. However, current conditions of approval require that the main access to the facility be from the south side of the tenant space due to the ease of access to parking along the south side, and available loading and unloading areas for the shuttle transportation service provided by the facility for its participants.

According to the business plan provided by the applicant, the licensed adult daycare facility, Evergreen World, operates as a Community-Based Adult Services (CBAS) program model, as classified by the California Department of Public Health and the California Department of Aging. The facility provides care and supervision for senior citizens on weekdays, following a structured program designed to support their physical, mental, and social well-being. The Evergreen World program includes

meals, classes, health services, and transportation services. The applicant is proposing to increase the license capacity to approximately 260 participants in response to a growing demand for care to seniors in the immediate community. For staffing support and to satisfy licensing requirements, 40 employees are also proposed.

Services provided at the facility include breakfast and lunch planned by on-staff nutritionists, English and technology classes, karaoke, ball toss, bingo, board games, blood pressure monitoring, social services, and case management. The hours of operation are from 8:30 a.m. to 4:00 p.m., Monday through Friday. The facility is closed on Saturdays and Sundays. Additionally, shuttle transportation services are provided. The services currently provided, the hours of operation, nor the shuttle service, will not be affected by the subject request.

The interior of the adult daycare facility will continue to consist of an office lobby, an open multi-purpose/activity room with tables and chairs, an exercise area, a food warming area, open office areas, private offices, storage rooms, staff restrooms, restrooms for the participants, and an outdoor patio area. The 1,000 square-foot expansion, located along the southerly portion of the tenant space, will be used as a separate lobby area and also as an additional emergency exit to satisfy Building Code requirements. The pick-up and drop-off shuttle area is provided within the parking lot area, directly south of the establishment's designated entry area. To improve the shuttle's circulation, a designated shuttle pick-up and drop-off area will be added outside of any drive aisles and with proper path-of-travel to the establishment's primary entry. Shuttles may access the site off of any of the existing drive approaches located along Brookhurst Street, exiting the site also along Brookhurst Street, to minimize any impacts to adjacent tenants and parking areas.

For adult daycare uses, the Garden Grove Municipal Code (GGMC) requires a minimum of one (1) parking space per employee plus one (1) additional parking space for every six (6) participants. An adult day care facility with 260 participants and 40 employees, will require a total of 84 parking spaces. Inclusive of all existing uses within the shopping center sharing the existing parking supply, and the proposed adult daycare facility, the required parking is 615 spaces. Upon legalizing parking stalls striped without permit behind the shopping center within the easterly portion of the parking lot area, the shopping center will provide 660 parking spaces, resulting in a surplus of 45 spaces. Therefore, the subject request satisfies the requirements of the GGMC.

At no time, nor under any circumstance, shall the facility exceed a maximum occupancy of 300 occupants (based on the maximum occupancy allowed per the Building Code), inclusive of participants and employees, including care providers, staff members/administrative staff, unless the applicant has obtained the necessary approvals by the Building & Safety Division, and obtained the appropriate approvals to modify the existing Conditional Use Permit, or obtained approval of a new Conditional Use Permit, as determined by the Community Development Department, and approved by the appropriate hearing body.

The Community Development Department has reviewed the request and is supporting the proposal. All appropriate Conditions of Approval have been incorporated. No other changes are proposed to Conditional Use Permit No. CUP-011-2014 and all conditions of approval will continue to apply, except as modified per this revision.

California Environmental Quality Act (CEQA)

CEQA's Class 1 exemption applies to the operation, repair, maintenance, permitting, leasing, licensing, and minor alterations of existing facilities, with negligible or no expansion of use (CEQA Guidelines §15301). The subject request to increase the number of participants for an existing adult daycare facility does not physically expand or intensify the existing development as the 1,000 square-foot expansion is located within existing square footage. The subject request does not involve any new square footage to the development, and the proposed construction involves only minor alterations to the interior of the existing building. Therefore, the proposed project is exempt from CEQA.

RECOMMENDATION:

Staff recommends that the Zoning Administrator take the following action:

1. Adopt Decision No. 1869-26, approving Conditional Use Permit No. CUP-011-2014 (REV. 2026), subject to the recommended conditions of approval.



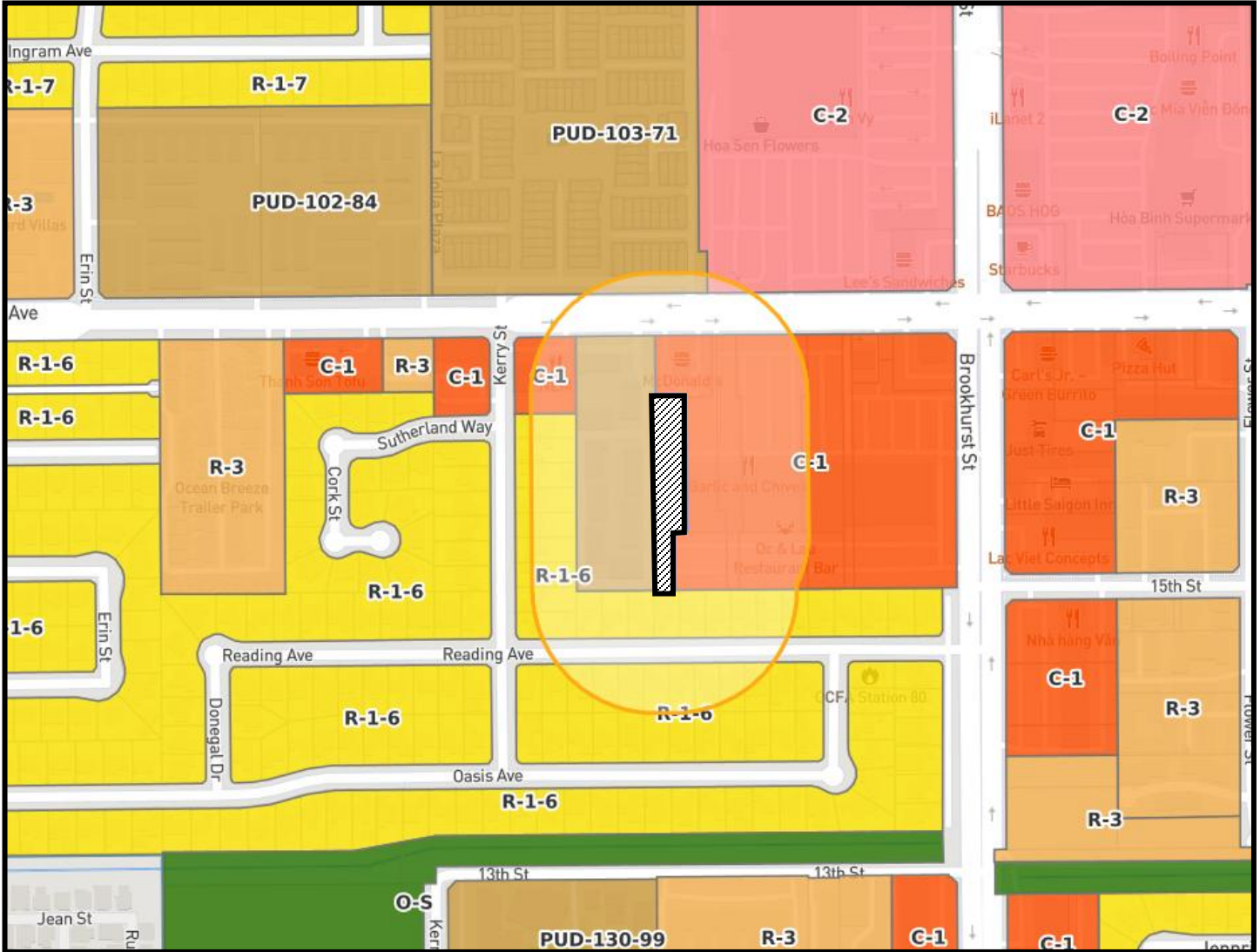
Maria Parra
Planning Services Manager

By: Mary Martinez
Senior Planner



Attachment 1: Vicinity Map
Attachment 2: Plans
Attachment 3: Original Conditions of Approval with Redlines
Attachment 4: Decision No. 1869-26 for Conditional Use Permit No. CUP-011-2014 (REV. 2026) with Exhibit "A" - Conditions of Approval



CONDITIONAL USE PERMIT NO. CUP-011-2014 (REV. 2026)



LEGEND

-  SUBJECT SITE(S) – 9856 WESTMINSTER AVENUE
-  300 FOOT RADIUS

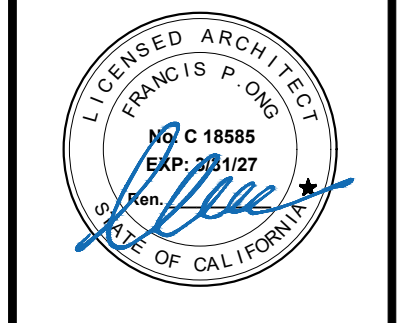
NOTES

1. SITE ADDRESSES – 9856 WESTMINSTER AVENUE
2. ZONING: C-1 (NEIGHBORHOOD COMMERCIAL)



14542 HARPER ST
MIDWAY CITY, CA 92655
TEL: (714) 330-0096
FAX: (888) 601-3001
EMAIL: VTC@VTCCO.COM

REV.	DESCRIPTION	DATE



TITLE SHEET

EVERGREEN WORLD
COMMUNITY-BASED ADULT SERVICES
TENANT IMPROVEMENT
9856 WESTMINSTER AVE., STE. 128
GARDEN GROVE, CA 92844

SCALE	AS NOTED
DRAWN BY	KN
CHECKED BY	VT
PLAN DATE	03/16/2025
PRINT DATE	03/16/2025
PROJECT No.	
SHEET No.	

TS

EVERGREEN WORLD COMMUNITY-BASED ADULT SERVICES (CBAS) TENANT IMPROVEMENT

9856 WESTMINSTER AVE., SUITE 128 GARDEN GROVE, CA 92844

ABBREVIATIONS

ACOUS. ACQUSTICAL	MAX. MAXIMUM
ADJ. ADJUSTABLE	MECH. MECHANICAL
ALUM. ALUMINUM	MFR. MANUFACTURER
APPROX. APPROXIMATE	MIN. MINIMUM
	M.T.O. MASONRY OPENING
	MTD. MOUNTED
	MUL. MULLION
BD. BOARD	
BLDG. BUILDING	
BLK. BLOCK	
BLKG. BLOCKING	
BM. BEAM	N.J.C. NOT IN CONTRACT
BOT. BOTTOM	NO. NUMBER
	N.T.S. NOT TO SCALE
CAB. CABINET	OBS. OVERHAUL
CEM. CEMENT	ONS. OBSOLETE
CER. CERAMIC	O.C. ON CENTER
C.I. CAST IRON	O.D. OUTSIDE DIAMETER
CLR. CLEAR	
COL. COLUMN	O.F.C.I. OWNER FURNISHED /
CONC. CONCRETE	CONTRACTOR INSTALLED
CONN. CONNECTION	OFF. OFFICE
CONT. CONTINUOUS	OPNG. OPENING
C.T. CERAMIC TILE	OPP. OPPOSITE
C.TSK. COUNTERSUNK	
DECOR. DECORATIVE	PL. PLATE
DET. DETAIL	PLAS. PLASTER
D.F. DOUGLAS FIR	PLYWD. PLYWOOD
DIA. DIAMETER	PR. PAIR
DIM. DIMENSION	PRCST. PRECAST
DN. DOWN	P.T.D.F. PRESSURE-TREATED DOUGLAS FIR
D.S. DOWNSPOUT	PTN. PARTITION
DWG. DRAWING	Q.T. QUARRY TILE
EA. EACH	R. RISER
EL. ELEVATION	RAD. RADIUS
ELEC. ELECTRICAL	REINF. REINFORCE
EQ. EQUAL	REQ. REQUIRED
EXH. EXHAUST	RM. ROOM
EXP. EXPANSION	R.O. ROUGH OPENING
EXT. EXTERIOR	RWD. REDWOOD
EXIST. EXISTING	R.W.L. RAIN WATER LEADER
F.A.U. FORCED AIR UNIT	S.C. SCHED.
F.D. FLOOR DRAIN	SHT. SHEET
F.H.C. FIRE HOSE CABINET	SHT. SIMILAR
FIN. FINISH	SO. SQUARE
FL. FLOOR	SST. STAINLESS STEEL
FLASH. FLASHING	STL. STEEL
FLUOR. FLUORESCENT	STOR. STORAGE
F.O.C. FACE OF CONCRETE	STRUC. STRUCTURAL
F.O.F. FACE OF FINISH	SUSP. SUSPENDED
F.O.M. FACE OF MASONRY	SYM. SYMMETRICAL
F.O.S. FACE OF STUD	
F.S. FLOOR SINK	T. TREAD
FT. FOOT/FEET	T.C. TOP OF CURB
FTG. FOOTING	TEL. TELEPHONE
GA. GAUGE	T&G. TONGUE & GROOVE
GALV. GALVANIZED	THK. THICK
GL. GLASS	T.O.C. TOP OF CHIMNEY
GR. GRADE	T.O.FR. TOP OF FRAMING
GYP. GYPSUM	T.O.L. TOP OF LEDGER
	T.O.P. TOP OF PARAPET
	T.O.PL. TOP OF PLATE
H.B. HOSE BIBB	TYP. TYPICAL
H.C. HOLLOW CORE	
HDWD. HARDWOOD	U.O.N. UNLESS OTHERWISE NOTED
HDWE. HARDWARE	
HGT. HEIGHT	VERT. VERTICAL
H.M. HOLLOW METAL	VEST. VESTIBULE
HORIZ. HORIZONTAL	V.G.F. VERTICAL GRAIN DOUGLASS FIR
I.D. INSIDE DIAMETER	
INCAND. INCANDESCENT	
INSUL. INSULATION	
INT. INTERIOR	
JAN. JANITOR	
JT. JOINT	
LAM. LAMINATE	
LAV. LAVATORY	
LOC. LOCATION	



SHEET INDEX

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GN - 2	ADA DETAILS
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PROJECT DATA

ZONING:	C-1
LOT AREA:	
APN - 098-361-16:	14,629. SF
APN - 098-361-20:	121,782. SF
APN - 098-361-22:	260,085. SF
TOTAL:	396,496. SF
OCCUPANCY:	B/A3/S1
CONSTRUCTION TYPE:	III-A
SPRINKLERED:	YES
TOTAL BUILDING AREA:	102,323. SF
UNIT AREA #127 + #128:	15,780 + 1,000 =16,780 SF
NUMBER OF STORY:	1

SCOPE OF WORK

- PROPOSED UPGRADING OF (E) ADULT DAY CARE CENTER, CURRENTLY THE TOTAL OCCUPANTS AREA OF 200 OCCUPANTS TO MAX. 300 OCCUPANTS, 260 PARTICIPANTS AND 40 EMPLOYEES
- ADD (E) UNIT #127 (APPROX. 1,000 SF) FOR COMMON LOBBY AREA FOR UNIT #128

BUSINESS DESCRIPTION

EXISTING ADULT DAY CARE CENTER HAS FACILITY ABOUT 15,780 SF WITH 25 EMPLOYEES TO PROVIDE SOCIAL SERVICES TO 175 PARTICIPANTS.
BUSINESS HOURS: 9 AM TO 2 PM - MONDAY TO FRIDAY A WEEK.
DUE TO THE DEMAND OF THE COMMUNITY, WE HAVE PROPOSED ADDING 1,000 SF TO THE FACILITY AND APPLY FOR INCREASING OCCUPANCY OF 40 EMPLOYEES AND 260 PARTICIPANTS

CONSULTANTS

DEVELOPER / OWNER:
JANEEN CHENG
9856 WESTMINSTER AVE. STE. 128
GARDEN GROVE, CA 92844
PHONE: (323)-559-6663
EMAIL: AMANDA@GRANDMETRO.COM

ARCHITECT:
VT DESIGN SPECIALTIES, INC.
14542 HARPER ST.,
MIDWAY CITY, CA 92655
CONTACT: VINNIE TRAN
PHONE: (714)-330-0096
EMAIL: VTRAN@VTCCO.COM

STRUCTURAL ENGINEER:
DONG ENGINEERING, INC
12682 HOOVER ST,
GARDEN GROVE, CA 92841
CONTACT: TROY DONG
PHONE: (714) 204-2874
EMAIL: TRUONGDONG@GMAIL.COM

ELECTRICAL ENGINEER:
ATRAN ELECTRICAL & DESIGN
1137 MEARTZWEILER DR.,
PLACENTIA, CA 92870
CONTACT: ADREW TRAN
PHONE: (714)-854-4171
EMAIL: ATRANTECH2000@YAHOO.COM

DEFERRED SUBMITTAL

- FIRE SPRINKLER SYSTEM
- FIRE ALARM SYSTEM

SHARED PARKING CALCULATIONS

SUITE NO	TENANT NAME	CROSS SPACE AREA(SF)	PARKING RATIO	STALL REQ'D.
9856#121	CHE VI	1,148	1/200	5.74
9856#122	NUVINEST RETAIL	850	1/225	3.78
9856#123	TRAN PHARMACY	850	1/225	3.78
9856#124	IEXAM OFFICE	850	1/170	5.00
9856#125	IGLASSSHOP	1,703	1/225	7.56
9856#127+128	EVERGREEN WORLD ADHC ASSEMBLY	16,780	260/6=	43.3
	EVERGREEN WORLD (40 EMPLOYEES) - EVERY EMPLOYEE IS REQUIRED 1 SPACE			40
9862A	LOLLICUP TO GO	1,500	1/200	7.5
9862B	THIEN AN RESTAURANT	6,000	1/100	60.00
9862C	RETAIL VACANT	1,500	1/225	6.66
9872	BIG SAV RETAIL	4,000	1/250	17.78
9872B	CHADA THAI FOOD TO GO	1,000	1/200	5.00
9872C&E	NAIL SUPPLY RETAIL	2,000	1/225	8.88
9872D&F	RETAIL VACANT	2,000	1/225	8.88
9892#311	GARLIC RESTAURANT	1,970	1/100	19.70
9892#312#313	85C CAFE BAKERY	2,018	1/100	20.18
9892#316	PHO LOVERS	4,123	1/100	41.23
9892#327	RETAIL VACANT	340	1/225	1.51
9892#329	RETAIL VACANT	340	1/225	1.51
9892#330	RETAIL VACANT	200	1/225	0.88
9892#321	RETAIL VACANT	340	1/225	1.51
9892#332	RETAIL VACANT	250	1/225	1.11
9892#333	RETAIL VACANT	340	1/225	1.51
9892#335	RETAIL VACANT	340	1/225	1.51
9892#340	RETAIL VACANT	500	1/225	2.22
9892#344	RETAIL VACANT	250	1/225	1.11
9892#R	OC&LAU RESTAURANT	6,926	1/100	69.26
9902	JERKY KING RETAIL	1,500	1/200	7.50
9902B	HANOI FOOD TO GO	1,350	1/200	6.75
9904	LOW KEY RESTAURANT	900	1/100	9.00
9904B	CBT FOOD TO GO	1,350	1/200	6.75
9906	KIM LONG FOOD TO GO	1,500	1/200	7.50
9906B	TAM BIEN MARKET	2,675	1/100	26.75
9908	BINH MINH RESTAURANT	1,320	1/100	13.2
9910	LISA HAIR SALON	840	1/200	4.20
9910B	RETAIL VACANT	2,700	1/225	12.0
9920	RETAIL FORMER 99 CENTS VACANT	22,126	1/225	98.3
9920B	BEAUTY ZONE RETAIL	7,944	1/225	35.3
	TOTAL	102,323 SF	TOTAL STALL REQ'D	614.35
			USE:	615 STALLS

LEGAL DESCRIPTION

THE EAST 210.01 FEET OF THE NORTH 210.01 FEET MEASURED ALONG THE NORTHERLY AND EASTERLY LINES, OF THE EAST HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 30, TOWNSHIP 5 SOUTH, RANGE 10 WEST, IN THE RANCHO LAS BOISAS, CITY OF FOUNTAIN VALLEY, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP FILED IN BOOK 51, PAGE 12 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

CODE COMPLIANCE DATA

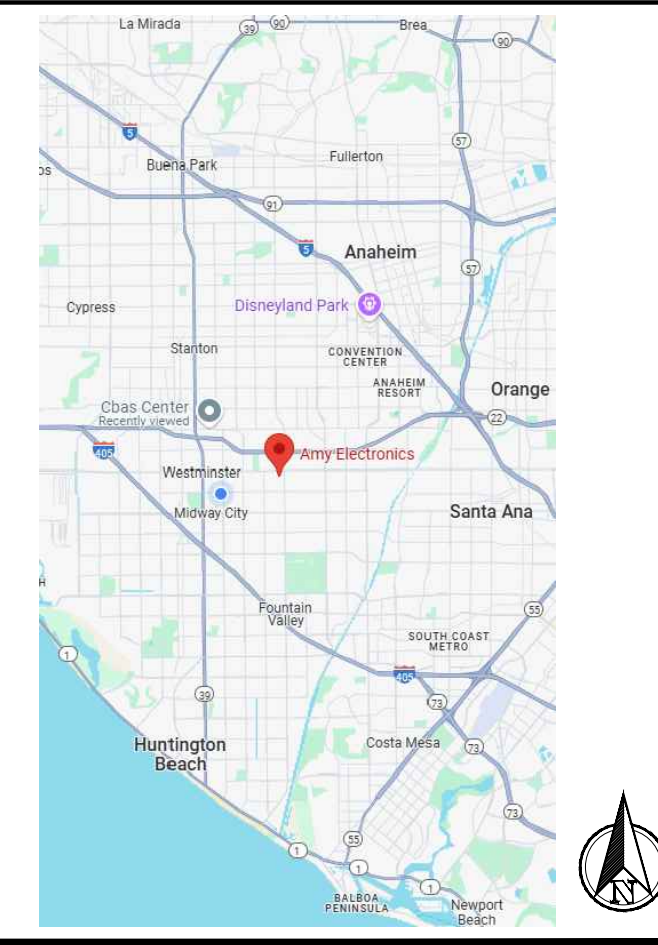
LEGAL JURISDICTION: CITY OF GARDEN GROVE, CALIFORNIA
2022 CALIFORNIA BUILDING CODE (TITLE 24)
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA ENERGY CODE, TITLE 24
2022 CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE

SYMBOLS

DETAIL REFERENCE		DETAIL REFERENCE
ELEVATION REFERENCE		ELEVATION NUMBER
SECTION REFERENCE		SECTION NUMBER
ROOM NUMBER AND INTERIOR ELEVATION REFERENCE		ROOM NUMBER
ROOM NUMBER		ROOM NUMBER
DOOR REFERENCE		DOOR NUMBER
WINDOW REFERENCE		WINDOW NUMBER
NOTE REFERENCE		REFERENCE NOTE NUMBER
COLOR FINISH REFERENCE		SEE COLOR FINISH NOTES ON SCHEDULE SHEET
REVISION REFERENCE		REVISION NUMBER

CUP-011-2014 (REV. 2026)

VICINITY MAP



PARKING REQ.D/PROVIDED

PARKING STALL REQUIRED:	631
PARKING STALL PROVIDED:	
STANDARD STALL (9'-0" x 19'-0"):	517
COMPACT STALL (8'-0" x 17'-0"):	129
ACCESSIBLE STALL (9'-0" x 19'-0"):	13
VAN ACCESSIBLE STALL (12'-0" x 19'-0"):	1
TOTAL PARKING PROVIDED:	660
LOADING STALL (15'-0" x 34'-0"):	2
DROP OFF AREA (15'-0" x 34'-0"):	1
*ALLOWABLE COMPACT STALL (660 x 20%):	132
*ALLOWABLE ACCESSIBLE STALL (660 x 2%):	14

WESTMINSTER AVE.

LEGEND

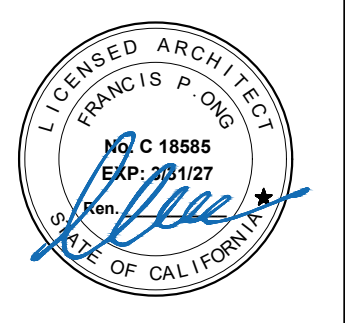
- PROPERTY LINE
- # NUMBER OF PARKING STALL
- TENANT IMPROVEMENT BUILDING



14542 HARPER ST
MIDWAY CITY, CA 92655

TEL: (714) 339-0996
FAX: (988) 601-3001
EMAIL: VTC@VTCDC.COM

REV.	DESCRIPTION	DATE

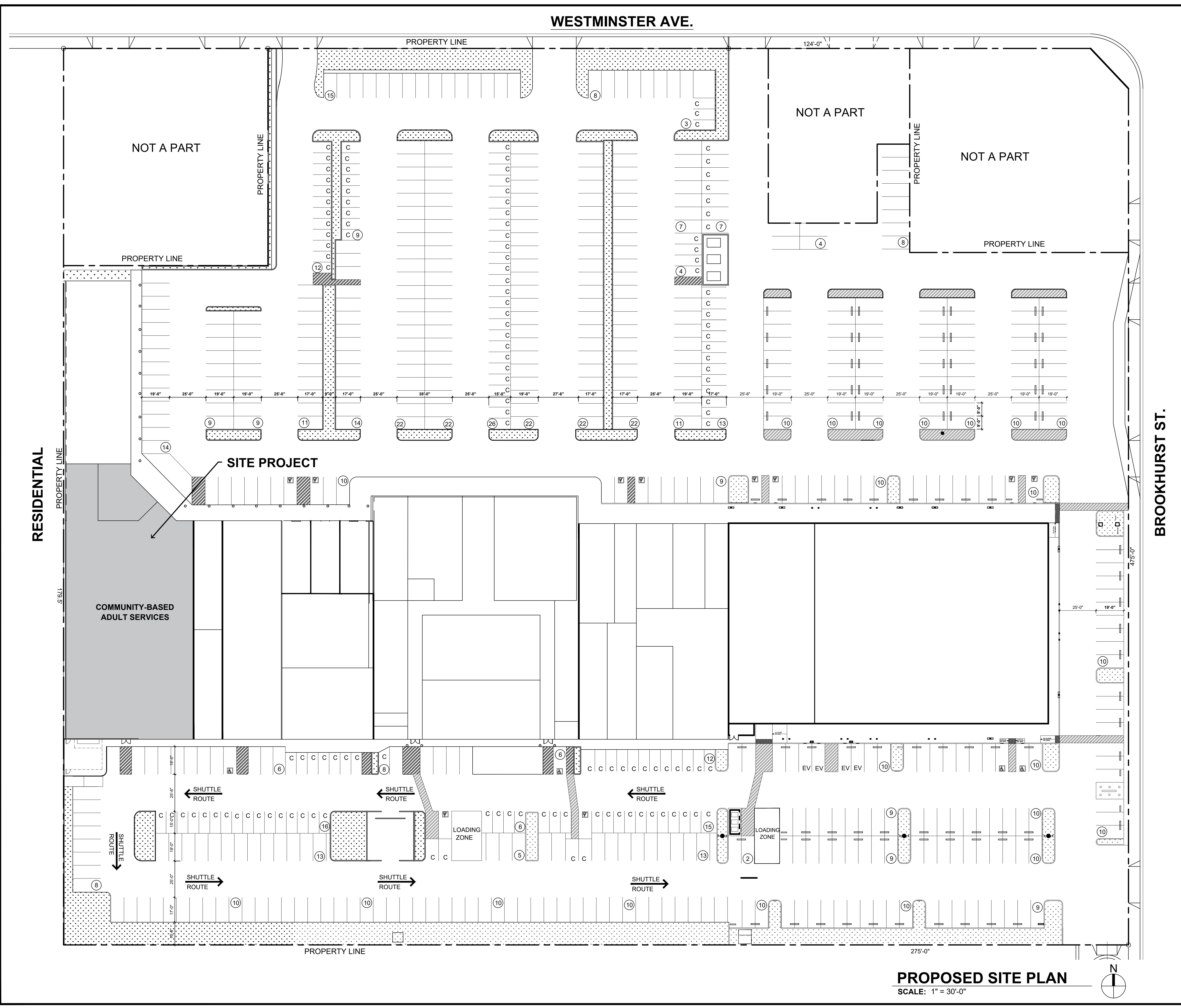


PROPOSED SITE PLAN

EVERGREEN WORLD
COMMUNITY-BASED ADULT SERVICES
TENANT IMPROVEMENT
9856 WESTMINSTER AVE., STE. 128
GARDEN GROVE, CA 92844

SCALE	AS NOTED
DRAWN BY	KN
CHECKED BY	VT
PLAN DATE	03/16/2025
PRINT DATE	03/16/2025
PROJECT No.	
SHEET No.	

A - 1



BROOKHURST ST.

