

AGENDA

ZONING ADMINISTRATOR MEETING

Garden Grove Community Meeting Center 11300 Stanford Avenue

Thursday, January 26, 2023

9:00 a.m.

Members of the public who wish to comment on matters before the Zoning Administrator, in lieu of doing so in person, may submit comments by emailing <u>public-comment@ggcity.org</u> no later than 3:00 p.m. the day prior to the meeting. The comments will be provided to the Zoning Administrator as part of the meeting record.

COVID-19: Masks are not required, however, the public is encouraged to wear masks in City facilities. Please do not attend this meeting if you have had direct contact with someone who has tested positive for COVID-19, or if you are experiencing symptoms such as coughing, sneezing, fever, difficulty breathing or other flu-like symptoms.

Members of the public desiring to speak on any item of public interest, including any item on the agenda except public hearings, must do so during Comments by the Public. Each speaker shall be limited to three (3) minutes. Members of the public wishing to address public hearing items shall do so at the time of the public hearing.

<u>Meeting Assistance</u>: Any person requiring auxiliary aids and services, due to a disability, should contact the Department of Community & Economic Development at (714) 741-5312 or email <u>planning@qqcity.org</u> 72 hours prior to the meeting to arrange for special accommodations. (Government Code §5494.3.2).

All revised or additional documents and writings related to any items on the agenda, which are distributed to the Zoning Administrator within 72 hours of a meeting, shall be available for public inspection (1) at the Planning Services Division during normal business hours; and (2) at the Community Meeting Center at the time of the meeting.

Agenda item descriptions are intended to give a brief, general description of the item to advise the public of the item's general nature. The Zoning Administrator may take legislative action deemed appropriate with respect to the item and is not limited to the recommended action indicated in staff reports or the agenda.

1. <u>PUBLIC HEARING ITEM(S):</u>

a. <u>CONDITIONAL USE PERMIT NO. CUP-232-2023</u>

APPLICANT: Toby Nguyen LOCATION: 8762 Garden Grove Boulevard #102

- REQUEST: Conditional Use Permit approval to operate a new 3,748 square foot preschool/daycare (child daycare center), Dragonfly Academy, for 54 children, aged 2 to 5 years old, along with a 2,025 square foot outdoor playground. Upon approval of the subject request, the Conditional Use permit previously governing the tenant space, CUP-047-2015, which allowed an after-school program, shall be revoked and become null and void. The site is in the GGMU-2 (Garden Grove Boulevard Mixed Use 2) zone. In conjunction with the request, the Zoning Administrator will also consider a determination that the project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 – Existing Facilities – of the State CEQA Guidelines.
- b. <u>CONDITIONAL USE PERMIT NO. CUP-234-2023</u>

APPLICANT: Kyunghee Choi Park

LOCATION: 9836 Garden Grove Boulevard

- REQUEST: Conditional Use Permit approval to operate a new cosmetology vocational trade school in an existing 3,081 square foot commercial tenant space. The school will be limited to a maximum of 36 students and three instructors at any one time. The site is in the GGMU-3 (Garden Grove Boulevard Mixed Use 3) zone. In conjunction with the request, the Zoning Administrator will also consider a determination that the project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 Existing Facilities of the State CEQA Guidelines.
- 2. <u>COMMENTS BY THE PUBLIC</u>
- 3. <u>ADJOURNMENT</u>

GARDEN GROVE ZONING ADMINISTRATOR MEETING Garden Grove Community Meeting Center 11300 Stanford Avenue, Garden Grove, CA 92840

Meeting Minutes Thursday, November 10, 2022

CALL TO ORDER: 9:00 a.m.

PUBLIC HEARING - CONDITIONAL USE PERMIT NO. CUP-229-2022

Applicant: Jose Estrada

Location: 12582 Valley View Street Date: November 10, 2022

- Request: Conditional Use Permit approval to allow a new restaurant, Estrada's Café, to operate with a new original State Alcoholic Beverage Control (ABC) Type "41" (On-Sale, Beer and Wine, Public Eating Place) License within an existing vacant restaurant tenant space. Upon approval and exercising of the subject request, the Conditional Use Permit previously governing the tenant space, CUP-179-06, shall be revoked and become null and void. The site is in the PUD-102-76 (Planned Unit Development) zone. In conjunction with the request, the Zoning Administrator will also consider a determination that the project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 Existing Facilities of the State CEQA Guidelines.
 - Action: Public Hearing Held. Speaker(s): Ian Brown. One letter of support was submitted by Robbi Maurer.
 - Action: The Zoning Administrator adopted Decision No. 1832-22 with an amendment to add language (in bold) to Page 4 of the Decision:

Although the subject site is located in an area considered to be in a low-crime district and in an area with an over-concentration of on-sale ABC licenses, a finding for public convenience or necessity is warranted given the potential community benefit through the operation of the restaurant with an ABC Type "41" (On-Sale, Beer and Wine, Public Eating Place) License. The addition of the new ABC Type "41" License would provide and maintain an amenity that enhances the customer dining experience and maintains the intent of being a business serving the local community. The use will not adversely affect the health, peace, comfort or welfare of persons residing or working in the surrounding area. Provided the Conditions of Approval are adhered to for the life of the project, the use will be harmonious with the persons who work and live in the area. Therefore, the City of Garden Grove hereby

determines and approves a Finding of Public Convenience or Necessity for Conditional Use Permit No. CUP-229-2022.

PUBLIC HEARING - CONDITIONAL USE PERMIT NO. CUP-231-2022

- Applicant: Jiyeon Kim
- Location: 9760 Garden Grove Boulevard
- Date: November 10, 2022
- Request: Conditional Use Permit approval to operate an existing restaurant, Mochinut Chungchun Hotdog, with a new original State Alcoholic Beverage Control (ABC) Type "41" (On-Sale, Beer and Wine, Public Eating Place) License. The site is in the GGMU-3 (Garden Grove Boulevard Mixed Use 3) zone. In conjunction with the request, the Zoning Administrator will also consider a determination that the project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 – Existing Facilities – of the State CEQA Guidelines.
 - Action: Public Hearing Held. Speaker(s): Kevin Franklin. One letter of opposition was submitted by Dr. M. Hernandez with concerns for overconcentration of licenses, crime, disturbances, drunkenness, and trash in the area due to alcohol.
 - Action: The Zoning Administrator adopted Decision No. 1833-22 with an amendment to add language (in bold) to Page 3/4 of the Decision:

Although the subject site is located in an area considered to be in a high-crime district and in an area with an over-concentration of on-sale ABC licenses, a finding for public convenience or necessity is warranted given the potential community benefit through the operation of the restaurant with an ABC Type "41" (On-Sale, Beer and Wine, Public Eating Place) License. The addition of the new ABC Type "41" License would provide and maintain an amenity that enhances the customer dining experience and maintains the intent of being a business serving the local community. The use will not adversely affect the health, peace, comfort or welfare of persons residing or working in the surrounding area. Provided the Conditions of Approval are adhered to for the life of the project, the use will be harmonious with the persons who work and live in the Therefore, the City of Garden Grove hereby area. determines and approves a Finding of Public

Convenience or Necessity for Conditional Use Permit No. CUP-231-2022.

ORAL COMMUNICATIONS – PUBLIC: None.

<u>ADJOURNMENT</u>: The Zoning Administrator adjourned the meeting at 9:12 a.m.

Judith Moore, Recording Secretary

COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT PLANNING STAFF REPORT

AGENDA ITEM NO.: 1.a.	SITE LOCATION: South side of Garden Grove Boulevard, between Newland Street and Yockey Street, at 8762 Garden Grove Boulevard, Suite #102
HEARING DATE: January 26, 2023	GENERAL PLAN: Residential/Commercial Mixed Use 2
CASE NO.: Conditional Use Permit No. CUP-232-2023	ZONE: GGMU-2 (Garden Grove Boulevard Mixed Use 2)
APPLICANT: Toby Nguyen	CEQA DETERMINATION: Exempt
PROPERTY OWNER: Austin Park and Julianne Park	APN: 097-222-02

REQUEST:

A request for Conditional Use Permit approval to operate a new 3,748 square foot preschool/daycare (child daycare center), Dragonfly Academy, for 54 children aged 2 to 5 years old, along with a 2,025 square foot outdoor playground. Upon approval of the subject request, the Conditional Use Permit previously governing the tenant space, CUP-047-2015, which allowed an after-school program, shall be revoked and become null and void.

BACKGROUND:

The subject site is currently improved with an existing two-story, multi-tenant commercial shopping center, Newton Plaza, comprised of two (2) buildings on two (2) parcels under separate ownership. Existing uses within the shopping center include a tea/boba shop, a beauty salon, medical offices, a dance academy, a nail salon, a restaurant, and other similar commercial uses. The specific tenant space under application is an approximately 3,748 square foot tenant space located in the south end of the building on the parcel located to the east. The tenant space was previously in operation as an afterschool program under Conditional Use Permit No. CUP-047-2015. According to business license records, the afterschool program ceased operation on September 2020.

In December of 2021, the owner/operator of Dragonfly Academy obtained business license approval for a change of ownership of the existing afterschool program business. During an inspection conducted by the Orange County Fire Authority (OCFA) as required by the State for proposed preschool/daycares, the inspector noted the business, which appeared to be operating as a preschool/daycare, was in direct violation of several Conditions of Approval under CUP-047-2015. The business

STAFF REPORT FOR PUBLIC HEARING CASE NO. CUP-232-2023

operations of a preschool/daycare significantly differ from an afterschool program, which include differences related to, but not limited to, State requirements for age of the children, hours of care and supervision, and the minimum requirements for indoor and outdoor activity areas. In an effort to comply with the State's outdoor activity area requirements, the business owner had constructed an outdoor playground to the southeast of the subject tenant space, within an existing parking lot and without City approval. OCFA contacted the City's Code Enforcement Division due to the lack of permit for the outdoor playground area, and various CUP violations. Therefore, the applicant is requesting a new Conditional Use Permit that would specifically allow the operation of a preschool/daycare with an outdoor playground area.

The subject site is zoned GGMU-2 (Garden Grove Boulevard Mixed Use 2) and has a General Plan Land Use Designation of Residential/Commercial Mixed Use 2. The subject shopping center abuts a GGMU-2 zoned property to the west improved with a vacant auto dealership, a GGMU-2 zoned property to the east improved with a multi-family development, R-3 (Multiple-Family Residential) zoned properties to the south, across an alley, improved with multi-family units, a Planned Unit Development No. PUD-104-80 zoned property also to the south improved with a multi-family development, and GGMU-2 zoned properties to the north across Garden Grove Boulevard improved with commercial buildings.

Dragonfly Academy classifies as a "child daycare center", a commercial type use, which the Municipal Code defines as "consistent with Health and Safety Code Section 1596.76, any child daycare facility licensed pursuant to Health and Safety Code Section 1596.80 et seq. other than a family daycare home, and includes infant centers, preschools, extended daycare facilities, and school age child care centers, which provide care, protection and supervision to children, for periods of less than 24 hours per day". A "child day care center" use, which includes preschools, is a conditionally permitted use in the GGMU-2 zone.

DISCUSSION:

According to the business plan, Dragonfly Academy is a preschool/daycare facility for children promoting physical, social, emotional, cognitive, and creative development for children ages 2 to 5 years old. The proposed preschool/daycare will be the applicant's first location. Typical business activities of Dragonfly Academy include instruction of letters, colors, and numbers. In addition, free play time, "circle time" (also called group time, refers to a group of children sitting together participating in an activity involving everyone), crafts, paint, arts, puzzles, and motor skill exercises, are also part of the daily schedule. Breakfast, one (1) snack break, and lunch are prepared and served daily. For the majority of the day, children will spend their time within the indoor activity rooms (instruction areas), and will have two thirty (30) minute sessions of outdoor play time in the morning and afternoon.

STAFF REPORT FOR PUBLIC HEARING CASE NO. CUP-232-2023

The interior of the proposed 3,748 square foot preschool/daycare tenant space will consist of four (4) classrooms, an office, an employee room with a kitchen, restrooms, and a storage room. At the rear of the tenant space, the existing unpermitted outdoor playground, which is located within an area previously improved with parking spaces, will be reduced in size to approximately 2,025 square feet, and five (5) previously existing parking stalls will be re-striped. The playground will be secured with a 5'-0" tall wrought iron fence that will separate the outdoor playground area from the rest of the parking lot. The outdoor space will contain age-appropriate play structures and equipment.

The proposed hours of operation are from 7:30 a.m. to 6:00 p.m. Drop-off is expected between 7:30 a.m. and 8:30 a.m., which allows a one-hour window. Breakfast is served at 8:30 a.m., to allow for instruction and other activities to begin at 9:00 a.m. Pick-up is between 5:30 p.m. and 6:00 p.m. Conditions of approval will required that the applicant provide a drop-off and pick-up plan to prevent any impacts to the shopping center that the surrounding area.

State laws, administered and regulated by the California Department of Social Services (CDSS), applicable to preschools/daycares require a minimum amount of indoor and outdoor activity space, which is used to determine the maximum children capacity. For outdoor activity space, a minimum of 75 square foot per child is required. For indoor activity space, a minimum of 35 square feet per child is required. Dragonfly Academy has proposed to operate with a maximum capacity of 54 children. The number of employees is directly related to the number of children enrolled in the facility. Therefore, per State law, the preschool/daycare will operate with a minimum of six (6) employees.

Based on the proposed number of enrolled children (54), the minimum amount of required indoor activity space (35 square feet per child) is 1,890 square feet and the minimum amount of outdoor activity space (75 square feet per child) is 4,050 square feet. Dragonfly Academy will provide a total of 2,268 square feet of indoor activity space, exceeding the minimum required by CDSS. Dragonfly Academy will provide a total of 2,025 square feet of outdoor activity space, which is less than the minimum required. The applicant has coordinated with CDSS to obtain a waiver of the minimum outdoor activity space requirement. To allow the waiver, CDSS limits the total number of enrolled children to 54. Dragonfly Academy will establish a staggered schedule of outdoor play times for all classrooms to comply with this requirement. As part of the approval of Conditional Use Permit No. CUP-232-2023, a Condition of Approval (Condition No. 34) has been included to specify that the maximum enrollment capacity of 54 children, contemplated and approved under CUP-232-2023, is contingent upon the applicant obtaining final approval and acknowledgement in writing of a waiver from the California Department of Social Services for any indoor or outdoor activity space(s), including any other applicable prior to commencement of operation of the requirements by CDSS, preschool/daycare. Provided the applicant has successfully obtained the necessary waiver for indoor and/or outdoor activity space, along with the State license for the preschool/daycare facility, the facility is permitted a maximum enrollment capacity

of 54 children, as proposed. In the event that the applicant is unable to obtain approval of a waiver from CDSS from any applicable State law requirements, including those related to minimum indoor and/or outdoor activity spaces, that would preclude the proposed maximum enrollment capacity of 54 children, the applicant shall limit the maximum number of children for the preschool/daycare, as required and stipulated by the approved state license for the facility. At no time, nor under any circumstance, shall the facility exceed a maximum capacity of 54 children, unless the applicant has obtained necessary approval to modify the existing Conditional Use Permit or obtain approval of a new Conditional Use Permit, as determined by the Community and Economic Development Department and approved by the appropriate hearing body.

For preschool/daycare uses, the Municipal Code requires a minimum of one (1) parking space per provider and staff member plus one (1) parking space for every Based on the proposed capacity of 54 children and six (6) six (6) children. providers/staff members, the proposed preschool/daycare requires a minimum of 15 parking spaces. A parking study, prepared by a licensed traffic engineering consultant firm (Infrastructure Group, Inc.), has been submitted in order to determine if there is adequate parking to support the subject preschool/daycare and all other on-site uses within the shopping center. The study has been reviewed and approved by the City's Traffic Engineering Division. The parking study analyzed all on-site parking, and was performed during regular business hours while all Per Section 9.18.140.060, Joint Use and Parking businesses were open. Management, of Title 9 of the Municipal Code, a parking management plan is required when the number of parking spaces required is proposed to be reduced, but not more than 25%. A peak-demand calculation must also be included and must demonstrate a 10% increase in the minimum number of spaces above the peak demand calculation to allow for future changes in the types of uses proposed in the original development plan. The existing parking supply in the shopping center consists of 99 Subsequent to the proposed reduction in size of the existing parking spaces. unpermitted playground area (down to 2,025 square feet), and re-striping of previously existing parking spaces, the subject shopping center will establish a new total of 103 parking spaces, which is a 25% deficiency. Inclusive of the proposed preschool/daycare, the total number of parking spaces required by Code for the shopping center is 137 parking spaces minimum.

The parking analysis performed indicates that there is a peak demand of 37 parking spaces at 5:15 p.m. on a weekday, which would be the busiest day of the week since various tenants are closed on the weekends. Given the peak demand of 37 parking spaces, there is an anticipated surplus of 66 parking spaces (based on 103 available parking spaces).

The parking management plan submitted, which includes the parking demand of the proposed preschool/daycare, shows a peak demand of 52 parking spaces, including a 10% increase for future changes in the types of uses in the center. The analysis indicates a surplus of 51 parking spaces. Therefore, the parking study concludes there is sufficient parking in the shopping center to facilitate the establishment of the

proposed preschool/daycare, with no negative impacts anticipated to current or future parking operations of the shopping center.

The Community and Economic Development Department has reviewed the request and is supporting the proposal. All appropriate Conditions of Approval have been incorporated.

CEQA:

CEQA's Class 1 exemption applies to the operation, repair, maintenance, permitting, leasing, licensing, and minor alterations of existing facilities, with negligible or no expansion of use (CEQA Guidelines §15301). The subject request for the proposed preschool/daycare does not physically expand or intensify the existing building, besides a negligible change to convert a portion of the existing parking lot area to an outdoor playground area for the preschool/daycare. The preschool/daycare facility is a conditionally permitted use in the subject zone. Upon approval and exercise of the CUP, the proposed business would be in compliance with all applicable requirements of the Municipal Code. Therefore, the proposed project is exempt from CEQA.

RECOMMENDATION:

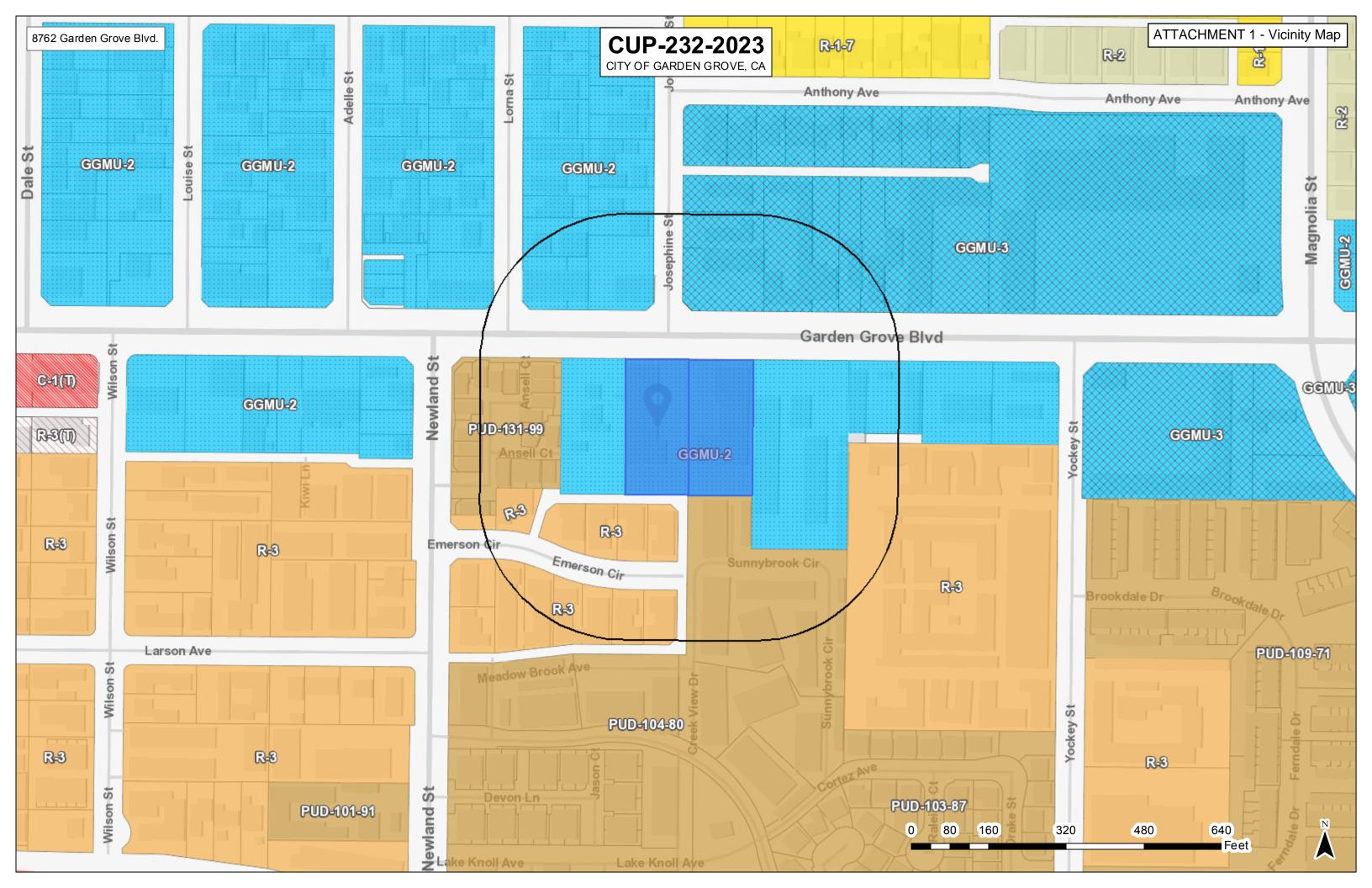
Staff recommends that the Zoning Administrator take the following action:

1. Adopt Decision No. 1834-23 approving Conditional Use Permit No. CUP-232-2023, subject to the recommended Conditions of Approval.

Maria Parra Planning Services Manager

Mary Martinez Associate Planner

Attachment 1:Vicinity MapAttachment 2:Plans





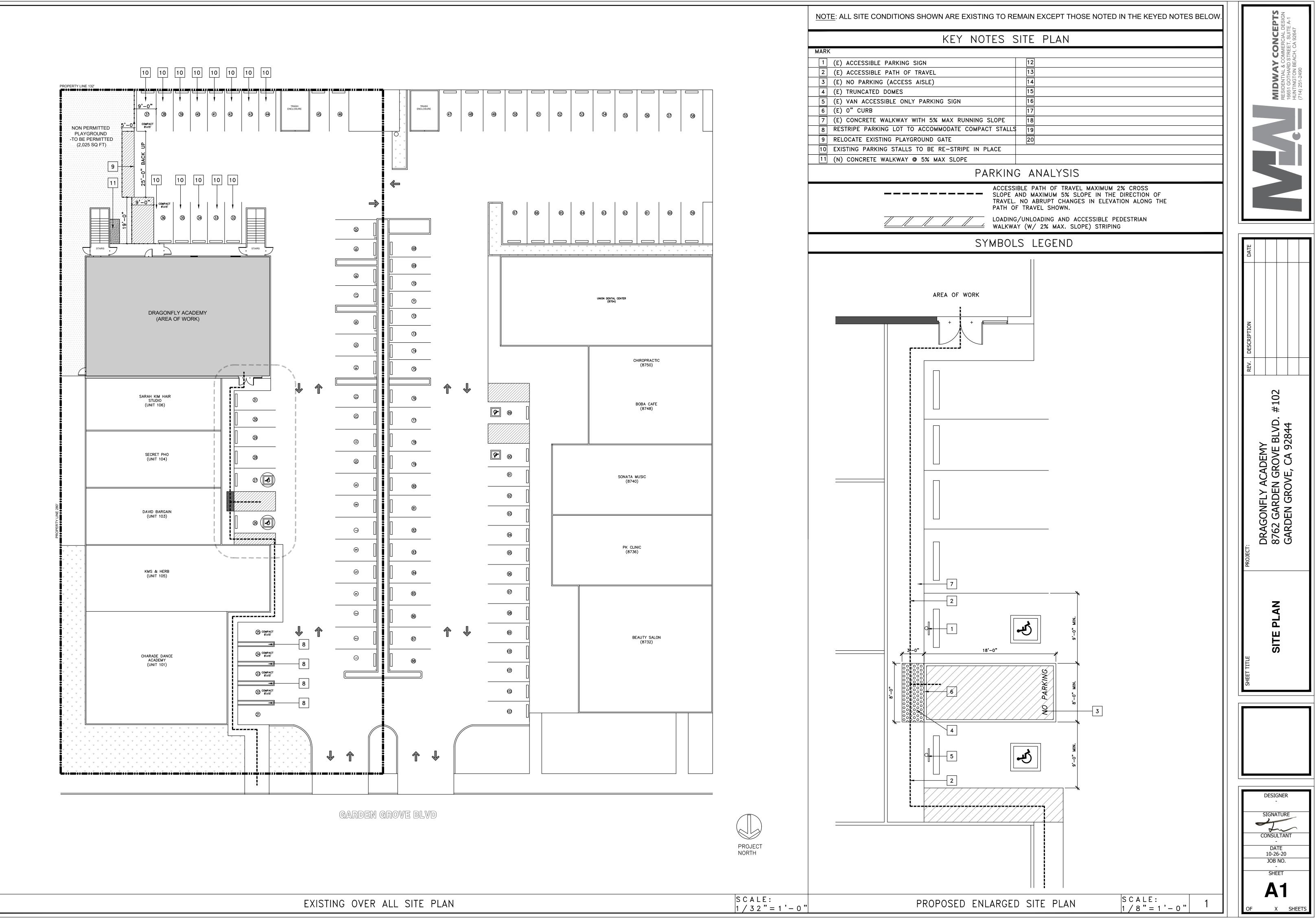
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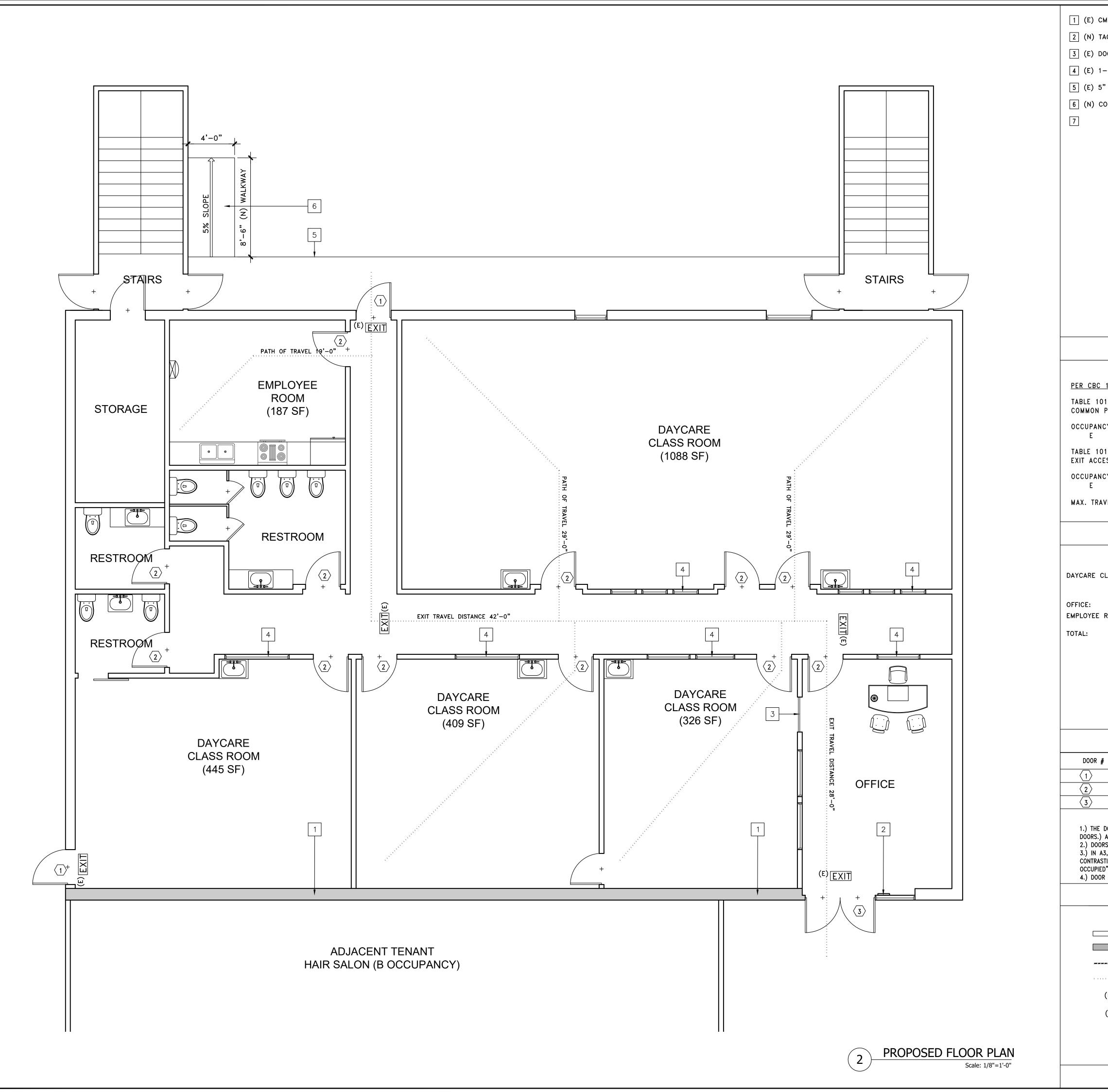
ONFLY ACADEMY EN GROVE BLVD. #102 N GROVE, CA 92844

ATTACHMENT 2 - Plans

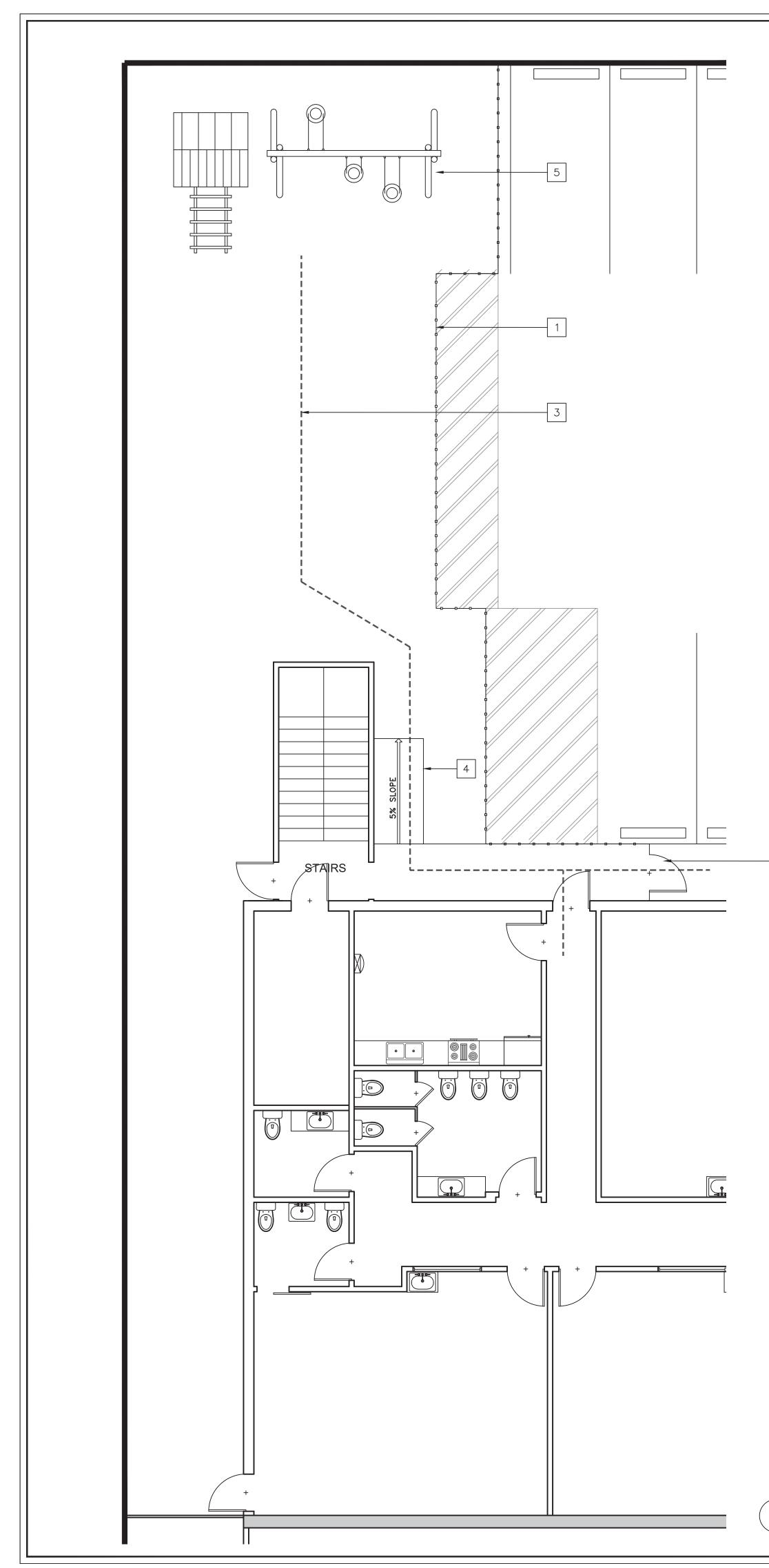
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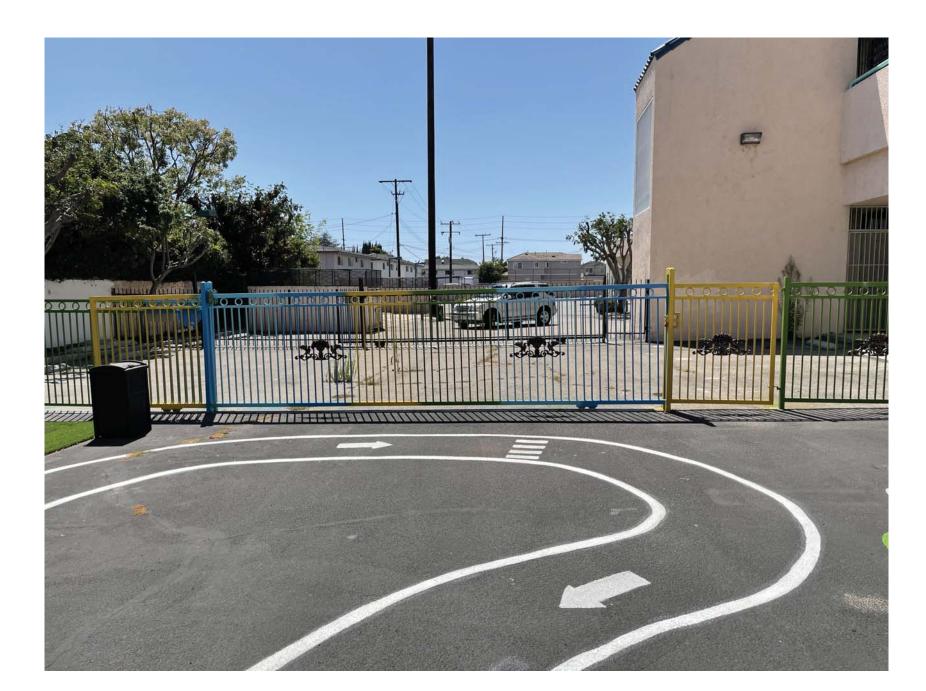




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METAL/ GLAS	SS (2) 3'-0"x7'-0"x1 3/4"	EXISTING SWING (E) PUSH & PULL	
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HARDWIRED W/ 90 MIN. BACK UP BATTERY			
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FEATURES

Clubhouse with Hardtop Roof

- Low Maintenance No Staining or Painting Required
- Passes Playground Performance and Safety Standards
- Soft Rubber Grips on Swing Chains to Prevent Pinching or Snagging
- 9-ft. Wavy Slide
- Integrated Car Map on Tower Floor
- UV-Resistant Retains Strength and Maintains Color
- Free-Standing No Need for Cement
- 1 Trapeze Bar and 2 Swings
- All-Weather Resistant Will Not Crack, Warp, Rot, or Splinter
- 2 Swings
- Two Sturdy 3-D Climbing Walls
- Hard Edges are Rounded or Covered with Plastic Caps
- No Lead-Based Material

LITTLE TIKES PICNIC TABLE

LITTLE TIKES HIDE AND SEEK CLIMBER & SWING

LITTLE TIKES HIDE & SLIDE

LIFETIME ADVENTURE TOWER WITH SPIDER SWING

LITTLE TIKES TREE HOUSE SWING SET

KIDKRAFT FORESTVIEW WOODEN PLAYHOUSE

HEART OF THE HOME KITCHEN PLAYSET

STEP 2 SMALL KITCHEN PLAYSET

LITTLE TIKES PRINCESS HORSE & CARRIAGE

ANGEL MYRIDER MAXI 3 WHEELS TRIKES

XJD 3 IN 1 TRICYCLES TODDLER

PLAYGROUND EQUIPMENT LIST

1 5'-0" MULTICOLOR WROUGHT IRON FENCE

2 5'-0"H x 3'-0"W EXIT GATE WITH PANIC HARDWARE
 3 EXIT PATH OF TRAVEL
 4 ACCESSIBLE WALKWAY @ 5% MAX RUNNING SLOPE

5 PLAYGROUND EQUIPMENT

KEYNOTES

	MIDWAY CONCEPTS RESIDENTIAL & COMMERCIAL DESIGN 16651 GOTHARD STREET, SUITE A-1 HUNTINGTON BEACH, CA 92647 (714) 251-2490		
DATE			
REV. DESCRIPTION			
PROJECT:	DRAGONFLY ACADEMY 8762 GARDEN GROVE BLVD. #102 GARDEN GROVE, CA 92844		
SHEET TITLE	PLAYGROUND		
	DESIGNER SIGNATURE CONSULTANT DATE 10-26-20 JOB NO. SHEET SHEET		

X SHEETS

DECISION NO. 1834-23

A DECISION OF THE ZONING ADMINISTRATOR OF THE CITY OF GARDEN GROVE APPROVING CONDITIONAL USE PERMIT NO. CUP-232-2023, AND REVOKING CONDITIONAL USE PERMIT NO. CUP-047-2015, TO OPERATE A NEW PRESCHOOL/DAYCARE (CHILD DAYCARE CENTER), DRAGONFLY ACADEMY, LOCATED ON THE SOUTH SIDE OF GARDEN GROVE BOULEVARD, BETWEEN NEWLAND STREET AND YOCKEY STREET, AT 8762 GARDEN GROVE BOULEVARD, SUITE #102, ASSESSOR'S PARCEL NO. 097-222-02.

BE IT RESOLVED that the Zoning Administrator of the City of Garden Grove does hereby approve Conditional Use Permit No. CUP-232-2023, and revoke Conditional Use Permit No. CUP-047-2015, for the property located on the south side of Garden Grove Boulevard, between Newland Street and Yockey Street, at 8762 Garden Grove Boulevard, Suite #102, Assessor's Parcel No. 097-222-02.

BE IT FURTHER RESOLVED in the matter of Conditional Use Permit No. CUP-232-2023, the Zoning Administrator of the City of Garden Grove does hereby report as follows:

- 1. The subject case was initiated by Toby Nguyen, with authorization from the property owner, Austin Park and Julianne Park.
- 2. A request for Conditional Use Permit approval to operate a new 3,748 square foot preschool/daycare (child daycare center), Dragonfly Academy, for 54 children aged 2 to 5 years old, along with a 2,025 square foot outdoor playground. Upon approval of the subject request, the Conditional Use Permit previously governing the tenant space, CUP-047-2015, which allowed an after-school program, shall be revoked and become null and void.
- 3. The Zoning Administrator hereby determines that this project is categorically exempt from review under the California Environmental Quality Act ("CEQA") pursuant to Article 19, Section 15301, Existing Facilities, of the CEQA Guidelines (14 Cal. Code Regs., Section 15301).
- 4. The property has a General Plan Land Use Designation of Residential/Commercial Mixed Use 2 and is zoned GGMU-2 (Garden Grove Boulevard Mixed Use 2). The subject site is currently improved with an existing multi-tenant commercial shopping center, Newton Plaza, comprised of two (2) buildings. Existing uses within the shopping center include a tea/boba shop, a beauty salon, medical offices, a dance academy, a nail salon, a restaurant, and other similar commercial uses. The specific tenant space under application is an approximately 3,748 square foot tenant space located in the south end of the building on the east side of the property.
- 5. Existing land use, zoning, and General Plan designation of property within the vicinity of the subject property have been reviewed.

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- 6. Report submitted by City Staff was reviewed.
- 7. Pursuant to a legal notice, a public hearing was held on January 26, 2023, and interested persons were given an opportunity to be heard.
- 8. The Zoning Administrator gave due and careful consideration to the matter at its meeting on January 26, 2023, and

BE IT FURTHER RESOLVED, FOUND AND DETERMINED that the facts and reasons supporting the conclusion of the Zoning Administrator, as required under Municipal Code Section 9.32.30, are as follows:

FACTS:

The subject site is currently improved with an existing two-story, multi-tenant commercial shopping center, Newton Plaza, comprised of two (2) buildings on two (2) parcels under separate ownership. Existing uses within the shopping center include a tea/boba shop, a beauty salon, medical offices, a dance academy, a nail salon, a restaurant, and other similar commercial uses. The specific tenant space under application is an approximately 3,748 square foot tenant space located in the south end of the building on the parcel located to the east. The tenant space was previously in operation as an afterschool program under Conditional Use Permit No. CUP-047-2015. According to business license records, the afterschool program ceased operation on September 2020.

The subject site is zoned GGMU-2 (Garden Grove Boulevard Mixed Use 2) and has a General Plan Land Use Designation of Residential/Commercial Mixed Use 2. The subject shopping center abuts a GGMU-2 zoned property to the west improved with a vacant auto dealership, a GGMU-2 zoned property to the east improved with a multi-family development, R-3 (Multiple-Family Residential) zoned properties to the south, across an alley, improved with multi-family units, a Planned Unit Development No. PUD-104-80 zoned property also to the south improved with a multi-family development, and GGMU-2 zoned properties to the north across Garden Grove Boulevard improved with commercial buildings.