PROPOSED SITE PLAN

SCALE: 1" = 30'-0"

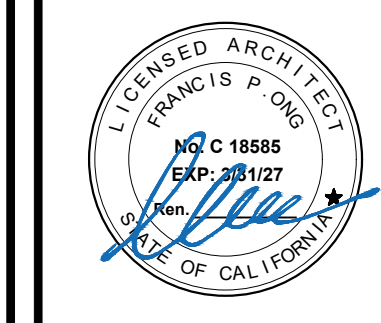




14542 HARPER ST
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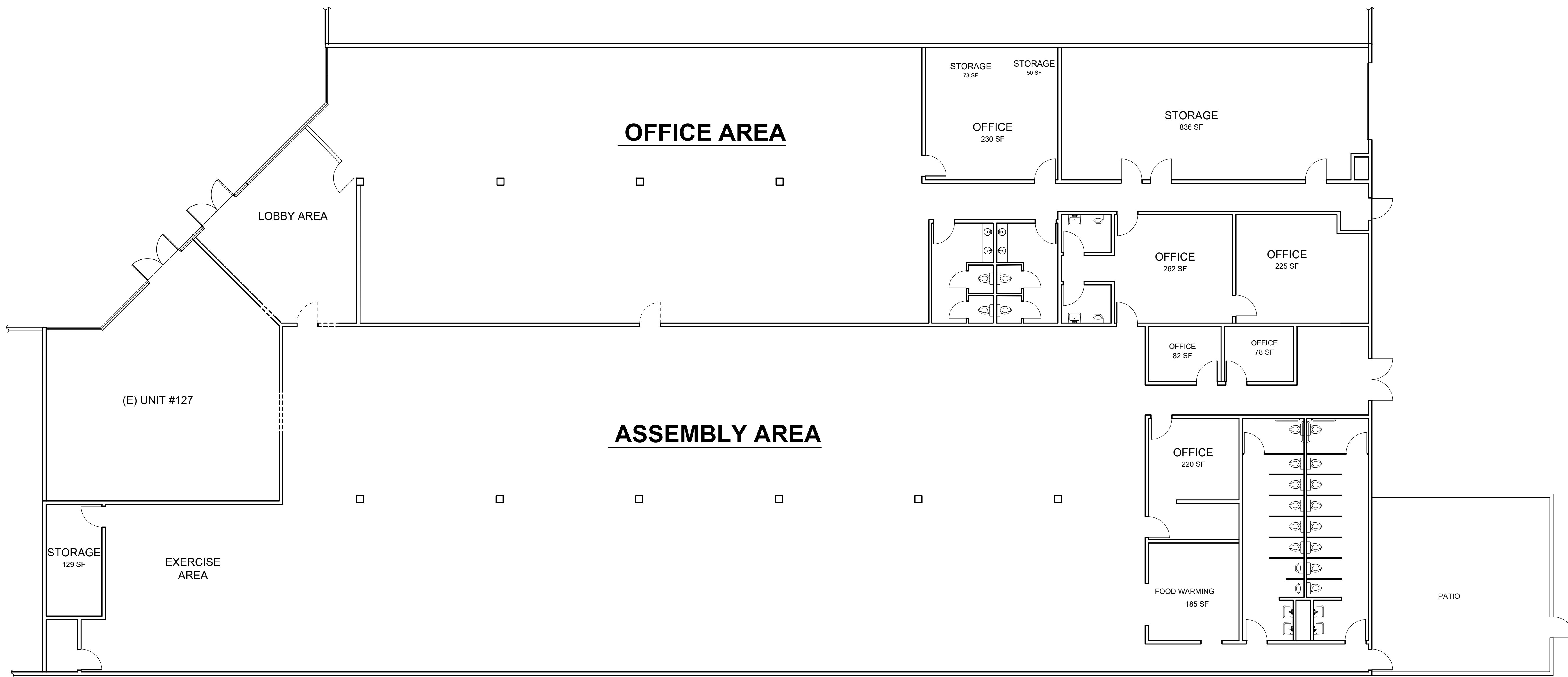


EXISTING FLOOR PLAN

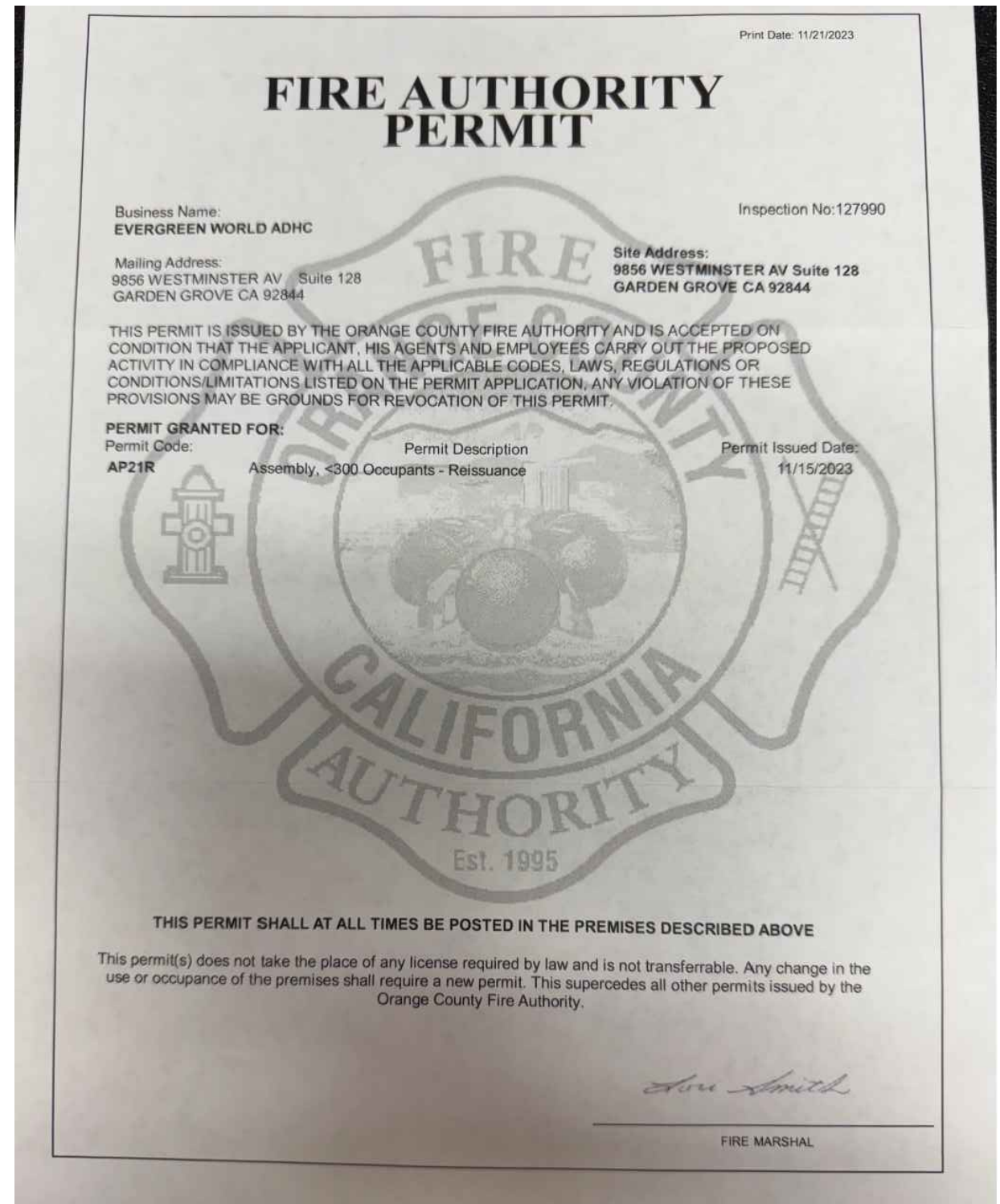
**EVERGREEN WORLD
COMMUNITY-BASED ADULT SERVICES
TENANT IMPROVEMENT
9856 WESTMINSTER AVE., STE. 128
GARDEN GROVE, CA 92844**

SCALE	AS NOTED
DRAWN BY	KN
CHECKED BY	VT
PLAN DATE	03/02/2026
PRINT DATE	03/02/2026
PROJECT No.	
SHEET No.	

A - 2



APPROVED LETTERS OF PARTICIPANTS



STATE OF CALIFORNIA - HEALTH AND HUMAN SERVICES AGENCY

CALIFORNIA DEPARTMENT OF AGING
Community-Based Adult Services Bureau
2850 Gateway Oaks Drive, Suite 200
Sacramento, CA 95833
www.cdph.ca.gov
TEL: 916-419-7545
TTY: 400-735-2929

GAVIN NEWSOM Governor

May 23, 2024

Chia Cheng, Board Chair
Evergreen World ADHC
9856 Westminister Avenue, Suite 128
Garden Grove, CA 92844

Dear Chia Cheng:

The California Department of Aging (CDA) Community-Based Adult Services (CBAS) Bureau received and reviewed your application for Evergreen World ADHC located in Orange County to change license capacity from 200 participants to 320 participants.

CDA has forwarded your application to the California Department of Public Health (CDPH), Licensing and Certification Program, Centralized Applications Branch for their processing. CDA has informed CDPH that Evergreen World ADHC meets the minimum CBAS Program standards required for further processing of this request and has informed CDPH that we are recommending approval.

CDPH will contact you to discuss your application and/or request additional information in order to complete processing. Please work directly with CDPH as needed while they process your application. CDPH will inform you and CDA when their processing is complete.

NOTE: Your application processing is not final or approved until CDPH completes their review and notifies you.

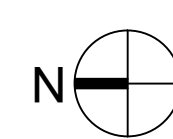
Should you have any questions, please call the CBAS Bureau at (916) 419-7545 and ask to speak with your assigned analyst.

Sincerely,

Ivan Jaramillo
Ivan Jaramillo, Manager
Field Policy and Support Team
Community-Based Adult Services Bureau

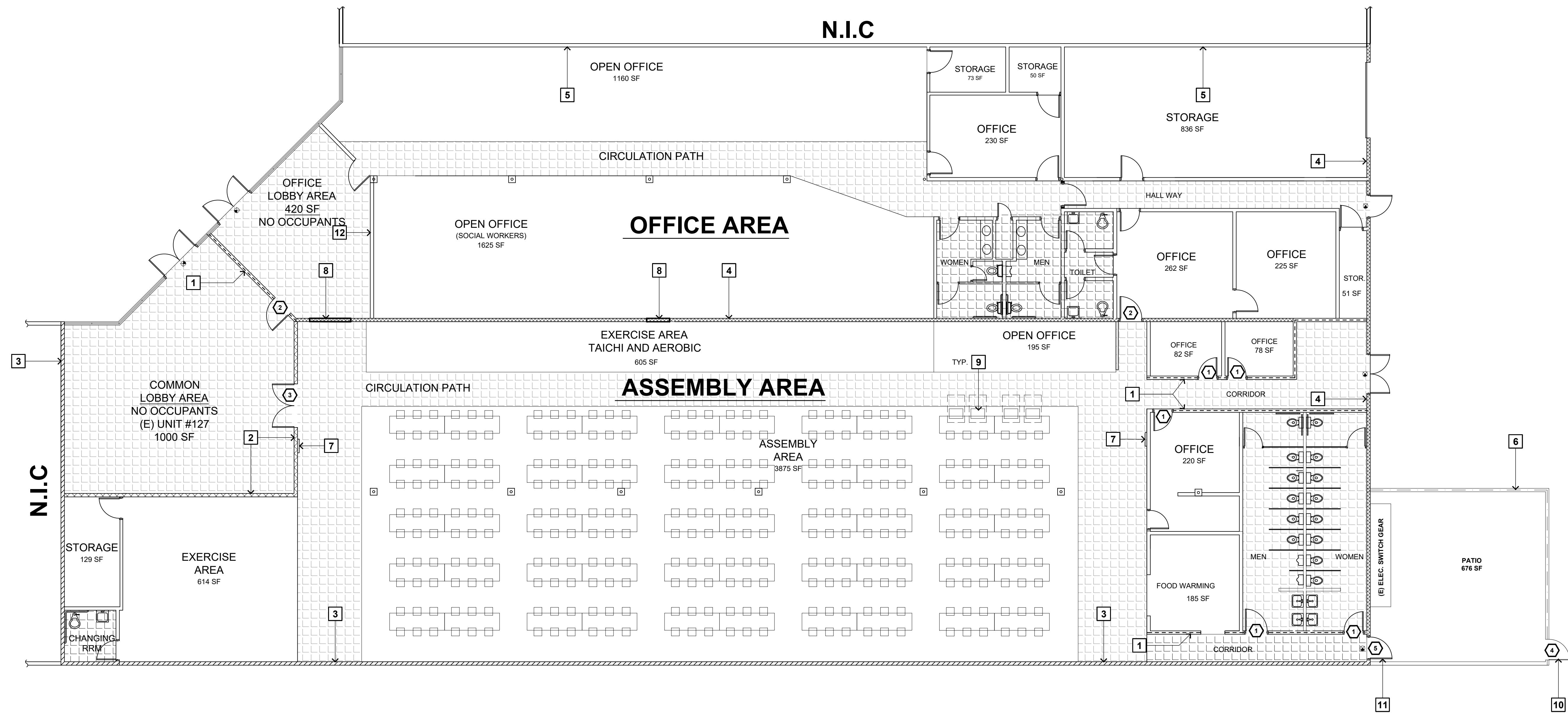
EXISTING FLOOR PLAN

SCALE: 1/8" = 1'-0"



LEGEND

- EXISTING WALL, DOORS OR WINDOWS TO BE REMOVED
- EXISTING WALL, DOORS OR WINDOWS TO REMAIN



PROPOSED FLOOR PLAN
SCALE: 1/8" = 1'-0"

KEY NOTES

- 1 1HR FIRE RATED VERIFY OF PROVIDED SEE DETAIL 4/D1
- 2 (E) 1HR FIRE RATED TO BE UPGRADED TO 2HR FIRE RATED SEE DETAIL 3/D1
- 3 (E) 8" CONC. BLOCK WALL
- 4 (E) CONC. TILT - UP WALL
- 5 (E) STUD WALL
- 6 4' HT (E) WROUGHT IRON FENCE
- 7 POST SIGN 299 MAX. OCC.
- 8 FILL-IN (E) OPENING SEE DETAIL 7/D1
- 9 ACCESSIBLE SEATING
- 10 3' WIDE STEEL DOOR W/ PANIC BAR HANDLE
- 11 (E) DOOR W/ PANIC HARDWARE
- 12 (E) 42" HT GLASS RAIL

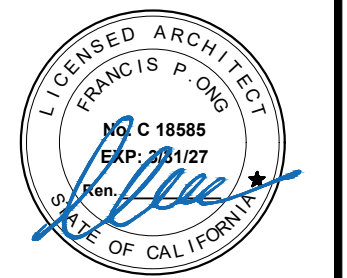
LEGEND

- 1HR FIRE RATED VERIFY OR PROVIDE
- 2HR FIRE RATED
- (E) 8" CONC. BLOCK WALL
- (E) CONC. TILT - UP WALL
- (E) STUD WALL
- CIRCULATION PATH
- DOOR SYMBOL, EXISTING DOOR TO REMAIN, U.N.O
- DOOR SYMBOL, NEW DOOR SEE DOOR SCHEDULE ON SHEET A-5



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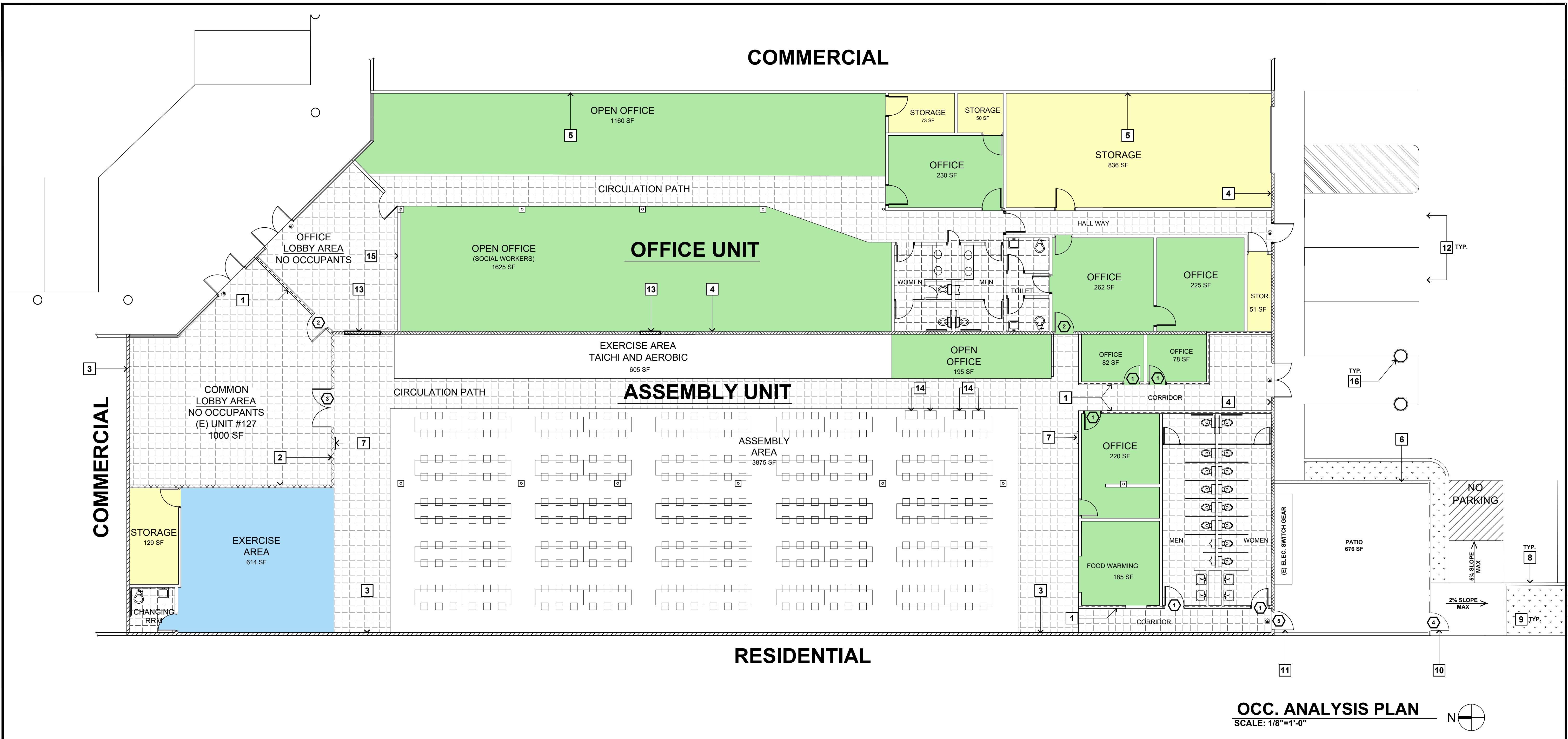
REV.	DESCRIPTION	DATE



PROPOSED FLOOR PLAN

EVERGREEN WORLD
COMMUNITY-BASED ADULT SERVICES
TENANT IMPROVEMENT
9856 WESTMINSTER AVE., STE.128
GARDEN GROVE, CA 92844

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OCC. ANALYSIS PLAN
SCALE: 1/8"=1'-0"

PLUMBING FIXTURES CAL. TABLE 422.1

OCC. TYPE	AREA	OCC. LOAD FACTOR	OCCUPANT LOAD	MALE	FEMALE	# OF TOILET FACILITY REQUIRED*						# OF TOILET FACILITY PROVIDED*					
						WATER CLOSET		URINAL	LAVATORY		WATER CLOSET		URINAL	LAVATORY			
						MALE	FEMALE		MALE	FEMALE	MALE	FEMALE		MALE	FEMALE		
A3	4,480 SF	15	299	150	150	2	4	1	1	2	6	8	2	2	2		

NOTE

1. ALL EXISTING PLUMBING FIXTURES TO REMAIN

OCCUPANT CONFIGURATION

LOCATION	OCC. GROUP	TOTAL	OCC. FACTOR	NO. OF OCCUPANT
A. ASSEMBLY UNIT				
ASSEMBLY	A3	3875 + 605 = 4480 SF	15	300
OFFICE	B	262 + 225 + 195 + 82	150	9
EXERCISE	B	76 + 220 + 185 = 1245 SF	50	13
STORAGE	S1	129 SF	300	1
TOTAL				322
B. OFFICE UNIT				
OFFICE	B	1160 + 1625 + 230 = 3015	150	21
STORAGE	S1	73 + 50 + 836 = 959 SF	300	4
TOTAL				25

PARKING REQUIRED

LOCATION	OCC. GROUP	PARKING FACTOR	PARKING REQ'D
*ASSEMBLY AREA	A3	= 4260/250	= 15
OFFICE AREA	B	= 1088/300	= 3.6
STORAGE AREA	S1	= 614/250	= 2.5
TOTAL PARKING REQUIRED			= 38.1 => 39 STALLS

* BASED ON THE TRANSPORTATION SERVICES, THERE ARE ABOUT 95% OF GUESTS WILL BE PICKED UP AND DROPPED-OFF BY OCTA AND FAMILY MEMBERS' CARS, 5% OF GUESTS DRIVE THEMSELVES TO THE CENTER, THEREFORE THE MAX. PARKING STALLS ARE OCCUPIED BY OCCUPANTS OF GROUP A3 IS APPROX. 300 X 5% = 15 STALLS

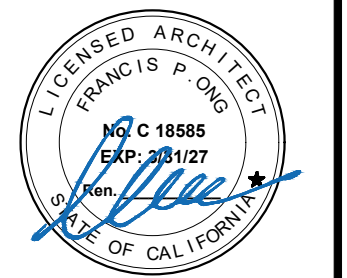
LEGEND & KEYNOTE

- ASSEMBLY AREA - GROUP A3 OCCUPANCY
- STORAGE AREA - GROUP S1 OCCUPANCY
- ADMIN. AND OFFICE AREA - GROUP B OCCUPANCY
- EXERCISE AREA -GROUP B OCCUPANCY
- 1HR FIRE RATED VERIFY OR PROVIDE
- 2HR FIRE RATED
- (E) 8" CONC. BLOCK WALL
- (E) CONC. TILT - UP WALL
- (E) STUD WALL
- 4' HT (E) WROUGHT IRON FENCE
- 6' HT NEW WROUGHT IRON FENCE
- (E) CURB
- (E) LANDSCAPE
- 3' WIDE STEEL DOOR W/ PANIC BAR HANDLE
- (E) DOOR W/ PANIC HARDWARE
- (E) PARKING STALL
- FILL-IN (E) OPENING SEE DETAIL 7/D1
- ACCESSIBLE SEATING
- (E) 42" HT GLASS RAIL
- (E) COL.



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DOOR SCHEDULE

NOTE: GENERAL CONTRACTOR TO PROVIDE A SCHLAGE MASTER KEY SYSTEM WITH A KEY BOX LOCATED IN ELECTRICAL ROOM, APPROVED BY BUILDING OWNER, FOR USE BY THE PROPERTY MANAGEMENT COMPANY AND MAINTENANCE PERSONNEL OR EQUAL.

WINDOW SCHEDULE

DOOR NO.	ROOM DESCRIPTION	DOOR					U FACTOR	SHGC	FRAME	HARDWARE			FIRE LABEL	REMARKS
		SIZE WIDTH X HEIGHT X THICK	TYPE	MATERIAL	FINISH	CLOSER				PH	HDW. GRP.			
1	SEE PLAN	3'-0" x 7'-0" x 1-3/4"		SC	P			TIMELY FRAME	YES	NO	--	20 MIN	DOORS WITH SIDE WINDOWS. SEE REMARKS 6, AND 5	
2	SEE PLAN	3'-0" x 7'-0" x 1 3/4"		SC	P			TIMELY FRAME	YES	NO	--	90 MIN	GLASS DOOR WITH SIDE WINDOW. SEE REMARK #5	
3	SEE PLAN	6'-0" x 7'-0" x 1 3/4"		HS	P			TIMELY FRAME	YES	NO	--	90 MIN		
4	PATIO	3'-0" x 4'-0" x 1 3/4"		WI	P			TIMELY FRAME	YES	NO	--	90 MIN		
5	SEE PLAN	3'-0" x 7'-0" x 1 3/4"		HS	P			TIMELY FRAME	YES	NO	--	45 MIN	EXIT DOOR. SEE REMARK #5	

W/D NO.	LOCATION	TYPE	SIZE		GLAZING	U FACTOR	SHGC	FRAME MATERIAL	FINISH	REMARKS
			WIDTH	HEIGHT						

NOTE
1. ALL EXISTING DOORS TO REMAIN U.N.O

NOTE
1. ALL EXISTING WINDOWS TO REMAIN

DOOR NOTES

- EXIT DOOR. ALL EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. PROVIDE SELF-RELEASING LOCKING DEVICES ON EXIT DOORS. C.B.C 1008.1.9.
- EXITS AND EXIT DOORS SHALL BE MARKED BY AN APPROVED EXIT SIGN READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL.
- WEATHERSTRIP ALL EXTERIOR DOORS.
- MOUNT HARDWARE PER LATEST EDITION OF GOVERNING CODE.
- ALL NEW HARDWARE SHALL BE HANDLES, PULLS, LATCHES, OR PANIC DEVICES THAT ARE ACCESSIBLE PER CBC 2016 1133B.2.5.2. MOUNT HARDWARE AT +34" TO 44" (CBC 11B-404.2.7).
- LANDINGS OR FLOOR LEVEL AT DOOR SHALL NOT BE MORE THAN 1/2" BELOW THE THRESHOLD. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES GREATER THAN 1/4" AT DOORWAYS SHALL BE BEVELED WITH A SLOPE NOT GREATER THAN ONE UNIT VERTICAL IN TWO UNITS HORIZONTAL. (CBC 11B-302 AND 11B-303)
- CONTRACTOR TO FIELD MEASURE ALL OPENINGS WHICH ARE TO RECEIVE NEW FRAMES PRIOR TO SUBMITTAL OF SHOP DRAWINGS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- ALL DOOR HARDWARE SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, PANIC BARS, AND PUSH-PULL ACTUATING BARS WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. (CBC 1008.1.9.2) AND (CBC 1133B.2.5.2)
- MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 POUNDS FOR EXTERIOR AND INTERIOR DOORS. SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED TO THE MINIMUM ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 POUNDS. CBC 1133B.2.5.
- FLOOR AND GROUND SURFACES WITHIN REQUIRED DOOR MANEUVERING CLEARANCES SHALL BE STABLE, FIRM, AND SLIP RESISTANT. SURFACES SHALL BE LEVEL WITH A SLOPE NOT STEEPER THAN 1:48. CHANGES IN LEVEL ARE NOT PERMITTED EXCEPT AT THRESHOLDS. OPENING IN FLOOR SHALL NOT ALLOW PASSAGE OF SPHERE MORE THAN 1/2" DIA. (CBC 11B-302.2 AND 11B-404.2.7)
- SWINGING DOOR AND GATE SURFACES WITHIN 10" OF THE FINISH FLOOR SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR OR GATE. PARTS CREATING HORIZONTAL OR VERTICAL JOINTS IN THESE SURFACES SHALL BE WITHIN 1/16" OF THE SAME PLANE AS THE OTHER. (CBC 11B-404.2.10)
- ALL GLAZING SHALL BE TEMPERED

REMARKS

- PROVIDE OVERHEAD CLOSER
- PROVIDE SMOKE SEALS
- FULL WEATHERSTRIP
- ADA COMPLYING THRESHOLD
- TEMPERED GLASS
- THIS DOOR TO HAVE SIGN ABOVE WITH 1" HIGH LETTERS STATING "THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED".
- PROVIDE STAINLESS STEEL GUARD PLATE, FROM FLOOR TO 48" AFF.
- PROVIDE FLOOR STOP
- PROVIDE WALL STOP
- PROVIDE ELECTRICAL STRIKE

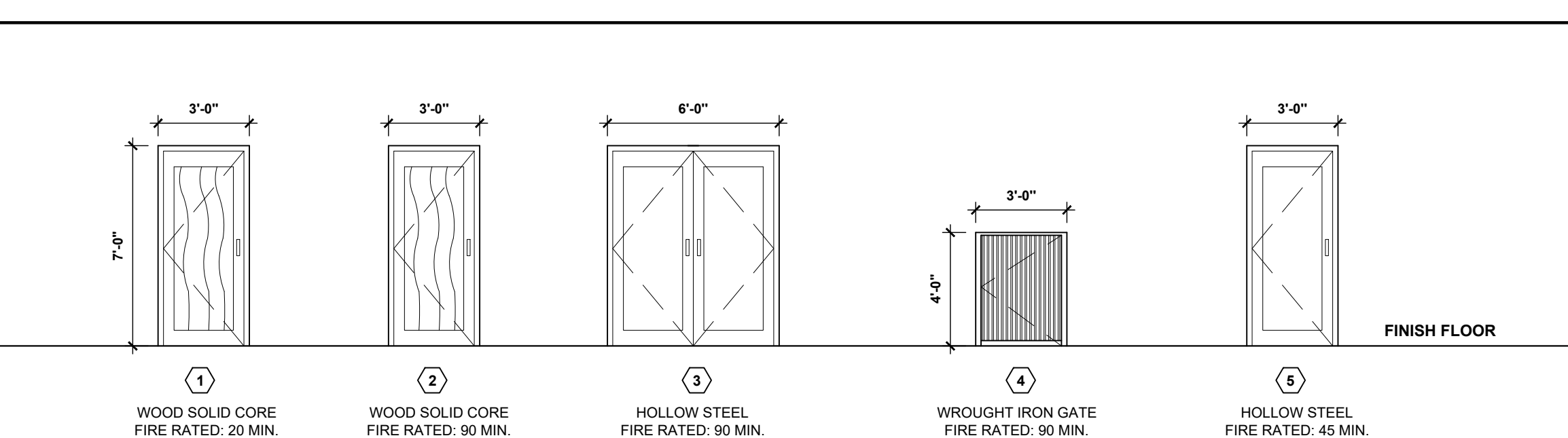
DOOR & WINDOW ABBREVIATIONS

AG.	ART GLASS	STN	STAIN FINISH
ALUM.	ALUMINUM	STL	STEEL
AS	ALUMINUM STOREFRONT	S	STAIN
F	FACTORY (PRE-FINISHED)	SG	STAIN GRADE
FD	FRENCH DOOR	SC	SOLID-CORE WOOD
GA	GAUGE	T	TEMPERED GLASS
GL	TEMP. GLASS	TI	TIMELY FRAME WITH STEEL CASING
HC	HOLLOW CORE WOOD	WD	WOOD
HM	HOLLOW METAL	WI	WROUGHT IRON
HS	HOLLOW STEEL	N.R	NON RATED
P	PAINT	MIN.	MINUTE
PH	PANIC HARDWARE	ANOD.	ANODIZED ALUMINUM
PR	PAIR OF DOORS	ALUM.	ALUMINUM
PS	PRESSED STEEL	KD	KNOCK DOWN METAL SYSTEM
PSG	PAINTED SEMI GLOSS		
PG	PAINT GRADE		
PF	PRE FINISHED		
PL	PLASTIC LAMINATE		
S.S	STAINLESS STEEL		

WINDOW NOTES

- ALL ALUMINUM STOREFRONT FRAMES AND DOOR TO BE "ARCADIA" AG451 SERIES 2"x4-1/2" CENTER GLAZED SYSTEM FOR 1" GLASS USE CLASS 1 CLEAR FINISH.
- ALL GLAZING TO BE (3/4" IG LOE 366 ARGON) DUAL PANE INSULATED GLAZING, UNLESS OTHERWISE NOTED, ARCHITECT TO SELECT GLAZING COLOR "CLEAR"
- WINDOW SCHEDULE NOTES: (CBC 2406.3 AND CBC 2406.2)
 - ALL GLAZING SHALL BE TEMPERED
 - PROVIDE PERMANENT LABEL PER CBC 2406.2 SHALL IDENTIFY EACH LIGHT OF SAFETY GLAZING.

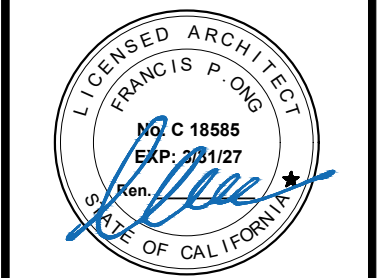
DOOR TYPES



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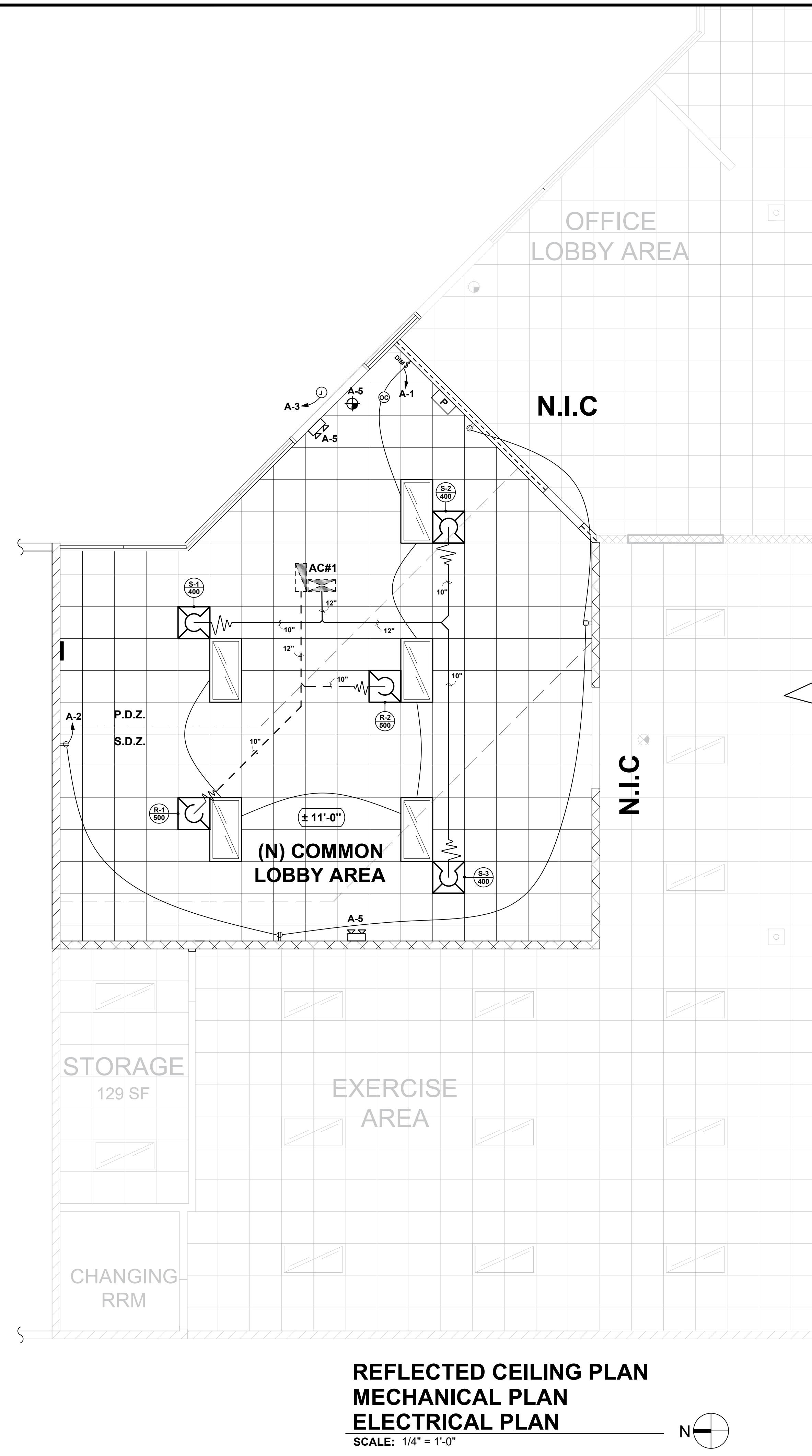
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DOOR SCHEDULE AND WINDOW SCHEDULE

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**REFLECTED CEILING PLAN
MECHANICAL PLAN
ELECTRICAL PLAN**
SCALE: 1/4" = 1'-0"

HANGER STRAP SCHEDULE PER UMC TABLE 6-5			
DUCT SIZE	MAX. LOAD EX. HANGER	STRAP SIZE	MAX. SPACING
8" TO 10"	260 LBS.	1" x 18 GA	10'-0" O.C.
11" TO 18"	260 LBS.	1" x 16 GA	10'-0" O.C.
19" TO 24"	260 LBS.	1 1/2" x 16 GA	10'-0" O.C.
25" TO 36"	260 LBS.	2 1/2" x 16 GA	10'-0" O.C.

AIR BALANCE SCHEDULE					
UNIT	OUTSIDE AIR	RETURN AIR	SUPPLY AIR	EXHAUST AIR	PRESSURE
AC # 1	200	1,000	1,200		200
TOTAL	200	1,000	1,200		-200

ROOF TOP UNIT SCHEDULE													
MARK	TON	LOCATION	MODEL	COOLING CAPACITY BTUH		INDOOR FAN	POWER SUPPLY		UNIT DIMENSION		(UNIT) WEIGHT		
				INPUT	OUTPUT		CFM	VOLT	PH	MCA/MOCP (E/B" CURB)		UNIT HGT. (INCH)	LENGTH (INCH)
AC 1	3	ROOF	CARRIER 24ACC436	36,000	28,800	1,200	208/230	1/60	20/30	48	32	32	134

NOTE: PROVIDE AC 1 OR APPROVED EQUAL OF MINI SPLIT UNIT

MECHANICAL GENERAL NOTES

ALL WORK SHALL COMPLY WITH 2022 CALIFORNIA MECHANICAL CODE

ALL SUPPLY AND RETURN AIR WITH FLEXIBLE DUCTS SHALL BE INSULATED WITH A MINIMUM OF R-6 INSULATIONS
HERS DUCT TESTING IS REQUIRED AS PER ENERGY FORMS

- INSTALLATION OF ALL EQUIPMENT SHALL COMPLY WITH THE REGULATIONS AND CODES OF THE LOCAL BUILDING DEPARTMENT, HEALTH DEPARTMENT, FIRE DEPARTMENT, AND OTHER APPLICABLE GOVERNMENT AGENCIES.
- ALL EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURERS RECOMMENDATIONS.
- INSTALL ALL EQUIPMENT, PIPING AND DUCTWORK IN COORDINATION WITH ELECTRICAL, PLUMBING, ARCHITECTURAL, AND STRUCTURAL DRAWINGS AND TRADES. ELECTRICAL CONTRACTOR TO PROVIDE ALL HIGH AND LOW VOLTAGE WIRING.
- REFER TO ARCHITECTURAL DRAWING FOR EXACT LOCATIONS OF DIFFUSERS, REGISTERS AND GRILLS.
- ALL DUCTWORK SHALL BE G.I. METAL DUCT OR CLASS 1 FLEX DUCT OR ALUMINUM END FLEX. DUCT TO BE INSTALLED ACCORDING TO LATEST SMACNA STANDARDS, AND PER CHAPTER 6 OF C.M.C.
- INSULATE CONCEALED DUCTWORK BY WRAPPING WITH 1 INCH FIBERGLASS, LAP 2 INCHES, APPLY WITH ADHESIVE AND 18 GA. WIRE AT 12 INCHES.

CFM	DUCT SIZING TABLE	
	ROUND DUCT SIZE (INCH)	RECTANGULAR EQUIVALENTS SIZE (INCH)
50-80	6" Ø	6x5, 4x6, 3x10
80-200	8" Ø	9x5, 5x12
200-270	9" Ø	7x10, 6x12
270-380	10" Ø	8x10, 7x12, 6x14
380-600	12" Ø	10x12, 8x14, 6x20
600-900	14" Ø	10x16, 9x18, 8x22
900-1,200	16" Ø	10x22, 12x18, 14x14
1,200-1,700	18" Ø	10x28, 12x24, 14x20
1,700-2,200	20" Ø	10x28, 12x28, 14x24, 16x20
2,300-2,900	22" Ø	14x25, 24x26, 14x28, 14x30
3,000-3,700	24" Ø	14x31, 16x30, 16x31
3,800-4,500	26" Ø	16x33, 16x34, 16x37

- NOTES
- ALL DUCT WORK TO BE INSTALLED PER SMACNA GUIDELINES AND MOST STRINGENT CODES.
 - THE MAX. OF FLEXIBLE DUCT FROM RIGID DUCT TO THE GRILL IS 5 FEET.

VOLT AMPS		SUB-PANEL 'A'										VOLT AMPS	
PHASE A	PHASE B	DESCRIPTION	POLE	BKR	CKT	A	B	CKT	BKR	POLE	DESCRIPTION	PHASE A	PHASE B
185		LIGHTS	1	20	1	•		2	20	1	RECEPTACLES	720	
	1200	SIGNAGE	1	20	3	•		4	30	2	AC#1		3,600
15		LIGHTS, EXIT & EMERGENCY	1	20	5	•		6	30	2	AC#1	3,600	
		SPARE	1	20	7	•		8	20	1	SPARE		
					9	•		10					
					11	•		12					
					13	•		14					
					15	•		16					
					17	•		18					
					19	•		20					
					21	•		22					
					23	•		24					
200	1,200											4,320	3,600
VA / LINE													
PHASE A = 4,520 VA						PHASE B = 4,800 VA							
CONNECTED LOADS		9,320 VA		25% LCL (185 x 0.25)		46,25 VA		20% OF EQUIPMENT (7,200 x 0.25):		1,440 VA			
TOTAL LOAD		7,926.25 VA											
DESIGN AMPS		33 A											

LEGEND

- 2x4 LED LIGHT
- 2x4 LED NIGHT LIGHT
- EMERGENCY BUG EYE W/ 90 MIN. BACKUP BATTERY AS PER CFC SECTION 1006.1
- ILLUMINATED EXIT SIGNAGE W/ 90 MIN. BACKUP BATTERY AS PER CFC SECTION 1006.1
- 24"x24" RETURN AIR REGISTER
- 24"x24" SUPPLY AIR REGISTER
- 2x2 T-BAR CEILING. SEE DETAIL 12/D-1
- CEILING HT. FROM FLOOR
- P.D.Z.** PRIMARY DAYLIT ZONE
- S.D.Z.** SECONDARY DAYLIT ZONE
- SUPPLY GRILL NUMBER CFM
- RETURN GRILL NUMBER CFM
- SA. SUPPLY AIR DUCTS OR HOSES.
- RA. RETURN AIR DUCTS OR HOSES.
- SUPPLY AND RETURN AIR PLENUM DOWN FROM HVAC UNIT ON ROOF

ELECTRICAL LEGEND/NOTES

- CEILING JUNCTION BOX
- DAYLIGHT PHOTOSENSOR
- DAYLIT ZONE
- OCCUPANT SENSOR
- TOGGLE SWITCH
- TOGGLE SWITCH WITH DIMMER
- DUPLIX WALL RECESSED MOUNTED RECEPTACLE 120V, 20A
- G.F.C.I. OUTLET

NOTES

- MOUNT THE FOLLOWING ABOVE F.F.:
 - OUTLETS - 15" TO BOTTOM
 - SWITCHES - 48" TO TOP
 - T-MOSTATS - 48" TO TOP
- MAINTAIN 3' FT CLEAR MIN. IN FRONT OF ELECTRICAL PANEL

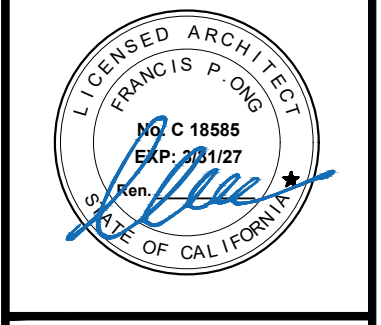
LIGHT FIXTURE SCHEDULE

SYMBOL	DESCRIPTION	WATTS	CATALOG	MANUFACT.
	2x4 LED DROP	37	24-OT-LED 5000L - DIMST	ORACLE
	EMERGENCY LIGHT W/ 90 MIN. BACK UP BATTERY.	5	EE20L	ELCO
	EXIT W/ 90 MIN. BACKUP BATTERY	5	EE77HR	ELCO



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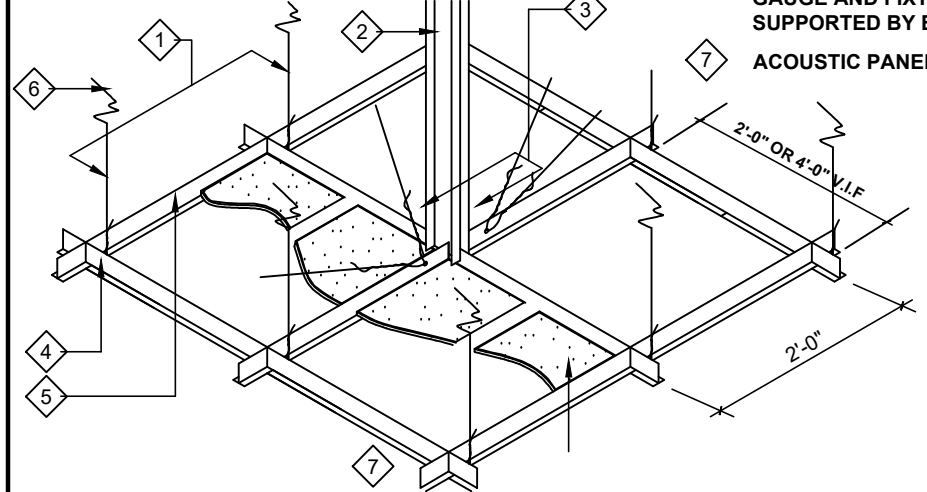
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PROJECT No.
SHEET No.

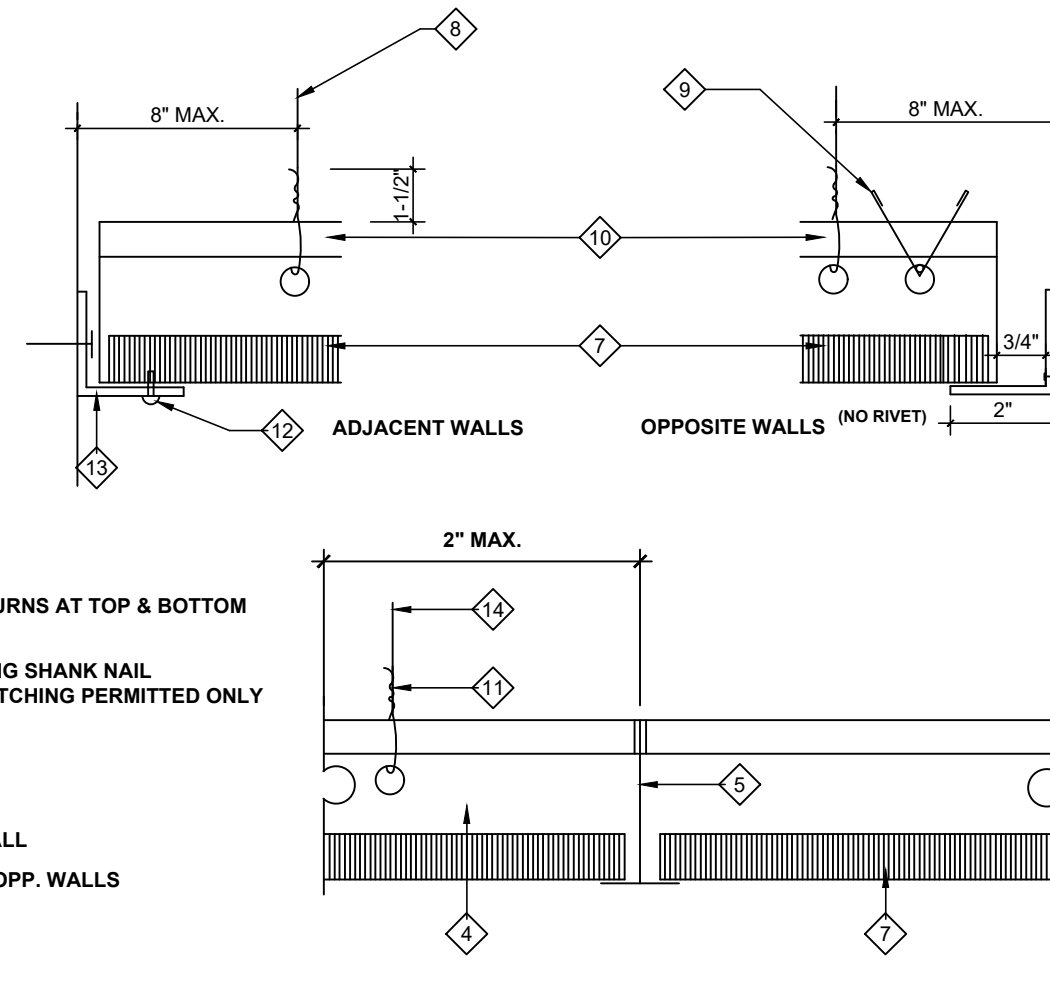
NOTES

1. CEILING SYSTEM: ARMSTRONG, SILHOUETTE W/ BERC-2 CLIPS, ICC-ESR-1308
2. HEAVY DUTY T-BAR GRID SYSTEM SHALL BE USED
3. 1/4" THE LENGTH OF THE END RUNNER WHICHEVER IS LEAST. NAILS @ ENDS OF HORIZ. STRUTS ARE TO BE PLACED W/ NAIL HEAD TOWARD C OF SPAN OF STRUCT.
4. ALL 2'x4' LIGHT FIXTURE & 2'x2' HVAC AIR REGISTERS SHALL BE SUPPORTED BY 12 GA. HANGER WIRES WITHIN 3" OF EACH CORNER AND TWO (2) HANGER WIRES (BLACK) AT DIAGONAL CORNERS. CEILING SYSTEM SHALL NOT SUPPORT OTHER ITEMS.
5. CEILING INSTALLATION TO BE REQUIRED SPECIAL INSPECTION PER ESR-1308, CBC 2506.2.1 AND PER ASCE 7-10, CHAPTER 13.



KEY NOTES

- ① TYPICAL: #12 GA. VERTICAL HANGER WIRE @ 4'-0" O.C. EA. WAY FOR GRAVITY SUPPORT OF NEW SUSPENDED CEILING SYS. W/ MIN. 3 TIGHT TURNS IN 1 1/2" BOTH ENDS OF WIRE.
- ② INSTALL COMPRESSION STRUT @ 12'-0" EA. DIRECTION OR EVERY 144 S.F. OF CEILING AREA. 25-2 LOCATE @ SPLAY WIRE LOCATION WITH THE FIRST POINT WITHIN 5 FEET OF EACH WALL.
- ③ 12 GA. SPLAY WIRE @ 12'-0" O.C. EA. WAY W/ MIN. 4 TIGHT TURNS IN 1 1/2" BOTH ENDS OF WIRE. INSTALL IN 4 DIRECTIONS @ 90° ANGLE TO EACH, TYPICAL.
- ④ MAIN RUNNER
- ⑤ CROSS RUNNER
- ⑥ WIRES TO PENDANT MOUNTED FIXTURES SHALL BE 9 GAUGE AND FIXTURES SHALL BE INDEPENDENTLY SUPPORTED BY BUILDING STRUCTURES.
- ⑦ ACOUSTIC PANEL
- ⑧ 12 GA. HANGER WIRE MIN. 3 TIGHT TURNS AT TOP & BOTTOM OF WIRE
- ⑨ HORIZ. SPACER BAR W/ HORIZ. 6d RING SHANK NAIL ALTERNATE LOCATION W/O NAIL NOTCHING PERMITTED ONLY @ RUNNER
- ⑩ MAIN OR CROSS RUNNERS
- ⑪ MIN. 3 TIGHT TURNS
- ⑫ POP RIVET @ ALL MEMBERS ONE WALL
- ⑬ PERIMETER MEMBER @ STARTER & OPP. WALLS
- ⑭ 12 GA. HANGER WIRE



T-BAR CEILING

5

GA FILE NO. WP 3620 - 1 HOUR FIRE

1

GA FILE NO. WP 3620

GENERIC

1 HOUR FIRE

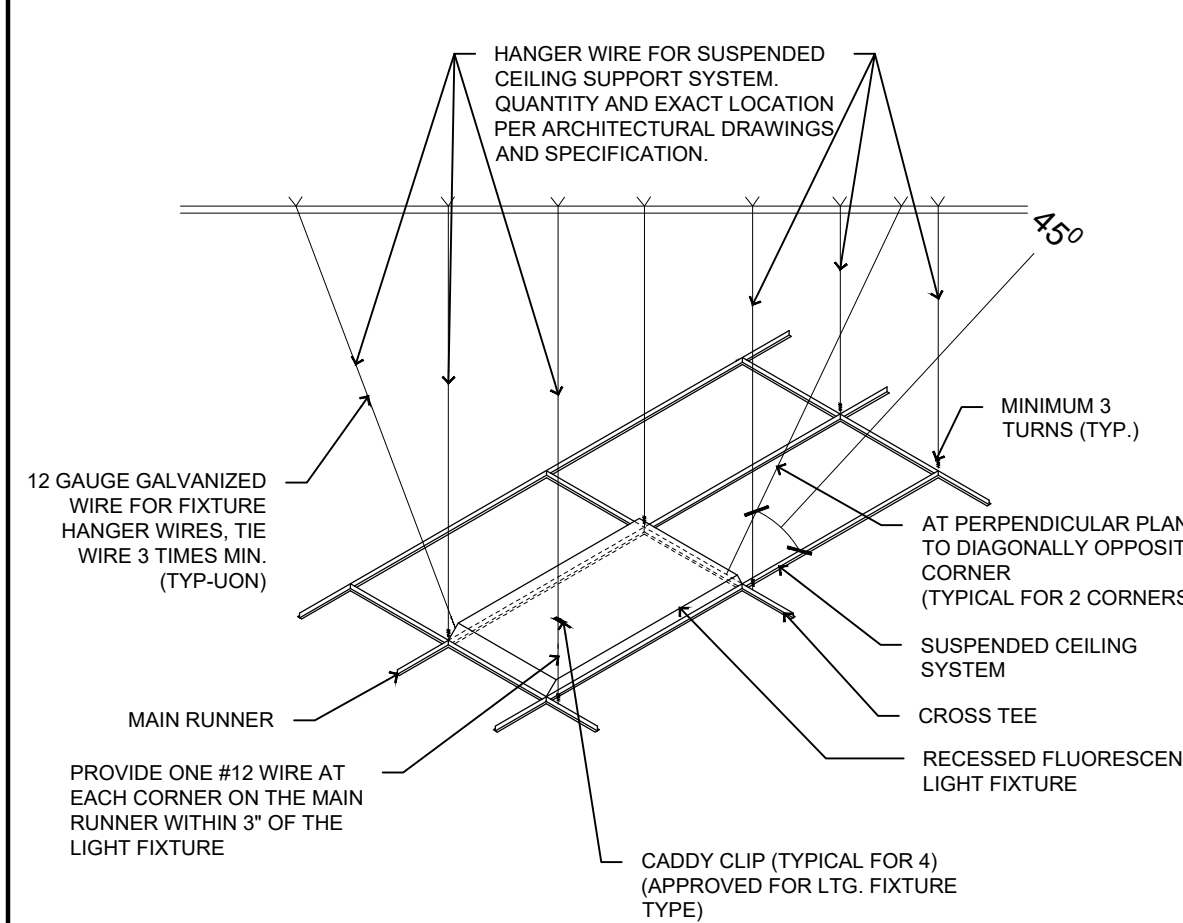
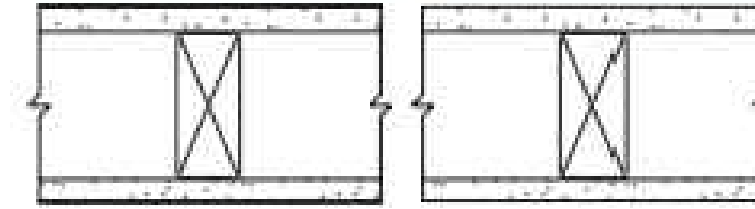
30 to 34 STC SOUND

GYPHUM VENEER BASE, GYPHUM VENEER PLASTER, WOOD STUDS

One layer 1/2" type X gypsum veneer base applied at right angles to each side of 2 x 4 wood studs 16" o.c. with 5d etched nails, 1 1/4" long, 0.099" shank, 1/4" heads, 8" o.c. 1/16" gypsum veneer plaster applied over each face.

Vertical joints staggered 16" and horizontal joints 12" on opposite sides. Sound tested without gypsum veneer plaster. **(LOAD-BEARING)**

Thickness: 4 7/8"
Approx. Weight: 7 psf
Fire Test: UC, 1-12-66
Sound Test: G&H IBI-35FT, 5-26-64

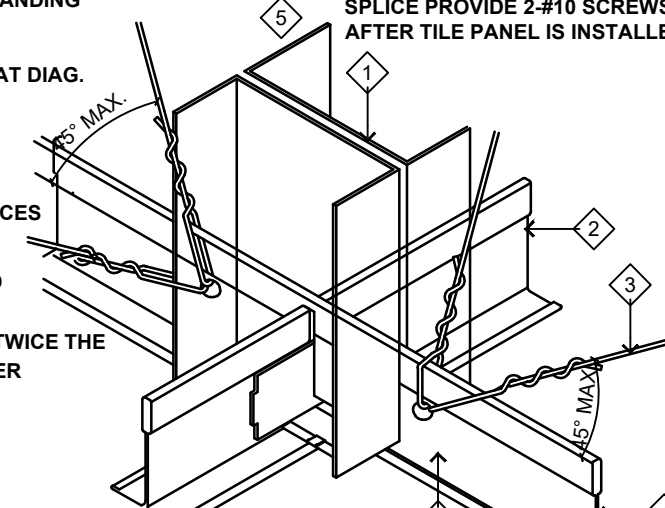


CEILING NOTES

1. ALL HANGER WIRE SHALL BE #12 GALV. WIRE OR CODE-APPROVED EQUAL. ALL RUNNERS SHALL BE USED WITH HEAVY DUTY SYSTEM AND
2. ACCURATELY LEVELED AND BE SPACED IN ACCORDANCE WITH MFR. SPECS.
3. ALL INTERSECTIONS AND CONNECTION ACCESSORIES THROUGHOUT SHALL BE CAPABLE OF WITHSTANDING DESIGN LOADS REQUIRED BY LOCAL CODES.
4. AT LIGHT FIXTURES PROVIDE #12 GALV. WIRE AT DIAG. OPPOSED.
5. THE HEIGHT OF CEILING LIGHT SHALL BE SUPPORTED BY ATTACHMENT DEVICES PER ASTM E580, 5.3, REGISTERS AND OTHER SERVICES PER ASTM E580, 5.4
6. THE LATERAL FORCE BRACING MEMBERS AND THEIR CONNECTIONS ARE TO BE CAPABLE OF RESISTING A MIN. FORCE OF 200 POUNDS OR TWICE THE ACTUAL DESIGN LOAD, WHICHEVER IS GREATER (ASTM E580, 5.2.8.3)

KEY NOTES

- ① SEISMIC POST OR EMT CONDUIT, SEE SCHED.
- ② MAIN RUNNER HORIZ. RESTRAINT BRACE 12 GA. WIRE SPLAYED @ 45° 4-DIRECTIONS. ALL WIRES ATTACHED TO CROSS RUNNER
- ③ CROSS RUNNER
- ④ SPLICE PROVIDE 2-#10 SCREWS AFTER TILE PANEL IS INSTALLED



SEISMIC POST SCHEDULE

1. UP TO 8'-0" FROM BOT. OF CEILING TO STRUCTURAL JOIST USE 1- 3625125-18. MTL. STUD @ 12'-0" O.C.
2. 8'-0" TO 10'-0" USE 2- 3625125-18. MTL. STUDS @ 12'-0" O.C. FASTENEND BACK TO BACK @ EACH SIDE OF MAIN RUNNER, TYPICAL.
3. 10'-0" TO 15'-0" USE 2- 6005125-27. MTL. STUDS FASTEN SAME AS NOTE #2.