According to the business plan, Dragonfly Academy is a preschool/daycare facility for children promoting physical, social, emotional, cognitive, and creative development for children ages 2 to 5 years old. The proposed preschool/daycare will be the applicant's first location. Typical business activities of Dragonfly Academy include instruction of letters, colors, and numbers. In addition, free play time, "circle time" (also called group time, refers to a group of children sitting together participating in an activity involving everyone), crafts, paint, arts, puzzles, and motor skill exercises, are also part of the daily schedule. Breakfast, one (1) snack break, and lunch are prepared and served daily. For the majority of the day, children will spend their time within the indoor activity rooms (instruction areas), Decision No. 1834-23

The interior of the proposed 3,748 square foot preschool/daycare tenant space will consist of four (4) classrooms, an office, an employee room with a kitchen, restrooms, and a storage room. At the rear of the tenant space, the existing unpermitted outdoor playground, which is located within an area previously improved with parking spaces, will be reduced in size to approximately 2,025 square feet, and five (5) previously existing parking stalls will be re-striped. The playground will be secured with a 5'-0" tall wrought iron fence that will separate the outdoor playground area from the rest of the parking lot. The outdoor space will contain age-appropriate play structures and equipment.

The proposed hours of operation are from 7:30 a.m. to 6:00 p.m. Drop-off is expected between 7:30 a.m. and 8:30 a.m., which allows a one-hour window. Breakfast is served at 8:30 a.m., to allow for instruction and other activities to begin at 9:00 a.m. Pick-up is between 5:30 p.m. and 6:00 p.m. Conditions of approval will required that the applicant provide a drop-off and pick-up plan to prevent any impacts to the shopping center that the surrounding area.

Dragonfly Academy will abide by all applicable State laws, administered and regulated by the California Department of Social Services (CDSS), and will provide the requisite minimum amount of indoor and outdoor activity space, as determined by CDSS.

A parking study has been submitted in order to determine if there is adequate parking to support the subject preschool/daycare and all other on-site uses within the shopping center. The parking study determined that there is sufficient parking available for the proposed use. The study has been reviewed and approved by the City's Traffic Engineering Division.

The Community and Economic Development Department has reviewed the request and is supporting the proposal. All appropriate Conditions of Approval have been incorporated.

FINDINGS AND REASONS:

1. The proposed use will be consistent with the City's adopted General Plan and redevelopment plan.

The subject site has a General Plan Land Use Designation of Residential/Commercial Mixed Use 2, and is zoned GGMU-2 (Garden Grove Boulevard Mixed Use 2). The Residential/Commercial Mixed Use 2 General Plan Land Use Designation is intended to provide a mix of residential and

commercial uses mostly around older underutilized, multi-tenant commercial developments.

Dragonfly Academy classifies as a "child daycare center", a commercial type use, which the Municipal Code defines as "consistent with Health and Safety Code Section 1596.76, any preschool/daycare facility licensed pursuant to Health and Safety Code Section 1596.80 et seq. other than a family daycare home, and includes infant centers, preschools, extended daycare facilities, and school age child care centers, which provide care, protection and supervision to children, for periods of less than 24 hours per day". A "child daycare center" use, which includes preschools, is a conditionally permitted use in the GGMU-2 zone. The establishment of the proposed preschool/daycare use is consistent with the goals and policies of the General Plan, which include:

a. Policy LU-1.3: To encourage a wide variety of retail and commercial services, such as restaurants and cultural arts/entertainment, in appropriate locations.

The proposed preschool/daycare, Dragonfly Academy, will provide essential child care services to residents in the community.

b. Policy LU-2.4: To assure that the type and intensity of land use shall be consistent with that of the immediate neighborhood; and Goal LU-4: The City seeks to develop uses that are compatible with one another.

A child daycare center, which includes a preschool, is a low-intensive use that is compatible with the existing surrounding uses in the area, which includes the existing residential and commercial uses in the immediate neighborhood.

c. Goal LU-5: To achieve economically viable, vital, and attractive commercial centers throughout the City that serve the needs of the community; and Goal LU-6: Revitalization of aging, underused or deteriorated commercial corridors, centers, and properties in the City; and Policy LU-6.2: Encourage a mix of retail shops and services along the commercial corridors and in centers that better meet the needs of the area's present and potential clientele.

The proposed preschool/daycare, Dragonfly Academy, will provide essential child care services to residents in the community, while also filling a tenant space vacancy within the existing shopping center, which has been vacant since 2020. The existing shopping center currently includes multiple vacancies. And the proposed preschool/daycare will fill a vacant tenant space, supporting efforts to revitalize the shopping center.

2. The requested use at the location proposed will not: adversely affect the health, peace, comfort, or welfare of the persons residing or working in the surrounding area, or unreasonably interfere with the use, enjoyment, or valuation of the property of other persons located in the vicinity of the site, or jeopardize, endanger, or otherwise constitute a menace to public health, safety, or general welfare.

The use will not adversely affect the health, peace, comfort or welfare of persons residing or working in the surrounding area. The proposed use is located in a commercial zone, on a commercially developed property with similar type uses that are permitted in the GGMU-2 (Garden Grove Boulevard Mixed Use 2) zone. The day-to-day business operations of Dragonfly Academy will remain within an enclosed building, with an outdoor playground area screened from public view, and is overall low impact in nature to the surrounding area. A parking study has been submitted in order to determine if there is adequate parking to support the subject preschool/daycare and all other on-site uses within the shopping center. The study has been reviewed and approved by the City's Traffic Engineering Division, which demonstrates that there is sufficient parking available for the proposed use. The Conditions of Approval will minimize potential impacts to the adjoining area. Provided the Conditions of Approval are adhered to for the life of the project, the use will be harmonious with the persons who work and live in the area.

Additionally, the use will not unreasonably interfere with the use, enjoyment or valuation of the property of other persons located within the vicinity of the site. The proposed preschool/daycare operation is conditionally permitted (requires approval of a Conditional Use Permit) in the GGMU-2 (Garden Grove Boulevard Mixed Use 2) zone. The business activities will be compatible with the surrounding uses provided the business complies with all appropriate codes and regulations set forth in the City's Municipal Code as well as requirements of the Orange County Fire Authority (OCFA), applicable California Building Codes, and requirements of State law administered and regulated by the California Department of Social Services (CDSS).

Finally, the use will not jeopardize, endanger, or otherwise constitute a menace to public health, safety, or general welfare. The Conditions of Approval will ensure the public health, safety, and welfare. Also, the applicant is required to obtain all necessary building permits to ensure maintenance of public health, safety, and welfare. Therefore, the project will not create a menace to the public health, safety, or welfare provided the Conditions of Approval are adhered to for the life of the project, and all

necessary permits are obtained with accompanying inspections (i.e., building, OCFA, and CDSS permits, license, and inspections).

3. The proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in this title or as is otherwise required in order to integrate such use with the uses in the surrounding area.

The subject site is currently improved with an existing multi-tenant commercial shopping center, Newton Plaza, comprised of two (2) buildings on two (2) parcels under separate ownership. The City has reviewed the proposed plans associated with the site improvements, including the addition of the fenced outdoor playground, to ensure that adequate site circulation, parking, and loading area access are maintained. A parking study has been submitted in order to determine if there is adequate parking to support the subject preschool/daycare and all other on-site uses within the shopping center. The study has been reviewed and approved by the City's Traffic Engineering Division, which demonstrates that there is sufficient parking for the proposed use. No site walls, yards, or landscaping will be affected by the proposed preschool/daycare.

4. The proposed site is adequately served: by highways or streets or sufficient width and improved as necessary to carry the kind and quantity of traffic such as to be generated, and by other public or private service facilities as required.

The site is adequately served by one (1) shared driveway located off of Garden Grove Boulevard. The site is also adequately served by the public service facilities required such as public utilities: gas, electric, water, and sewer facilities.

INCORPORATION OF FACTS AND REASONS SET FORTH IN STAFF REPORT

In addition to the foregoing, the Zoning Administrator incorporates herein by this reference, the facts and reasons set forth in the staff report.

BE IT FURTHER RESOLVED that the Zoning Administrator does conclude:

- 1. Conditional Use Permit No. CUP-232-2023 does possess characteristics that would indicate justification of the requests in accordance with Municipal Code Section 9.32.030 (Conditional Use Permits).
- 2. In order to fulfill the purpose and intent of the Municipal Code, and thereby promote the health, safety, and general welfare, the following conditions of

Decision No. 1834-23

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approval, attached as Exhibit "A", shall apply to Conditional Use Permit No. CUP-232-2023.

Dated: January 26, 2023

DAVID DENT ZONING ADMINISTRATOR

EXHIBIT "A"

Conditional Use Permit No. CUP-232-2023

8762 Garden Grove Boulevard, Suite #102 (Assessor's Parcel No. 097-222-02)

CONDITIONS OF APPROVAL

General Conditions

- 1. Each owner of the property shall execute, and the applicant shall record against the property, a "Notice of Discretionary Permit Approval and Agreement with Conditions of Approval," as prepared by the City Attorney's Office, within 30 days of approval. This Conditional Use Permit runs with the land and is binding upon the property owner, his/her/its heirs, assigns, and successors in interest.
- 2. All Conditions of Approval set forth herein shall be binding on and enforceable against each of the following, and whenever used herein, the term "applicant" shall mean and refer to the project applicant, Toby Nguyen, the current owner of the property, Austin Park and Julianne Park, the future owner(s) and tenant(s) of the property, and each of their respective successors and assigns, including all subsequent purchasers and/or tenants. The applicant and subsequent owner/operators of such business shall adhere to the conditions of approval for the life of the project, regardless of property ownership. Any changes of the conditions of approval require approval by the Planning Commission, except as otherwise provided herein.
- 3. This Conditional Use Permit only authorizes the operation of an approximately 3,748 square foot "child daycare center" use/operation consistent with Health and Safety Code Section 1596.76, as a preschool/child daycare facility licensed pursuant to Health and Safety Code Section 1596.80 et seq., which provides care, protection and supervision to children, for periods of less than 24 hours per day. Approval of this Conditional Use Permit shall not be construed to mean any waiver of applicable and appropriate zoning and other regulations; and wherein not otherwise specified, all requirements of the City of Garden Grove Municipal Code shall apply.
- 4. Minor modifications to the approved site plan, floor plan, and/or these Conditions of Approval may be approved by the Community and Economic Development Director, in his or her discretion. Proposed modifications to the approved floor plan, site plan, or Conditions of Approval that would result in the intensification of the project or create impacts that have not been previously addressed, and which are determined by the Community and Economic Development Director not to be minor in nature shall be subject to

approval of new and/or amended land use entitlements by the applicable City hearing body.

5. All conditions of approval shall be implemented at the applicant's expense, except where specified in the individual condition.

Building and Safety Division

- 6. All work shall comply with the latest edition of the Building Standards Code at time of permit application.
- 7. The children's play structures shall comply with the latest editions of CBC Sections 424 and 11B-240.
- 8. The circulation path from the public sidewalk to the building entrance shall comply with the latest edition of CBC Section 11B-250.
- 9. The fire separation between occupancies per CBC Table 508.4 shall be provided throughout, including those on the second floor directly above the proposed group E.
- 10. Fire-rated construction shall comply with the latest edition of CBC Chapter 7.
- 11. The children toilet facilities shall comply with the latest edition of CBC Section 11B-604.9.
- 12. Toilet facilities for adults complying with CBC Section 11B-604 shall be provided.
- 13. Clear floor space and maneuvering clearance at all doors shall be provided.
- 14. The daycare class rooms shall comply with common path of egress travel per the latest edition of CBC Section 1029.8.
- 15. The exit access doorway configurations shall comply with the latest edition of CBC Section 1007.

Orange County Fire Authority

16. The applicant shall comply with all applicable Orange County Fire Authority requirements, including, but not limited to the Fire Master Plan.

Public Works Water Services Division

- 17. If proposed, new water service installations 2" and smaller, may be installed by the City of Garden Grove at owner's/developer's expense. Installation shall be scheduled upon payment of applicable fees, unless otherwise noted. Fire services and larger water services 3" and larger, shall be installed by developer/owner's contractor per City Standards.
- 18. Water meters shall be located within the City right-of-way or within dedicated waterline easement. Fire services and large water services 3" and larger, shall be installed by contractor with Class A or C-34 license, per City water standards and inspected by approved Public Works inspection.
- 19. A Reduced Pressure Principle Device (RPPD) backflow prevention device shall be installed for meter protection. The landscape system shall also have RPPD device. Any carbonation dispensing equipment shall have a RPPD device. Installation shall be per City Standards and shall be tested by a certified backflow device tester immediately after installation. Cross connection inspector shall be notified for inspection after the installation is completed. Owner shall have RPPD device tested once a year thereafter by a certified backflow device tester and the test results to be submitted to Public Works, Water Services Division. Property owner must open a water account upon installation of RPPD device.
- 20. It shall be the responsibility of owner/developer to abandon any existing private water well(s) per Orange County Health Department requirements. Abandonment(s) shall be inspected by Orange County Health Department inspector after permits have been obtained.
- 21. A composite utility site plan shall be part of the water plan approval.
- 22. New utilities shall have a minimum 5 foot horizontal and a minimum 1 foot vertical clearance from water main and appurtenances.
- 23. Any new or existing water valve located within new concrete driveway or sidewalk construction shall be reconstructed per City Standard B-753.

- 24. City shall determine if existing water services(s) is/are usable and meets current City Standards. Any existing meter and service located within new driveway(s) shall be relocated at owner's expense.
- 25. If any modifications, additions or alterations are proposed for the existing fire sprinkler system, fire service is required to be upgraded to have above-ground backflow device with a double-check valve assembly (see City Standard B-773). Device shall be tested immediately after installation and once a year thereafter by a certified backflow device tester and the results to be submitted to Public Works, Water Services Division. Device shall be on private property and is the responsibility of the property owner. The above-ground assembly shall be screened from public view as required by the Planning Division. Contact Water Engineering for additional requirements for plan submittal at (714) 741-5346.
- 26. Location and number of fire hydrants shall be as required by the Orange County Fire Authority (OCFA) and installed per Water Services standards and specifications.
- 27. Food grinders (garbage disposal devices) are prohibited per Ordinance 6 of the Garden Grove Sanitary District Code of Regulations. Existing units are to be removed.
- 28. If needed, owner shall install new sewer lateral with clean out at right-of-way line. Lateral in public right-of-way shall be 6" minimum diameter, extra strength VCP with wedgelock joints.
- 29. Contractor shall abandon any existing unused sewer lateral(s) at street rightof-way on the property owner's side. The sewer pipe shall be capped with an expansion sewer plug and encased in concrete. Only one sewer connection per lot is allowed.
- 30. All perpendicular crossings of the sewer, including laterals, shall maintain a vertical separation of minimum 12" below the water main, outer diameter to outer diameter. All exceptions to the above require a variance from the State Water Resources Control Board.

Community and Economic Development Department

31. No outside storage or displays shall be permitted at any time.

- 32. All business activities shall be conducted within the wholly enclosed building, except for outdoor play activities within the designated gated outdoor playground area at the rear of the tenant space.
- 33. Hours of operation for the preschool/daycare facility shall be permitted from 7:30 a.m. to 6:00 p.m. If problems arise where the hours of operation need to be reduced in order to minimize any problems, the operator shall change the hours of operation, as prescribed by the Police Department.
- 34. The maximum enrollment capacity of 54 children, contemplated and approved under CUP-232-2023, is contingent upon the applicant obtaining final approval and acknowledgement in writing of a waiver from the California Department of Social Services for any indoor or outdoor activity space(s), applicable requirements by CDSS, includina any other prior to commencement of operation of the preschool/daycare. Provided the applicant has successfully obtained the necessary waiver for indoor and/or outdoor activity space, along with the State license for the preschool/daycare facility, the facility is permitted a maximum enrollment capacity of 54 children, as proposed. In the event that the applicant is unable to obtain approval of a waiver from CDSS from any applicable State law requirements, including those related to minimum indoor and/or outdoor activity spaces, that would preclude the proposed maximum enrollment capacity of 54 children, the applicant shall limit the maximum number of children for the preschool, as required and stipulated by the approved state license for the facility. At no time, nor under any circumstance, shall the facility exceed a maximum capacity of 54 children, unless the applicant has obtained necessary approval to modify the existing Conditional Use Permit or obtain approval of a new Conditional Use Permit, as determined by the Community and Economic Development Department and approved by the appropriate hearing body.
- 35. The Applicant shall ensure there is no dumping and/or storing of products, items, or other, relating to its business operation, on the property or around the subject tenant space. The applicant shall ensure the areas near and around the subject tenant space are free and clear of any products, items, trash/litter, dumped items, or other similar potential nuisances.
- 36. There shall be no deliveries to or from the premises before 7:00 a.m. and after 10:00 p.m., seven days a week.

- 37. All rear doors shall be kept closed at all times during the operation of the licensed premises, except to permit employee ingress and egress, deliveries, and in emergencies.
- 38. If, at any time, the subject property cannot accommodate the parking demand generated by the preschool/daycare resulting in a nuisance, hindrance, and/or problem with either on-site and off-site parking and circulation, the applicant shall devise and implement a plan, prepared by a licensed traffic engineer and approved by the City, to relieve the situation.

Upon written request by the City, the applicant shall submit a plan to manage the parking issues for review and approval by the Community and Economic Development Department. The plan may include, but is not be limited to: reducing the hours of operation, instituting an off-site parking arrangement; having on-site parking control personnel; and/or other actions that may be deemed applicable to the situation.

If the City's Community and Economic Development Director deems such action is necessary to address parking and circulation problems, such action shall be implemented within 30 days of written notice. Failure to take appropriate action shall be deemed a violation of these Conditions of Approval and may result in the City restricting the overall use of the facility and/or revocation of Conditional Use Permit No. CUP-232-2023.

- 39. All children drop-off and pick-up shall occur on-site and shall not impact onor off-site circulation.
- 40. The applicant shall prepare a parking and circulation plan for the preschool/daycare facility that is available for parents. The plan shall identify the on-site, one-way, circulation patterns for all vehicles. The plan shall identify the drive aisle located along Garden Grove Boulevard as the main entrance and exit driveway. The plan shall show the approved drop-off and pick-up area within the rear parking area. A copy of the parking and circulation plan shall be submitted to the Planning Division within 30-days from the date of this approval.
- 41. All children shall remain under the supervision of the operator or staff at all times, and shall not be permitted to wander or freely roam outside the building, except within the playground area.
- 42. All parking lot areas of the licensed premises shall be equipped with lighting of sufficient power to illuminate and make easily discernible the appearance

and conduct of all persons on or about the parking lots. The applicant shall ensure that all parking lot lighting is in proper working order.

- 43. Lighting in the parking area of the licensed premises shall be directed, positioned, or shielded in such a manner so as not to unreasonably illuminate the window areas of nearby residences.
- 44. Litter shall be removed daily from the premises, including adjacent public sidewalks, and from all parking areas under the control of the licensee. These areas shall be swept or cleaned, either mechanically or manually, on a weekly basis, to control debris.
- 45. The trash bin(s) shall be kept inside the trash enclosure(s), and gates closed at all times, except during disposal and pick-up. Trash pick-up shall be at least three (3) times a week.
- 46. The applicant/property owner shall abate all graffiti vandalism within the premises. The property owner shall implement best management practices to prevent and abate graffiti vandalism within the premises throughout the life of the project, including, but not limited to, timely removal of all graffiti, the use of graffiti resistant coatings and surfaces, the installation of vegetation screening of frequent graffiti sites, and the installation of signage, lighting, and/or security cameras, an necessary. Graffiti shall be removed/eliminated by the property owner as soon as reasonably possible after it is discovered, but not later than 72 hours after discovery.
- 47. The applicant is advised that the establishment is subject to the provisions of State Labor Code Section 6404.5 (ref: State Law AB 13), which prohibits smoking inside the establishment as of January 1, 1995.
- 48. No roof-mounted mechanical equipment, including exhaust vents, shall be permitted unless a method of screening complementary to the architecture of the building is approved by the Community and Economic Development Department, Planning Division. Said screening shall block visibility of any roof-mounted mechanical equipment from view of public streets and surrounding properties.
- 49. No satellite dish antennas shall be installed on said premises unless, and until, plans have been submitted to and approved by the Community and Economic Development Department, Planning Division. No advertising material shall be placed thereon.

- 50. Permits from the City of Garden Grove shall be obtained prior to displaying any temporary advertising (i.e., banners).
- 51. Signs shall comply with the City of Garden Grove sign requirements. No more than 15% of the total window area and clear doors shall bear advertising or signs of any sort. Any opaque material applied to the store front, such as window shall count toward the maximum window coverage area.
- 52. Any modifications to existing signs or the installation of new signs shall require approval by the Community and Economic Development Department, Planning Services Division prior to issuance of a building permit.
- 53. Conditional Use Permit No. CUP-047-2015 is hereby revoked and shall become null and void, and superseded in its entirety, by the approval of CUP-232-2023.
- 54. A copy of Resolution No. 1834-23 approving Conditional Use Permit No. CUP-232-2023 shall be kept on the licensed premises at all times.
- 55. The permittee shall submit a signed letter acknowledging receipt of the decision approving Conditional Use Permit No. CUP-232-2023, and his/her agreement with all conditions of the approval.
- 56. This Conditional Use Permit may be called for review by City Staff, the City Council, or the Planning Commission for any reason, including if noise or other complaints are filed and verified as valid by the Code Enforcement office or other city department concerning the violation of approved conditions, the Garden Grove Municipal Code, or any other applicable provisions of law.
- 57. A copy of CUP-232-2023 shall be made available upon request by City Staff and/or Police Department.
- 58. The applicant shall, as a condition of project approval, at its sole expense, defend, indemnify and hold harmless the City, its officers, employees, agents and consultants from any claim, action, or proceeding against the City, its officers, agents, employees and/or consultants, which action seeks to set aside, void, annul or otherwise challenge any approval by the City Council, Planning Commission, or other City decision-making body, or City staff action concerning Conditional Use Permit No. CUP-232-2023. The applicant shall pay the City's defense costs, including attorney fees and all other litigation

related expenses, and shall reimburse the City for court costs, which the City may be required to pay as a result of such defense. The applicant shall further pay any adverse financial award, which may issue against the City, including, but not limited to, any award of attorney fees to a party challenging such project approval. The City shall retain the right to select its counsel of choice in any action referred to herein.