5

GA FILE NO. WP 4136

GENERIC

2 HOUR FIRE

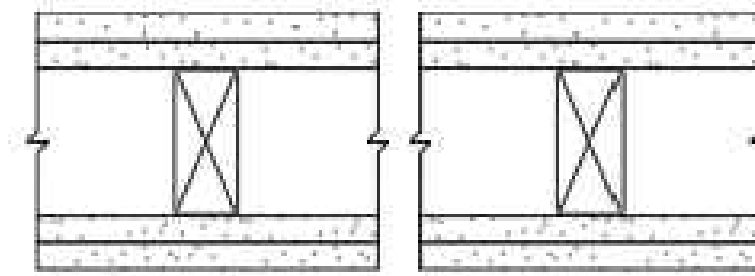
40 to 44 STC SOUND

GYPHUM WALLBOARD, WOOD STUDS

Base layer 5/8" type X gypsum wallboard or veneer base applied parallel or at right angles to each side of 2 x 4 wood studs 16" o.c. with 1 1/4" Type W drywall screws 12" o.c. Face layer 5/8" type X gypsum wallboard or veneer base applied parallel or at right angles to each side with 1 1/4" Type W drywall screws 12" o.c. and offset 6" from screws in base layer.

Joints staggered 16" each layer and side. **(LOAD-BEARING)**

Thickness: 6 1/8"
Approx. Weight: 12 psf
Fire Test: SWRI 01-5920-614, 12-5-94
Sound Test: See WP 4135 (NGC 2363, 4-1-70)



T- BAR CEILING FIXTURE SUPPORT

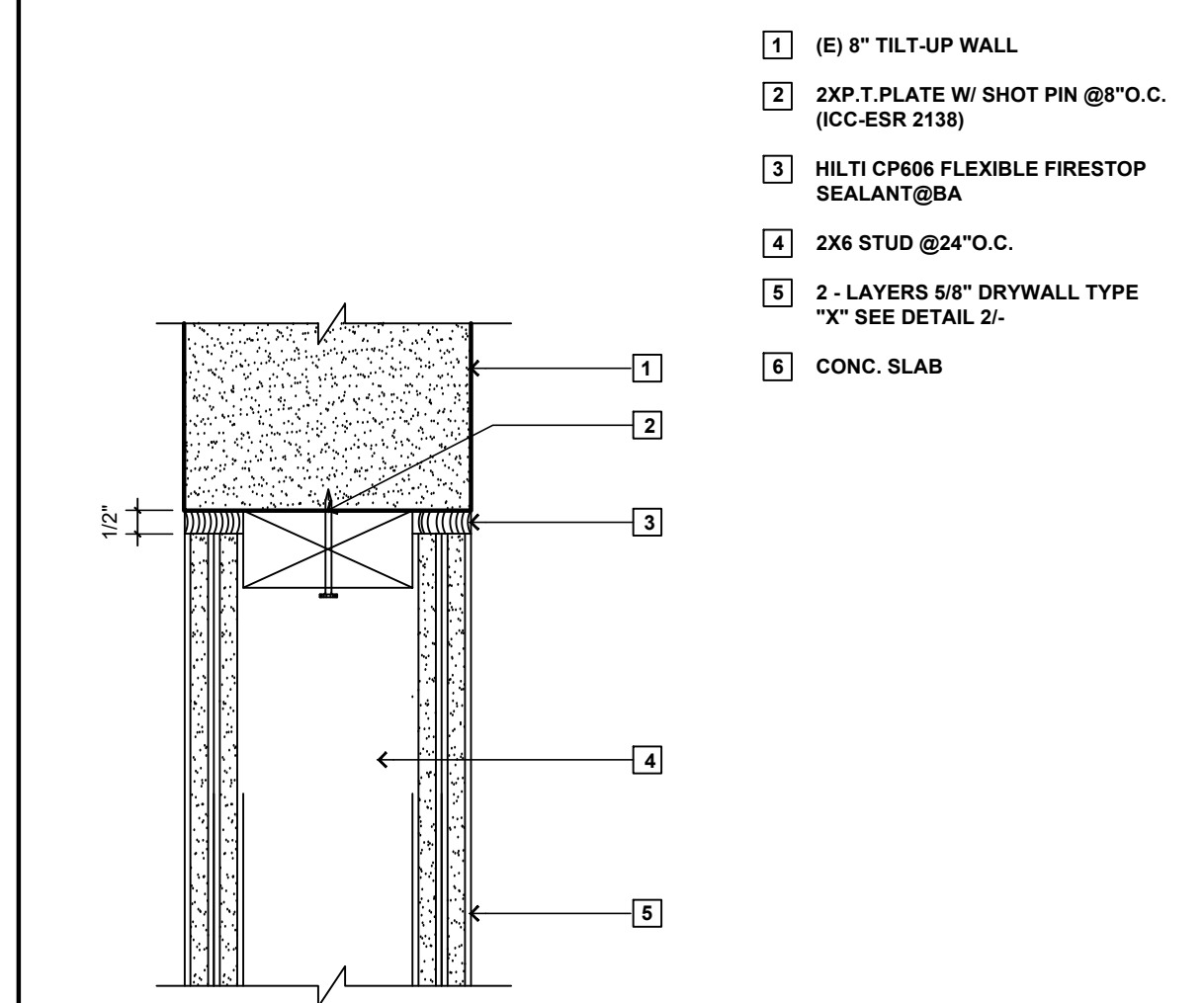
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T-BAR CEILING

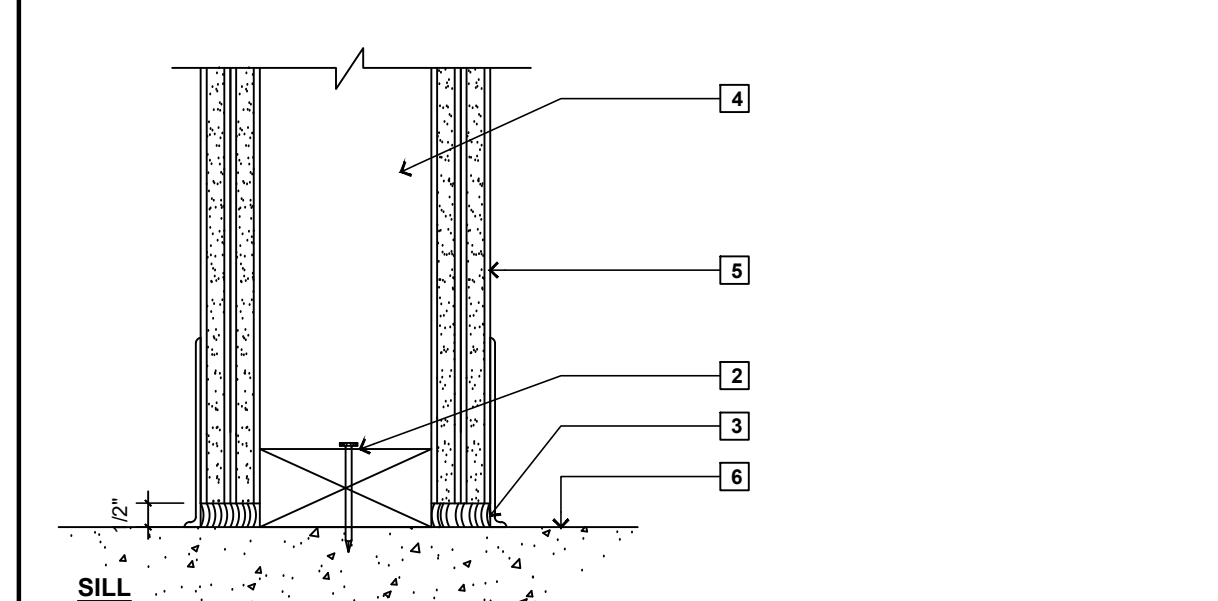
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GA FILE NO. WP 4136 - 2 HOUR FIRE

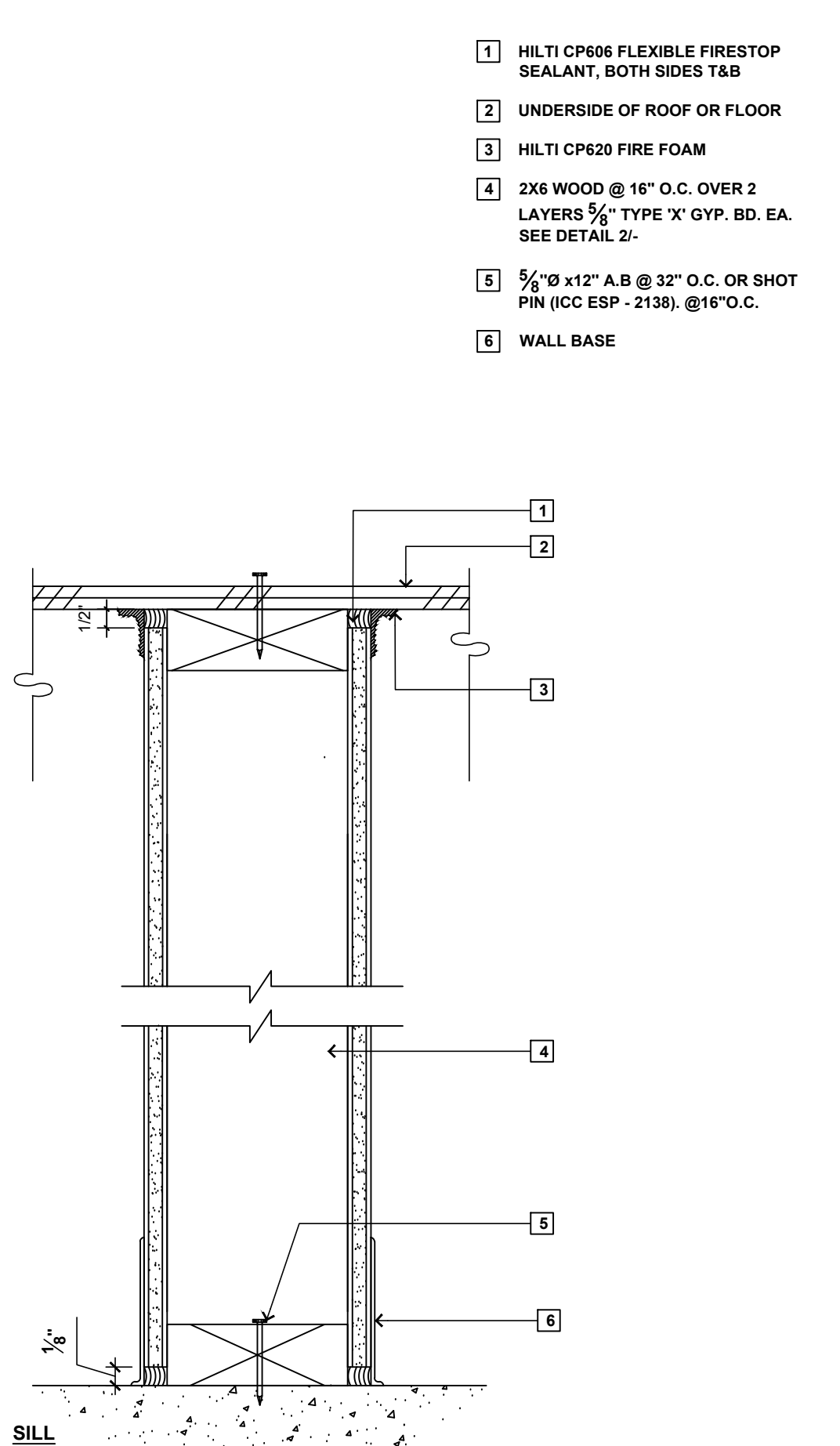
2



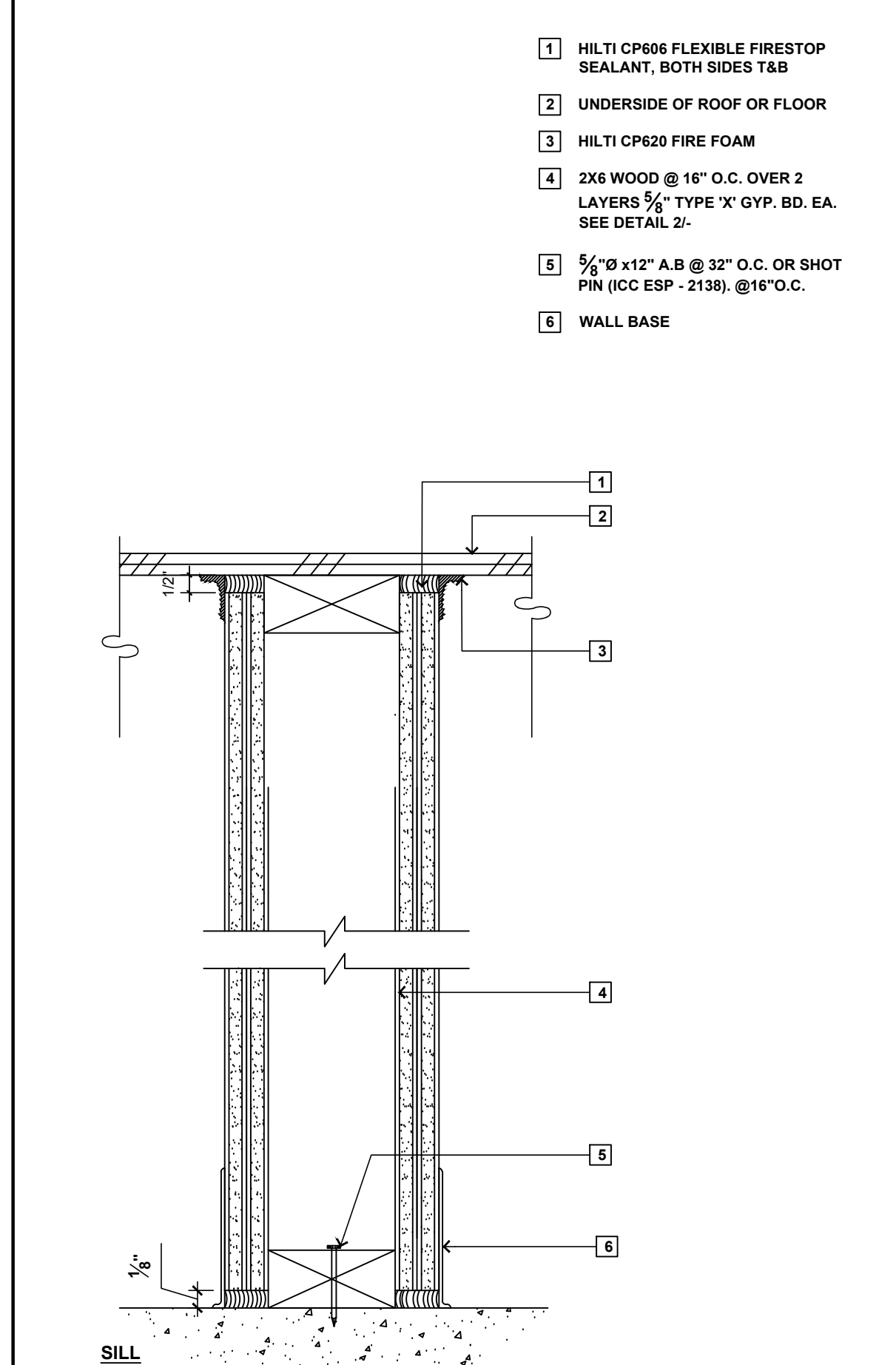
HEAD & JAMB - 2-HR RATED



BASE WALL - 2-HR RATED



1-HR RATED



2-HR RATED

4

FILL-IN OPENING - 2HOUR RATED

7

1-HR RATED

4

2-HR RATED

3



REV.	DESCRIPTION	DATE



ARCHITECTURAL DETAILS

**EVERGREEN WORLD COMMUNITY-BASED ADULT SERVICES
TENANT IMPROVEMENT
9856 WESTMINSTER AVE., STE. 128
GARDEN GROVE, CA 92844**

SCALE	AS NOTED
DRAWN BY	KN
CHECKED BY	VT
PLAN DATE	03/02/2026
PRINT DATE	03/02/2026
PROJECT No.	
SHEET No.	

D - 1

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

NONRESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement)

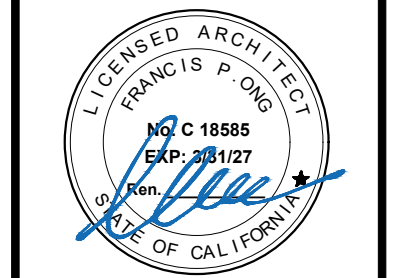
Y = YES
N/A = NOT APPLICABLE
RESPON. PARTY = RESPONSIBLE PARTY (i.e. ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR, ETC.)



14542 HARPER ST
MIDWAY CITY, CA 92655

TEL: (714) 330-0096
FAX: (888) 601-3001
EMAIL: VTC@VTCCO.COM

REV.	DESCRIPTION	DATE



GREEN CODE

EVERGREEN WORLD COMMUNITY-BASED ADULT SERVICES

TENANT IMPROVEMENT

9856 WESTMINSTER AVE., STE. 128

GARDEN GROVE, CA 92844

SCALE AS NOTED

DRAWN BY KN

CHECKED BY VT

PLAN DATE 03/16/2025

PRINT DATE 03/16/2025

PROJECT No.

SHEET No.

GB - 1

Y	N/A	RESPON. PARTY

CHAPTER 3 GREEN BUILDING SECTION 301 SCOPE GENERAL

301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.

301.3 NONRESIDENTIAL ADDITIONS AND ALTERATIONS. [BSC-CG] The provisions of individual sections of Chapter 5 apply to newly constructed buildings, building additions of 1,000 square feet or greater, and/or building alterations with a permit valuation of \$200,000 or above (for occupancies within the authority of California Building Standards Commission). Code sections relevant to additions and alterations shall only apply to the portions of the building being added or altered within the scope of the permitted work.

A code section will be designated by a banner to indicate where the code section only applies to newly constructed buildings [N] or to additions and/or alterations [A]. When the code section applies to both, no banner will be used.

301.3.1 Nonresidential additions and alterations that cause updates to plumbing fixtures only:

Note: On and after January 1, 2014, certain commercial real property, as defined in Civil Code Section 1101.3, shall have its noncompliant plumbing fixtures replaced with appropriate water-conserving plumbing fixtures under specific circumstances. See Civil Code Section 1101.1 et seq. for definitions, types of commercial real property affected, effective dates, circumstances necessitating replacement of noncompliant plumbing fixtures, and duties and responsibilities for ensuring compliance.

301.3.2 Waste Diversion. The requirements of Section 5.408 shall be required for additions and alterations whenever a permit is required for work.

301.4 PUBLIC SCHOOLS AND COMMUNITY COLLEGES. (see GBSC)
301.5 HEALTH FACILITIES. (see GBSC)

SECTION 302 MIXED OCCUPANCY BUILDINGS

302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.

SECTION 303 PHASED PROJECTS

303.1 PHASED PROJECTS. For shell buildings and others constructed for future tenant improvements, only those code measures relevant to the building components and systems considered to be new construction (or newly constructed) shall apply.

303.1.1 Initial Tenant Improvements. The provisions of this code shall apply only to the initial tenant improvements to a project. Subsequent tenant improvements shall comply with the scoping provisions in Section 301.3 non-residential additions and alterations.

ABBREVIATION DEFINITIONS:
HCD Department of Housing and Community Development
BSC California Building Standards Commission
DSA-SS Division of the State Architect, Structural Safety
OSHPD Office of Statewide Health Planning and Development
LR Low Rise
HR High Rise
AA Additions and Alterations
N New

CHAPTER 5 NONRESIDENTIAL MANDATORY MEASURES

DIVISION 5.1 PLANNING AND DESIGN

SECTION 5.101 GENERAL

5.101.1 SCOPE. The provisions of this chapter outline planning, design and development methods that include environmentally responsible site selection, building design, building siting and development to protect, restore and enhance the environmental quality of the site and respect the integrity of adjacent properties.

SECTION 5.102 DEFINITIONS

The following terms are defined in Chapter 2 (and are included here for reference)

CUTOFF LUMINAIRES. Luminaires whose light distribution is such that the candela per 1000 lamp lumens does not numerically exceed 25 (2.5 percent) at an angle of 90 degrees above nadir, and 100 (10 percent) at a vertical angle of 80 degrees above nadir. This applies to all lateral angles around the luminaire.

LOW-EMITTING AND FUEL EFFICIENT VEHICLES. Eligible vehicles are limited to the following:

- Zero emission vehicle (ZEV), including neighborhood electric vehicles (NEV), partial zero emission vehicle (PZEV), advanced technology PZEV (AT ZEV) or CNG fueled (original equipment manufacturer only) regulated under Health and Safety Code section 43800 and CCR, Title 13, Sections 1961 and 1962.
- High-efficiency vehicles, regulated by U.S. EPA, bearing High-Occupancy Vehicle (HOV) car pool lane stickers issued by the Department of Motor Vehicles.

NEIGHBORHOOD ELECTRIC VEHICLE (NEV). A motor vehicle that meets the definition of "low-speed vehicle" either in Section 385.5 of the Vehicle Code or in 49CFR571.500 (as it existed on July 1, 2000), and is certified to zero-emission vehicle standards.

TENANT-OCCUPANTS. Building occupants who inhabit a building during its normal hours of operation as permanent occupants, such as employees, as distinguished from customers and other transient visitors.

VANPOOL VEHICLE. Eligible vehicles are limited to any motor vehicle, other than a motortruck or truck tractor, designed for carrying more than 10 but not more than 15 persons including the driver, which is maintained and used primarily for the nonprofit work-related transportation of adults for the purpose of ridesharing.

Note: Source: Vehicle Code, Division 1, Section 668

ZEV. Any vehicle certified to zero-emission standards.

SECTION 5.106 SITE DEVELOPMENT

5.106.1 STORM WATER POLLUTION PREVENTION FOR PROJECTS THAT DISTURB LESS THAN ONE ACRE OF LAND. Newly constructed projects and additions which disturb less than one acre of land, and are not part of a larger common plan of development or sale, shall prevent the pollution of storm water runoff from the construction activities through one or more of the following measures:

5.106.1.1 Local ordinance. Comply with a lawfully enacted storm water management and/or erosion control ordinance.

5.106.1.2 Best Management Practices (BMPs). Prevent the loss of soil through wind or water erosion by implementing an effective combination of erosion and sediment control and good housekeeping BMPs.

- Soil loss BMPs that should be considered for implementation as appropriate for each project include, but are not limited to, the following:
 - Scheduling construction activity during dry weather, when possible.
 - Preservation of natural features, vegetation, soil, and buffers around surface waters.
 - Drainage swales or lined ditches to control stormwater flow.
 - Mulching or hydroseeding to stabilize disturbed soils.
 - Erosion control to protect slopes.
 - Protection of storm drain inlets (gravel bags or catch basin inserts).
 - Perimeter sediment control (perimeter silt fence, fiber rolls).
 - Sediment trap or sediment basin to retain sediment on site.
 - Stabilized construction exits.
 - Wind erosion control.
 - Other soil loss BMPs acceptable to the enforcing agency.
- Good housekeeping BMPs to manage construction equipment, materials, non-stormwater discharges and wastes that should be considered for implementation as appropriate for each project include, but are not limited to, the following:
 - Dewatering activities.
 - Material handling and waste management.
 - Building materials stockpile management.
 - Management of washout areas (concrete, paints, stucco, etc.).
 - Control of vehicle/equipment fueling to contractor's staging area.
 - Vehicle and equipment cleaning performed off site.
 - Spill prevention and control.
 - Other housekeeping BMPs acceptable to the enforcing agency.

Y	N/A	RESPON. PARTY

5.106.2 STORMWATER POLLUTION PREVENTION FOR PROJECTS THAT DISTURB ONE OR MORE ACRES OF LAND. Comply with all lawfully enacted stormwater discharge regulations for projects that (1) disturb one acre or more of land, or (2) disturb less than one acre of land but are part of a larger common plan of development sale.

Note: Projects that (1) disturb one acre or more of land, or (2) disturb less than one acre of land but are part of the larger common plan of development or sale must comply with the post-construction requirements detailed in the applicable National Pollutant Discharge Elimination System (NPDES) General permit for Stormwater Discharges Associated with Construction and Land Disturbance Activities issued by the State Water Resources Control Board or the Lahontan Regional Water Quality Control Board (for projects in the Lake Tahoe Hydrologic Unit).

The NPDES permits require postconstruction runoff (post-project hydrology) to match the preconstruction runoff (pre-project hydrology) with the installation of postconstruction stormwater management measures. The NPDES permits emphasize runoff reduction through on-site stormwater use, interception, evapotranspiration, and infiltration through nonstructural controls, such as Low Impact Development (LID) practices, and conversation design measures. Stormwater volume that cannot be addressed using nonstructural practices is required to be captured in structural practices and be approved by the enforcing agency.

Refer to the current applicable permits on the State Water Resources Control Board website at: www.waterboards.ca.gov/construction/stormwater. Consideration to the stormwater runoff management measures should be given during the initial design process for appropriate integration into site development.

5.106.4 BICYCLE PARKING. For buildings within the authority of California Building Standards Commission as specified in Section 103, comply with Section 5.106.4.1. For buildings within the authority of the Division of the State Architect pursuant to Section 105, comply with Section 5.106.4.2

5.106.4.1 Bicycle parking. [BSC-CG] Comply with Sections 5.106.4.1.1 and 5.106.4.1.2; or meet the applicable local ordinance, whichever is stricter.

5.106.4.1.1 Short-term bicycle parking. If the new project or an addition or alteration is anticipated to generate visitor traffic, provide permanently anchored bicycle racks within 200 feet of the visitors' entrance, readily visible to passers-by, for 5% of new visitor motorized vehicle parking spaces being added, with a minimum of one two-bike capacity rack.
Exception: Additions or alterations which add nine or less visitor vehicular parking spaces.

5.106.4.1.2 Long-term bicycle parking. For new buildings with tenant spaces that have 10 or more tenant-occupants, provide secure bicycle parking for 5 percent of the tenant-occupant vehicular parking spaces with a minimum of one bicycle parking facility.

5.106.4.1.3 For additions or alterations that add 10 or more tenant-occupant vehicular parking spaces, provide secure bicycle parking for 5 percent of the total tenant-occupant parking spaces being added, with a minimum of one bicycle parking facility.

5.106.4.1.4 For new shell buildings in phased projects provide secure bicycle parking for 5 percent of the anticipated tenant-occupant vehicular parking spaces with a minimum of one bicycle parking facility.

5.106.4.1.5 Acceptable bicycle parking facility for Sections 5.106.4.1.2, 5.106.4.1.3, and 5.106.4.1.4 shall be convenient from the street and shall meet one of the following:

- Covered, lockable enclosures with permanently anchored racks for bicycles;
- Lockable bicycle rooms with permanently anchored racks; or
- Lockable, permanently anchored bicycle lockers.

Note: Additional information on recommended bicycle accommodations may be obtained from Sacramento Area Bicycle Advocates.

5.106.4.2 Bicycle parking. [DSA-SS] For public schools and community colleges, comply with Sections 5.106.4.2.1 and 5.106.4.2.2

5.106.4.2.1 Student bicycle parking. Provide permanently anchored bicycle racks conveniently accessed with a minimum of four two-bike capacity racks per new building.
5.106.4.2.2 Staff bicycle parking. Provide permanent, secure bicycle parking conveniently accessed with a minimum of two staff bicycle parking spaces per new building. Acceptable bicycle parking facilities shall be convenient from the street or staff parking area and shall meet one of the following:

- Covered, lockable enclosures with permanently anchored racks for bicycles;
- Lockable bicycle rooms with permanently anchored racks; or
- Lockable, permanently anchored bicycle lockers.