- 59. Unless a time extension is granted pursuant to Section 9.32.030.D.9 of Title 9 of the Municipal Code, the use authorized by this approval of Conditional Use Permit No. CUP-232-2023 shall become null and void if the subject use or construction necessary and incidental thereto is not commenced within one (1) year of the expiration of the appeal period and thereafter diligently advanced until completion of the project.
- 60. The applicant shall comply with the Migratory Bird Treaty Act (MBTA), and Sections 3503, 3503.5, and 3515 of the California Fish and Game regulations, which require the protection of active nests of all bird species, prior to the removal of any on-site landscaping, including the removal of existing trees.

COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT PLANNING STAFF REPORT

AGENDA ITEM NO.: 1.b.	SITE LOCATION: South side of Garden Grove Boulevard, between Kerry and Galway Streets, at 9836 Garden Grove Boulevard
HEARING DATE: January 26, 2023	GENERAL PLAN: RCMU3 (Residential/Commercial Mixed Use 3)
CASE NO.: Conditional Use Permit No. CUP-234-2023	ZONE: GGMU-3 (Garden Grove Boulevard Mixed Use 3)
APPLICANT: Kyunghee Choi Park	CEQA DETERMINATION: Exempt – Section 15301 - Existing Facilities
PROPERTY OWNER: Hwa Sook Junn	APN: 098-062-24

REQUEST:

The applicant is requesting approval of a Conditional Use Permit to allow the operation of a new vocational beauty trade school, RT7 Beauty School, with a maximum capacity of three (3) instructors, and thirty-six (36) students within an existing 3,081 square foot tenant space, at 9836 Garden Grove Boulevard.

BACKGROUND:

The subject tenant space is an approximately 3,081 square-foot tenant space within an existing shopping center, Hanmi Plaza, located on the south side of Garden Grove Boulevard, between Kerry Street and Galway Street, at 9836 Garden Grove Boulevard. The subject shopping center is currently occupied by a variety of uses, including retail, restaurants, a supermarket, offices, and personal service businesses.

The subject property has a General Plan Land Use Designation of RC3 (Residential/Commercial Mixed Use 3), and is zoned GGMU-3 (Garden Grove Boulevard Mixed Use 3). The property is adjacent to GGMU-3 zoned properties to the north, south, east, and west.

The specific tenant space under application is an approximately 3,081 square-foot tenant space, on the southern side of the shopping center. According to Business Tax records, RT7 Beauty Salon has occupied the space since 2010. Prior to the operation of the beauty salon, the subject location was previously occupied by a variety of retail uses dating back to 1971.

The applicant for the beauty salon is now requesting Conditional Use Permit approval to operate as a vocational beauty trade school. The existing business will no longer

be in operation as a retail beauty salon. Garden Grove Municipal Code Section 9.18.020.030 requires a Conditional Use Permit for the operation of a "Trade or Business School," which would include vocational beauty schools.

DISCUSSION:

The RT7 Beauty School has a total floor area of 3,081 square feet, within the existing salon space. With the tenant space previously being used for a salon, the interior improvements are minimal, and only related to administrative office areas. The school's proposed floor plan consists of a hair washing and cutting area, a classroom for nail care, three (3) areas for skin care training, a classroom for hair care, an administrative office, a restroom, a utility room, and storage rooms.

Students will receive training in hair, skin, and nail care. No body massage, or other physical manipulation of the body will occur at the business. The school will serve only as an educational and training institution, as licensed by the Bureau of Private Postsecondary Education and Board of Barbering and Cosmetology, but will not be a licensing entity. The school will provide a certificate of completion for each student at the conclusion of their course. The school will not directly issue licenses to students once they have completed their courses. Rather, upon completion of their courses, the students will have the requisite training to take the State of California's licensing exams for their respective specializations.

RT7 Beauty School has proposed business hours from Monday to Saturday. Classes will be held in three sessions throughout the day. The morning session will be held from 9:30 a.m. to 12:00 p.m., afternoon sessions from 1:00 p.m. to 5:30 p.m., and the evening sessions from 5:30 p.m. to 9:30 p.m.

The Municipal Code establishes minimum parking requirements for trade schools, based on either the square footage of instructional and office space, or on the number of students and instructors. The proposed school will provide parking based on the number of students and instructors: one (1) parking space per employee, plus one (1) parking space per three (3) students. Based on the design of the tenant space, and availability of work stations, the maximum capacity of the beauty school will be limited to thirty-six (36) students, and three (3) instructors at any one time. In total, this would require a minimum of fifteen (15) parking spaces.

The current use of the space, as a beauty salon, is parked at the retail ratio of one (1) parking space per 200 square feet of gross floor area. Based on the 3,081 square-foot unit size, the current use requires sixteen (16) parking spaces. Therefore, the proposed beauty school requires less parking (15 spaces) than the existing beauty salon (16 spaces). No additional parking is needed for the proposed use.

The proposed vocational beauty trade school will provide new educational opportunities to the community, and will be a compatible use with the existing uses located in the shopping center provided that the school operates in compliance with the conditions of approval. The Community and Economic Development

Department and the Police Department have reviewed the request and are supporting the proposal. All appropriate conditions of approval for a "Business, Trade School" will apply.

CEQA:

CEQA's Class 1 exemption applies to the operation, repair, maintenance, permitting, leasing, licensing, and minor alterations of existing facilities, with negligible or no expansion of use (CEQA Guidelines §15301). The subject request for the new beauty school does not physically expand or intensify the existing development. The beauty school is a conditionally permitted use. Upon approval and exercise of the CUP, the proposed business would be in compliance with the Municipal Code. Therefore, the proposed project is exempt from CEQA.

RECOMMENDATION:

Staff recommends that the Zoning Administrator take the following action:

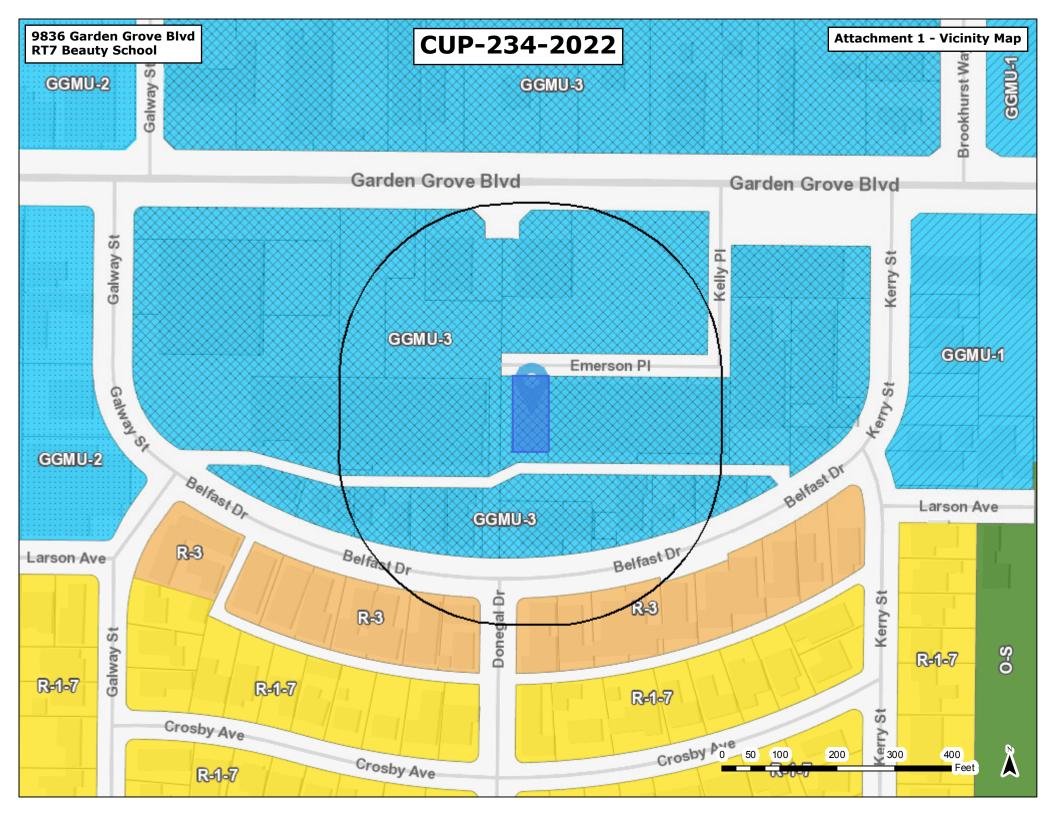
1. Adopt Decision No. 1836-23, approving Conditional Use Permit No. CUP-234-2023, subject to the recommended conditions of approval.

1100

MARIA PARRA Planning Services Manager

By: Priit Kaskla, AICP Assistant Planner

Attachment 1:Vicinity MapAttachment 2:Plans

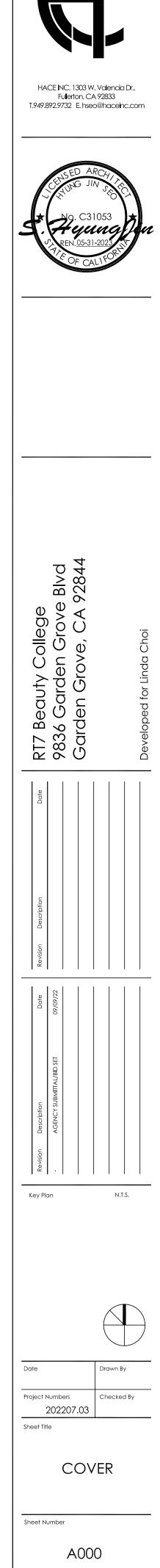


CONDITIONAL USE PERMIT FOR RT7 BEAUTY COLLEGE

Attachment 2 - Plans

9836 Garden Grove Blvd., Garden Grove, CA 92844

City Submittal



CUP-234-2022

ABBREVIATIONS

c	AND ANGLE	JAN. JT.
) <u>}</u>	AT CENTERLINE DIAMETER OR ROUND	KIT.
) 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	POUND OR NUMBER EXISTING	LAB. LAM.
•	PAINT REMOVE	LAND. ARC LAV. LKR.
NCOUS. N.C. N.D.	ACOUSTICAL ASPHALTIC CONCRETE AREA DRAIN	LT. MATL.
NDJ. NFF.	ADJUSTABLE ABOVE FINISH FLOOR AGGREGATE	MAX. M.C. MECH.
LUM. PPROX.	ALUMINUM APPROXIMATE	MEMB. MTL.
NRCH. NSPH.	ARCHITECTURAL ASPHALT	MFR. MH. MIN.
BD. BITUM. BLDG.	Board Bituminous Building	MIR. MISC. M.O.
BLK. BLK'G. BM.	BLOCK BLOCKING BEAM	MTD. MUL.
8.0.C. 80T.	BACK OF CURB BOTTOM	N. N.I.C.
3.0.W. 3.S.	BOTTOM OF WALL/ BACK OF WALL BOTTOM OF SLOPE	NO./# NOM. N.T.S.
AB. 2.B.	CABINET CATCH BASIN	0A. 0.A.
ЕМ. ЕR. Э.І.Р.	CEMENT CERAMIC CAST IN PLACE	0BS. 0.C. 0.L.
CIV. ENG. C.G. C.J.	CIVIL ENGINEER CORNER GUARD CONTROL JOINT	0.L.F. 0.D. 0FF.
CLG. CLKG.	CEILING CAULKING	OPNG. OPP.
CLO. CLR. CNTR.	CLOSET CLEAR COUNTER	PA PRCST.
C.O. COL. CONC.	CASED OPENING COLUMN CONCRETE	P.H. PL. PLAS.
CONN. CONSTR. CONT.	CONNECTION CONSTRUCTION CONTINUOUS	Plywd. P.o.t. Pr.
CORR. CTR. CTSK.	CORRIDOR CENTER COUNTERSUNK	PT. P.T.D. P.T.D./R
)BL.)EPT.	DOUBLE DEPARTMENT	PTN. P.T.R.
).F.)ET.	DRINKING FOUNTAIN DETAIL	Q.T.
DIA. DIM. DISP.	DIAMETER DIMENSION DISPENSER	R. RAD.
)N.).O.)R.	down Door opening Door	R.D. REF. REFR.
WR. 0S. 0.S.P.	DRAWER DOWNSPOUT DRY STANDPIPE	RGTR. REINF. REQD.
WG.	DRAWING	RESIL. RM.
A. J.	EAST EACH EXPANSION JOINT	R.O. R.O.W. RWD.
ïL. ïLEC. ïLEV.	ELEVATION ELECTRICAL ELEVATOR	R.W.L. S.
MER. NCL. P.	EMERGENCY ENCLOSURE ELECTRICAL PANELBOARD	S.C. S.C.D. SCHED.
iQ. IQUIP.	EQUAL EQUIPMENT ELECTRIC WATER COOLER	S.D. SECT. S.F.
XIST. XP.	EXISTING EXPANSION	SH. SHR.
.xı. .D.	Exterior Floor drain	sht. Sim. S.n.d.
.E. .E.C. .H.C.	FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FIRE HOSE CABINET	S.N.R. SPEC. SQ.
ÎN. .G. I.R.	FINISH FINISH GRADE FLOOR	S.S. S. SK. STA.
.L. Lash.	FLOW LINE FLASHING	STD. STL. STOR.
.0.C. .0.F. .0.M.	FACE OF CONCRETE FACE OF FINISH FACE OF MASONRY FACE OF STUD	str. Susp.
.0.N. .0.S. .0.W. .R.	FACE OF WALL FIRE RETARDANT	SYM. T.
PRF. [.S.	FIREPROOF FINISH SURFACE FOOT OR FEET	T.B. T.C. TEL.
TG. TURR. TUT.	FOOTING FURRING FUTURE	TER. T.&G. THK.
SA. SALV.	GAUGE	T.O.B. T.O.C. T.O.W.
же у. 6С 6L.	GENERAL CONTRACTOR GLASS	T.P. T.P.D. T.S.
I.B. I.C. IDWD.	HOLLOW CORE	т.з. Т.V. ТҮР.
IDW. I.M. IORIZ.	HARDWARE HOLLOW METAL HORIZONTAL	UC. UNF.
ioriz. Ir. Igt./ht.	HORIZONTAL HOUR HEIGHT	U.N.O. UR.
D. NSUL.	INSIDE DIAMETER INSULATION	VEST. VIF. W.
NT.	INTERIOR	W/ W.C. WD.
		W/0

	JANITOR JOINT
	KITCHEN
CH.	LABORATORY LAMINATE LANDSCAPE ARCHITECT LAVATORY LOCKER LIGHT
	MATERIAL MAXIMUM MEDICINE CABINET MECHANICAL MEMBRANE METAL MANUFACTURER
	MANHOLE MINIMUM MIRROR MISCELLANEOUS MASONRY OPENING MOUNTED MULLION
	NORTH NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE
	OVERALL OUTSIDE AIR OBSCURE ON CENTER OCCUPANT LOAD OCCUPANT LOAD FACTOR OUTSIDE DIAMETER OFFICE OPENING OPPOSITE
	PLANTING AREA PRECAST PANIC HARDWARE PLATE PLASTER DUMICOR
	PLYWOOD PATH OF TRAVEL PAIR PAINT PAPER TOWEL DISPENSER COMBINATION PAPER TOWEL DISPENSER & RECEPTACLE PARTITION PAPER TOWEL RECEPTACLE
	QUARRY TILE RISER
	RADIUS ROOF DRAIN REFERENCE REFRIGERATOR REGISTER REINFORCED REQUIRED RESILIENT ROOM ROUGH OPENING RIGHT OF WAY REDWOOD RAIN WATER LEADER
	SOUTH SOLID CORE SEAT COVER DISPENSER SCHEDULE SOAP DISPENSER SECTION SQUARE FEET SHELF SHOWER
	SHEET SIMILAR SANITARY NAPKIN DISPENSER SANITARY NAPKIN RECEPTACLE SPECIFICATION(S) SQUARE STAINLESS STEEL SERVICE SINK STATION STANDARD STEEL
	STORAGE STRUCTURAL SUSPENDED SYMMETRICAL TREAD
	TOWEL BAR TOP OF CURB TELEPHONE TERRAZZO TONGUE & GROOVE THICK TOP OF BEAM TOP OF CONCRETE TOP OF WALL TOP OF PARAPET TOILET PAPER DISPENSER TOP OF SLOPE TELEVISION TYPICAL
	UNDERCUT UNFINISHED UNLESS NOTED OTHERWISE URINAL
	VESTIBULE VERIFY IN FIELD WEST WITH WATER CLOSET WOOD WITHOUT

(A)	COLUMN LINE
03 A3.1	SECTION SECTION IDENTIFICATION SHEET WHERE SECTION IS DRAWN
03 A3.1	ELEVATION ELEVATION IDENTIFICATION SHEET WHERE ELEVATION IS DRAWN
04 A8.1	DETAIL DETAIL IDENTIFICATION SHEET WHERE DETAIL IS DRAWN
C 04 B	INTERIOR ELEV ELEVATION IDENTIFICATION SHEET WHERE ELEVATION IS DRAWN
D KITCHEN -	ROOM NUMBER
	REVISION CLOUD AROUND REVISED AREA REVISION NUMBER
	DATUM POINT KEYNOTE
	ALIGN

ACCESSIBILITY NOTES

- WHEN A BUILDING, OR PORTION OF A BUILDING, IS REQUIRED TO BE ACCESSIBLE OR ADAPTABLE, AN ACCESSIBLE ROUTE SHALL BE PROVIDED TO ALL PORTIONS OF THE BUILDING, TO ACCESSIBLE BUILDING ENTRANCES AND BETWEEN THE BUILDING AND THE PUBLIC WAY. SECTIONS 11B-206 AND 11B-402
- 2. AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, FACILITIES, ELEMENTS AND SPACES THAT ARE ON THE SAME SITE. SECTIONS 11B-206 AND 11B-402
- 3. AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDING OR FACILITY ENTRANCES WITH ALL ACCESSIBLE SPACES AND ELEMENTS AND WITH ALL ACCESSIBLE DWELLING UNITS WITHIN THE BUILDING OR FACILITY. SECTIONS 11B-206 AND 11B-402
- 4. AT LEAST ONE ACCESSIBLE ROUTE WITHIN THE BOUNDARY OF THE SITE SHALL BE PROVIDED FROM PUBLIC TRANSPORTATION STOPS. ACCESSIBLE PARKING AND ACCESSIBLE PASSENGER LOADING ZONES, AND PUBLIC STREETS OR SIDEWALKS, TO THE ACCESSIBLE BUILDING ENTRANCE THEY SERVE. SECTIONS 11B-206 AND 11B-402
- 5. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE THE STANDARD USED TO IDENTIFY FACILITIES THAT ARE ACCESSIBLE TO AND USABLE BY PHYSICALLY DISABLED PERSONS AS SET FORTH IN THESE BUILDING STANDARDS AND AS SPECIFICALLY REQUIRED IN THIS SECTION 11B703.7.2.1.
- 6. TACTILE EXIT SIGNS REQUIRED AT LOCATIONS PER SECTIONS 1011.4, 11B-216.1 AND 11B-703.1.
- 7. IN BUILDINGS OR PORTIONS OF BUILDINGS REQUIRED TO BE ACCESSIBLE. ACCESSIBLE MEANS OF EGRESS SHALL BE PROVIDED IN THE SAME NUMBER AS REQUIRED FOR EXITS BY CHAPTER 10.
- 8. SANITARY FACILITIES THAT SERVE BUILDINGS, FACILITIES OR PORTIONS OF BUILDINGS OR FACILITIES THAT ARE REQUIRED BY THESE STANDARDS TO BE ACCESSIBLE TO PERSONS WITH DISABILITIES, SHALL CONFORM TO SECTION 11B-213.2 AND 11B-603.2.
- 9. ALL LAVATORIES AT TOILET FACILITIES MUST BE ACCESSIBLE PER SECTIONS 11B-213.3.4, AND DSA CHECKLIST ITEM 15.44.
- 10. TOILET ROOM FIXTURES AND OTHER BATHROOM ACCESSORIES SHALL BE ACCESSIBLE PER SECTION 11B-603.5.

- 1. ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED AND IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, LAWS, PERMITS, AND THE CONTRACT DOCUMENTS.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF ALL NEW CONSTRUCTION ON THE SITE.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR ALL EXISTING SURVEY MONUMENTS WHICH MAY BE DISTURBED THROUGH CONSTRUCTION ACTIVITIES DEEMED NECESSARY FOR PRESERVATION BY THE CIVIL ENGINEER. IF SUCH MONUMENTS WERE DISTURBED, THE APPLICANT SHALL HAVE A LICENSED LAND SURVEYOR QUALIFIED REGISTERED CIVIL ENGINEER REESTABLISH ANY SUCH MONUMENTATION DAMAGED OR DESTROYED DURING THE CONSTRUCTION OF THE PROJECT AND SUBMIT "PRELIMINARY CORNER RECORDS" TO THE CIVIL ENGINEER AFTER REPLACEMENT. AFTER APPROVAL BY THE CIVIL ENGINEER, THE APPLICANT SHALL FILE THE CORNER RECORDS WITH THE COUNTY SURVEYOR. PRIOR TO THE EXONERATION OF ANY SECURITY, EVIDENCE OF SUCH FILING SHALL BE FURNISHED TO THE CIVIL ENGINEER.
- 4. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT TRUCK ROUTES SHALL BE STEERED AWAY FROM RESIDENTIAL AREAS. SEE CFC CHAPTER 4.
- 5. THE CONTRACTOR SHALL ENSURE THAT TRUCKS HAULING DIRT ON PUBLIC ROADS TO AND FROM THE SITE SHALL BE COVERED OR WILL MAINTAIN A 6" DIFFERENTIAL BETWEEN THE MAXIMUM HEIGHT OF ANY HAULED MATERIAL AND THE TOP OF THE HAUL TRAILER. HAUL TRUCK DRIVERS SHALL WATER THE LOAD PRIOR TO LEAVING THE SITE TO PREVENT SOIL LOSS DURING TRANSPORT.
- 6. THE CONTRACTOR SHALL ENSURE THAT GRADED SURFACES USED FOR OFF ROAD PARKING, MATERIALS LAY-DOWN, OR AWAITING FUTURE CONSTRUCTION SHALL BE STABILIZED FOR DUST CONTROL AS NEEDED. FREQUENTLY ACCESSED UNPAVED AREAS SHALL BE PAVED AS EARLY AS POSSIBLE TO MINIMIZE DIRT TRACKOUT TO PUBLIC RIGHTS-OF-WAY.
- 7. THE CONTRACTOR SHALL COORDINATE ANY LANE CLOSURES OR DETOURS WITH THE CITY. FLAG PERSONS AND APPROPRIATE TRAFFIC CONTROL DEVICES SHALL BE USED AS NEEDED TO MINIMIZE CONSTRUCTION ACTIVITY INTERFERENCE WITH OFF-SITE TRAFFIC.
- 8. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. SHOULD A DISCREPANCY APPEAR IN THE CONTRACT DOCUMENTS, OR BETWEEN THE CONTRACT DOCUMENTS AND EXISTING CONDITIONS, NOTIFY THE ARCHITECT AT ONCE FOR INSTRUCTION ON HOW TO PROCEED.
- 9. SHOULD A CONFLICT OCCUR BETWEEN DRAWINGS AND SPECIFICATIONS, THE MORE RESTRICTIVE CONDITION SHALL TAKE PRECEDENCE, UNLESS A WRITTEN DECISION THE ARCHITECT HAS BEEN OBTAINED WHICH DESCRIBES A CLARIFICATION OR ALTERNATE METHOD AND/OR MATERIALS.
- 10. THE CONTRACTOR SHALL CONFINE HIS OPERATIONS ON THE SITE TO AREAS PERMITTED BY OWNER.
- 11. THE JOB SITE SHALL BE MAINTAINED IN A CLEAN, ORDERLY CONDITION FREE OF DEBRIS AND LITTER AND SHALL NOT BE UNREASONABLY ENCUMBERED WITH ANY MATERIALS OR EQUIPMENT. EACH SUBCONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF HIS WORK SHALL REMOVE ALL TRASH AND DEBRIS AS A RESULT OF HIS OPERATION.
- 12. ALL MATERIAL STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION. FAILURE TO PROTECT MATERIALS MAY CAUSE FOR REJECTION OF WORK.
- 13. THE CONTRACTOR SHALL DO ALL CUTTING, FITTING, OR PATCHING OF HIS WORK THAT MAY BE REQUIRED TO MAKE ITS SEVERAL PARTS FIT TOGETHER PROPERLY AND SHALL NOT ENDANGER ANY OTHER WORK BY CUTTING, EXCAVATING, OR OTHERWISE ALTERING THE TOTAL WORK OR ANY PART OF IT. ALL PATCHING, REPAIRING, AND REPLACING OF MATERIALS AND SURFACES, CUT OR DAMAGED IN EXECUTION OF WORK, SHALL BE DONE WITH APPLICABLE MATERIALS SO THAT SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES. SEE CFC CHAPTER 26.
- 14. STRUCTURAL OBSERVATION BY THE ENGINEER/ARCHITECT SHALL BE PERFORMED. A STATEMENT IN WRITING SHALL BE GIVEN TO THE BUILDING OFFICIAL, STATING THAT THE SITE VISITS HAVE BEEN MADE AND WHETHER OR NOT ANY OBSERVED DEFICIENCIES HAVE BEEN CORRECTED TO CONFORM TO THE APPROVED PLANS AND SPECIFICATIONS.
- 15. PROVIDE FIRE EXTINGUISHERS PER THE REQUIREMENTS OF LOCAL GOVERNING AGENCIES.
- 16. PROVIDE ALL ACCESS PANELS AS REQUIRED BY GOVERNING CODES TO ALL CONCEALED SPACES, VOIDS, ATTICS, ETC. VERIFY TYPE REQUIRED WITH ARCHITECT PRIOR TO INSTALLATION.
- 17. NO PORTION OF WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN REVIEWED BY THE ARCHITECT. ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH CORRECTED SHOP DRAWINGS AND SAMPLES.
- 18. DIMENSIONS:
 - A. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE. B. ALL DIMENSIONS ARE TO THE FINISH UNLESS OTHERWISE NOTED. C. CEILING HEIGHT DIMENSIONS ARE FROM FINISHED FLOOR SLAB TO FACE OF FINISH CEILING MATERIAL UNLESS OTHERWISE NOTED.
- 19. DO NOT SCALE DRAWINGS.
- 20. PROVIDE ALL NECESSARY BLOCKING, BACKING, AND FRAMING FOR LIGHT FIXTURES. ELECTRIC UNITS, A.C. EQUIPMENT, RECESSED ITEMS, AND ALL OTHER ITEMS AS REQUIRED.
- 21. WHERE LARGER STUDS OR FURRING ARE REQUIRED TO COVER PIPING AND CONDUITS, THE LARGER STUD SIZE OR FURRING SHALL EXTEND THE FULL SURFACE OF THE WALL WIDTH AND LENGTH WHERE THE FURRING OCCURS.
- 22. ALL LEGAL EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. EXIT SIGNS SHALL BE PROVIDED AT ALL EXITS AS REQUIRED BY THE C.B.C., SECTION 1011. ALL DOOR SWINGS SERVING AN OCCUPANT LOAD OF 50 OR GREATER SHALL SWING IN THE DIRECTION OF TRAVEL.
- 23. ALL GLASS AND GLAZING SHALL COMPLY WITH C.B.C., CHAPTER 24.
- 24. THE LIVE LOADS FOR WHICH EACH FLOOR OR PORTION THEREOF OF A COMMERCIAL OR INDUSTRIAL BUILDING IS OR HAS BEEN DESIGNED SHALL HAVE SUCH DESIGN LIVE LOADS CONSPICUOUSLY POSTED BY THE OWNER IN THAT PART OF EACH STORY IN WHICH THEY APPLY, USING DURABLE METAL SIGNS, AND IT SHALL BE UNLAWFUL TO REMOVE OR DEFACE SUCH NOTICES. THE OCCUPANT OF THE BUILDING SHALL BE RESPONSIBLE FOR KEEPING THE ACTUAL LOAD BELOW THE ALLOWABLE LIMITS. C.B.C. SECTION 1607.3.5.
- 25. IN CASE OF ANY DISCREPANCIES CONTACT THE A.O.R. THE MORE STRINGENT CRITERIA SHALL ALWAYS GOVERN.
- 26. AT LEAST 50% OF CONSTRUCTION WASTE MATERIAL ARE TO BE RECYCLED.
- 27. THE FIRE SPRINKLER AND FIRE, LIFE & SAFETY COORDINATION BY TENANT WITH REGARDS TO THE DEVELOPMENT OF PLANS AND THE SUBMITTAL PROCESS WITH THE CITY OF IRVINE / ORANGE COUNTY FIRE AUTHORITY SHOULD START AS SOON AS POSSIBLE TO PREVENT CONSTRUCTION DELAYS. AND FOLLOWING LANDLORD VENDORS AND CONSULTANTS MUST BE USED FOR THIS PROJECT. ROOFING CONSULTANT (T/I ROOF WORK INSPECTIONS):
- INDEPENDENT ROOFING CONSULTANTS; JEFF STAR, PHONE: (949) 476-8626 ROOFING:
- SAN MARINO ROOFING; MARTHA RICHTER, PHONE: (714) 974-3070
- 28. EXISTING DECKING UNDERNEATH THE ROOF STRUCTURE MAY CONTAIN MONOKOTE FIRE PROOFING MATERIAL THAT MUST BE REINSTATED WHERE NEEDED DUE TO DEMOLITION, INSTALLATION, OR DAMAGE DURING COURSE OF CONSTRUCTION.

APPLICABLE CODES AND STANDARDS

2019 BUILDING STANDARDS ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R. 2019 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R. 2019 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R. 2019 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24 C.C.R. 2019 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R. 2019 CALIFORNIA ENERGY CODE, PART 6, TITLE 24 C.C.R.

SITE INFORMATION

LEGAL DESCRIPTION

APN: 098-062-24 ADDRESS: 9836 GARDEN GROVE BLVD ZONE CODE: GGMU-3 ZONE DESCRIPTION: GARDEN GROVE BLVD MIXED USE ZONE 3

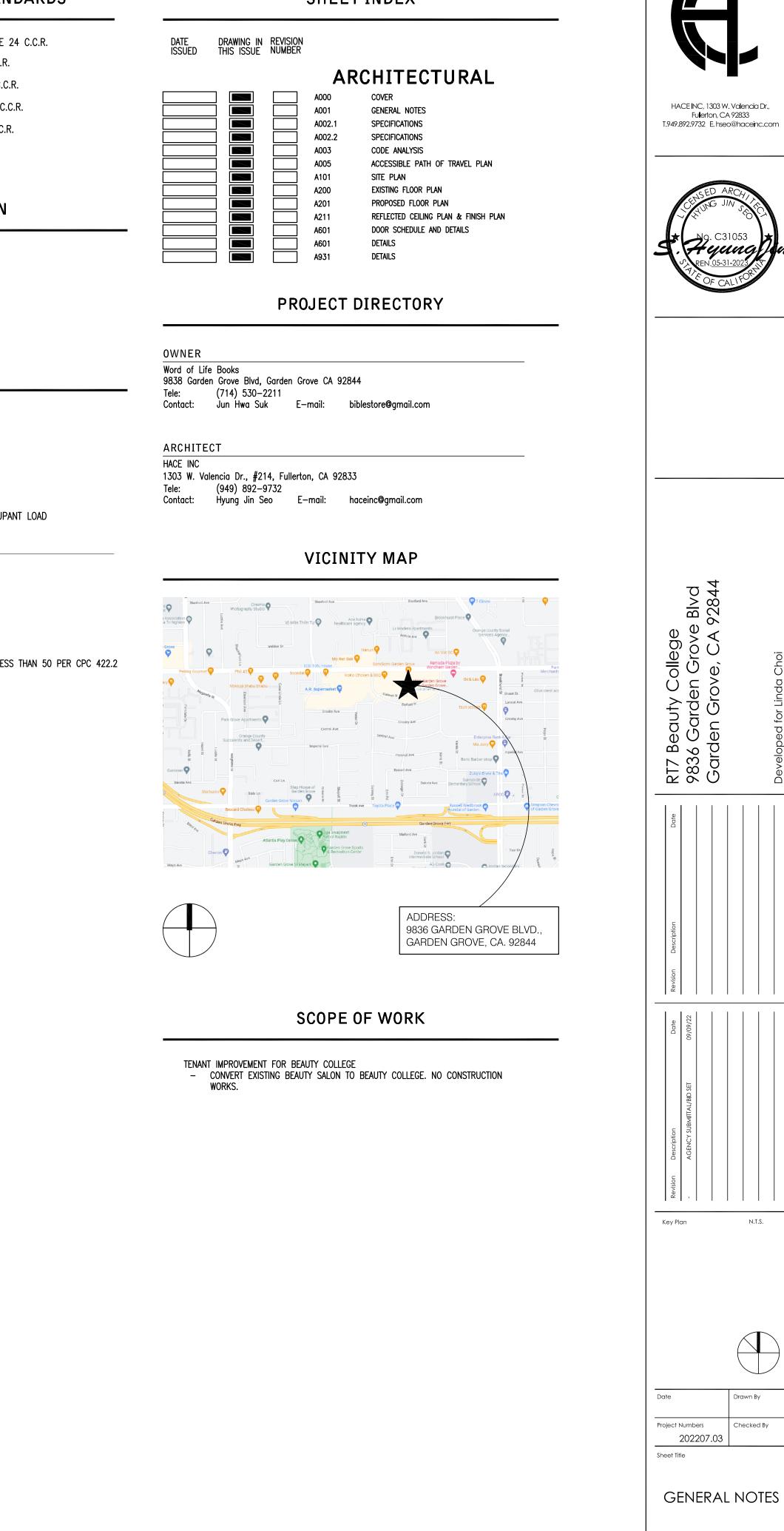
CODE ANALYSIS

OCCUPANCY GROUP GROUP B / OCCUPANT LOAD 38	
CONSTRUCTION TYPE BUILDING : TYPE V-B, NON SPRINKLERED	
TENANT SPACE AREA 3,081 S.F.	
	OCCUF
B (EMPLOYEE)	3
B (STUDENT)	36
TOTAL	39

OCCUPANT LOAD - 39

MINIMUM PLUMBING FIXTURE (PER CPC TABLE A):

ONE TOILET FACILITY IS PERMITTED SINCE OCCUPANT LOAD IS LESS THAN 50 PER CPC 422.2 EXCEPTION (3)



1.0 GENERAL CONDITIONS

- IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING WORK IS 'BUILDABLE' AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS OR DISCREPANCIES REGARDING THESE OR OTHER COORDINATION QUESTIONS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH WORK OR RELATED WORK IN QUESTION.
- 1.2 GENERAL CONTRACTOR SHALL INFORM THE ARCHITECT OF ANY CONFLICTS PRIOR TO CONSTRUCTION THAT EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, TELEPHONE, ELECTRICAL, LIGHTING, PLUMBING AND SPRINKLER EQUIPMENT (TO INCLUDE ALL PIPING, DUCT WORK AND CONDUIT) AND THAT ALL REQUIRED CLEARANCE FOR INSTALLATION AND MAINTENANCE OF ABOVE EQUIPMENT ARE PROVIDED
- 1.3 THE PRESENCE OF THE ARCHITECT ON THE JOB SITE DOES NOT IMPLY THE CONCURRENCE OR APPROVAL OF WORK. THE GENERAL CONTRACTOR WILL CALL SPECIFIC ITEMS TO THE ATTENTION OF THE DESIGNER'S PROJECT MANAGER IF HE/SHE WISHES TO OBTAIN APPROVAL
- 1.4 THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL PURCHASE AND MAINTAIN CERTIFICATIONS OF INSURANCE WITH RESPECT TO WORKMAN'S COMPENSATION, PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE LIMITS AS REQUIRED BY LAW. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR RUNNING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
- 1.5 PRIOR TO BEGINNING ANY WORK, THE GENERAL CONTRACTOR SHALL FURNISH A CONSTRUCTION SCHEDULE SHOWING THE CHRONOLOGICAL PHASES OF HIS 1.40 CONTRACT CLOSE -OUT SHALL OCCUR ONLY AFTER THE ARCHITECT HAS WORK, AND ALL RELATED WORK FOR THAT OF THE PROJECT. THIS SCHEDULE SHALL INDICATE ALL ORDERING LEAD TIMES, LENGTH OF TIME FOR EACH PHASE (AS APPLICABLE), ITS START AND COMPLETION, WITH A PROJECTED COMPLETION DATE.
- 1.6 ALL WORK PERFORMED BY THE CONTRACTOR/SUBCONTRACTORS SHALL CONFORM TO THE REQUIREMENTS OF MUNICIPAL, LOCAL, FEDERAL AND STATE LAWS. AS WELL AS OTHER GOVERNING REQUIREMENTS, WHETHER OR NOT SPECIFIED ON THE DRAWINGS
- 1.7 WHERE THE CONTRACT, NOTES, OR DRAWINGS CALL FOR ANY WORK OF A MORE STRINGENT NATURE THAN THAT REQUIRED BY THE BUILDING CODE OR ANY OTHER DEPARTMENT HAVING JURISDICTION OVER THE WORK, THE WORK OF THE MORE STRINGENT NATURE CALLED FOR BY THE CONTRACT, CONSTRUCTION NOTES OR DRAWINGS SHALL BE FURNISHED IN ALL CASES.
- 1.8 THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR THE REMOVAL, REPLACEMENT AND RECTIFICATION OF ALL DAMAGED AND DEFECTIVE MATERIAL AND WORKMANSHIP IN CONNECTION WITH THE CONTRACT WORK. HE 2.0 EXISTING CONDITIONS/DEMOLITION SHALL REPLACE OR REPAIR AS DIRECTED ALL SUCH DAMAGED OR DEFECTIVE MATERIALS WITHIN A PERIOD OF FIVE (5) BUSINESS DAYS FROM THE DATE OF SUBSTANTIAL COMPLETION, UNLESS OTHERWISE AGREED UPON IN WRITING BY OWNER
- REQUIRED APPROVALS AND PERMITS NECESSARY FOR THE EXECUTION AND COMPLETION OF HIS WORK.
- 1.10 ALL DRAWINGS AND ALL CONSTRUCTION NOTES ARE COMPLEMENTARY, AND WHAT IS CALLED FOR BY EITHER, WILL BE BINDING AS IF CALLED FOR BY ALL. ANY WORK SHOWN OR REFERRED TO ON ANY ONE SET OF DRAWINGS SHALL BE PROVIDED AS THOUGH SHOWN ON ALL RELATED DRAWINGS.
- 1.11 THE GENERAL CONTRACTOR IS WHOLLY RESPONSIBLE FOR THE COORDINATION AND SCHEDULING OF THE WORK EFFORT FOR ALL SUBCONTRACTORS, CRAFTSMEN AND TRADESMEN REQUIRED TO COMPLETE THE JOB.
- 1.12 THE GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY IF HE CANNOT COMPLY WITH ALL WORK CALLED FOR ON THESE DRAWINGS. 1.13 THE GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY O
- FIELD CONDITIONS BEFORE COMMENCING ANY WORK AND REQUEST FOR CLARIFICATION. 1.14 BEFORE SUBMITTING A FINAL PRICING, ALL CONTRACTORS SHALL VISIT THE
- PREMISES, FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AND SATISFY THEMSELVES AS TO THE NATURE AND SCOPE OF THE WORK AND THE DIFFICULTIES THAT ATTEND ITS EXECUTION.
- 1.15 THE SUBMISSION OF A PROPOSAL SHALL BE CONSTRUED AS EVIDENCE THAT SUCH AN EXAMINATION HAS BEEN MADE. LATER CLAIMS FOR LABOR, COULD HAVE BEEN FORESEEN HAD SUCH AN EXAMINATION BEEN MADE, WILL NOT BE RECOGNIZED. 1.16 EACH CONTRACTOR AND SUBCONTRACTOR SHALL CHECK AND VERIFY ALL
- DIMENSIONS AND CONDITIONS AT JOB SITE AS IT RELATES TO THEIR WORK AND NOTIFY THE ARCHITECT/OWNER IF THERE ARE OBSTRUCTIONS, AND WORK 2.10 THE GENERAL CONTRACTOR SHALL REMOVE FROM PREMISES ALL CONDUITS, CANNOT BE ACCOMPLISHED AS REFLECTED IN THE CONTRACT DOCUMENTS. CONTRACTOR / SUBCONTRACTORS SHALL OBTAIN CLARIFICATION / DIRECTIVE FROM THE ARCHITECT / OWNER PRIOR TO THE START OF ANY WORK.
- 1.17 THE GENERAL CONTRACTOR AND THE SUBCONTRACTORS INVOLVED IN THIS PROJECT SHALL TAKE NOTE THAT ANY COST CAUSED BY DEFECTIVE OR ILL-TIMED WORK, AS A RESULT OF, BUT NOT LIMITED TO INFERIOR WORKMANSHIP OR MATERIALS, IMPROPER SCHEDULING OR DELINQUENT ORDERING SHALL BE BORNE BY THE PARTY RESPONSIBLE
- 1.18 WITH SUBMISSION OF FINAL PRICING, THE GENERAL CONTRACTOR SHALL ALSO SUBMIT A LIST OF LONG LEAD TIME ITEMS THAT PREVENT COMPLETION OF 2.13 CONTRACTOR SHALL INVENTORY AND MARK DAMAGED CONDITIONS AT THE PROJECT BY PROJECTED MOVE-IN DATE. WHERE SPECIAL ITEMS REQUIRE EXTENDED LEAD TIME PREVENTING INSTALLATION BY PROJECTED MOVE-IN DATE. CONTRACTOR IS TO PROPOSE AN AVAILABLE ALTERNATE FOR APPROVAL BY OWNER AND TENANT, AS WELL AS, TO PREPARE PRICING FOR POSSIBLE TEMPORARY ASSEMBLIES
- 1.19 THE USE OF THE WORDS "PROVIDE" OR "PROVIDED" IN CONNECTION WITH ANY ITEM SPECIFIED. IS INTENDED TO MEAN, UNLESS OTHERWISE NOTED, THAT WHICH SHALL BE FURNISHED AND INSTALLED AND CONNECTED WHERE SO REQUIRED.
- 1.20 WHERE THE TERMS "APPROVED EQUAL", "EQUAL TO", "ACCEPTABLE" OR THE OTHER GENERAL QUALIFYING TERMS ARE USED IN THESE NOTES, IT SHALL BE UNDERSTOOD THAT REFERENCE IS MADE TO THE RULING AND JUDGMENT OF ARCHITECT
- 1.21 THE GENERAL CONTRACTOR SHALL HAVE FIVE (5) WORKING DAYS FROM AWARD 2.16 UPON COMPLETION OF THE DEMOLITION WORK, THE GENERAL CONTRACTOR OF THE CONTRACT TO SUBMIT ANY "OR EQUAL" SUBSTITUTIONS FOR SPECIFIED PRODUCTS OR WORK FOR REVIEW BY ARCHITECT. HE SHALL INCLUDE CUT 2.17 BACKGROUND DRAWINGS ARE BASED ON ORIGINAL CONSTRUCTION SHEETS WITH SPECIFICATIONS AND REASONS FOR SUBSTITUTION. ARCHITECT SHALL RESPOND IN FIVE (5) WORKING DAYS TO SUBMITTAL. NO SUBSTITUTIONS SHALL BE ACCEPTED AFTER THE INITIAL TEN (10) DAY TIME LIMIT HAS PASSED.
- 1.22 ALL WOODWORK, BLOCKING, ETC., TO BE FIRE RETARDANT TREATED, AS REQUIRED BY CODE
- 1.23 THE GENERAL CONTRACTOR SHALL EXERCISE STRICT DUST CONTAINMENT CONTROL OVER JOB TO PREVENT DIRT OR DUST FROM LEAVING THE JOBSITE. 2.19 PROTECT ALL AREAS NOT SCHEDULED FOR DEMOLITION/MODIFICATION. 1.24 THE GENERAL CONTRACTOR SHALL INCLUDE IN HIS ESTIMATE ALL COSTS (INCLUDING OVERTIME WORK) FOR REMOVAL, NEW INSTALLATION AND
- REINSTALLATION WORK FOR ALL REQUIRED WORK WITHIN THE CEILING PLENUM. 1.25 ALL EXISTING FIXTURES NOT BEING REMOVED SHALL BE REFURBISHED WHERE REQUIRED, ALL LOOSE ITEMS TIGHTENED (LIGHT FIXTURES, EXIT SIGNS, ETC.) 2.21 DUE TO THE POSSIBILITY OF DISCOVERING UNFORESEEN CONDITIONS DURING AND ALL MISSING PARTS REPLACED BY THE GENERAL CONTRACTOR TO ACHIEVE A FINISHED INSTALLATION AND APPEARANCE.
- 1.26 THE CONSTRUCTION NOTES AND/OR DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN INTENT AND THE GENERAL TYPE OF CONSTRUCTION DESIRED, AND 2.22 EACH AREA OF DEMOLITION IS TO BE CLEAR OF DEBRIS AND IS TO BE ARE INTENDED TO APPLY TO THE FINEST QUALITY OF CONSTRUCTION, MATERIAL AND WORKMANSHIP THROUGHOUT.
- 1.27 THE GENERAL CONTRACTOR SHALL MAINTAIN A COMPLETE, CURRENT AND APPROVED SET OF CONSTRUCTION DRAWINGS AND BUILDING PERMIT ON SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES.
- 1.28 THE GENERAL CONTRACTOR SHALL SEE THAT ALL SUBCONTRACTORS RECEIVE COMPLETE AND UPDATED SETS OF WORKING DRAWINGS AND ASSUME FULL RESPONSIBILITY FOR COORDINATION OF WORK.
- 1.29 THE GENERAL CONTRACTOR UPON AWARD OF THE CONTRACT FOR CONSTRUCTION, ASSUMES FULL RESPONSIBILITY FOR THE CONSTRUCTION, MATERIALS, AND WORKMANSHIP OF THE WORK DESCRIBED IN THESE NOTES AND DRAWINGS.
- 1.30 ALL REQUIRED EXITS, WAYS OF APPROACH THERETO, AND WAYS OF TRAVEL FROM THE EXIT INTO THE STREET SHALL CONTINUOUSLY BE MAINTAINED FREE 2.25 THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL CAREFULLY FROM ALL OBSTRUCTIONS AND IMPEDIMENTS FOR UNOBSTRUCTED EGRESS IN THE CASE OF FIRE OR OTHER EMERGENCY. 1.31 DURING THE ENTIRE PERIOD OF DEMOLITION AND CONSTRUCTION, ALL EXISTING
- EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES AND ALARMS SHALL BE CONTINUOUSLY MAINTAINED.
- AS REQUIRED BY FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) AND THE FIRE AUTHORITY REGULATIONS. 1.33 THE GENERAL CONTRACTOR SHALL REPLACE ANY BROKEN OR CRACKED
- WINDOW GLAZING. 1.34 THE GENERAL CONTRACTOR SHALL VERIFY SIZE, ELECTRICAL REQUIREMENTS, LOCATION AND CHARACTERISTICS OF ALL WORK AND/OR EQUIPMENT SUPPLIED BY THE OWNER OR TENANT, WITH THE MANUFACTURER OR SUPPLIER PRIOR TO THE START OF RELATED WORK.