5.106.5.2 DESIGNATED PARKING FOR CLEAN AIR VEHICLES. In new projects or additions or alterations that add 10 or more vehicular parking spaces, provide designated parking for any combination of low-emitting, fuel-efficient and carpool/van pool vehicles as follows:

TOTAL NUMBER OF PARKING SPACES	NUMBER OF REQUIRED SPACES
0-9	0
10-25	1
25-50	3
51-75	6
76-100	8
101-150	11
151-200	16
201 AND OVER	AT LEAST 8% OF TOTAL

5.106.5.2.1 - Parking stall marking. Paint, in the paint used for stall striping, the following characters such that the lower edge of the last word aligns with the end of the stall striping and is visible beneath a parked vehicle: CLEAN AIR / VAN POOL / EV

Note: Vehicles bearing Clean Air Vehicle stickers from expired HOV lane programs may be considered eligible for designated parking spaces.

5.106.5.3 Electric vehicle (EV) charging. [N] Construction shall comply with Section 5.106.5.3.1 or Section 5.106.5.3.2 to facilitate future installation of electric vehicle supply equipment (EVSE). When EVSE is/isn't installed, it shall be in accordance with the California Building Code, the California Electrical Code and as follows:

5.106.5.3.1 Single charging space requirements. [N] When only a single charging space is required per Table 5.106.5.3.3, a raceway is required to be installed at the time of construction and shall be installed in accordance with the California Electrical Code. Construction plans and specifications shall include, but are not limited to, the following:

- The type and location of the EVSE.
- A listed raceway capable of accommodating a 208/240-volt dedicated branch circuit.
- The raceway shall not be less than trade size 1".
- The raceway shall originate at a service panel or a subpanel serving the area, and shall terminate in close proximity to the proposed location of the charging equipment and listed suitable cabinet, box, enclosure or equivalent.
- The service panel or subpanel shall have sufficient capacity to accommodate a minimum 40-ampere dedicated branch circuit for the future installation of the EVSE.

5.106.5.3.2 Multiple charging space requirements. [N] When multiple charging spaces are required per Table 5.106.5.3.3 raceway(s) is/are required to be installed at the time of construction and shall be installed in accordance with the California Electrical Code. Construction plans and specifications shall include, but are not limited to, the following:

- The type and location of the EVSE.
- The raceway(s) shall originate at a service panel or a subpanel(s) serving the area, and shall terminate in close proximity to the proposed location of the charging equipment and into listed suitable cabinet(s), box(es), enclosure(s) or equivalent.
- Plan design shall be based upon 40-ampere minimum branch circuits.
- Electrical calculations shall substantiate the design of the electrical system, to include the rating of equipment and any on-site distribution transformers and have sufficient capacity to simultaneously charge all required EVs at its full rated ampere.
- The service panel or subpanel(s) shall have sufficient capacity to accommodate the required number of dedicated branch circuit(s) for the future installation of the EVSE.

5.106.5.3.3 EV charging space calculations. [N] Table 5.106.5.3.3 shall be used to determine if single or multiple charging space requirements apply for the future installation of EVSE.

Exceptions: On a case-by-case basis where the local enforcing agency has determined EV charging and infrastructure is not feasible based upon one or more of the following conditions:

Y	N/A	RESPON. PARTY

- Where there is insufficient electrical supply.
- Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 5.106.5.3, may adversely impact the construction cost of the project.

TOTAL NUMBER OF PARKING SPACES	NUMBER OF REQUIRED SPACES
0-9	0
10-25	1
26-50	2
51-75	4
76-100	5
101-150	7
151-200	10
201 AND OVER	6% of total ¹

1. Calculation for spaces shall be rounded up to the nearest whole number.

5.106.5.3.4 [N] Identification. The service panel or subpanel(s) circuit directory shall identify the reserved overcurrent protective device space(s) for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".

5.106.5.3.5 [N] Future charging spaces qualify as designated parking as described in Section 5.106.5.2 Designated parking for clean air vehicles.

5.106.8 LIGHT POLLUTION REDUCTION. [N] Outdoor lighting systems shall be designed and installed to comply with the following:

- The minimum requirements in the California Energy Code for Lighting Zones 0-4 as defined in Chapter 10, Section 10-114 of the California Administrative Code; and
- Backlight (B) ratings as defined in IES TM-15-11 (shown in Table A-1 in Chapter 8);
- Uplight and Glare ratings as defined in California Energy Code (shown in Tables 130.2-A and 130.2-B in Chapter 8) and
- Allowable BUG ratings not exceeding those shown in Table 5.106.8. [N] or Comply with a local ordinance lawfully enacted pursuant to Section 101.7, whichever is more stringent.

Exceptions: [N]

- Luminaires that qualify as exceptions in Section 140.7 of the California Energy Code.
- Emergency lighting.
- Building facade meeting the requirements in Table 140.7-B of the California Energy Code, Part 6.
- Custom lighting features as allowed by the local enforcing agency, as permitted by Section 101.8 Alternate materials, designs and methods of construction.

Note: [N]
1. See also California Building Code, Chapter 12, Section 1205.6 for college campus lighting requirements for parking facilities and walkways.
2. Refer to Chapter 8 (Compliance Forms, Worksheets and Reference Material) for IES TM-15-11 Table A-1, California Energy Code Tables 130.2-A and 130.2-B.
3. Refer to the California Building Code for requirements for additions and alterations.

ALLOWABLE RATING	LIGHTING ZONE L0	LIGHTING ZONE L1	LIGHTING ZONE L2	LIGHTING ZONE L3	LIGHTING ZONE L4
MAXIMUM ALLOWABLE BACKLIGHT RATING					
Luminaire greater than 2 mounting heights (MH) from property line	N/A	No Limit	No Limit	No Limit	No Limit
Luminaire back hemisphere is 1-2 MH from property line	N/A	B2	B3	B4	B4
Luminaire back hemisphere is 0.5-1 MH from property line	N/A	B1	B2	B3	B3
Luminaire back hemisphere is less than 0.5 MH from property line	N/A	B0	B0	B1	B2
MAXIMUM ALLOWABLE UPLIGHT RATING (U)					
For area lighting	N/A	U0	U0	U0	U0
For all other outdoor lighting, including decorative luminaires	N/A	U1	U2	U3	UR
MAXIMUM ALLOWABLE GLARE RATING - (G)					
Luminaire greater than 2 MH from property line	N/A	G1	G2	G3	G4
Luminaire front hemisphere is 1-2 MH from property line	N/A	G0	G1	G1	G2
Luminaire front hemisphere is 0.5-1 MH from property line	N/A	G0	G0	G1	G1
Luminaire back hemisphere is less than 0.5 MH from property line	N/A	G0	G0	G0	G1

1. IESNA Lighting Zones 0 and 5 are not applicable; refer to Lighting Zones as defined in the California Energy Code and Chapter 10 of the California Administrative Code.

- For property lines that abut public walkways, bikeways, plazas and parking lots, the property line may be considered to be 5 feet beyond the actual property line for purpose of determining compliance with this section. For property lines that abut public roadways and public transit corridors, the property line may be considered to be the centerline of the public roadway or public transit corridor for the purpose of determining compliance with this section.
- If the nearest property line is less than or equal to two mounting heights from the back hemisphere of the luminaire distribution, the applicable reduced Backlight rating shall be met.
- General lighting luminaires in areas such as outdoor parking, sales or storage lots shall meet these reduced ratings. Decorative luminaires located in these areas shall meet U-value limits for "all other outdoor lighting".
- If the nearest property line is less than or equal to two mounting heights from the front hemisphere of the luminaire distribution, the applicable reduced Glare rating shall be met.

5.106.10 GRADING AND PAVING. Construction plans shall indicate how site grading or a drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:

- Swales.
- Water collection and disposal systems.
- French drains.
- Water retention gardens.
- Other water measures which keep surface water away from buildings and aid in groundwater recharge.

Exception: Additions and alterations not altering the drainage path.

Y	N/A	RESPON. PARTY

5.106.12 SHADE TREES [DSA-SS]. Shade Trees shall be planted to comply with Sections 5.106.12.1, 5.106.12.2, and 5.106.12.3. Percentages shown shall be measured at noon on the summer solstice. Landscape irrigation necessary to establish and maintain tree health shall comply with Section 5.304.6.

5.106.12.1 Surface parking areas. Shade tree plantings, minimum #10 container size or equal, shall be installed to provide shade over 50 percent of the parking area within 15 years.

Exceptions: The surface parking area covered by solar photovoltaic shade structures, or shade structures, with roofing materials that comply with Table A5.106.11.2.2 in Appendix A5, are not included in the total area calculations.

5.106.12.2 Landscape areas. Shade tree plantings, minimum #10 container size or equal shall be installed to provide shade of 20% of the landscape area within 15 years.

Exceptions: Playfields for organized sport activity are not included in the total area calculation.

5.106.12.3. Hardscape areas. Shade tree plantings, minimum #10 container size or equal shall be installed to provide shade over 20 percent of the hardscape area within 15 years.

Exceptions: Walks, hardscape areas covered by solar photovoltaic shade structures, and hardscape areas covered by shade structures with roofing materials that comply with Table A5.106.11.2.2 in Appendix A5, are not included in the total area calculation.

DIVISION 5.2 ENERGY EFFICIENCY

SECTION 5.201 GENERAL

5.201.1 Scope [BSC-CG]. California Energy Code [DSA-SS]. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to add mandatory building standards.

DIVISION 5.3 WATER EFFICIENCY AND CONSERVATION

SECTION 5.301 GENERAL

5.301.1 Scope. The provisions of this chapter shall establish the means of conserving water use indoors, outdoors and in wastewater conveyance.

SECTION 5.302 DEFINITIONS

5.302.1 Definitions. The following terms are defined in Chapter 2 (and are included here for reference)

EVAPOTRANSPIRATION ADJUSTMENT FACTOR (ETAF) [DSA-SS]. An adjustment factor when applied to reference evapotranspiration that adjusts for plant factors and irrigation efficiency, which are two major influences on the amount of water that needs to be applied to the landscape.

FOOTPRINT AREA [DSA-SS]. The total area of the furthest exterior wall of the structure projected to natural grade, not including exterior areas such as stairs, covered walkways, patios and decks.

METERING FAUCET. A self-closing faucet that dispenses a specific volume of water for each actuation cycle. The volume or cycle duration can be fixed or adjustable.

GRAYWATER. Pursuant to Health and Safety Code Section 17922.12, "graywater" means untreated wastewater that has not been contaminated by any toilet discharge, has not been affected by infectious, contaminated, or unhealthy bodily wastes, and does not present a threat from contamination by unhealthful processing, manufacturing, or operating wastes. "Graywater" includes, but is not limited to wastewater from bathtubs, showers, bathroom washbasins, clothes washing machines and laundry tubs, but does not include waste water from kitchen sinks or dishwashers.

MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO). The California ordinance regulating landscape design, installation and maintenance practices that ensure commercial, multifamily and other developer installed landscapes greater than 2500 square feet meet an irrigation water budget developed based on landscaped area and climatological parameters.

MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), [HCD] The California model ordinance (California Code of Regulations, Title 23, Division 2, Chapter 2.7), regulating landscape design, installation and maintenance practices. Local agencies are required to adopt the updated MWELO, or adopt a local ordinance at least as effective as the MWELO

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

NONRESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement)

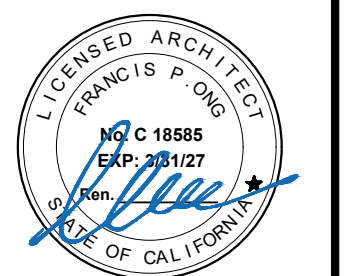
Y NA RESPON. PARTY : YES NOT APPLICABLE RESPONSIBLE PARTY (i.e. ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)



14542 HARPER ST
MIDWAY CITY, CA 92655

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REV.	DESCRIPTION	DATE



GREEN CODE

EVERGREEN WORLD
COMMUNITY-BASED ADULT SERVICES
TENANT IMPROVEMENT
9856 WESTMINSTER AVE., STE. 128
GARDEN GROVE, CA 92844

SCALE AS NOTED

DRAWN BY KN

CHECKED BY VT

PLAN DATE 03/16/2025

PRINT DATE 03/16/2025

PROJECT No.

SHEET No.

GB - 3

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE FULL CODE.

5.504.4 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with Sections 5.504.4.1 through 5.504.4.6.

5.504.4.1 Adhesives, sealants and caulks. Adhesives, sealants, and caulks used on the project shall meet the requirements of the following standards:

- Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable, or SCAQMD Rule 1168 VOC limits, as shown in Tables 5.504.4.1 and 5.504.4.2. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products as specified in subsection 2, below.
- Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than one pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with Section 94507.

TABLE 5.504.4.1 - ADHESIVE VOC LIMIT_{1,2}

Less Water and Less Exempt Compounds in Grams per Liter	
ARCHITECTURAL APPLICATIONS	CURRENT VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVES	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT SPECIFICALLY LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

- IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.
- FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168, www.arb.ca.gov/DRDB/SC/CURH/TML/R1168.PDF

TABLE 5.504.4.2 - SEALANT VOC LIMIT

Less Water and Less Exempt Compounds in Grams per Liter	
SEALANTS	CURRENT VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NONPOROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

NOTE: FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THESE TABLES, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

5.504.4.3 Paints and coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Coatings Suggested Control Measure, as shown in Table 5.504.4.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 5.504.4.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in Subsections 4.21, 4.35 and 4.37 of the 2007 California Air Resources Board Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 5.504.4.3 shall apply.

5.504.4.3.1 Aerosol Paints and coatings. Aerosol paints and coatings shall meet the PVMIR Limits for ROC in Section 94522(a)(3) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(c)(2) and (d)(2) of California Code of Regulations, Title 17, commencing with Section 94520, and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8 Rule 49.

TABLE 5.504.4.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS_{1,3}

GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS	
COATING CATEGORY	CURRENT VOC LIMIT
FLAT COATINGS	50
NONFLAT COATINGS	100
NONFLAT HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH-TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS ₁	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS:	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

- GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS
- THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.
- VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

5.504.4.3.2 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:

- Manufacturer's product specification
- Field verification of on-site product containers

5.504.4.4 Carpet Systems. All carpet installed in the building interior shall meet at least one of the testing and product requirements:

- Carpet and Rug Institute's Green Label Plus Program.
- Compliant with the VOC-emission limits and testing requirements specified in the California Department of Public Health Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers, Version 1.1, February 2010 (also known as CDPH Standard Method V1.1 or Specification 01350).
- NSF/ANSI 140 at the Gold level or higher;
- Scientific Certifications Systems Sustainable Choice; or
- Compliant with the Collaborative for High Performance Schools California (2014 CA-CHPS) Criteria listed in the CHPS High Performance Product Database.

5.504.4.4.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute Green Label program.

5.504.4.4.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 5.504.4.4.

5.504.4.5 Composite wood products. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in Air's Air Toxics Control Measure (ATCM) for Composite Wood (17CCR 93120 et seq.). Those materials not exempted under the ATCM must meet the specified emission limits, as shown in Table 5.504.4.5.

5.504.4.5.3 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

- Product certifications and specifications.
- Chain of custody certifications.
- Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.).
- Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269 or European 636 3S standards.
- Other methods acceptable to the enforcing agency.

TABLE 5.504.4.5 - FORMALDEHYDE LIMITS:

MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION	
PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD ₁	0.13

- VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIFORNIA CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.
- THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16 INCHES (8 MM).

5.504.6 Resilient flooring systems. For 80 percent of floor area receiving resilient flooring, installed resilient flooring shall meet at least one of the following:

- Certified under the Resilient Floor Covering Institute (RFCI) FloorScore program;
- Compliant with the VOC-emission limits and testing requirements specified in the California Department of Public Health's 2010 Standard Method for the Testing and Evaluation Chambers, Version 1.1, February 2010;
- Compliant with the Collaborative for High Performance Schools California (2014 CA-CHPS) Criteria and listed in the CHPS High Performance Product Database; or
- Products certified under UL GREENGUARD Gold (formerly the Greenguard Children's & Schools Program).

5.504.6.1 Verification of compliance. Documentation shall be provided verifying that resilient flooring materials meet the pollutant emission limits.

5.504.6.3 Filters. In mechanically ventilated buildings, provide regularly occupied areas of the building with air filtration media for outside and return air that provides at least a Minimum Efficiency Reporting Value (MERV) of 13. MERV 13 filters shall be installed prior to occupancy, and recommendations for maintenance with filters of the same value shall be included in the operation and maintenance manual.

Exceptions: Existing mechanical equipment.

5.504.5.3.1 Labeling. Installed filters shall be clearly labeled by the manufacturer indicating the MERV rating.

5.504.7 ENVIRONMENTAL TOBACCO SMOKE (ETS) CONTROL. Where outdoor areas are provided for smoking, prohibit smoking within 25 feet of building entries, outdoor air intakes and operable windows and within the building as already prohibited by other laws or regulations; or as enforced by ordinances, regulations or policies of any city, county, city and county, California Community College, campus of the California State University, or campus of the University of California, whichever are more stringent. When ordinances, regulations or policies are not in place, post signage to inform building occupants of the prohibitions.

SECTION 5.505 INDOOR MOISTURE CONTROL
5.505.1 INDOOR MOISTURE CONTROL. Buildings shall meet or exceed the provisions of California Building Code, CCR, Title 24, Part 2, Sections 1202 (Ventilation) and Chapter 14 (Exterior Walls). For additional measures, see Section 5.407.2 of this code.

SECTION 5.506 INDOOR AIR QUALITY
5.506.1 OUTSIDE AIR DELIVERY. For mechanically or naturally ventilated spaces in buildings, meet the minimum requirements of Section 120.1 (Requirements for Ventilation) of the California Energy Code, or the applicable local code, whichever is more stringent, and Division 1, Chapter 4 of CCR, Title 8.

5.506.2 CARBON DIOXIDE (CO₂) MONITORING. For buildings or additions equipped with demand control ventilation, CO₂ sensors and ventilation controls shall be specified and installed in accordance with the requirements of the California Energy Code, Section 120(c)(4).

SECTION 5.507 ENVIRONMENTAL COMFORT
5.507.4 ACUSTICAL CONTROL. Employ building assemblies and components with Sound Transmission Class (STC) values determined in accordance with ASTM E 90 and ASTM E 413, or Outdoor-Indoor Sound Transmission Class (OITC) determined in accordance with ASTM E 1332, using either the prescriptive or performance method in Section 5.507.4.1 or 5.507.4.2.

Exception: Buildings with few or no occupants or where occupants are not likely to be affected by exterior noise, as determined by the enforcement authority, such as factories, stadiums, storage, enclosed parking structures and utility buildings.

Exception: [DSA-SS] For public schools and community colleges, the requirements of this section and all subsections apply only to new construction.

5.507.4.1 Exterior noise transmission, prescriptive method. Wall and roof-ceiling assemblies exposed to the noise source making up the building or addition envelope or altered envelope shall meet a composite STC rating of at least 50 or a composite OITC rating of no less than 40, with exterior windows of a minimum STC of 40 or OITC of 30 in the following locations:

- Within the 65 CNEL noise contour of an airport.

Exceptions:

- L_w or CNEL for military airports shall be determined by the facility Air Installation Compatible Land Use Zone (AICUZ) plan.
- L_w or CNEL for other airports and heliports for which a land use plan has not been developed shall be determined by the local general plan noise element.

5.507.4.1.1 Noise exposure where noise contours are not readily available. Buildings exposed to a noise level of 65 dB L_{dn} -1hr during any hour of operation shall have building, addition or alteration exterior wall and roof-ceiling assemblies exposed to the noise source meeting a composite STC rating of at least 45 (or OITC 35), with exterior windows of a minimum STC of 40 (or OITC 30).

5.507.4.2 Performance Method. For buildings located as defined in Section 5.507.4.1 or 5.507.4.1.1, wall and roof-ceiling assemblies exposed to the noise source making up the building or addition envelope or altered envelope shall be constructed to provide an interior noise environment attributable to exterior sources that does not exceed an hourly equivalent noise level (Leq-1hr) of 50 dBA in occupied areas during any hour of operation.

5.507.4.2.1 Site Features. Exterior features such as sound walls or earth berms may be utilized as appropriate to the building, addition or alteration project to mitigate sound migration to the interior.

5.507.4.2.2 Documentation of Compliance. An acoustical analysis documenting compliance interior soundlevels shall be prepared by personnel approved by the architect or engineer of record.

5.507.4.3 Interior sound transmission. Wall and floor-ceiling assemblies separating tenant spaces and tenant spaces and public places shall have an STC of at least 40.

Note: Examples of assemblies and their various STC ratings may be found at the California Office of Noise Control: www.toobase.org/PDF/CaseStudies/stc_icr_ratings.pdf

SECTION 5.508 OUTDOOR AIR QUALITY
5.508.1 Ozone depletion and greenhouse gas reductions. Installations of HVAC, refrigeration and fire suppression equipment shall comply with Sections 5.508.1.1 and 5.508.1.2.

5.508.1.1 Chlorofluorocarbons (CFCs). Install HVAC, refrigeration and fire suppression equipment that do not contain CFCs.

5.508.1.2 Halons. Install HVAC, refrigeration and fire suppression equipment that do not contain Halons.

5.508.2 Supermarket refrigerant leak reduction. New commercial refrigeration systems shall comply with the provisions of this section when installed in retail food stores 8,000 square feet or more conditioned area, and that utilizes either refrigerated display cases, or walk-in coolers or freezers connected to remote compressor units or condensing units. The leak reduction measures apply to refrigeration systems containing high-global-warming potential (high-GWP) refrigerants with a GWP of 150 or greater. New refrigeration systems include both new facilities and the replacement of existing refrigeration systems in existing facilities.

Exception: Refrigeration systems containing low-global warming potential (low-GWP) refrigerant with a GWP value less than 150 are not subject to this section. Low-GWP refrigerants are nonozone-depleting refrigerants that include ammonia, carbon dioxide (CO₂), and potentially other refrigerants.

5.508.2.1 Refrigerant piping. Piping compliant with the California Mechanical Code shall be installed to be accessible for leak protection and repairs. Piping runs using threaded pipe, copper tubing with an outside diameter (OD) less than 1/4 inch, flared tubing connections and short radius elbows shall not be used in refrigerant systems except as noted below.

5.508.2.1.1 Threaded pipe. Threaded connections are permitted at the compressor rack.

5.508.2.1.2 Copper pipe. Copper tubing with an OD less than 1/4 inch may be used in systems with a refrigerant charge of 5 pounds or less.

5.508.2.1.2.1 Anchorage. One-fourth-inch OD tubing shall be securely clamped to a rigid base to keep vibration levels below 8 mils.

5.508.2.1.3 Flared tubing connections. Double-flared tubing connections may be used for pressure controls, valve pilot lines and oil.

Exception: Single-flared tubing connections may be used with a multiring seal coated with industrial sealant suitable for use with refrigerants and tightened in accordance with manufacturer's recommendations.

5.508.2.1.4 Elbows. Short radius elbows are only permitted where space limitations prohibit use of long radius elbows.

5.508.2.2 Valves. Valves Valves and fittings shall comply with the California Mechanical Code and as follows.

5.508.2.2.1 Pressure relief valves. For vessels containing high-GWP refrigerant, a rupture disc shall be installed between the outlet of the vessel and the inlet of the pressure relief valve.

5.508.2.2.1.1 Pressure detection. A pressure gauge, pressure transducer or other device shall be installed in the space between the rupture disc and the relief valve inlet to indicate a disc rupture or discharge of the relief valve.

5.508.2.2.2 Access valves. Only Schrader access valves with a brass or steel body are permitted for use.

5.508.2.2.2.1 Valve caps. For systems with a refrigerant charge of 5 pounds or more, valve caps shall be brass or steel and not plastic.

5.508.2.2.2.2 Seal caps. If designed for it, the cap shall have a neoprene O-ring in place.

5.508.2.2.2.2.1 Chain tethers. Chain tethers to fit over the stem are required for valves designed to have seal caps.

Exception: Valves with seal caps that are not removed from the valve during stem operation.

5.508.2.3 Refrigerated service cases. Refrigerated service cases holding food products containing vinegar and salt shall have evaporator coils of corrosion-resistant material, such as stainless steel, or be coated to prevent corrosion from these substances.

5.508.2.3.1 Coil coating. Consideration shall be given to the heat transfer efficiency of coil coating to maximize energy efficiency.

5.508.2.4 Refrigerant receivers. Refrigerant receivers with capacities greater than 200 pounds shall be fitted with a device that indicates the level of refrigerant in the receiver.

5.508.2.5 Pressure testing. The system shall be pressure tested during installation prior to evacuation and charging.

5.508.2.5.1 Minimum pressure. The system shall be charged with regulated dry nitrogen and appropriate tracer gas to bring system pressure up to 300 psig minimum.

5.508.2.5.2 Leaks. Check the system for leaks, repair any leaks, and retest for pressure using the same gauge.

5.508.2.5.3 Allowable pressure change. The system shall stand, unaltered, for 24 hours with no more than a +/- one pound pressure change from 300 psig, measured with the same gauge.

5.508.2.6 Evacuation. The system shall be evacuated after pressure testing and prior to charging.

5.508.2.6.1 First vacuum. Pull a system vacuum down to at least 1000 microns (+/- 50 microns), and hold for 30 minutes.

5.508.2.6.2 Second vacuum. Pull a second system vacuum to a minimum of 500 microns and hold for 30 minutes.

5.508.2.6.3 Third vacuum. Pull a third vacuum down to a minimum of 300 microns, and hold for 24 hours with a maximum drift of 100 microns over a 24-hour period.

CHAPTER 7 INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

702 QUALIFICATIONS
702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

- State certified apprenticeship programs.
- Public utility training programs.
- Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.
- Programs sponsored by manufacturing organizations.
- Other programs acceptable to the enforcing agency.

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

- Certification by a national or regional green building program or standard publisher.
- Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors.
- Successful completion of a third party apprentice training program in the appropriate trade.
- Other programs acceptable to the enforcing agency.