- 1.35 THE GENERAL CONTRACTOR SHALL SUBMIT ALL APPLICATIONS FOR PAYMENT TO
- 1.1 THE DRAWINGS SHOW GENERAL INFORMATION ONLY. THE GENERAL CONTRACTOR 1.36 CONTRACTOR DOES NOT MAINTAIN EXCLUSIVE ACCESS TO THE WORK AREA. CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT, CONSULTANTS, UTILITY WORKERS AND OTHER CONTRACTORS AS NEEDED TO ALLOW FOR THE
 - PROGRESS OF WORK. 1.37 THE ARCHITECT HAS MADE EVERY EFFORT TO DESIGN THIS SPACE PLAN IN CONFORMANCE WITH CURRENT CALIFORNIA BUILDING CODES. HOWEVER, DUE TO THE UNPREDICTABILITY OF FINAL CODE INTERPRETATION BY INDIVIDUAL CITY 2.29 U.N.O. AT ANY ROOM WITH EXISTING VCT FLOORING SCHEDULED TO RECEIVE AND COUNTY BUILDING DEPARTMENT OFFICIALS, THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR CHANGES OR ADDITIONAL REQUIREMENTS TO THE WORKING DRAWINGS MADE BY THE BUILDING DEPARTMENT IN ORDER TO SECURE THE PERMIT OR ANY SUBSEQUENT FIELD CHANGES REQUIRED BY THE FIELD INSPECTOR DURING THE CONSTRUCTION PHASE
 - 1.38 THE DRAWINGS AND CONCEPTS SUBMITTED HEREWITH, U.O.N. ARE PROVIDED FOR USE REGARDING INTERIOR DESIGN SPACE PLANNING AND COLOR SUGGESTIONS ONLY. STATEMENTS OF DESIGN AND INTENT CONTAINED HEREON DO NOT CONSIDER THE STRUCTURAL OR ENGINEERING SOUNDNESS OF ANY OF THE SUGGESTIONS OR IDEAS SUGGESTED
 - 1.39 ADDITIONALLY, U.O.N. THERE HAS BEEN NO STUDY DONE NOR ONE REQUESTED AS TO THE STRUCTURAL INTEGRITY OF THE BUILDING ITSELF OR PARTS THEREOF TO SUPPORT THE VARIOUS DESIGN ITEMS AND CONCEPTS SET FORTH. NO ENGINEERING OR STRUCTURAL INVESTIGATION HAS BEEN PERFORMED AND IT IS THE OBLIGATION OF THE PARTY RECEIVING THESE DRAWINGS TO HAVE ALL OF THE CONCEPTS REVIEWED REGARDING SUCH WORK AS IS NECESSARY TO ENSURE THE STRUCTURAL INTEGRITY AND ENGINEERING SOUNDNESS OF ANY OF THE CONCEPTS CONTAINED HEREIN.
 - ISSUED THE PUNCHLIST AND PUNCHLIST ITEMS HAVE BEEN CORRECTED BY THE CONTRACTOR 1.41 GENERAL CONTRACTOR SHALL PROVIDE PROTECTION TO ALL EXISTING FINISHES
 - IN THE ELEVATOR, LOBBY AND PUBLIC CORRIDORS AS WELL AS PROTECTIVE COVERINGS FOR CARPET, FURNISHINGS AND EXISTING FINISHES IN AREAS OF DEMOLITION AND CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGES CAUSED BY HIM OR HIS SUB-CONTRACTORS.
 - 1.42 WHERE WORK OR EQUIPMENT IS INDICATED N.I.C., SUCH WORK AND/OR EQUIPMENT SHALL BE PROVIDED BY OTHERS. CONTRACTOR SHALL COORDINATE AND COOPERATE TO ENSURE SUCH INSTALLATION. 1.43 ALL WORK ON DRAWINGS SHALL BE PERFORMED IN COMPLIANCE WITH
 - REQUIREMENTS OF THE LEASE WORK LETTER AND BUILDING STANDARD SPECIFICATIONS AND REGULATIONS WHETHER OR NOT LISTED ON DRAWINGS AND/OR INCLUDED HEREIN.

- 2.1 THE DRAWINGS SHOW GENERAL INFORMATION ONLY. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO EXAMINE THE SITE TO DETERMINE THE EXACT EXISTING CONDITIONS AND CHARACTER AND EXTENT OF
- THE WORK TO BE PERFORMED AND OPERATIONS REQUIRED. 1.9 THE CONTRACTOR/SUBCONTRACTORS SHALL OBTAIN AND PAY FOR ALL LEGALLY 2.2 THE FAILURE OR OMISSION OF THE GENERAL CONTRACTOR TO VISIT THE SITE
 - AND ACQUAINT HIMSELF WITH THE EXISTING CONDITIONS SHALL IN NO WAY RELIEVE HIM FROM OBLIGATIONS WITH RESPECT TO THIS CONTRACT
 - 2.3 THE INFORMATION INDICATED ON THE DRAWINGS REPRESENTS THE BEST INFORMATION AVAILABLE FROM THE OWNER AS TO THE CHARACTER OF THE
 - MATERIALS TO BE ENCOUNTERED AND THEIR LOCATIONS. 2.4 IT IS EXPRESSLY UNDERSTOOD AND AGREED THAT THE OWNER ASSUMES NO RESPONSIBILITY WHATSOEVER IN RESPECT TO THE SUFFICIENCY OR ACCURACY OF THE DRAWINGS OR THE INTERPRETATION THEREOF, AND THERE IS NO WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED, THAT THE CONDITIONS AND LOCATIONS INDICATED ARE REPRESENTATIVE OF THOSE EXISTING THROUGHOUT THE EXISTING STRUCTURE OR THAT UNFORESEEN DEVELOPMENTS MAY NOT OCCUR.
- DISCREPANCIES OR OMISSIONS BETWEEN THE DRAWINGS, THESE NOTES, AND 2.5 THE GENERAL CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS INDICATED IN DRAWINGS OR AS OTHERWISE DIRECTED BY ARCHITECT.
 - 2.6 THE GENERAL CONTRACTOR SHALL FURNISH OWNER WITH A COMPLETE INVENTORY LIST OF ALL ITEMS THAT CAN BE REUSED AND/OR STORED IN BUILDING STOCK, AND OBTAIN DIRECTIVE REGARDING THEIR DISPOSITION.
 - 2.7 THE GENERAL CONTRACTOR SHALL EXECUTE ALL WORK WITHIN THE REGULATIONS OF PROPERTY MANAGEMENT FOR DEMOLITION AND REMOVAL OF
- DEBRIS. INCLUDING AFTER HOURS WORK. AS MAY BE REQUIRED. EQUIPMENT, OR MATERIAL REQUIRED FOR DIFFICULTIES ENCOUNTERED, WHICH 2.8 ALL WORK DEMOLISHED SHALL BE REMOVED FROM THE PREMISES, EXCEPT ITEMS TO BE REUSED OR RETURNED TO OWNER OR AS OTHERWISE NOTED.
 - 2.9 THE GENERAL CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS. BOTH FROM HIS OWN AND OTHER SUBCONTRACTORS EMPLOYEES, AND PROVIDE FOR ITS REMOVAL FROM THE SITE.
 - BOXES, PLATES, BRIDGES, OR ANY OTHER TELEPHONE AND/OR ELECTRICAL WIRING AND EQUIPMENT LEFT AFTER WALL DEMOLITION.
 - THE GENERAL CONTRACTOR SHALL PROVIDE A VISQUEEN SEAL FROM FLOOR 2.41 U.N.O. ELECTRICAL CONTRACTOR RESPONSIBLE TO INVENTORY QUANTITY OF 2.11 TO CEILING AT ALL INTERFACES TO PROTECT ADJACENT BUILDING PROPERTY WHILE DEMOLITION AND CONSTRUCTION ARE IN PROGRESS. THIS SEAL IS TO BE KEPT CLOSED AT ALL TIMES.
 - 2.12 THE GENERAL CONTRACTOR SHALL CAP AND FLUSH OFF BEHIND FINISHED SURFACES ALL PROJECTING PLUMBING, FLOOR ELECTRICAL/TELEPHONE OUTLETS, AND ALL OTHER PROJECTING ITEMS WHICH ARE BEING ABANDONED.
 - PERIMETER WINDOW/FRAME BEFORE PROJECT COMMENCEMENT. DOCUMENT 2.42 U.N.O. CONTRACTOR TO REMOVE ANY DISCOLORED OR DAMAGED LIGHT
 - EXISTING DAMAGE WITH BUILDING MANAGEMENT AND THE ARCHITECT U.N.O. CONTRACTOR TO INCLUDE IN SCOPE TO REPAIR/PAINT AS REQUIRED. 2.14 AT ANY EXISTING PARTITION SCHEDULED TO BE SLAB TO SLAB, CONTRACTOR
 - TO VERIFY CONDITIONS AND DETERMINE IF EXISTING WALL CAN BE MODIFIED. PROTECT AND PREPARE FOR MODIFICATION OR DEMOLISH AS
 - NECESSARY. REFER TO STANDARD DETAIL 2.15 AT WALLS SCHEDULED FOR NEW FINISH, CONTRACTOR TO VERIFY EXISTING WALL CONDITIONS AND PROVIDE APPROPRIATE DEMOLITION OR
 - PREPARATION TO ACCOMMODATE NEW FINISH INSTALLATION. U.N.O. THIS IS TO INCLUDE REMOVING LOOSE OR DEFECTIVE DRYWALL MATERIAL AND ANY 2.38 U.N.O. EXISTING OUTLETS, RECEPTACLES/ ELECTRICAL PANELS, NOT SHOWN 4.21 U.N.O. WHERE EXISTING BASE BUILDING CONSTRUCTION INTERFACES WITH WALLCOVERING EXISTING ON A WALL SCHEDULED TO RECEIVE A NEW FINISH. REFER TO FINISH PLAN FOR SCOPE
 - SHALL ENSURE THAT ALL AREAS ARE LEFT BROOM CLEAN.
 - DOCUMENTS, NOT AS-BUILT DRAWINGS. PLEASE VERIFY ALL CONDITIONS AND 2.39 U.N.O. REMOVE ANY EXISTING OUTLETS, ALARMS, SWITCHES, THERMOSTATS DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ARCHITECT
 - 2.18 EXISTING CONDITIONS DAMAGED OR REMOVED AS A RESULT OF ALL WORK REQUIRED TO BE DONE UNDER THIS CONTRACT SHALL BE REPAIRED OR REPLACED TO ORIGINAL CONDITION AND FINISHED TO MATCH ADJACENT
 - SURFACES. 2.20 DEMOLITION CONTRACTORS ARE TO CONSULT CLOSELY WITH MECHANICAL. ELECTRICAL AND PLUMBING CONTRACTORS, AS WELL AS THE OWNER'S
 - TELEPHONE/CABLING/EQUIPMENT VENDOR PRIOR TO COMMENCEMENT OF DEMOLITION.
 - DEMOLITION, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ALSO STUDY THE FULL INTENT OF REQUIRED DEMOLITION BY INCORPORATING A COMPLETE ANALYSIS OF THE PROPOSED NEW CONSTRUCTION.
 - SWEPT CLEAN. METHOD OF DEBRIS REMOVAL MUST BE IDENTIFIED BY THE CONTRACTOR AND APPROVED BY THE BUILDING OWNER. 2.23 THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING CONSTRUCTION 2.45 HVAC FIXTURES IN CONFLICT WITH NEW WALLS TO BE REMOVED. HVAC
 - DOCUMENTS AND FIELD CONDITIONS FOR ACCURACY AND CONFIRMING THAT THE WORK CAN BE DONE AS SHOWN. BEFORE PROCEEDING WITH THE DEMOLITION. IF THERE ARE COORDINATION QUESTIONS, THE CONTRACTOR IS 2.46 AT DEMO WALL LOCATIONS, THERMOSTATS SHOULD BE TAKEN TO PLENUM RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE DESIGNER BEFORE PROCEEDING WITH THE WORK IN QUESTION.
 - 2.24 ALL PENETRATIONS MADE TO FLOOR SLABS DURING DEMOLITION/REMODEL OPERATIONS, OR EXISTING PENETRATIONS, SHALL BE FIRE RATED WITH U.L. APPROVED MATERIALS AND METHODS TO MAINTAIN EXISTING FIRE RATING. ALL 2.48 MECHANICAL CONTRACTOR IS RESPONSIBLE FOR TERMINATING ANY EXISTING PENETRATIONS FOUND TO BE NON-CONFORMING SHALL ALSO BE FIRE-SAFE AS PART OF THIS PROJECT
 - STUDY THE DRAWINGS AND COMPARE THEM TO THE EXISTING CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO SUBMISSION 3.1 THE GENERAL CONTRACTOR SHALL DO ALL CUTTING, FITTING AND PATCHING 4.29 AT ALL COLUMN FURRING, GENERAL CONTRACTOR SHALL ENSURE THAT OF BIDS TO GENERAL CONTRACTOR AND/OR TENANT. CHANGE ORDER REQUESTS FOR OBVIOUS EXISTING CONDITION, DISCREPANCIES WILL NOT BE CONSIDERED BY TENANT NOR ARCHITECT.
- 1.32 THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL FIRE EXTINGUISHERS 2.26 REPAIR AND/OR REPLACE DAMAGE TO ANY PARTITIONS NOT DESIGNATED TO BE DEMOLISHED DURING DEMOLITION AND/OR CONSTRUCTION. ALL SURFACES 3.2 THE GENERAL CONTRACTOR SHALL PROVIDE ALL FLOOR CUT-OUTS AND THAT ARE SCHEDULED TO RECEIVE NEW FINISHES SHALL BE PREPARED ACCORDINGLY AND APPROPRIATELY. REFER ALSO TO FINISH PLAN. 2.27 GENERAL CONTRACTOR, SHALL FIELD-IDENTIFY ALL OBJECTS PROTRUDING ABOVE SLAB/FINISH FLOOR. VERIFY USE/PURPOSE OF ANY SUCH DEVICES
 - AND PROTECT ALL THAT ARE INTENDED TO REMAIN OR BE RE-USED AS PART OF THE FINAL REMODEL CONSTRUCTION. OTHERWISE, REMOVE, GRIND

SMOOTH AND/OR CAP AS MECHANICAL, PLUMBING, AND ELECTRICAL DESIGN-BUILD DOCUMENTS FOR COMPLETE COORDINATION.

2.28 CONTRACTOR TO ASSESS EXISTING CONDITION OF SUBSTRATE AT FLOORING DEMOLITION. PROVIDE ALL DEMOLITION REQUIRED. WHERE DEMOLITION CAUSES UNEVENNESS OR VOIDS IN THE FLOOR CONTRACTOR SHALL CLEAN, 3.5 IN ALL AREAS WHERE DEMOLITION CAUSES AN UNEVENNESS IN SLAB OR SCRAPE AND LEVEL THE FLOOR WITH THE EXISTING ADJACENT SURFACE. PREPARE SURFACE AS REQUIRED TO ACCEPT NEW FINISH AND IN A MANNER

CONSISTENT WITH HIGH QUALITY WORKMANSHIP. NEW FINISH, CONTRACTOR TO EVALUATE THE REMOVAL OF THE FLOORING. IF THE VCT FLOORING REMAINS, PREPARE EXISTING SURFACE AS REQUIRED PER MANUFACTURER RECOMMENDATIONS TO RECEIVE NEW FINISH. REFER TO FINISH PLAN FOR SCOPE

DUCT WORK, PIPING, PLUMBING FIXTURES AND CONDUITS) OR SCHEDULED TO BE REMOVED OR EXISTING AT WALLS SCHEDULED TO BE DEMOLISHED REMAIN SHALL BE REROUTED AND CONCEALED. SEE DESIGN/BUILD AND/OR ENGINEERED DOCUMENTS FOR EXTENT OF WORK. REFER TO BUILDING STANDARDS FOR GUIDELINES ON REMOVAL AND/OR DISPOSITION OF MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS/DEVICES. REFER TO MECHANICAL/PLUMBING /ELECTRICAL PLANS FOR SPECIFIC DIRECTION. ALL MATERIAL DISMANTLED FROM EXISTING WORK SHALL BECOME THE OWNER'S INSTRUCTIONS TO THE CONTRACTOR. ALL EQUIPMENT AND MATERIAL WHICH ARE IN OPERATING CONDITIONS WHEN REMOVED SHALL BE MAINTAINED AS SUCH WHEN RETURNED TO OWNER. IF DISMANTLED MATERIALS ARE TO BE REUSED COORDINATE WITH THE ARCHITECT TO RECEIVE CLARIFICATION OF REUSE BEFORE PROCEEDING WITH DEMOLITION

WORK 2.32 GENERAL CONTRACTOR TO MAKE NECESSARY ADJUSTMENTS TO EXISTING HVAC SYSTEM AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION. REFER TO MECHANICAL PLANS FOR PROVIDING PROPER ZONING AND INSTALLATION 4.5 OF APPROPRIATE ZONE CONTROLS.