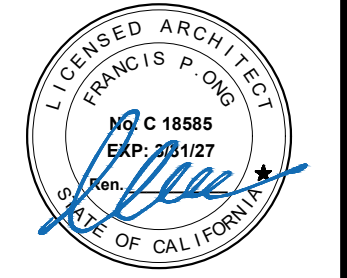
Notes:

CONTRACTOR TO UTILIZE ALL APPLICABLE ITEMS



14542 HARPER ST
MIDWAY CITY, CA 92655
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REV	DESCRIPTION	DATE

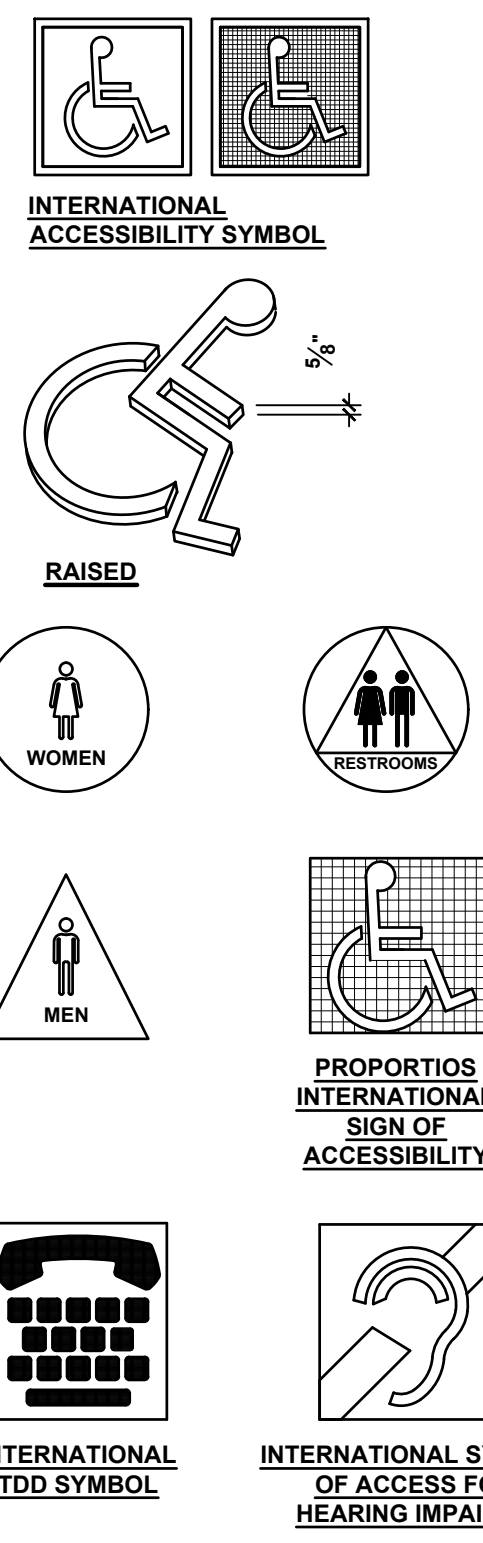


ADA DETAILS

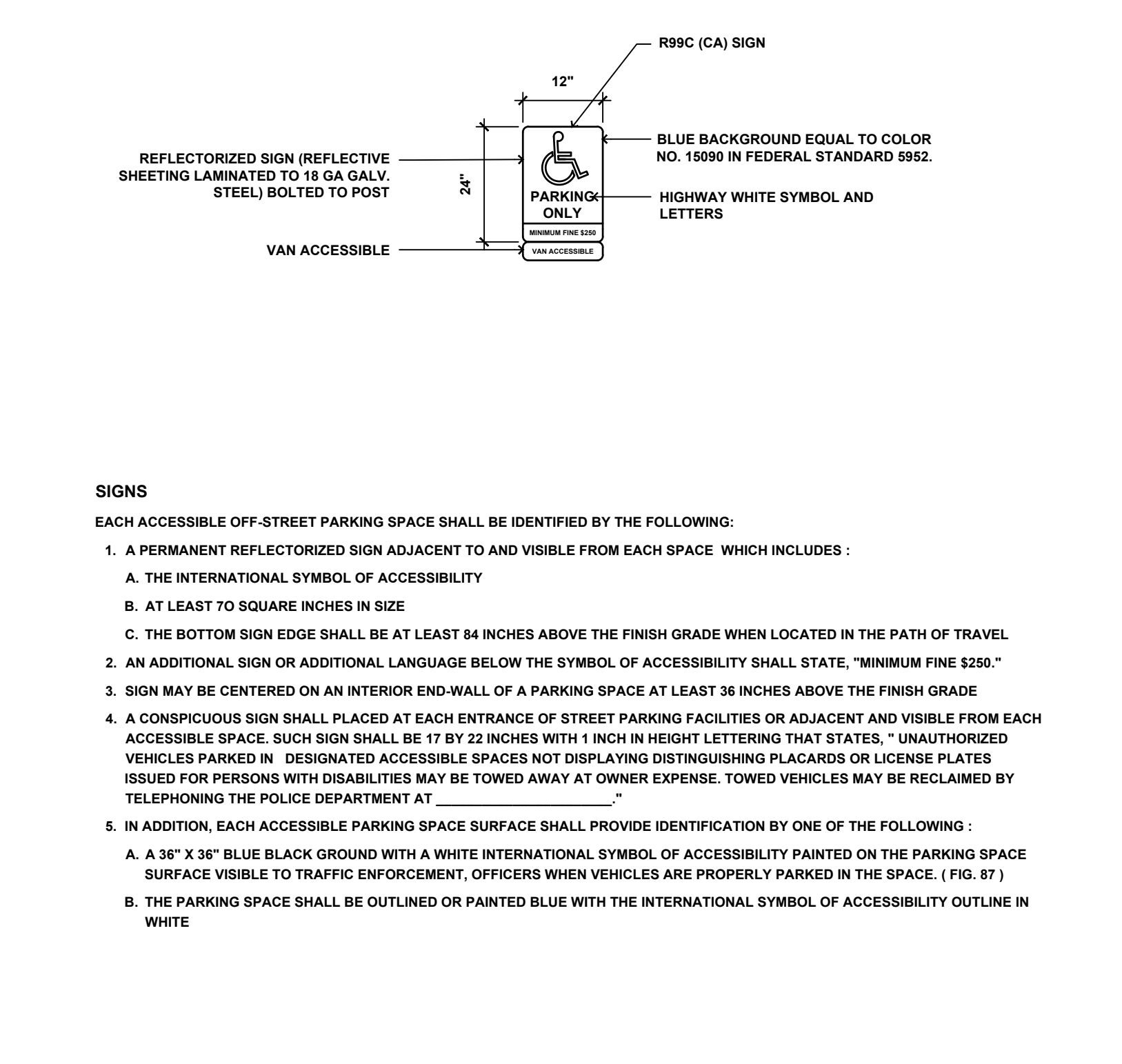
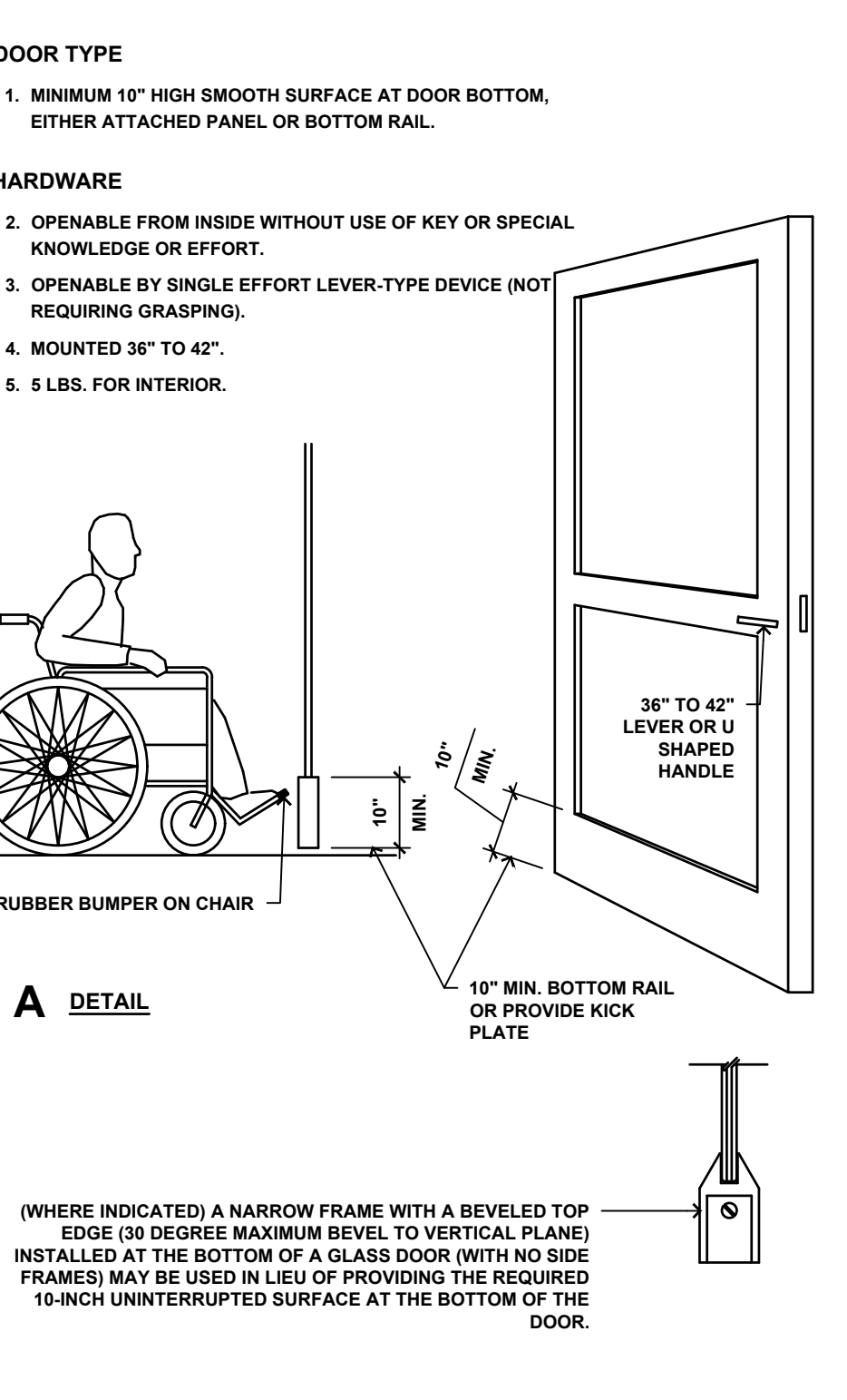
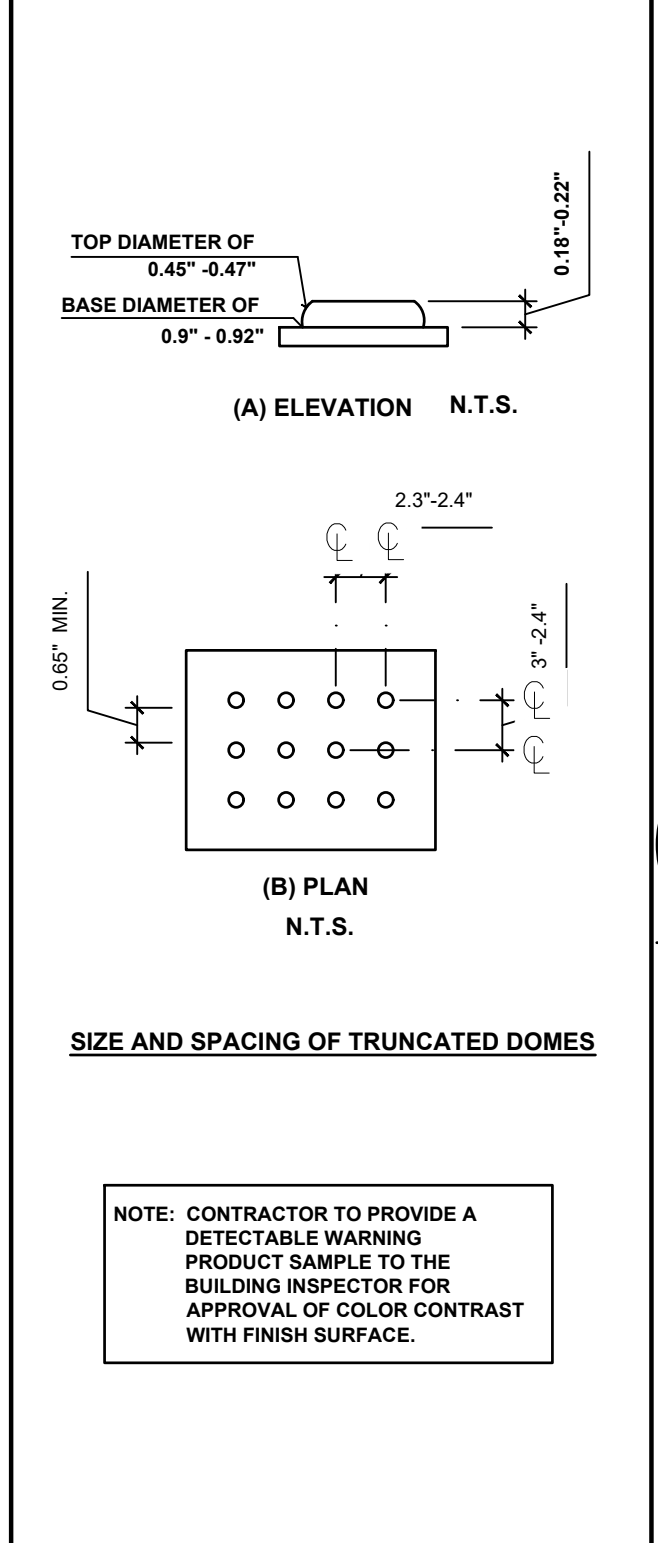
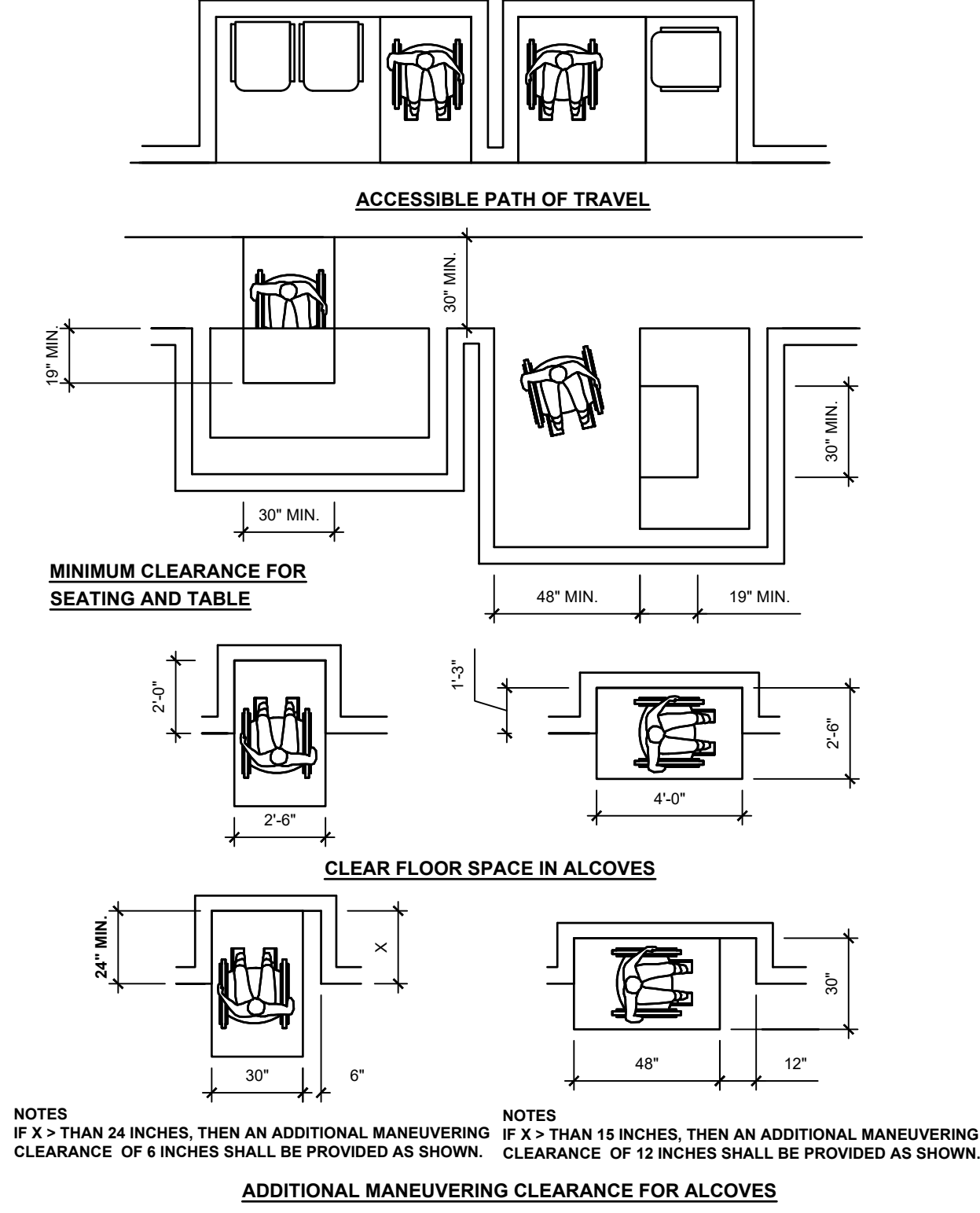
EVERGREEN WORLD
COMMUNITY-BASED ADULT SERVICES
TENANT IMPROVEMENT
9856 WESTMINSTER AVE., STE. 128
GARDEN GROVE, CA 92844

SCALE AS NOTED
DRAWN BY KN
CHECKED BY VT
PLAN DATE 03/16/2025
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PROJECT No.
SHEET No.

GN - 1



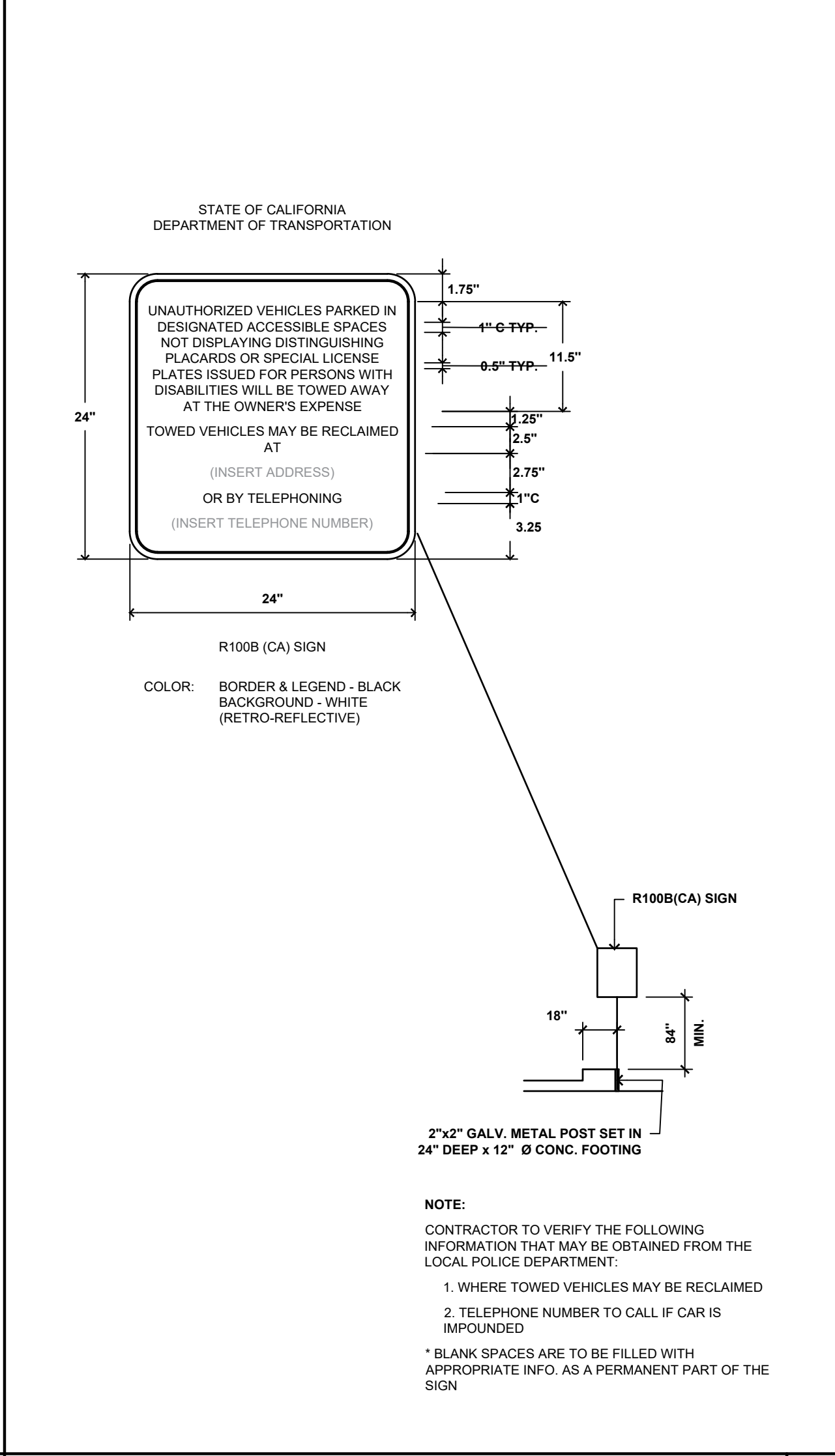
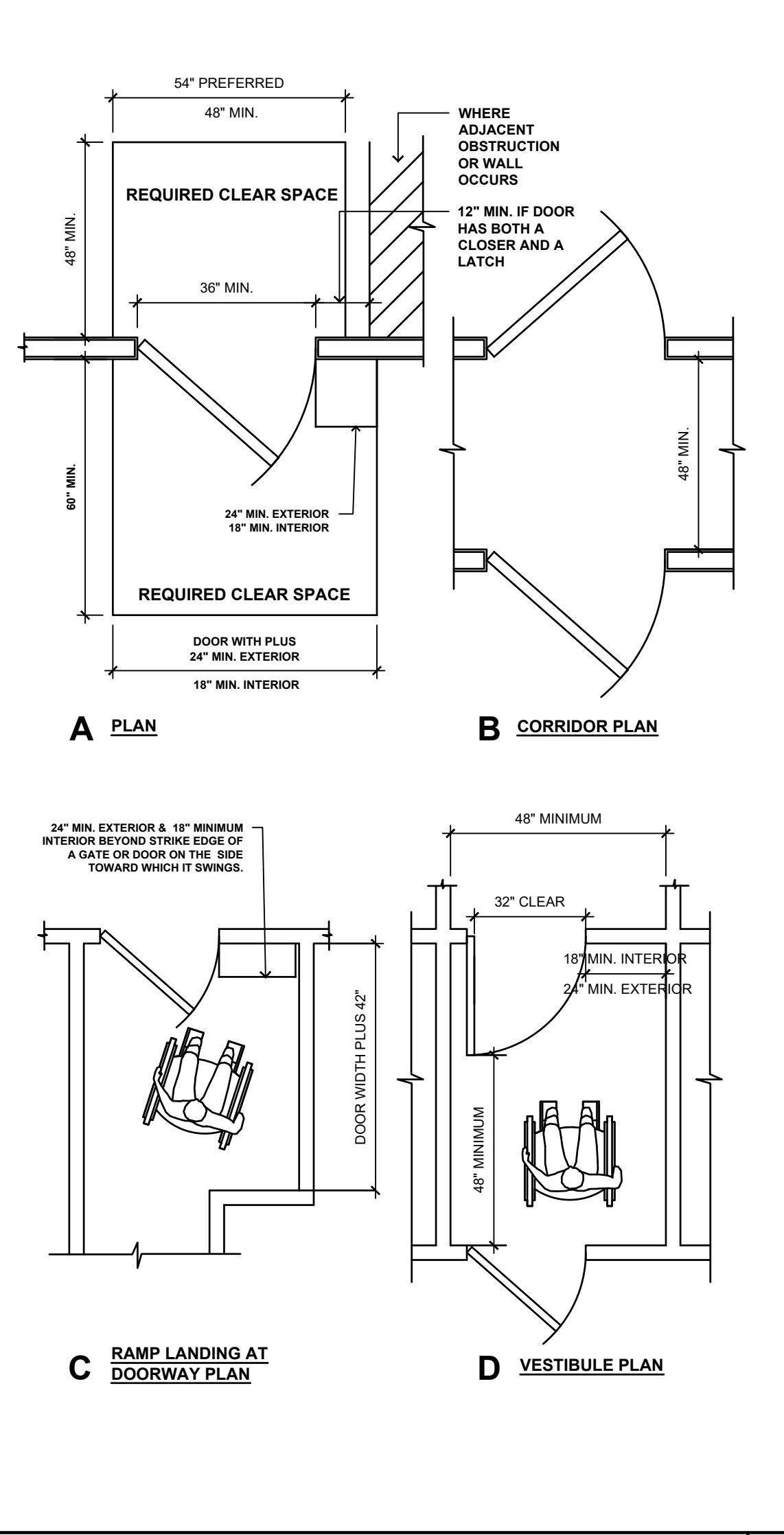
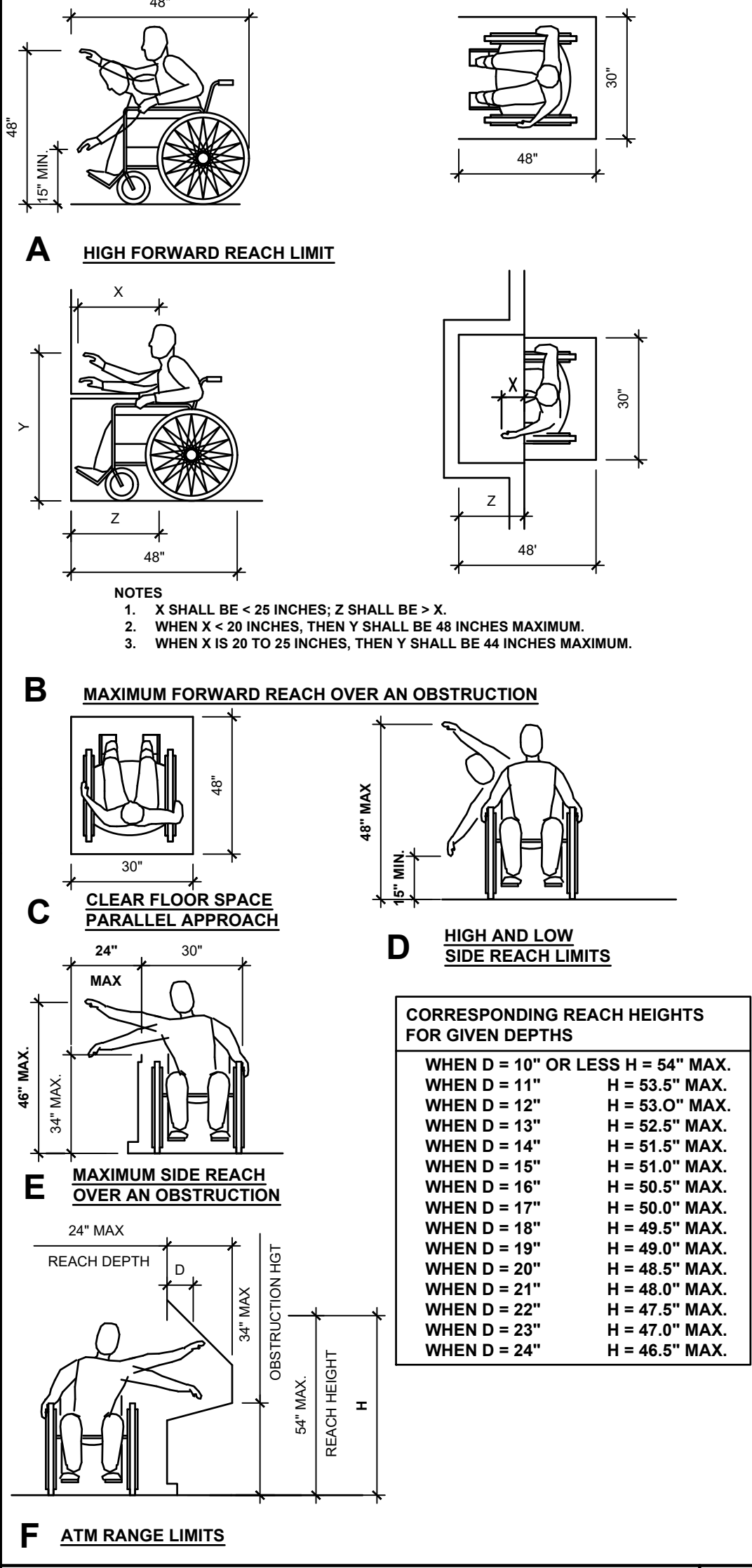
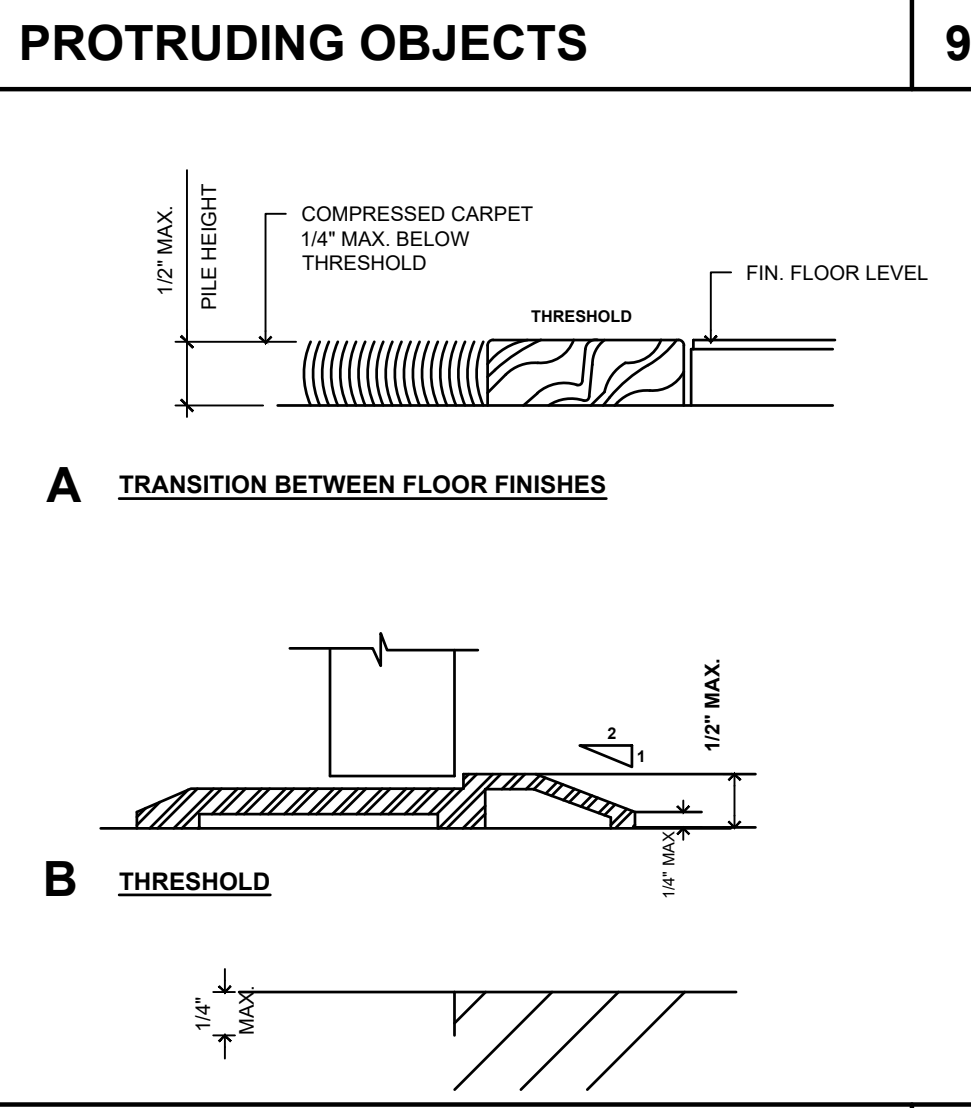
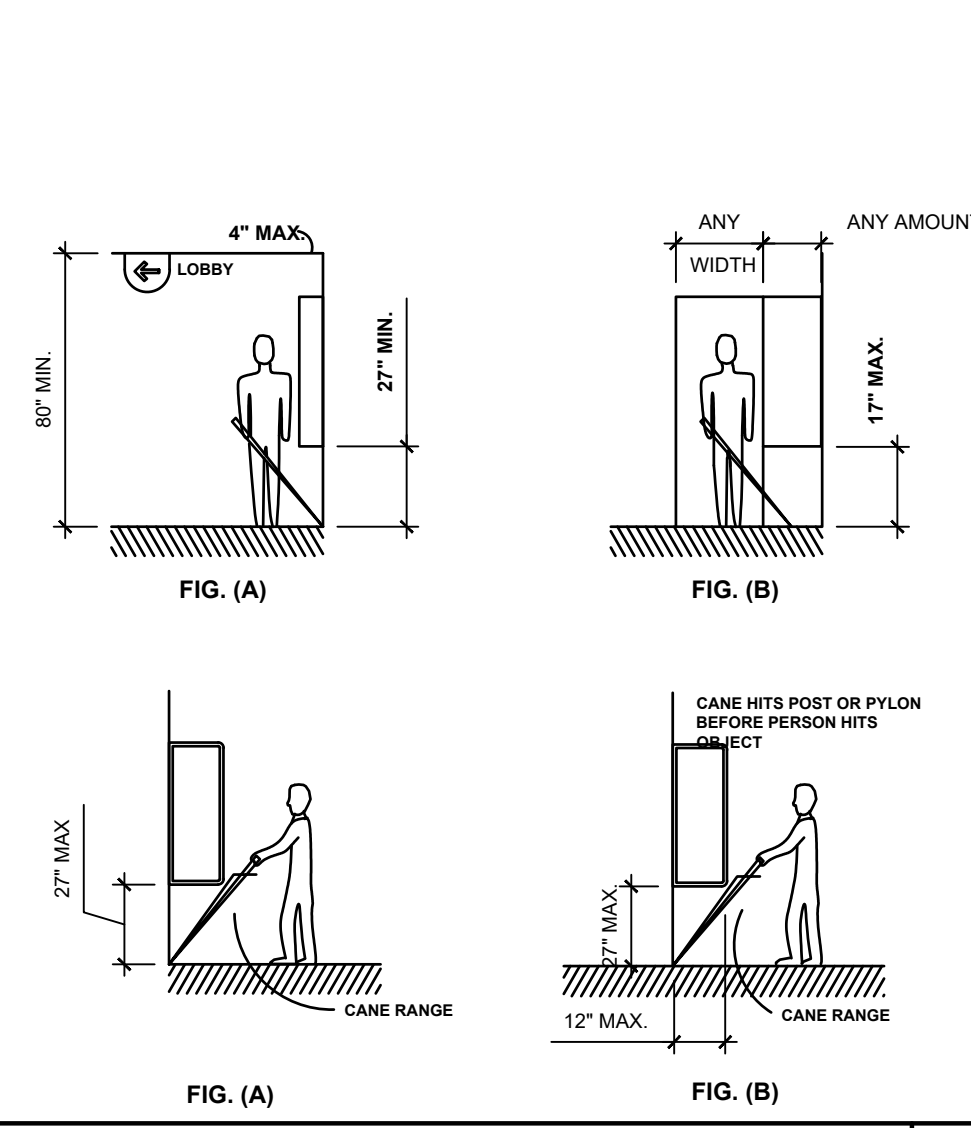
- LETTERS AND NUMBERS**
- WIDTH TO HEIGHT RATIO BETWEEN 3 : 5 AND 1 : 1.
 - STROKE WIDTH TO HEIGHT BETWEEN 1 : 5 AND 1 : 10.
 - CONTRAST CHARACTERS AND SYMBOLS WITH BACKGROUND.
 - SANS SERIF CHARACTERS.
- SIGNS / PICTOGRAMS**
- PICTOGRAMS / PICTORIAL SYMBOL SIGNS SHALL BE ACCOMPANIED BY THE EQUIVALENT VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM. THE BORDER DIMENSION SHALL BE 6" MINIMUM HEIGHT.
 - CHARACTERS AND BACKGROUNDS SHALL BE OF NON-GLARE CONTRASTING COLORS.
 - SIGNS / PICTOGRAMS SHALL BE INSTALLED ON THE WALL ADJACENT TO DOOR LEADING TO THE ROOM OR SPACE THEY DESCRIBE AND AT 60" A.F.F. TO SIGN CENTERLINE AND WHERE A PERSON MAY APPROACH WITHIN 3" OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE DOOR SWING AREA.
 - VERTICAL CLEARANCE AT SUSPENDED SIGNS WITH MINIMUM HEADROOM OF 80" REQUIRE MINIMUM 3" CHARACTER HEIGHT MEASURED BY USING UPPERCASE "X". CHARACTERS AND NUMBERS SHALL BE SIZED ACCORDING TO VIEWING DISTANCE FROM WHICH READ. LOWER CASE CHARACTERS PERMITTED.
- SIGN LOCATIONS**
- ALL ACCESSIBLE ENTRANCES IDENTIFIED WITH MINIMUM OF ONE STANDARD SIGN.
 - ADDITIONAL DIRECTIONAL SIGNS ALONG ACCESSIBLE PATH OF TRAVEL ARE REQUIRED. BUILDINGS REMODELED TO PROVIDE ACCESSIBLE SANITARY FACILITIES
 - FOR PUBLIC USE SHALL HAVE INFORMATION POSTED IN THE LOBBY AS PART OF THE BUILDING DIRECTORY.
- INTERNATIONAL SYMBOL OF ACCESSIBILITY**
- STANDARD USED TO IDENTIFY ACCESSIBLE FACILITIES.
 - WHITE FIGURE ON BLUE BACKGROUND, COLOR # 15090 ON FEDERAL STANDARD # 595A.
 - WHEN ENFORCING AGENCY DETERMINES, IF APPROPRIATE, SPECIAL DESIGNS AND COLORS MAY BE APPROVED.
- BRAILLE**
- USE CONTRASTED GRADE 2 BRAILLE. DOTS TO BE 0.1 INCH ON CENTER IN EACH CELL.
 - 0.2 INCH SPACE BETWEEN CELLS.
 - DOTS RAISED MINIMUM 0.025 INCH ABOVE BACKGROUND.



SIGNS/PICTOGRAMS	8	CLEAR FLOOR SPACE	5	TRUNCATED DOMES	4	DOOR	3	ADA PARKING/ SIGN	1
------------------	---	-------------------	---	-----------------	---	------	---	-------------------	---



NOTE: SIGN LETTERING SHALL BE FOUR TO SIX INCHES HIGH WITH BLACK LETTERS ON A WHITE BACKGROUND



NO LOITERING SIGN	11	THRESHOLDS/LEVEL CHANGE	10	REACH REQUIREMENTS	7	DOOR SPACES	6	ADA TOW-AWAY	2
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CERTIFICATE OF COMPLIANCE-NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD				NRCC-PRF-E	
Nonresidential Performance Compliance Method				(Page 1 of 15)	
Project Name:		Tenant Improvement	Date Prepared:		2025-06-20
A. General Information					
1	Project Name	Tenant Improvement			
2	Run Title	Compliance			
3	Project Location	9856 Westminister Ave Suite 128			
4	City	Garden Grove	5	Standards Version	Compliance 2022
6	Zipcode	92844	7	Compliance Software (version)	CECC 2022.3.2(1369)
8	Climate Zone	6	9	Building Orientation (deg)	0
10	Building Type(s)	+Healthcare			
12	Project Scope	+New envelope and mechanical			
14	Total Conditioned Floor Area in Scope (ft2)	1000	15	Total of hotel/motel rooms	0
16	Total Unconditioned Floor Area (ft2)	0	17	Fuel Type	Natural gas
18	Nonresidential Conditioned Floor Area	1000	19	Total of Stories (Habitable Above Grade)	1
20	Residential Conditioned Floor Area	0			

CABuildingEnergyEfficiencyStandards-2022NonresidentialCompliance ReportVersion:2022.0.000 ReportGenerated:2025-06-2010:24:43
 SchemaVersion:rev20220601

CERTIFICATE OF COMPLIANCE-NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD				NRCC-PRF-E	
Nonresidential Performance Compliance Method				(Page 2 of 15)	

B. PROJECT SUMMARY						
Table shows which building components are included in the performance calculation. If indicated as not included, the project must show compliance prescriptively within the permit application.						
Building Components Complying via Performance			Building Components Complying Prescriptively			
Envelope (See Table G)	Nonres	Performance	Solar Thermal Water Heating (See Table I3)	<input type="checkbox"/>	Performance	The following building components are ONLY eligible for prescriptive compliance and should be documented on the NRCC form listed within the scope of the permit application (i.e. compliance will not be shown on the NRCC-PRF-E).
	MultiFam	Not Included		<input checked="" type="checkbox"/>	Not Included	
Mechanical (See Table H)	Nonres	Performance	Covered Process: Commercial Kitchens (see Table I)	<input type="checkbox"/>	Performance	Indoor Lighting (Unconditioned) 140.6 & 170.2(e) NRCC-LTI-Eis required
	MultiFam	Not Included		<input checked="" type="checkbox"/>	Not Included	
Domestic Hot Water (See Table I)	Nonres	Not Included	Covered Process: Laboratory Exhaust (see Table I)	<input type="checkbox"/>	Performance	Sign Lighting 140.8 & 170.2(e) NRCC-LTS-Eis required
	MultiFam	Not Included		<input checked="" type="checkbox"/>	Not Included	
Lighting (Indoor Conditioned, see Table K)	Nonres	Not Included	Photovoltaics (see Table F)	<input type="checkbox"/>	Performance	Electrical power systems, commissioning, solar ready, elevator and escalator requirements are mandatory and should be documented on the NRCC form listed if applicable (i.e. compliance will not be shown on the NRCC-PRF-E.)
	MultiFam	Not Included		<input checked="" type="checkbox"/>	Not Included	
			Battery (see Table F)	<input type="checkbox"/>	Performance	Commissioning 120.8 NRCC-CXR-Eis required
				<input checked="" type="checkbox"/>	Not Included	Solar and Battery 110.10 NRCC-SAB-Eis required

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CERTIFICATE OF COMPLIANCE-NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD				NRCC-PRF-E	
Nonresidential Performance Compliance Method				(Page 3 of 15)	

C1. COMPLIANCE SUMMARY			
Complies version: rev20220601			
	Time Dependent Valuation (TDV)		Source Energy Use
	Efficiency 1 (kBtu/ft2-yr)	Total 2 (kBtu/ft2-yr)	Total 2 (kBtu/ft2-yr)
Standard Design	273.83	273.83	20.94
Proposed Design	257.81	257.81	19.65
Compliance Margins	16.02	16.02	1.29
	Pass	Pass	Pass
¹ Efficiency measures include improvements like better building envelope and more efficient equipment ² Compliance Totals include efficiency, photovoltaics and batteries ³ New Construction, Complete Addition Scope: Building complies when all efficiency and total compliance margins are greater than or equal to zero and unmet load hour limits are not exceeded Existing, Addition and Alteration Scope: Building complies when efficiency compliance margins are greater than or equal to zero and unmet load hour limits are not exceeded			

CABuildingEnergyEfficiencyStandards-2022NonresidentialCompliance ReportVersion:2022.0.000 ReportGenerated:2025-06-2010:24:43
 SchemaVersion:rev20220601

CERTIFICATE OF COMPLIANCE-NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD				NRCC-PRF-E	
Nonresidential Performance Compliance Method				(Page 4 of 15)	
C2. TDV ENERGY COMPLIANCE RESULTS FOR PERFORMANCE COMPONENTS (Annual TDV Energy Use, kBtu/ft2-yr)					
COMPLIES 2					
Energy Component	Standard Design (TDV)	Proposed Design (TDV)	Compliance Margin (TDV) ¹		
Space Heating	0.63	0.56	0.07		
Space Cooling	59.04	72.4	-13.36		
Indoor Fans	144.31	115	29.31		
Heat Rejection	0	0	0		
Pumps & Misc.	0	0	0		
Domestic Hot Water	17.06	17.06	0		
Indoor Lighting	52.79	52.79	0		
Flexibility	---	---	---		
EFFICIENCY COMPLIANCE TOTAL	273.83	257.81	16.02 (5.9%)		
Photovoltaics	---	---	---		
Batteries	---	---	---		
TOTAL COMPLIANCE	273.83	257.81	16.02 (5.9%)		

¹ Notes: This number in parenthesis following the Compliance Margin column 4, represents the Percent Better than Standard.

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CERTIFICATE OF COMPLIANCE-NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD				NRCC-PRF-E	
Nonresidential Performance Compliance Method				(Page 5 of 15)	

C3. TDV ENERGY RESULTS FOR NON-REGULATED COMPONENTS 1			
Non-Regulated Energy Component	Standard Design (TDV)	Proposed Design (TDV)	Compliance Margin (TDV) ¹
Receptacle	112.89	112.89	---
Process	---	---	---
Other Ltg	---	---	---
Process Motors	---	---	---
TOTAL (TOTAL COMPLIANCE + NON-REGULATED COMPONENTS)	386.72	370.7	16.02 (4.1%)

¹ Notes: This table is not used for Energy Code Compliance.

CABuildingEnergyEfficiencyStandards-2022NonresidentialCompliance ReportVersion:2022.0.000 ReportGenerated:2025-06-2010:24:43
 SchemaVersion:rev20220601

CERTIFICATE OF COMPLIANCE-NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD				NRCC-PRF-E	
Nonresidential Performance Compliance Method				(Page 6 of 15)	

C4. SOURCE ENERGY COMPLIANCE RESULTS FOR PERFORMANCE COMPONENTS (Annual SOURCE Energy Use, kBtu/ft2/yr)			
COMPLIES 2			
Energy Component	Standard Design (SOURCE)	Proposed Design (SOURCE)	Compliance Margin (SOURCE) ¹
Space Heating	0.1	0.09	0.01
Space Cooling	3.24	4.29	-1.05
Indoor Fans	11.99	9.66	2.33
Heat Rejection	0	0	0
Pumps & Misc.	0	0	0
Domestic Hot Water	1.37	1.37	0
Indoor Lighting	4.24	4.24	0
Flexibility	---	---	---
EFFICIENCY COMPLIANCE TOTAL	20.94	19.65	1.29 (6.2%)
Photovoltaics	---	---	---
Batteries	---	---	---
TOTAL COMPLIANCE	20.94	19.65	1.29 (6.2%)

¹ Notes: This number in parenthesis following the Compliance Margin column 4, represents the Percent Better than Standard.

CABuildingEnergyEfficiencyStandards-2022NonresidentialCompliance ReportVersion:2022.0.000 ReportGenerated:2025-06-2010:24:43

CERTIFICATE OF COMPLIANCE-NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD				NRCC-PRF-E	
Nonresidential Performance Compliance Method				(Page 7 of 15)	
C5. SOURCE ENERGY RESULTS FOR NON-REGULATED COMPONENTS 1					
Non-Regulated Energy Component	Standard Design (SOURCE)	Proposed Design (SOURCE)	Compliance Margin (SOURCE) ¹		
Receptacle	8.86	8.86	---		
Process	---	---	---		
Other Ltg	---	---	---		
Process Motors	---	---	---		
TOTAL (TOTAL COMPLIANCE + NON-REGULATED COMPONENTS)	29.8	28.51	1.29 (4.3%)		

¹ Notes: This table is not used for Energy Code Compliance.

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CERTIFICATE OF COMPLIANCE-NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD				NRCC-PRF-E	
Nonresidential Performance Compliance Method				(Page 8 of 15)	

C7. ENERGY USE SUMMARY						
Energy Component	Standard Design Site (MWh)	Proposed Design Site (MWh)	Margin (MWh)	Standard Design Site (MBtu)	Proposed Design Site (MBtu)	Margin (MBtu)
Space Heating	0	0	0	---	---	---
Space Cooling	2.1	2.6	-0.5	---	---	---
Indoor Fans	5.3	4.2	1.1	---	---	---
Heat Rejection	---	---	---	---	---	---
Pumps & Misc.	---	---	---	---	---	---
Domestic Hot Water	0.7	0.7	0	---	---	---
Indoor Lighting	2.1	2.1	0	---	---	---
Flexibility	---	---	---	---	---	---
EFFICIENCY TOTAL	10.2	9.6	0.6	0	0	0
Photovoltaics	---	---	---	---	---	---
Batteries	---	---	---	---	---	---
ENERGY USE SUBTOTAL	10.2	9.6	0.6	0	0	0
Receptacle	4.6	4.6	0	---	---	---
Process	---	---	---	---	---	---
Other Ltg	---	---	---	---	---	---
Process Motors	---	---	---	---	---	---
ENERGY USE TOTAL	14.8	14.2	0.6	0	0	0

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14542 HARPER ST
MIDWAY CITY, CA 92655

TEL: (714) 330-0096
 FAX: (888) 601-3001
 EMAIL: VTC@VTCGCC.COM

REV.	DESCRIPTION	DATE



TILTE 24

EVERGREEN WORLD
 COMMUNITY-BASED ADULT SERVICES
 TENANT IMPROVEMENT
 9856 WESTMINSTER AVE., STE. 128
 GARDEN GROVE, CA 92844

SCALE AS NOTED

DRAWN BY KN

CHECKED BY VT

PLAN DATE 03/16/2025

PROJECT No. 03/16/2025

SHEET No.

T24-1

EXHIBIT "A"**Conditional Use Permit No. CUP-011-2014 (REV. 2026)**

9856 Westminster Avenue

CONDITIONS OF APPROVAL**General Conditions**

1. Each owner of the property shall execute, and the applicant shall record, a "Notice of Discretionary Permit Approval and Agreement with Conditions of Approval," as prepared by the City Attorney's Office, on the property within 30 days of approval. This Conditional Use Permit runs with the land and is binding upon the property owner, his/her/its heirs, assigns, and successors in interest.
2. ~~All Conditions of Approval set forth herein shall be binding on and enforceable against each of the following, and whenever used herein, the term "applicant" shall mean and refer to each of the following: the project applicant, Evergreen World Inc., the current property owner, Southern Fortune, a California Limited Partnership, the future owner(s) and tenants(s) of the property, and each of their respective successors and assigns. The applicant and subsequent owner/operators of such business shall adhere to the conditions of approval for the life of the project, regardless of property ownership. Except for minor modifications authorized to be approved by the Community Development Director pursuant to Condition No. 4, any changes of the Conditions of Approval require approval by the appropriate City hearing body.~~
2. ~~The term "applicant," as referenced in the conditions of approval, shall refer to both the tenant (Chia Cheng) business operator (Evergreen World, Inc.) and the property owner (Southern Fortune, a California Limited Partnership), including subsequent purchasers and/or tenants. The applicant and subsequent owner/operators of such business shall adhere to the conditions of approval for the life of the project, regardless of property ownership. Any changes of the conditions of approval require approval by the Hearing Body.~~
3. Conditional Use Permit No. CUP-011-2014 (REV. 2026) only authorizes to increase the occupancy to 260 participants and 40 employees, including care providers, staff members/administrative staff, along with a 1,000 square-foot expansion into an adjacent tenant space for additional lobby area for an existing adult daycare facility, Evergreen World, as identified on the plans submitted by the applicant and made part of the record of the April 9, 2026, Zoning Administrator proceedings, subject to these Conditions of Approval. Approval of this Conditional Use Permit shall not be construed to mean any waiver of applicable and appropriate zoning and other regulations; and

FINAL

Conditional Use Permit No. CUP-011-2014 (REV. 2026)
Conditions of Approval

wherein not otherwise specified, all requirements of the City of Garden Grove Municipal Code shall apply. ~~Modifications which do not change the intent of the project may be approved by the Community Development Director.~~

4. ~~The approved plans are an integral part of the decision approving this Conditional Use Permit. Minor modifications to the approved site plan, floor plan, and/or these Conditions of Approval may be approved by the Community Development Director, in his or her discretion. Proposed modifications to the approved floor plan, site plan, or Conditions of Approval that would result in the intensification of the project or create impacts that have not been previously addressed, and which are determined by the Community Development Director not to be minor in nature shall be subject to approval of new and/or amended land use entitlements by the applicable City hearing body. If major modifications are made to the approved floor plan, site plan, or other related changes that result in the intensification of the project or create impacts that have not been previously addressed, the proper entitlements shall be obtained reflecting such changes.~~
5. All conditions of approval shall be implemented at the applicant's expense, except where specified in the individual condition.

Engineering Services

6. ~~To the extent applicable, the applicant shall be subject to Traffic Mitigation Fees, identified in Chapter 9.44 of the Garden Grove Municipal Code, if any, along with all other applicable fees duly adopted by the City. The amount of said fees shall be calculated based on the City's current fee schedule at the time of permit issuance.~~
7. ~~Prior to issuance of a Certificate of Occupancy, the applicant shall designate and construct a shuttle loading and unloading area within the project site that is of sufficient size to accommodate the shuttle vehicle(s) without stopping within any drive aisle. The shuttle shall not stop within the parking lot drive aisles, as doing so would obstruct on-site circulation and create potential safety hazards for pedestrians and vehicles. The shuttle loading area shall be clearly marked and maintained for this purpose, subject to review and approval by the City Traffic Engineer.~~

Water Services Division

8. ~~New water service installations 2" and smaller, may be installed by the City of Garden Grove at owner's/developer's expense. Installation shall be scheduled~~

Conditional Use Permit No. CUP-011-2014 (REV. 2026)
Conditions of Approval

- upon payment of applicable fees, unless otherwise noted. Fire services and larger water services 3" and larger, shall be installed by developer/owner's contractor per City Standards.
9. Water meters shall be located within the City right-of-way or within dedicated waterline easement. Fire services and large water services 3" and larger, shall be installed by contractor with Class A or C-34 license, per City water standards and inspected by approved Public Works inspection.
 10. A Reduced Pressure Principle Device (RPPD) backflow prevention device shall be installed for meter protection. The landscape system shall also have RPPD device. Any carbonation dispensing equipment shall have a RPPD device. Installation shall be per City Standards and shall be tested by a certified backflow device tester immediately after installation. Cross connection inspector shall be notified for inspection after the installation is completed. Owner shall have RPPD device tested once a year thereafter by a certified backflow device tester and the test results to be submitted to Public Works, Water Services Division. Property owner must open a water account upon installation of RPPD device.
 11. There shall be no structures or utilities built on or crossing water easement.
 12. New utilities shall have a minimum 5-foot horizontal and a minimum 1-foot vertical clearance from water main and appurtenances.
 13. Any fire service or private fire hydrant lateral shall have above ground backflow device with a double check valve assembly. Device shall be tested immediately after installation and once a year thereafter by a certified backflow device tester and the results to be submitted to Public Works, Water Services Division. Device shall be on private property and is the responsibility of the property owner. The above ground assembly shall be screened from public view as required by the Planning Division.
 14. No permanent structures, trees or deep-rooted plants shall be placed over water main.
 15. Location and number of fire hydrants shall be as required by Water Services Division and the Orange County Fire Authority (OCFA).
 16. Commercial food use of any type shall require the installation of an approved grease interceptor prior to obtaining a business license. Plumbing plan for grease interceptor shall be routed to environmental services for review.

Conditional Use Permit No. CUP-011-2014 (REV. 2026)
Conditions of Approval

17. A properly sized grease interceptor shall be installed on the waste line and maintained by the property owner. There shall be a separate sanitary waste line that will connect to the sewer lateral downstream of the grease interceptor. All other waste lines shall be drained through the grease interceptor. Grease interceptor may be located inside of the building per County Health Department requirements. Prior to City permit issuance, interceptor location must be approved by the Orange County Health Department as evidenced by their stamp on the plans. Owner shall maintain comprehensive grease interceptor maintenance records and shall make them available to the City of Garden Grove upon demand.
 18. Food grinders (garbage disposal devices) are prohibited per Ordinance 6 of the Garden Grove Sanitary District Code of Regulations. Existing units are to be removed.
 19. If needed, owner shall install new sewer lateral with clean out connecting to existing private sewer system on site. It is the responsibility of the owner to install appropriate size sewer lateral.
 20. Contractor shall abandon any existing unused sewer lateral(s) on the property owner's side in accordance with California Plumbing Code.
 21. All perpendicular crossings of the sewer, including laterals, shall maintain a vertical separation of min. 12" below the water main, outer diameter to outer diameter. All exceptions to the above require a variance from the State Water Resources Control Board.
 22. If water main is exposed during installation of sewer lateral, a 20-foot section of the water main shall be replaced with 20-foot PVC C-900 DR-14 Class 305 water pipe, size in kind and centered at the crossing.
- ~~5.——~~

Building Services Division

- ~~6.——The building shall comply with the California Building Standard Code 2013 edition.~~
- ~~7.——The building shall comply (through the permitting process) to occupancy separation from adjacent space, exterior wall construction, sprinklers, allowable floor area, rated corridors, number of plumbing fixtures and ADA accessibility requirements.~~
- 6-23. A tenant improvement permit is required.

Conditional Use Permit No. CUP-011-2014 (REV. 2026)
Conditions of Approval

7-24. All work shall comply with the latest edition of the California Building Standards Code (CBC).

8-25. At least five percent (5%) of total seating shall be accessible.

9-26. The combined occupancy of assembly and office areas shall not exceed 300 persons (clients and employees) at any given time.

27. If the total occupancy exceeds 300, building code analysis shall be required and shall comply with applicable code requirements per CBC Table 1604.5, CBC Chapter 7, and CBC Chapter 10.

Fire Department Orange County Fire Authority

~~8. All provisions of the Fire Department shall be complied with. Maximum occupancy approved for 200 persons (not including staff members) at one time.~~

~~9. Fire extinguishers shall be provided; locations and ratings shall be determined by the Fire inspectors.~~

~~10. Signage requirements for the Emergency Planning and Information Plan as required in C.C.R. Title 19, Section 3.09, shall be complied with prior to the granting of any occupancy of the tenant space.~~

~~11. Required fire lanes shall be posted and marked in accordance with Garden Grove Fire Department Fire Protection Specifications and Requirements.~~

28. The address shall be placed on the north side and south side of the tenant space and shall be visible with a minimum of 8 inch high letters in contrasting colors. The applicant shall comply with all applicable Orange County Fire Authority requirements, including, but not limited to the Fire Master Plan.

29. The applicant or responsible party shall submit the plan(s) listed below to the Orange County Fire Authority for review.

a. Prior to OCFA clearance of a final map or issuance of a precise grading permit or a building permit, if a grading permit is not required:

i. Fire master plan (service code PR145)

b. Prior to issuance of a building permit:

- i. Architectural plans (service codes PR200-285)
- c. Prior to concealing interior construction:
 - i. Fire sprinkler system (service codes PR430-PR455), if the building is currently sprinklered and the system required modification.
 - ii. Fire alarm system (service code PR500-PR520)
 - iii. Hood and duct extinguishing system (service code PR335)
- d. Prior to occupancy
 - 12.i. Completed 850 State inspection

Community Development Department

- ~~13.~~30. The use shall operate as an adult day health care facility at all times. The number of senior adults shall not exceed ~~26000~~ persons or clients at one time, ~~not including and 40 staff member employees, including care providers, staff members/administrative staff.~~ The appropriate building permit(s) shall be obtained for any proposed construction, and the permit shall be finalized prior to increasing the occupancy.
- ~~14.~~—A valid City of Garden Grove business license shall be maintained for the facility.
- ~~31.~~
~~15.~~32. A valid State of California Department of Public Health license shall be maintained for total capacity not to exceed ~~260200~~ persons that participate in the program, ~~not including and 40 staff member employees, including care providers, staff members/administrative staff.~~
- ~~16.~~33. Hours of operation for the facility shall be limited to 8:30 a.m. to 4:30 p.m. Monday through Friday; closed Saturday and Sunday, however, in the event that problems arise and changing the hours of operation will reduce these problems, the facility shall modify the hours as prescribed by the City.
- ~~17.~~34. No storage shall be permitted outside the building or in the patio area.

Conditional Use Permit No. CUP-011-2014 (REV. 2026)
Conditions of Approval

- ~~18.35.~~ All customer and employee drop-off and pick-up shall occur on-site, at the designated main entrance facing the parking lot on the south side of the shopping center.
- ~~19.36.~~ The applicant is required to monitor the parking situation in relation to this use and should parking become a problem to the surrounding businesses, then the applicant/operator of the facility shall address the situation to the satisfaction of the City.
- ~~20.37.~~ There shall be no uses or activities of an adult-oriented nature permitted on the premises as outlined in City Code Section 9.08.070.
- ~~21.38.~~ There shall be no gaming tables or gaming machines as outlined in City Code Sections 8.20.010 and 8.20.050 on the premises at any time. Additionally, there shall be no gambling at any time.
- ~~22.39.~~ Should the applicant have billiard/pool tables, there shall be no more than two (2) billiard/pool tables on the premises at any time.
- ~~23.40.~~ Litter shall be removed daily from the premises, including adjacent public sidewalks and from all parking areas under the control of the licensee. These areas shall be swept or cleaned, either mechanically or manually, on a weekly basis, to control debris.
- ~~24.41.~~ All landscaping on the property in the parking lot area and including the outdoor patio area shall be property maintained.
- ~~25.~~ Signs shall comply with the City of Garden Grove sign requirements, and shall require approval by the Community Development Department, Planning Services Division prior to issuance of a building permit.
- ~~42.~~
- ~~26.43.~~ The property owner shall provide sufficient trash bins to accommodate the use. Should the need arise; trash pickup shall increase, in order to handle the amount of trash generated by the proposed use.
- ~~27.44.~~ Graffiti shall be removed from the premises and all parking lots under the control of the licensee and/or the property owner within 120 hours upon notification.
- ~~45.~~ No new exterior piping, plumbing or mechanical ductwork shall be permitted on any exterior façade and/or be visible from any public right-of-way or adjoining property.