2.33 ADEQUATE CLEAN-UP PROTECTION AND REPLACEMENT OF ANY CEILING TILES REMOVED DURING THE COURSE OF UNDER FLOOR WORK MUST BE REPLACED 4.6 BEFORE THE START OF BUSINESS MONDAY FOLLOWING ANY OVERTIME WEEKEND WORK PERFORMED IN ORDER THAT THE TENANT WILL NOT BE INCONVENIENCED IN THE NORMAL CONTINUATION OF HIS REGULAR BUSINESS HOURS

2.34 CONTRACTOR TO COMPLY WITH THE CITY OF SAN DIEGO CONSTRUCTION AND DEMOLITION (C&D) DEBRIS DEPOSIT ORDINANCE EFFECTIVE JULY 1ST. 2008. CONTRACTOR TO PROVIDE TO THE ARCHITECT THE REQUIRED FORMS AND DEPOSIT AMOUNT PRIOR TO SUBMITTAL FOR PERMIT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROPERLY DOCUMENT THE

THE DEPOSIT REFUND REQUEST AND ALL NECESSARY DOCUMENTATION TO THE CITY OF SAN DIEGO FOR REFUND. SPRINKLERS, STROBE ALARMS, DETECTORS, NOT SHOWN ON PLAN.

CONTRACTOR TO ASSESS REQUIREMENTS FOR NEW IMPROVEMENTS AND RELOCATE AS NECESSARY PER BUILDING STANDARD/STATE CODE. CONTRACTOR TO COORDINATE MODIFICATIONS WITH BUILDING

ENGINEERING/OWNER BEFORE DEMOLITION COMMENCEMENT. .36 U.N.O. CONTRACTOR TO TAKE ALL PRECAUTIONS TO PRESERVE AT MAXIMUM THE SUSPENDED CEILING ASSEMBLIES, DRYWALL, LIGHTING AND MECHANICAL FIXTURES. CONTRACTOR RESPONSIBLE FOR REVIEW AND UNDERSTANDING OF WALL DEMOLITION/NEW WALL CONSTRUCTION AS RELATES TO CEILING

SCOPE. REFER TO REFLECTED CEILING PLAN. 2.37 U.N.O. ALL CEILING TILE REMOVED FROM DEMOLITION THAT IS IN GOOD CONDITION SHOULD BE SALVAGED FOR REUSE/REINSTALLATION. AT CEILING AFFECTED BY CONSTRUCTION OF WALL LOCATIONS, CONTRACTOR TO EVALUATE TO REPAIR/OR TO REPLACE GRID/TILES.

2.38 AFTER CEILING REMOVAL, CONTRACTOR RESPONSIBLE FOR VERIFICATION OF ITEMS IN PLENUM REQUIRING MODIFICATION OR RELOCATION. CONTRACTOR TO COORDINATE WITH BUILDING ENGINEER/OWNER FOR CLEANING OF PLENUM AT SUITE TO CLEAR ABANDONED CABLES. DO NOT AFFECT OR REMOVE ANY PLENUM CONDITIONS, FOR EXISTING LIFE SAFETY CABLE AT PREMISES WITHOUT AUTHORIZATION. DO NOT REMOVE ANY COMMUNICATION CABLES

UTILIZED BY TENANT WITHOUT AUTHORIZATION CUTTING WORK SHALL BE DONE WITH MINIMUM DAMAGE TO SURROUNDING SURFACES TO BE RETAINED. VERIFY LOCATIONS OF ALL ABOVE CEILING BRACING NOTED.

2.40 ELECTRICAL CONTRACTOR ON DESIGN-BUILD BASIS IS RESPONSIBLE TO VERIFY EXISTING CONDITIONS PRIOR TO DEMOLITION COMMENCEMENT. CONTRACTOR RESPONSIBLE FOR FIELD VERIFICATION, REINSTALLATION AND/OR REPLACEMENT OF ELECTRICAL SYSTEMS. ELECTRICAL CONTRACTOR TO ASSESS ALL REQUIREMENTS FOR NEW SCOPE.

LIGHT FIXTURES AND EXIT SIGNS. ELECTRICAL CONTRACTOR TO ASSESS REQUIREMENTS FOR NEW SCOPE AND DETERMINE QUANTITY OF

PLAN FOR REQUIREMENTS. VERIFY THAT LIGHT FIXTURES/EXIT SIGNS ARE FULLY FUNCTIONING, ARE IN GOOD CONDITION AND COMPLY WITH BUILDING STANDARD. U.N.O. ALL LIGHT FIXTURES/EXIT SIGNS SCHEDULE TO BE

REMOVED SHOULD BE SAVED FOR RELOCATION. FIXTURES LENS. PREPARE FOR REPLACE WITH NEW.

2.43 ANY LIGHT FIXTURE/EXIT SIGN THAT IS IN CONFLICT WITH A NEW WALL SHOULD BE REMOVED. SAVE FOR RELOCATION. REFER TO REFLECTED CEILING PLAN FOR SCOPE.

BREAK SWITCH LEGS FOR NEW LIGHTING CONFIGURATION. RELOCATE SWITCH OR PROVIDE NEW AS REQUIRED. CONTRACTOR TO ENSURE THAT ALL FIXTURES TO MAINTAIN CONTROL BY A SWITCH/MOTION SENSOR. REFER TO BUILDING STANDARDS.

ON PLAN. ELECTRICAL SUBCONTRACTOR TO ASSESS REQUIREMENTS FOR DEMOLITION AND NEW IMPROVEMENTS. REFER TO POWER PLAN FOR REQUIREMENTS. CONTRACTOR TO INVENTORY QUANTITY FOR ACCURATE BID. IF A PROPOSED OUTLET IS WITHIN 12" OF AN EXISTING, A NEW DEVICE IS

NOT REQUIRED. THAT ARE IN CONFLICT WITH NEW CONSTRUCTION (NEW PARTITIONS, NEW MILLWORK). CONTRACTOR TO COORDINATE RELOCATION AS NECESSARY. 2.40 U.N.O. ANY ELECTRICAL/DATA OUTLETS AND CONDUITS EXISTING AT WALLS SCHEDULED TO BE DEMOLISHED, CONTRACTOR TO REMOVE DEVICES, CONDUITS, SAFE-OFF POWER, PULL LINES AND CLEAN PLENUM. CONTRACTOR 4.23 U.N.O. PROVIDE ADEQUATE FURRING TO ACCOMMODATE ANY RECESSED

TO INVENTORY QUANTITY. 2.41 U.N.O. ANY ELECTRICAL PANEL IF EXISTING AT WALLS SCHEDULED TO BE DEMOLISHED, CONTRACTOR TO TAKE ALL CIRCUITS BACK TO BUILDING PANEL,

OR PREPARE TO RE-ROUTE TO NEW PANEL LOCATION. 2.42 WHERE OCCURS CONTRACTOR SHOULD DETERMINE IF ELECTRICAL PANEL

SHOULD BE RELOCATED AND ADVISE THE ARCHITECT TO COORDINATE NEW LOCATION AND PARTITION REQUIREMENTS. 2.43 AT ANY TELEPHONE BOARD EXISTING AT WALLS SCHEDULED TO BE DEMOLISHED, CONTRACTOR TO REMOVE BOARD, PULL LINES AND CLEAN

PI FNUM 2.44 MECHANICAL CONTRACTOR TO FIELD VERIFY EXISTING MECHANICAL

EQUIPMENT. VERIFY THAT ALL SYSTEMS ARE FULLY FUNCTIONING AND SAFE-OFF ANY ITEMS SCHEDULED FOR RE-INSTALLATION. CONTRACTOR TO DETERMINE TO DEMO/RELOCATE AND ROUTING OF DUCTWORK AS REQUIRED.

BEFORE DEMOLITION AND SAVED FOR REUSE. 2.47 U.N.O. ALL HVAC GRILLES THAT ARE REMOVED SHOULD BE SALVAGED FOR

REUSE/REINSTALLATION. ALL SUPPLIES AND RETURNS TO BE IN GOOD CONDITION. UNUSED FIXTURES TO BE RETURNED TO BUILDING OWNER. THERMOSTATS DURING DEMOLITION. NOT DEMOLITION CONTRACTOR.

3.0 PATCHING & CUTTING

WORK THAT MAY BE REQUIRED TO MAKE ALL PARTS COME TOGETHER PROPERLY. AND FIT TO RECEIVE OR BE RECEIVED BY WORK OF OTHER CONTRACTORS WHERE SHOWN, OR REASONABLY IMPLIED BY, THE DRAWINGS 4.30 HINGE SIDE OF ALL DOORS SHALL BE 4" PERPENDICULAR FROM FINISH AND NOTES.

PATCHING REQUIRED FOR THE INSTALLATION OF ALL WORK. THE GENERAL CONTRACTOR SHALL SURVEY ALL EXISTING FINISHED SURFACES TO REMAIN FOR CHIPS, CRACKS, HOLES, AND OTHER DAMAGE. 5.1 THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL NEW SUSPENDED THESE DEFECTIVE SURFACES SHALL BE REPAIRED, OR IF BEYOND REPAIRING, THEN THE GENERAL CONTRACTOR SHALL REMOVE ALL EXISTING AND REPLACE WITH NEW TO MATCH EXISTING TO THE SATISFACTION OF OWNER AND TENANT.

3.4 THE GENERAL CONTRACTOR SHALL INSPECT ALL EXISTING SURFACES TO 5.3 SUSPENDED CEILING HEIGHTS SHALL BE AS SHOWN ON DRAWING REMAIN, AFTER DEMOLITION OF EXISTING FINISHES (I.E. WALLCOVERING, WALL BASE, ETC.). IF SURFACE IS NOT SMOOTH AND FLUSH TO RECEIVE NEW FINISH, SUBCONTRACTOR SHALL SKIM COAT AND SAND SMOOTH.

LIGHTWEIGHT CONCRETE, THE CONTRACTOR SHALL PATCH TO LEVEL AS REQUIRED TO RECEIVE NEW FLOORING FINISH. 3.6 ALL EXISTING OR NEW CONSTRUCTION WORK SHOWN ON DRAWINGS THAT IS DAMAGED AS A RESULT OF WORK FOR THIS PROJECT. SHALL BE PATCHED AS REQUIRED TO MATCH IMMEDIATE EXISTING ADJACENT AREAS IN MATERIALS. FIRE RATING, FINISH AND COLOR, UNLESS OTHERWISE NOTED. 3.7 CONTRACTOR TO DOWEL/FILL/PATCH SLAB AFTER SAWCUTTING TO ENSURE

SLAB STRUCTURAL INTEGRITY 2.30 ANY PROJECTING OR SURFACE MOUNTED ITEMS BEING ABANDONED (EXISTING 3.8 THE GENERAL CONTRACTOR SHALL PATCH ALL CRACKS, HOLES OR OTHER IMPERFECTIONS (PROJECTIONS SHALL BE REMOVED AND PATCHED) TO PROVIDE A CONTINUOUS SMOOTH FLOOR SURFACE. SHALL BE DEMOLISHED BACK TO POINT OF ORIGIN. ANY OF SUCH ITEMS TO 3.9 THE GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT AFTER FLOOR PATCHING IS DONE AND RECEIVE THEIR REVIEW PRIOR TO INSTALLATION OF FINISHED FLOORING.

4.0 PARTITIONS

4.1 THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL ALL PARTITIONS AS DESIGNATED ON ARCHITECT DRAWINGS. PROPERTY OF THE OWNER AND SHALL BE STORED OR DISPOSED OF PER 4.2 THE GENERAL CONTRACTOR SHALL PROVIDE CHALK LINE MARKINGS ON THE

FLOOR OF ALL PARTITIONS FOR ARCHITECT AND TENANT REVIEW PRIOR TO FRAMING. SITE MEETING TO REVIEW CHALK LINES SHALL BE SCHEDULED BY THE GENERAL CONTRACTOR THREE (3) DAYS IN ADVANCE OF THE MEETING. 4.3 ALL WALL DIMENSIONS ARE FINISHED FACE OF WALL TO FINISHED FACE OF WALL, UNLESS OTHERWISE NOTED. AT BUILDING PERIMETER, WALLS SHALL

BE CENTERED ON MULLIONS, UNLESS OTHERWISE NOTED. 4.4 WALLS SHOWN ALIGNED WITH EXISTING PARTITIONS SHALL BE FLUSH AND SMOOTH WITH EXISTING PARTITIONS, UNLESS OTHERWISE NOTED. THE GENERAL CONTRACTOR SHALL USE METAL CORNER BEADS AT ALL EXPOSED CORNERS AND EXPOSED ENDS IN PLASTER AND DRYWALL PARTITIONS

ALL PARTITIONS SHALL BE ANCHORED FIRMLY AS PER MANUFACTURER'S SPECIFICATIONS AND AS REQUIRED BY STATE AND LOCAL CODES. THE GENERAL CONTRACTOR SHALL CONSTRUCT RETURN AIR OPENINGS IN SLAB TO SLAB PARTITIONS ABOVE HUNG CEILINGS. SIZE OF OPENING TO MATCH AREA CALCULATION REQUIREMENTS AS SHOWN ON ENGINEERED HAVE SOUND BOOTS. OPENINGS IN FIRE RATED WALLS SHALL HAVE FIRE DAMPERS AS REQUIRED BY LOCAL BUILDING CODES. CONTRACTOR TO COORDINATE WITH ENGINEERING DRAWINGS AND INFORM ARCHITECT OF DISCREPANCIES PRIOR TO FINAL BIDDING

RECYCLING, RE-USING OR DONATION OF THE C&D WASTE AND TO SUBMIT 4.8 THE GENERAL CONTRACTOR SHALL PROVIDE SUFFICIENT FRAMING FOR ALL WALL PENETRATIONS FOR DUCT WORK, RETURN AIR OPENINGS AND GRILL OPENINGS ABOVE AND BELOW SUSPENDED CEILINGS. THESE ARE TO BE COORDINATED WITH HVAC ENGINEERING DRAWINGS AND THE GENERAL CONTRACTOR'S MECHANICAL CONTRACTOR'S SHOP DRAWINGS. ALL OPENINGS SHALL BE PROPERLY SEALED FOR SOUNDPROOFING AND VIBRATION

4.9 WHERE OPENINGS OCCUR IN EXISTING FIRE RATED FLOOR ASSEMBLY OR PARTITIONS, DUE TO EXISTING OR NEW CONDUIT RUNS, DUCTWORK, CABLES, PIPING, ETC., AND/OR WHERE EXISTING FIREPROOFING HAS BEEN REMOVED AS A RESULT OF EXISTING OR NEW CONSTRUCTION WORK, THE GENERAL CONTRACTOR SHALL CLOSE AND/OR PATCH AS REQUIRED ALL OPENINGS TO MATCH IMMEDIATE ADJACENT AREAS IN MATERIAL, FINISH AND FIRE RATING. 4.10 ALL PENETRATIONS THROUGH FIRE RATED WALLS, FLOORS AND CEILINGS

SHALL BE PROTECTED PER APPROVED "UL" METHODS. 4.11 ARCHITECT IS TO BE NOTIFIED OF ANY REQUIRED DEVIATION FROM CONSTRUCTION DIMENSIONS OR CLEARANCES AS DESIGNATED ON PLAN OR OF ANY APPARENT CONSTRUCTION CONFLICTS. BACKGROUND DRAWINGS ARE BASED ON ORIGINAL CONSTRUCTION DOCUMENTS, NOT AS-BUILT DRAWINGS. PLEASE VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.

REPORT ANY DISCREPANCIES TO THE ARCHITECT 4.12 EXISTING CONDITIONS DAMAGED OR REMOVED AS A RESULT OF ALL WORK REQUIRED TO BE DONE UNDER THIS CONTRACT SHALL BE REPAIRED OR REPLACED TO ORIGINAL CONDITION AND FINISHED TO MATCH ADJACENT SURFACES

4.13 PROVIDE SEPARATE CIRCUITS AND CONTROLS FOR ALL LIGHTING AND ELECTRICAL SYSTEMS SO THAT THERE IS NO CROSSOVER BETWEEN REMODEL AND EXISTING ADJACENT SUITES, OFFICES, CONF. ROOMS, ETC. 4.14 PROVIDE SEPARATE MECHANICAL CONTROLS, DUCT WORK AND MECHANICAL SYSTEMS SUCH THAT THEY ARE CONTROLLED INDEPENDENTLY FOR THIS REMODEL AND DO NOT CROSSOVER INTO EXISTING ADJACENT SUITES. 4.15 DRYWALL: PATCH WALLS TO REMAIN WHERE DAMAGED AND/OR WHERE

DEVICES/WALLS HAVE BEEN REMOVED. MAINTAIN RATINGS. ALL WALLS, AND LEVEL 5 FINISH AT CEILINGS/SOFFITS. FIXTURES/EXIT SIGNS TO REMOVE/RELOCATE. REFER TO REFLECTED CEILING 4.17 BACKING: PROVIDE 6" X 20 GA. BACKING IN WALL FOR CUSTOMER PROVIDED .

EQUIPMENT OR REQUIREMENTS: WALL MOUNTED MILLWORK, ETC. GENERAL 5.25 ALL CEILING WIRE, NON-SUPPORTED DUCT AND PIPES MUST BE SEPARATED CONTRACTOR TO COORDINATE LOCATIONS AND MOUNTING HEIGHT WITH CUSTOMER IN THE FIELD. 4.18 SEE SHEET A9.1 FOR DOOR INFO

4.19 CONTRACTOR TO ENSURE SLAB IS IN ADEQUATE CONDITION FOR

INSTALLATION OF NEW FINISH. PREPARE FLOOR AS REQUIRED PER MANUFACTURER'S RECOMMENDATIONS. NOTICEABLE DEFECTS THROUGH NEW WORK SHALL RESULT IN REINSTALLATION OF FINISH TO SATISFACTION OF TFNANT

2.44 U.N.O. AT DEMO WALL LOCATIONS VERIFY USE OF EXISTING LIGHT SWITCH. 4.20 UNLESS OTHERWISE DIRECTED, CONTRACTOR TO INCLUDE IN THE SCOPE TO SKIM COAT AT ALL WALLS WHERE WALLCOVERING HAS BEEN REMOVED. WHERE WALLCOVERING DEMOLITION DAMAGES DRYWALL CONDITIONS BEYOND WHICH SKIMCOAT WILL REPAIR FOR SPECIFIED FINISH, REPAIR/REPLACE DRYWALL

NEW CONSTRUCTION, CONTRACTOR TO PATCH AND REPAIR EXISTING SURFACES. SURFACES SHALL BE RESTORED TO APPEAR AS NEW AND READY TO RECEIVE NEW FINISH. PATCH, FILL ALL GOUGES, HOLES, CRACKS AND DENTS FOR UNIFORM FINAL FINISH ON ALL EXISTING SURFACES. U.N.O. CONTRACTOR TO PREP AND PUTTY COAT WALLS AT AREAS WHERE DEMO HAS OCCURRED OR WHERE PRIOR BASE INSTALLATION WILL RESULT IN VISIBLE ADHESIVE LINE WITH NEW BASE INSTALLATION. REFER TO FINISH PLAN FOR NEW REQUIREMENTS.

4.22 UNLESS OTHERWISE DIRECTED, WHERE ELECTRICAL AND COMMUNICATIONS OUTLETS HAVE BEEN REMOVED, CONTRACTOR TO PATCH AND REPAIR PARTITION TO MATCH EXISTING.

ELECTRICAL PANEL AT A NEW WALL. COORDINATE WITH ELECTRICAL DESIGN/BUILD ENGINEER FOR EXACT REQUIREMENTS. U.N.O. PROVIDE

ADEQUATE FURRING TO ACCOMMODATE ANY RECESSED FIRE EXTINGUISHER. VERIFY SIZE TO PROVIDE ACCURATE DEPTH 4.24 AT ALL DOOR LOCATIONS, INVENTORY THE REQUIREMENTS. MODIFY OR ADD

TO CONSTRUCTION AS REQUIRED TO ACCEPT BUILDING STANDARD OR TENANT STANDARD DOOR ASSEMBLY. REFER TO DOOR SCHEDULE FOR REQUIREMENTS 4.25 AT ANY WALL LOCATION SCHEDULED TO ACCOMMODATE PLUMBING FIXTURE 5.29 THE ABOVE REQUIREMENTS ARE INTENDED TO BE IDENTICAL TO THOSE

SUPPORT AND SUPPLY/WASTE, PROVIDE FULLY INSULATED PLUMBING PARTITION 3 5/8" METAL STUD WITH GREEN BOARD AND BACKING AS REQUIRED. IF THE PARTITION IS EXISTING, MODIFY AS REQUIRED. TOTAL WALL THICKNESS SHALL BE AS NECESSARY WHERE BACK TO BACK INSTALLATION OCCURS. COORDINATE WITH PLUMBING PLANS AND SPECIFICATIONS

4.26 AT ANY GLAZING INSTALLATION, CONTRACTOR TO VERIFY GLASS THICKNESS TO BE APPROPRIATE FOR INSTALLATION AND FRAME TYPE. NOTIFY THE ARCHITECT IF MODIFICATIONS FROM SPECIFICATIONS ARE REQUIRED. 4.27 ALL "HOLD" DIMENSIONS MUST BE MAINTAINED. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF THE ARCHITECT UNLESS OTHERWISE NOTED.