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~~28.~~

~~29-46.~~ No roof-mounted mechanical equipment shall be permitted unless a method of screening, complementary to the architecture of the building, is approved by the Community Development Department, Planning Division. Said screening shall block visibility of any roof-mounted mechanical equipment from the view of public streets and surrounding properties.

~~30-47.~~ No satellite dish antennas shall be installed on said premises unless, and until, plans have been submitted to, and approved by, the Community Development Department, Planning Division. No advertising material shall be placed thereon.

~~31-48.~~ The use shall comply with the City's adopted Noise Ordinance as set forth in the City of Garden Grove's Municipal Code Section 8.47.020.

~~32-49.~~ The original Conditional Use Permit No. CUP-625-02 shall be null and void, and superseded in its entirety, by the approval of CUP-011-2014 (REV. 2026).

50. The Conditional Use Permit shall be reviewed one year from the date of this approval, and every three (3) years thereafter in order to determine if the business is operating in compliance.

51. A copy of the decision and the conditions of approval for Conditional Use Permit No. CUP-011-2014 (REV. 2026) shall be kept on the premises at all times.

~~33.~~ The permittee shall submit a signed letter acknowledging receipt of the decision approving Conditional Use Permit No. CUP-011-2014 (REV. 2026) and his/her agreement with all conditions of approval within 30-days from the date of this approval.

52.

53. The applicant shall, as a condition of project approval, at its sole expense, defend, indemnify and hold harmless the City, its officers, employees, agents and consultants from any claim, action, or proceeding against the City, its officers, agents, employees and/or consultants, which action seeks to set aside, void, annul or otherwise challenge any approval by the City Council, Planning Commission, or other City decision-making body, or City staff action concerning Conditional Use Permit No. CUP-011-2014 (REV. 2026). The applicant shall pay the City's defense costs, including attorney fees and all other litigation related expenses, and shall reimburse the City for court costs, which the City may be required to pay as a result of such defense. The

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applicant shall further pay any adverse financial award, which may issue against the City including but not limited to any award of attorney fees to a party challenging such project approval. The City shall retain the right to select its counsel of choice in any action referred to herein.

54. In accordance with Garden Grove Municipal Code Sections 9.32.160, the rights granted pursuant to Conditional Use Permit No. CUP-011-2014 (REV. 2026) shall be valid for a period of two (2) years. Unless a time extension is granted pursuant to Section 9.32.030.D.9 of the Municipal Code, the rights conferred by Conditional Use Permit No. CUP-011-2014 (REV. 2026) shall become null and void if the subject development and construction necessary and incidental thereto is not commenced within two (2) years of the expiration of the appeal period, and thereafter diligently advanced until completion of the project. In the event construction of the project is commenced, but not diligently advanced until completion, the rights granted pursuant to Conditional Use Permit No. CUP-011-2014 (REV. 2026) shall expire if the building permits for the project expire.
55. The applicant is advised that if the use of the establishment ceases to operate for more than 90 days, then the existing Conditional Use Permit will become null and void and the new applicant shall be required to apply for a new Conditional Use Permit subject to the approval by the Community Development Department, Planning Services Division. In the event the use(s) authorized by the CUP cease and the property owner no longer desires to continue such use(s) on the property, property owner may voluntarily terminate the CUP and all rights and obligations thereunder by executing and recording a request for voluntary revocation and termination of the CUP in a form acceptable to the City.

~~34.~~

DECISION NO. 1869-26

A DECISION OF THE ZONING ADMINISTRATOR OF THE CITY OF GARDEN GROVE APPROVING CONDITIONAL USE PERMIT NO. CUP-011-2014 (REV. 2026), FOR A PROPERTY LOCATED ON THE SOUTH SIDE OF WESTMINSTER AVENUE, WEST OF BROOKHURST STREET, AT 9856 WESTMINSTER AVENUE, ASSESSOR'S PARCEL NO. 098-361-22.

BE IT RESOLVED that the Zoning Administrator of the City of Garden Grove, in a regular session assembled on April 29, 2026, hereby approves Conditional Use Permit No. CUP-011-2014 (REV. 2026), for a property located on the south side of Westminster Avenue, west of Brookhurst Street, at 9856 Westminster Avenue, Assessor's Parcel No. 098-361-22, subject to the conditions of approval attached hereto as Exhibit "A".

BE IT FURTHER RESOLVED in the matter of Conditional Use Permit No. CUP-011-2014 (REV. 2026), the Zoning Administrator of the City of Garden Grove does hereby report as follows:

1. The subject case was initiated by Evergreen World Inc., the applicant, with authorization of the property owner, Southern Fortune, a California Limited Partnership.
2. The applicant is requesting to modify Conditional Use Permit No. CUP-011-2014 which currently governs an adult daycare facility, Evergreen World, to increase the occupancy to 260 participants and 40 employees, including care providers, staff members/administrative staff, along with a 1,000 square-foot expansion into an adjacent tenant space for additional lobby area on a property located at 9856 Westminster Avenue.
3. Pursuant to the California Environmental Quality Act ("CEQA"), the Zoning Administrator hereby determines that the proposed project is categorically exempt from the CEQA pursuant to Section 15301, Existing Facilities, of the CEQA Guidelines (14 Cal. Code Regs., Section §15301).
4. The property has a General Plan Land Use designation of Light Commercial (LC), and is zoned C-1 (Neighborhood Commercial). The subject tenant space is located within an existing shopping center, Mall of Fortune, consisting of commercial retail uses, such as retail stores, restaurants, bakeries, and apparel shops.
5. Existing land use, zoning, and General Plan designation of property within the vicinity of the subject property have been reviewed.
6. Report submitted by City Staff was reviewed.

7. Pursuant to a legal notice, a public hearing was held on April 29, 2026, and all interested persons were given an opportunity to be heard.
8. The Zoning Administrator gave due and careful consideration to the matter during its meeting of April 29, 2026.

BE IT FURTHER RESOLVED, FOUND AND DETERMINED that the facts and reasons supporting the conclusion of the Zoning Administrator, as required under Municipal Code Section 9.32.030 (Conditional Use Permits), are as follows:

FACTS:

The subject adult daycare facility is located on the south side of Westminster Avenue, east of Brookhurst Street, within the Mall of Fortune shopping center. The shopping center is a multi-tenant shopping center comprised of various parcels with reciprocal parking and vehicular access agreements. Vehicular access is provided via three (3) existing driveways located along Westminster Avenue and an additional three (3) driveways along Brookhurst Street. The shopping center consists of commercial retail uses, such as retail stores, restaurants, bakeries, and apparel shops.

The property is located in the C-1 (Neighborhood Commercial) Zone and has a General Plan Land Use Designation of Light Commercial (LC). The subject shopping center abuts R-1 (Single-Family Residential) zoned properties to the south currently improved with single-family dwellings, PUD-112-77 (Planned Unit Development) zoned properties to the east currently improved with multi-family units, C-2 (Community Commercial) zoned properties to the north across Westminster Avenue currently improved with a commercial shipping center, and C-1 zoned properties to the east across Brookhurst Street currently improved with commercial uses.

In 2002, Conditional Use Permit No. CUP-625-02 was approved to allow the operation of an adult daycare facility, Evergreen World, within an approximately 7,500 square-foot in-line tenant space, along with a 650 square-foot outdoor patio. The facility consisted of 100 participants and up to ten (10) employees.

In May 2013, Director's Review No. DR-105-13 was approved to allow a temporary increase in the number of participants for a period of eighteen (18) months while the applicant prepared a land use application submittal. The temporary occupancy increase was from 100 to 200 participants.

In 2014, Conditional Use Permit No. CUP-011-2014 was approved to formally increase the occupancy from 100 to 200 participants, and to expand the facility into an adjacent tenant space by approximately 6,000 square feet, to create a large group activity room, an isolation room, a group conference room, and a small group activity room. However, Staff was unable to locate records for permits and inspections following approval of the CUP for the necessary tenant improvements.

The applicant, Evergreen World, is requesting to increase the occupancy to 260 participants and 40 employees along with a 1,000 square-foot expansion into an adjacent tenant space for additional lobby area. The maximum number of employees includes direct care providers, administrative staff, and other staff members. Increasing the number of occupants, as well as the floor area expansion, requires modification of CUP-011-2014 since there are multiple conditions of approval limiting the number of participants to 200 persons without indication of the specific number of employees.

For adult daycare uses, the Garden Grove Municipal Code (GGMC) requires a minimum of one (1) parking space per employee plus one (1) additional parking space for every six (6) participants. An adult day care facility with 260 participants and 40 employees, will require a total of 84 parking spaces. Inclusive of all existing uses within the shopping center sharing the existing parking supply, and the proposed adult daycare facility, the required parking is 615 spaces. Upon legalizing parking stalls striped without permit behind the shopping center within the easterly portion of the parking lot area, the shopping center will provide 660 parking spaces, resulting in a surplus of 45 spaces. Therefore, the subject request satisfies the requirements of the GGMC.

The Community Development Department has reviewed the request and is supporting the proposal. All appropriate Conditions of Approval have been incorporated. No other changes are proposed to Conditional Use Permit No. CUP-011-2014 and all conditions of approval will continue to apply, except as modified per this revision.

FINDINGS AND REASONS:

1. That the proposed use will be consistent with the City's adopted General Plan and redevelopment plan.

The subject site is zoned C-1 (Light Commercial) and has a General Plan Land Use Designation of Light Commercial (LC). The LC General Plan Land Use Designation is intended to allow for a range of commercial activities that serve local residential neighborhoods and the larger community.

The proposed adult daycare facility is a commercial type use that serves the local community. A "Day Care Facility, Adult" use is a conditionally permitted use in the C-1 zone. The subject request to increase the occupancy of an existing adult daycare use is consistent with the goals and policies of the General Plan, which include:

- a. Policy LU-2.4: Assure that the type and intensity of land use are consistent with those of the immediate neighborhood.*

The proposal would allow for an increase to the occupancy of an existing adult daycare facility within a shopping center that provides a variety of commercial retail uses, such as retail stores, restaurants, bakeries, and apparel shops. Other uses in the immediate neighborhood include commercial and residential uses. Adult daycare uses are compatible with these existing uses and are of similar land use intensity. Furthermore, provided the conditions of approval are adhered to for the life of the project, the use will be compatible with other uses in the immediate neighborhood.

b. Goal LU-4: Uses compatible with one another.

The proposal would allow for an increase to the occupancy of an existing adult daycare facility within a shopping center that provides a variety of commercial retail uses, such as retail stores, restaurants, bakeries, and apparel shops. Adult daycare uses are compatible with these existing uses already established in the shopping center. Furthermore, provided the conditions of approval are adhered to for the life of the project, the use will be compatible with other adjacent uses.

c. Goal LU-5: Economically viable, vital, and attractive commercial centers throughout the City that serve the needs of the community.

Adult daycare uses can enhance the vitality of the City's commercial centers while serving the needs of the community. The proposal would allow for the increase to the occupancy of an existing adult daycare facility within a shopping center that provides a variety of commercial retail uses. An adult daycare use can enrich the community by providing services for the growing demand for care to seniors in the immediate community.

d. Policy LU-6.2: Encourage a mix of retail and commercial services along major corridors and in centers to meet the community's needs.

The subject site is located within a shopping center with frontages along Brookhurst Street and Westminster Avenue, both major corridors. The subject request would allow for an increase to the occupancy of an existing adult daycare facility within a shopping center. With the subject request, the use will further enhance the variety of commercial services already in the area. By approving the subject request, the commercial corridors along Brookhurst Street and Westminster Avenue, would provide a variety of commercial services to meet the community's needs.

e. Goal ED-2: The City must attract new businesses, while supporting and assisting those already located within Garden Grove.

The proposal would allow for an increase to the occupancy of an existing adult daycare facility that will further support and assist the residents of Garden Grove due to the growing demand for care to seniors in the immediate community.

2. That the requested use at the location proposed will not: adversely affect the health, peace, comfort, or welfare of the persons residing or working in the surrounding area, or unreasonably interfere with the use, enjoyment, or valuation of the property of other persons located in the vicinity of the site, or jeopardize, endanger, or otherwise constitute a menace to public health, safety, or general welfare.

The proposed increase in occupancy to the existing adult daycare use and the 1,000 square-foot expansion for additional lobby area will not adversely affect the health, peace, comfort or welfare of persons residing or working in the surrounding area. The adult daycare facility is located in a commercial zone, on a commercially developed property with similar type uses that are permitted in the C-1 zone. The day-to-day business operations of the adult daycare use are conducted within an enclosed building and is low impact in nature to the surrounding area. Further, the subject request satisfies the parking requirements of the Municipal Code. The Conditions of Approval will minimize potential impacts to the adjoining area. Provided the Conditions of Approval are adhered to for the life of the project, the use will be harmonious with the persons who work and live in the area.

Additionally, the proposal will not unreasonably interfere with the use, enjoyment or valuation of the property of other persons located within the vicinity of the site. The use is conditionally permitted in the C-1 zone. The business activities are compatible with the surrounding uses provided the business complies with all appropriate codes and regulations set forth in the City's Municipal Code, as well as requirements of the Orange County Fire Authority (OCFA), applicable California Building Codes, and requirements of State law administered and regulated by the California Department of Public Health and the California Department of Aging.

Finally, the use will not jeopardize, endanger, or otherwise constitute a menace to public health, safety, or general welfare. The Conditions of Approval will ensure the public health, safety, and welfare. Also, the applicant is required to obtain all necessary building permits to ensure maintenance of public health, safety, and welfare. Therefore, the proposal will not create a menace to the public health, safety, or welfare provided the Conditions of Approval are adhered to for the life of the project, and all necessary permits are obtained with accompanying inspections.

3. That the proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other

development features prescribed in this title or as is otherwise required in order to integrate such use with the uses in the surrounding area.

The subject adult daycare facility is located on the south side of Westminster Avenue, east of Brookhurst Street, within the Mall of Fortune shopping center. The shopping center is a multi-tenant shopping center comprised of various parcels with reciprocal parking and vehicular access agreements. Vehicular access is provided via three (3) existing driveways located along Westminster Avenue and an additional three (3) driveways along Brookhurst Street. The applicant for the adult daycare facility is not proposing any site improvements, with the exception of new parking stalls and a designated pick-up and drop-off shuttle area within the parking area located to the south of the establishment clear of the existing drive aisles. Shuttles may access the site off of any of the existing drive approaches located along Brookhurst Street, exiting the site also along Brookhurst Street, to minimize any impacts to adjacent tenants and parking areas. The City has reviewed the proposed plans to ensure that adequate site circulation, parking, and loading area access are maintained. Additionally, the subject request satisfies the parking requirements of the Municipal Code to support the increased occupancy. No site walls, yards, or landscaping will be affected by the proposal. Therefore, the site is of adequate size and shape to integrate the use with the surrounding area.

4. That the proposed site is adequately served: by highways or streets or sufficient width and improved as necessary to carry the kind and quantity of traffic such as to be generated, and by other public or private service facilities as required.

The site is adequately served by three (3) existing driveways located along Westminster Avenue and an additional three (3) driveways along Brookhurst Street. The site is also adequately served by the public service facilities required such as public utilities: gas, electric, water, and sewer facilities. Therefore, the site will continue to be adequately served by all existing highways, streets, and other public and private service facilities.

INCORPORATION OF FACTS AND REASONS SET FORTH IN THE STAFF REPORT

In addition to the foregoing, the Zoning Administrator incorporates herein by this reference, the facts and reasons set forth in the staff report.

BE IT FURTHER RESOLVED that the Zoning Administrator does conclude:

1. The Conditional Use Permit does possess characteristics that would indicate justification of the request in accordance with Municipal Code Section 9.32.030 (Conditional Use Permits).
2. In order to fulfill the purpose and intent of the Municipal Code and thereby promote the health, safety, and general welfare, the following Conditions of

Approval, attached as Exhibit "A", shall apply to Conditional Use Permit No. CUP-011-2014 (REV. 2026).

EXHIBIT "A"

Conditional Use Permit No. CUP-011-2014 (REV. 2026)

9856 Westminster Avenue

CONDITIONS OF APPROVAL

General Conditions

1. Each owner of the property shall execute, and the applicant shall record, a "Notice of Discretionary Permit Approval and Agreement with Conditions of Approval," as prepared by the City Attorney's Office, on the property within 30 days of approval. This Conditional Use Permit runs with the land and is binding upon the property owner, his/her/its heirs, assigns, and successors in interest.
2. All Conditions of Approval set forth herein shall be binding on and enforceable against each of the following, and whenever used herein, the term "applicant" shall mean and refer to each of the following: the project applicant, Evergreen World Inc., the current property owner, Southern Fortune, a California Limited Partnership, the future owner(s) and tenants(s) of the property, and each of their respective successors and assigns. The applicant and subsequent owner/operators of such business shall adhere to the conditions of approval for the life of the project, regardless of property ownership. Except for minor modifications authorized to be approved by the Community Development Director pursuant to Condition No. 4, any changes of the Conditions of Approval require approval by the appropriate City hearing body.
3. Conditional Use Permit No. CUP-011-2014 (REV. 2026) only authorizes to increase the occupancy to 260 participants and 40 employees, including care providers, staff members/administrative staff, along with a 1,000 square-foot expansion into an adjacent tenant space for additional lobby area for an existing adult daycare facility, Evergreen World, as identified on the plans submitted by the applicant and made part of the record of the April 29, 2026, Zoning Administrator proceedings, subject to these Conditions of Approval. Approval of this Conditional Use Permit shall not be construed to mean any waiver of applicable and appropriate zoning and other regulations; and wherein not otherwise specified, all requirements of the City of Garden Grove Municipal Code shall apply.
4. The approved plans are an integral part of the decision approving this Conditional Use Permit. Minor modifications to the approved site plan, floor plan, and/or these Conditions of Approval may be approved by the Community Development Director, in his or her discretion. Proposed modifications to the approved floor plan, site plan, or Conditions of Approval that would result in

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the intensification of the project or create impacts that have not been previously addressed, and which are determined by the Community Development Director not to be minor in nature shall be subject to approval of new and/or amended land use entitlements by the applicable City hearing body.

5. All conditions of approval shall be implemented at the applicant's expense, except where specified in the individual condition.

Engineering Services

6. To the extent applicable, the applicant shall be subject to Traffic Mitigation Fees, identified in Chapter 9.44 of the Garden Grove Municipal Code, if any, along with all other applicable fees duly adopted by the City. The amount of said fees shall be calculated based on the City's current fee schedule at the time of permit issuance.
7. Prior to issuance of a Certificate of Occupancy, the applicant shall designate and construct a shuttle loading and unloading area within the project site that is of sufficient size to accommodate the shuttle vehicle(s) without stopping within any drive aisle. The shuttle shall not stop within the parking lot drive aisles, as doing so would obstruct on-site circulation and create potential safety hazards for pedestrians and vehicles. The shuttle loading area shall be clearly marked and maintained for this purpose, subject to review and approval by the City Traffic Engineer.

Water Services Division

If applicable, the following conditions of approval for the Water Services Division would apply:

8. New water service installations 2" and smaller, may be installed by the City of Garden Grove at owner's/developer's expense. Installation shall be scheduled upon payment of applicable fees, unless otherwise noted. Fire services and larger water services 3" and larger, shall be installed by developer/owner's contractor per City Standards.
9. Water meters shall be located within the City right-of-way or within dedicated waterline easement. Fire services and large water services 3" and larger, shall be installed by contractor with Class A or C-34 license, per City water standards and inspected by approved Public Works inspection.

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10. A Reduced Pressure Principle Device (RPPD) backflow prevention device shall be installed for meter protection. The landscape system shall also have RPPD device. Any carbonation dispensing equipment shall have a RPPD device. Installation shall be per City Standards and shall be tested by a certified backflow device tester immediately after installation. Cross connection inspector shall be notified for inspection after the installation is completed. Owner shall have RPPD device tested once a year thereafter by a certified backflow device tester and the test results to be submitted to Public Works, Water Services Division. Property owner must open a water account upon installation of RPPD device.
11. There shall be no structures or utilities built on or crossing water easement.
12. New utilities shall have a minimum 5-foot horizontal and a minimum 1-foot vertical clearance from water main and appurtenances.
13. Any fire service or private fire hydrant lateral shall have above ground backflow device with a double check valve assembly. Device shall be tested immediately after installation and once a year thereafter by a certified backflow device tester and the results to be submitted to Public Works, Water Services Division. Device shall be on private property and is the responsibility of the property owner. The above ground assembly shall be screened from public view as required by the Planning Division.
14. No permanent structures, trees or deep-rooted plants shall be placed over water main.
15. Location and number of fire hydrants shall be as required by Water Services Division and the Orange County Fire Authority (OCFA).
16. Commercial food use of any type shall require the installation of an approved grease interceptor prior to obtaining a business license. Plumbing plan for grease interceptor shall be routed to environmental services for review.
17. A properly sized grease interceptor shall be installed on the waste line and maintained by the property owner. There shall be a separate sanitary waste line that will connect to the sewer lateral downstream of the grease interceptor. All other waste lines shall be drained through the grease interceptor. Grease interceptor may be located inside of the building per County Health Department requirements. Prior to City permit issuance, interceptor location must be approved by the Orange County Health Department as evidenced by their stamp on the plans. Owner shall maintain comprehensive grease

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interceptor maintenance records and shall make them available to the City of Garden Grove upon demand.

18. Food grinders (garbage disposal devices) are prohibited per Ordinance 6 of the Garden Grove Sanitary District Code of Regulations. Existing units are to be removed.
19. If needed, owner shall install new sewer lateral with clean out connecting to existing private sewer system on site. It is the responsibility of the owner to install appropriate size sewer lateral.
20. Contractor shall abandon any existing unused sewer lateral(s) on the property owner's side in accordance with California Plumbing Code.
21. All perpendicular crossings of the sewer, including laterals, shall maintain a vertical separation of min. 12" below the water main, outer diameter to outer diameter. All exceptions to the above require a variance from the State Water Resources Control Board.
22. If water main is exposed during installation of sewer lateral, a 20-foot section of the water main shall be replaced with 20-foot PVC C-900 DR-14 Class 305 water pipe, size in kind and centered at the crossing.

Building Services Division

23. A tenant improvement permit is required.
24. All work shall comply with the latest edition of the California Building Standards Code (CBC).
25. At least five percent (5%) of total seating shall be accessible.
26. The combined occupancy of assembly and office areas shall not exceed 300 persons (clients and employees) at any given time.
27. If the total occupancy exceeds 300, building code analysis shall be required and shall comply with applicable code requirements per CBC Table 1604.5, CBC Chapter 7, and CBC Chapter 10.

Orange County Fire Authority

28. The applicant shall comply with all applicable Orange County Fire Authority requirements, including, but not limited to the Fire Master Plan.

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29. The applicant or responsible party shall submit the plan(s) listed below to the Orange County Fire Authority for review.
- a. Prior to OCFA clearance of a final map or issuance of a precise grading permit or a building permit, if a grading permit is not required:
 - i. Fire master plan (service code PR145)
 - b. Prior to issuance of a building permit:
 - i. Architectural plans (service codes PR200-285)
 - c. Prior to concealing interior construction:
 - i. Fire sprinkler system (service codes PR430-PR455), if the building is currently sprinklered and the system required modification.
 - ii. Fire alarm system (service code PR500-PR520)
 - iii. Hood and duct extinguishing system (service code PR335)
 - d. Prior to occupancy
 - i. Completed 850 State inspection

Community Development Department

30. The use shall operate as an adult day health care facility at all times. The number of senior adults shall not exceed 260 persons or clients at one time, and 40 employees, including care providers, staff members/administrative staff. The appropriate building permit(s) shall be obtained for any proposed construction, and the permit shall be finalized prior to increasing the occupancy.
31. A valid City of Garden Grove business license shall be maintained for the facility.
32. A valid State of California Department of Public Health license shall be maintained for total capacity not to exceed 260 persons that participate in the program, and 40 employees, including care providers, staff members/administrative staff.
33. Hours of operation for the facility shall be limited to 8:30 a.m. to 4:30 p.m. Monday through Friday; closed Saturday and Sunday, however, in the event

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that problems arise and changing the hours of operation will reduce these problems, the facility shall modify the hours as prescribed by the City.

34. No storage shall be permitted outside the building or in the patio area.
35. All customer and employee drop-off and pick-up shall occur on-site, at the designated main entrance facing the parking lot on the south side of the shopping center.
36. The applicant is required to monitor the parking situation in relation to this use and should parking become a problem to the surrounding businesses, then the applicant/operator of the facility shall address the situation to the satisfaction of the City.
37. There shall be no uses or activities of an adult-oriented nature permitted on the premises as outlined in City Code Section 9.08.070.
38. There shall be no gaming tables or gaming machines as outlined in City Code Sections 8.20.010 and 8.20.050 on the premises at any time. Additionally, there shall be no gambling at any time.
39. Should the applicant have billiard/pool tables, there shall be no more than two (2) billiard/pool tables on the premises at any time.
40. Litter shall be removed daily from the premises, including adjacent public sidewalks and from all parking areas under the control of the licensee. These areas shall be swept or cleaned, either mechanically or manually, on a weekly basis, to control debris.
41. All landscaping on the property in the parking lot area and including the outdoor patio area shall be property maintained.
42. Signs shall comply with the City of Garden Grove sign requirements, and shall require approval by the Community Development Department, Planning Services Division prior to issuance of a building permit.
43. The property owner shall provide sufficient trash bins to accommodate the use. Should the need arise; trash pickup shall increase, in order to handle the amount of trash generated by the proposed use.
44. Graffiti shall be removed from the premises and all parking lots under the control of the licensee and/or the property owner within 120 hours upon notification.

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45. No new exterior piping, plumbing or mechanical ductwork shall be permitted on any exterior façade and/or be visible from any public right-of-way or adjoining property.
46. No roof-mounted mechanical equipment shall be permitted unless a method of screening, complementary to the architecture of the building, is approved by the Community Development Department, Planning Division. Said screening shall block visibility of any roof-mounted mechanical equipment from the view of public streets and surrounding properties.
47. No satellite dish antennas shall be installed on said premises unless, and until, plans have been submitted to, and approved by, the Community Development Department, Planning Division. No advertising material shall be placed thereon.
48. The use shall comply with the City's adopted Noise Ordinance as set forth in the City of Garden Grove's Municipal Code Section 8.47.020.
49. The original Conditional Use Permit No. CUP-625-02 shall be null and void, and superseded in its entirety, by the approval of CUP-011-2014 (REV. 2026).
50. The Conditional Use Permit shall be reviewed one year from the date of this approval, and every three (3) years thereafter in order to determine if the business is operating in compliance.
51. A copy of the decision and the conditions of approval for Conditional Use Permit No. CUP-011-2014 (REV. 2026) shall be kept on the premises at all times.
52. The permittee shall submit a signed letter acknowledging receipt of the decision approving Conditional Use Permit No. CUP-011-2014 (REV. 2026) and his/her agreement with all conditions of approval within 30-days from the date of this approval.
53. The applicant shall, as a condition of project approval, at its sole expense, defend, indemnify and hold harmless the City, its officers, employees, agents and consultants from any claim, action, or proceeding against the City, its officers, agents, employees and/or consultants, which action seeks to set aside, void, annul or otherwise challenge any approval by the City Council, Planning Commission, or other City decision-making body, or City staff action concerning Conditional Use Permit No. CUP-011-2014 (REV. 2026). The applicant shall pay the City's defense costs, including attorney fees and all other litigation related expenses, and shall reimburse the City for court costs, which the City may be required to pay as a result of such defense. The

Conditional Use Permit No. CUP-011-2014 (REV. 2026)
Conditions of Approval

applicant shall further pay any adverse financial award, which may issue against the City including but not limited to any award of attorney fees to a party challenging such project approval. The City shall retain the right to select its counsel of choice in any action referred to herein.

54. In accordance with Garden Grove Municipal Code Sections 9.32.160, the rights granted pursuant to Conditional Use Permit No. CUP-011-2014 (REV. 2026) shall be valid for a period of two (2) years. Unless a time extension is granted pursuant to Section 9.32.030.D.9 of the Municipal Code, the rights conferred by Conditional Use Permit No. CUP-011-2014 (REV. 2026) shall become null and void if the subject development and construction necessary and incidental thereto is not commenced within two (2) years of the expiration of the appeal period, and thereafter diligently advanced until completion of the project. In the event construction of the project is commenced, but not diligently advanced until completion, the rights granted pursuant to Conditional Use Permit No. CUP-011-2014 (REV. 2026) shall expire if the building permits for the project expire.
55. The applicant is advised that if the use of the establishment ceases to operate for more than 90 days, then the existing Conditional Use Permit will become null and void and the new applicant shall be required to apply for a new Conditional Use Permit subject to the approval by the Community Development Department, Planning Services Division. In the event the use(s) authorized by the CUP cease and the property owner no longer desires to continue such use(s) on the property, property owner may voluntarily terminate the CUP and all rights and obligations thereunder by executing and recording a request for voluntary revocation and termination of the CUP in a form acceptable to the City.