4.28 ALL PARTITIONS SHOWN "ALIGN" ARE TO BE SMOOTH AND FLUSH WITH EXISTING CONSTRUCTION FOR ONE CONTINUOUS SURFACE. WHERE NEW PARTITIONS ARE TO ALIGN WITH EXISTING PARTITIONS, REMOVE EXISTING CORNER BEAD(S), ALIGN, FLOAT FLUSH WITH NEW PARTITION.

FURRING IS KEPT TO MINIMUM POSSIBLE DIMENSIONS UNLESS OTHERWISE NOTFD.

WALL, U.O.N.

5.0 CEILING

ACOUSTICAL TILE AND GRID SYSTEM IN AREAS DESIGNED ON REFLECTED CEILING PLAN AND FASCIAS OR ANY BREAK IN THE CEILING HEIGHTS SHALL BE AS SHOWN ON DRAWINGS AND SHALL BE FORMED OF GYPSUM WALLBOARD ON METAL FRAMING.

DETAILS. ANY DEVIATION FROM HEIGHTS SHOWN BASED UPON FIELD CONDITIONS SHALL BE SUBMITTED TO ARCHITECT FOR RE TO START OF WORK IN QUESTION, OR RELATED WORK, ENSURE FOR FIXTURES, DUCTS, ETC. NECESSARY TO MAINTAIN THE SPE CEILING HEIGHT AS NOTED ON THE DRAWINGS. 5.4 THE CEILING SUBCONTRACTOR SHALL CLOSELY COORDINATE HIS

OTHER SUBCONTRACTORS AND TENANT'S VENDORS AND/OR PR COMPOSITE SHOP DRAWINGS WHENEVER THEIR RESPECTIVE WOR CONTIGUOUS. 5.5 THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL ALL

ACCESS PANELS IN GYPSUM BOARD CEILINGS AS REQUIRED FO MECHANICAL, ELECTRICAL AND PLUMBING ACCESS PER LOCAL WHETHER INDICATED ON DRAWINGS OR NOT. COORDINATE LOCA AND TYPE WITH ARCHITECT PRIOR TO INSTALLATION.

5.6 PRIOR TO CLOSING UP ANY CEILING, ALL PLENUM SYSTEMS (HV PLUMBING, ELECTRICAL, ETC.) SHALL BE INSPECTED AND WHERE TESTED BY CONTRACTOR'S ENGINEERS. TO INSURE THEIR PROPE INSTALLATION AND FUNCTION. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ITEMS IN PLENUM REQUIRING MODIFICATION AN RELOCATION DUE TO NEW REQUIREMENTS.

5.7 ALL DOWNLIGHTS, WALL WASHERS, SPRINKLER HEADS, SPEAKER AND OTHER CEILING-MOUNTED FIXTURES SHALL BE CENTERED MODULE CREATED BY CEILING GRIDS AND CEILING TILE SCORE SHALL ALIGN IN STRAIGHT LINE, UNLESS OTHERWISE NOTED. 5.8 CEILINGS IN CLOSETS SHALL BE OF THE SAME HEIGHTS AND CO AS THAT OF ADJOINING SPACE, EXCEPT AS OTHERWISE NOTED. 5.9 THE GENERAL CONTRACTOR SHALL PROVIDE CUT-OUTS AND OT PROVISIONS IN ACOUSTICAL WORK AS REQUIRED FOR LIGHTING

REGISTERS, AND DIFFUSERS AND OTHER INSERTED ITEMS. 5.11 THE GENERAL CONTRACTOR SHALL REMOVE, REPAIR AND/OR REPLACE ANY AND ALL CEILING TILES THAT ARE DISCOLORED OR DAMAGED OR IN ORDER

TO FACILITATE PLENUM SYSTEM INSTALLATIONS. INTENT IS TO ALLOW FOR CONSISTENT COLOR AND DIRECTION IN DEFINED AREAS AS NECESSARY. 5.12 ALL FIRE/LIFE SAFETY DEVICES TO BE BUILDING STANDARD. ALL SPRINKLERS IN DRYWALL CEILING AREAS SHALL HAVE CONCEALED HEAD ASSEMBLIES. COLOR OF TRIM SHALL MATCH ADJACENT CEILING. BACKGROUND DRAWINGS ARE BASED ON ORIGINAL CONSTRUCTION DOCUMENTS, NOT AS-BUILTS. VERIFY ALL CONDITIONS AND DIMENSIONS

PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ARCHITECT DRAWINGS. ALL OPENINGS IN DEMISING AND SOUND ATTENUATED WALLS TO 5.14 EXISTING CONDITIONS DAMAGED OR REMOVED AS A RESULT OF ALL WORK REPLACED TO ORIGINAL CONDITION AND FINISHED TO MATCH ADJACENT SURFACES.

5.15 CONTRACTOR TO FIELD VERIFY (E) DEMISING PARTITIONS & CONFIRM THAT PARTITION CONTAINS INSULATION WITH BATT INSULATION & IS FULL HEIGHT PRIOR TO BID. IF NOT PROVIDED G.C. TO INCLUDE IN BID. 5.16 PROVIDE SEPARATE CIRCUITS AND CONTROLS FOR ALL LIGHTING AND ELECTRICAL SYSTEMS SO THAT THERE IS NO CROSSOVER BETWEEN REMODEL

AND EXISTING ADJACENT SUITES, OFFICES, CONF. ROOMS, ETC. 5.17 PROVIDE SEPARATE MECHANICAL CONTROLS, DUCT WORK AND MECHANICAL SYSTEMS SUCH THAT THEY ARE CONTROLLED INDEPENDENTLY FOR THIS REMODEL AND DO NOT CROSSOVER INTO EXISTING ADJACENT SUITES. 5.18 EXCEPT WHERE RIGID BRACES ARE USED TO LIMIT LATERAL DEFLECTION SPRINKLER HEADS AND OTHER PENETRATIONS THROUGH THE CEILING TILE REQUIRE MINIMUM 2-INCH RINGS. SLEEVES OR ADAPTERS THAT WILL ALLOW A MINIMUM 1-INCH CEILING MOVEMENT IN ALL HORIZONTAL DIRECTIONS. ALTERNATIVELY. A SWING JOINT CAN BE PROVIDED AT THE TOP OF THE SPRINKLER HEAD EXTENSION TO ACCOMMODATE THE 1-INCH MOVEMENT. 5.19 PROVIDE CLASS "C" FLAME SPREAD AND SMOKE DENSITY FOR WALL AND CEILING FINISHES IN ACCORDANCE WITH CBC TABLE 803.5.

5.20 CONTRACTOR TO PROVIDE AND INSTALL LATERAL AND SEISMIC SUPPORT FOR ALL SUSPENDED CEILINGS AND CEILING RELATED ELEMENTS AS REQUIRED BY APPLICABLE LOCAL CODES. SUSPENDED CEILINGS, ACOUSTIC OR GYPSUM BOARD EXCEEDING 144 SQUARE FEET IN NET AREA SHALL HAVE COMPRESSION STRUTS. STRUT SHALL CONSIST OF 3 5/8" METAL STUDS ATTACHED TO UNDERSIDE OF ROOF STRUCTURE TO CEILING GRID/CARRYING CHANNEL. SPACE STRUT AT 12-FEET ON CENTER IN BOTH DIRECTIONS AND 48" FROM WALLS.

5.21 CEILING MOUNTED HVAC HARDWARE IS TO BE LOCATED MINIMUM 18" HORIZONTALLY AWAY FROM WALLS, SHELVING, FILES, OR UPPER CABINET UNITS AS INDICATED ON PLANS

5.22 MATERIAL DESIGN AND WORKMANSHIP SHALL COMPLY WITH REQUIREMENTS FOR A DIRECT HUNG CEILING OF A.S.T.M. C-635, A.S.T.M. C 636 AND PROVISIONS AND EXCEPTIONS SPECIFIED. 5.23 ALL SUSPENSION WIRES SHALL BE MINIMUM 12GA. GALVANIZED IRON WIRES. SUSPENSION WIRES SHALL NOT HANG MORE THAN 1-" IN 6-" OUT OF

PLUMB UNLESS COUNTER SLOPING WIRES ARE PROVIDED 4.16 DRYWALL FINISH: GENERAL CONTRACTOR TO PROVIDE LEVEL 4 QUALITY AT 5.24 CROSS RUNNERS OVER 12" LONG AND ALL MAIN RUNNERS NOT CONNECTED

TO WALLS MUST BE INTERCONNECTED NEAR THE FREE END WITH 16GA. WIRE OR A METAL STRUT SECURELY ATTACHED TO PREVENT SPREADING. BY MINIMUM 6".

5.26 ALL LIGHT FIXTURES SHALL BE ATTACHED TO THE CEILING GRID IN SUCH A MANNER SO AS TO RESIST A HORIZONTAL FORCE EQUAL TO THE WEIGHT OF THE FIXTURES.

5.27 WHERE THE CEILING LOADS DO NOT EXCEED 5 POUNDS PER SQUARE FOOT AND WHERE PARTITIONS ARE NOT CONNECTED TO THE CEILING SYSTEM, THE FOLLOWING BRACING METHOD MAY BE EMPLOYED. A. LATERAL SUPPORT FOR SUSPENDED CEILING MUST BE PROVIDED (C.B.C. CHAPTER 16) WHERE CEILING LOADS ARE LESS THAN 5 PSF AND

NOT SUPPORTING INTERIOR PARTITIONS, CEILING BRACING SHALL BE PROVIDED BY FOUR NO. 12GA. WIRES SECURED TO THE MAIN RUNNER WITHIN 2" OF THE CROSS RUNNER INTERSECTION AND SPLAYED 90 DEGREES FROM EACH OTHER AT AN ANGLE NOT EXCEEDING 45 DEGREES FROM THE PLANE OF THE CEILING. THESE HORIZONTAL RESTRAINTS POINTS SHALL BE PLACED 12-FEET O.C. IN BOTH DIRECTIONS WITH THE FIRST POINT WITHIN 4-FEET FROM EACH WALL. ATTACHMENT OF THE RESTRAINT WIRES TO THE STRUCTURE SHALL BE ADEQUATE FOR THE LOAD IMPOSED. ALLOWANCE SHALL BE MADE FOR LATERAL MOVEMENT OF THE SYSTEM. MAIN RUNNERS AND CROSS RUNNERS MAY BE ATTACHED AT TWO ADJACENT WALLS WITH CLEARANCE BETWEEN THE WALL AND THE RUNNERS

MAINTAINED AT THE OTHER TWO WALLS.

VERTICAL SUPPORT SHALL BE PROVIDED AS REQUIRED IN C.B.C. WITH THE ADDED REQUIREMENTS THAT DISCONTINUOUS ENDS OF CROSS RUNNERS AND MAIN RUNNERS BE VERTICALLY SUPPORTED WITHIN 8" OF SUCH ENDS AS THIS MAY OCCUR WHERE THE CEILING IS DISRUPTED BY A WALL. D. LIGHTING FIXTURES AND AIR DIFFUSERS SHALL BE SUPPORTED DIRECTLY BY WIRES TO THE STRUCTURE ABOVE.

EXCEPTION: RECESSED LIGHTING FIXTURE NOT OVER 58 LBS. IN WEIGHT AND SUSPENDED AND PENDANT HUNG FIXTURES NOT OVER 20 LBS. IN WEIGHT. MAY BE SUPPORTED AND ATTACHED DIRECTLY TO THE CEILING SYSTEM RUNNERS BY A POSITIVE ATTACHMENT SUCH AS SCREWS OR BOLTS. 5.28 AIR DIFFUSERS WHICH WEIGH NOT MORE THAN 20 LBS. AND WHICH RECEIVE NO TRIBUTARY LOADING FROM DUCT WORK MAY BE POSITIVELY ATTACHED TO

AND SUPPORTED BY THE CEILING RUNNERS. CURRENTLY ENFORCED BY C.B.C. CHAPTER 16. OTHER METHODS MAY BE USED PROVIDING THEY ARE SUBSTANTIATED BY DESIGN CALCULATIONS USING THE LOADS SPECIFIED IN CHAPTER 16.

5.30 GENERAL INSTALLATION REQUIREMENTS: INSTALL CEILINGS UNDER THE SUPERVISION OF AN EXPERIENCED SUPERINTENDENT. CONSULT WITH AND COORDINATE INSTALLATION WITH OTHER TRADES. INSTALL CEILINGS WATER LEVEL WITHIN A TOLERANCE OF 1/8" IN 12 FEET IN ANY DIRECTION.

CONFORM TO REVIEWED SUBMITTALS. 5.31 PATTERN: UNLESS OTHERWISE INDICATED OR SPECIFIED, INSTALL CEILING IN REGULAR PATTERN, JOINT LINES PARALLEL TO WALLS. INSTALL ACOUSTICAL UNITS SYMMETRICALLY ABOUT CENTER LINES OF EACH ROOM OR SPACE, AVOIDING NARROW UNITS (LESS THAN HALF A TILE) AT WALLS. 5.32 FRAMING FOR LIGHTING AND MECHANICAL FIXTURES: OBTAIN NECESSARY DATA FROM OTHER TRADES AND PROVIDE ADDITIONAL HANGER WIRES AND FRAMING IN SUSPENDED GRIDS AS REQUIRED TO SUPPORT LIGHTING AND MECHANICAL

FIXTURES 5.33 CROSS TEES TO COMPLETE THE GRID. INSTALL MAIN TEES ALONG ALL THE EDGES OF MECHANICAL AND LIGHTING FIXTURES. LOCK SUSPENSION PARTS

IN PLACE TO FORM A GRID CAPABLE OF WITHSTANDING A LATERAL FORCE OF 100 POUNDS MINIMUM IN TENSION AND COMPRESSION. INSTALL ACOUSTICAL UNITS WITH TIGHT FLUSH JOINTS NOT SUPPORTED ON TEES. PROVIDE MOLDINGS AT VERTICAL SURFACE AND AT PENETRATIONS. 5.34 EXPOSED GRID: SPACE THE MAIN TEES AT MAXIMUM 48" CENTERS AND INSTALL CROSS TEES TO COMPLETE THE GRID. INSTALL MAIN TEES ALONG SUSPENSION PARTS IN PLACE TO FORM A GRID CAPABLE OF RESISTING A LATERAL FORCE OF 100 POUNDS MINIMUM IN BOTH TENSION AND

COMPRESSION. INSTALL ACOUSTICAL UNITS WITH TIGHT FLUSH JOINTS, ALL JOINT LINES STRAIGHT AND ALIGNED. CUT UNITS TO FIT TIGHTLY AROUND CEILING PENETRATIONS, AND ACCURATELY SCRIBE TO WALLS. INSTALL

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ACOUSTICAL UNITS WITH EDGES BEARING ON TEES, ALL EDGES SECURED WITH HOLD-DOWN CLIPS. JOINTS TIGHTLY BUTTED AND MITER CUT AT ANGLES. COPE THE BOTTOMS OF EXPOSED TEES FOR FLUSH JOINTS WITH WALL ANGLES OR CHANNELS. CONFORM TO THE UL DESIGN APPROVED FOR THE GRID

35 CEILING OFFSETS: PROVIDE TRIMS WHERE SHOWN OR NECESSARY TO PROPERLY FINISH AT OFFSETS OR CEILING BREAKS, TYPES AS INDICATED, DIRECTED AND REVIEWEI

36 REPAIR, CLEANING AND COMPLETION: REMOVE AND REPLACE ALL DISCOLORED, BROKEN OR DAMAGED MATERIALS. COMPLETED CEILINGS SHALL PRESENT A SMOOTH LEVEL SURFACE FREE OF EDGE OR CORNER OFFSETS. CUPPING, SCRATCHES, GOUGES, OR OTHER DEFECTS. CLEAN EXPOSED SURFACE AND REMOVE FOREIGN MATTER. ALL CEILING LOCATIONS AFFECTED BY DEMOLITION/NEW CONSTRUCTION SHALL BE PATCHED AND REPAIRED FOR A CONTINUOUS APPEARANCE.

37 SLACK WIRES FOR LIGHT FIXTURES TO BE INSTALLED AT OPPOSITE CORNERS OF EACH FIXTURE. CEILING CONTRACTOR TO INSTALL. 38 ARCHITECTURAL REFLECTED CEILING PLAN TAKES PRECEDENCE OVER

ELECTRICAL LIGHTING PLANS FOR LOCATION OF LIGHT FIXTURES, SWITCHING AND EXIT SIGNAGE. 39 U.N.O. CONTRACTOR IN INCLUDE IN SCOPE ANY COMMON AREA CORRIDOR

AFFECTED BY DEMOLITION / NEW CONSTRUCTION. REPLICATE EXISTING CONDITIONS AT CEILING. PROVIDE NEW CEILING ASSEMBLY WITH REQUIRED LIGHTING TO MATCH EXISTING. MODIFY HVAC SUPPLY AND RETURN, SMOKE/FIRE DAMPERS AND SPRINKLERS AS NECESSARY.

40 WHEN A PROJECTION UNIT, PROJECTOR, VIDEO MONITOR, TENANT SIGNAGE, OR ANY OTHER EQUIPMENT REQUIRED TO BE INSTALLED AT THE CEILING, CONTRACTOR TO COORDINATE WITH VENDOR ALL THE NECESSARY REQUIREMENTS TO PROVIDE ADEQUATE SUPPORT.

5.41 PROVIDE NECESSARY ANGLE TRIMS AT CEILING PENETRATIONS BY WALLS AT ROOMS PERIMETER DUE TO INDEPENDENT CEILINGS. 5.42 IF ANY NEW OR RELOCATED FIXTURES ARE SHOWN AT A LOCATION THAT REQUIRES CUTTING A MAIN RUNNER, ADVISE ARCHITECT FOR SPECIFICATION OF REVISED LOCATION BEFORE GRID MODIFICATION AND LIGHTING

POSITIONING 5.42 CONTRACTOR IS RESPONSIBLE FOR FIRE/LIFE SAFETY ON A DESIGN-BUILD BASIS, CONTRACTOR TO FIELD VERIFY AND EVALUATE EXISTING CONDITIONS AT THE SPACE TO ACCOMMODATE NEW REQUIREMENTS AND PROVIDE ADEQUATE LIFE SAFETY COVERAGE AS REQUIRED FOR CODE. FIRE/LIFE SAFETY CONTRACTOR RESPONSIBLE TO PROVIDE **DESIGN/ BUILD** PLANS AND

OBTAIN THEIR OWN PERMIT. REQUIRED TO BE DONE UNDER THIS CONTRACT SHALL BE REPAIRED OR 5.43 SPRINKLERS, SPEAKER/STROBE DEVICES/FIRE ALARMS ARE NOT SHOWN ON THIS PLAN. CONTRACTOR RESPONSIBLE FOR VERIFICATION. INVENTORY OF EXISTING FIRE/SAFETY DEVICES AVAILABLE FOR RELOCATION.

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6.0 LIGHTING, POWER AND COMMUNICATIONS

- THE CONTRACTOR SHALL FURNISH AND INSTALL ALL LIGHTING FIXTURES AND ELECTRICAL WORK AS SHOWN OR IMPLIED ON ALL DRAWINGS AND NOTES.
- 6.2 THE CONTRACTOR SHALL COORDINATE HIS WORK WITH MANUFACTURER'S
- SPECIFICATIONS. 6.3 THE WORK SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE
- UTILITIES COMPANY, TELEPHONE COMPANY, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.
- 6.4 UNLESS OTHERWISE NOTED, ALL NEW MATERIALS REQUIRED SHALL CONFORM 6.47 WITH THE STANDARDS OF THE UNDERWRITERS LABORATORIES, INC., WHERE SUCH STANDARDS HAVE BEEN ESTABLISHED FOR THE PARTICULAR TYPE OF MATERIAL OR FIXTURE IN QUESTION.
- 6.5 PROPOSALS SHALL BE BASED UPON FURNISHING AND INSTALLING NEW LIGHTING FIXTURES AND REMOVING AND REINSTALLING EXISTING LIGHTING FIXTURES (INCLUDING NEW LAMPING) OF TYPES AND MANUFACTURERS AS INDICATED ON REFLECTED CEILING PLAN, AND/OR TO "MATCH EXISTING" WHERE NOTED.
- 6.6 THE GENERAL AND ELECTRICAL CONTRACTORS SHALL CHECK ALL CEILING HEIGHTS AND CEILING PLENUM CONDITIONS FOR CLEARANCE OF DUCTWORK, 6.50 U.N.O. ALL RECESSED LIGHT FIXTURES TO BE CENTERED WITHIN TILE, BOTH LIGHTING AND OTHER OBSTRUCTIONS TO ASSURE THE FINISHED CEILING HEIGHT SHOWN ON DRAWINGS IS ACHIEVABLE AND CONTINUOUS. ANY DISCREPANCIES SHALL BE BROUGHT TO ARCHITECT'S ATTENTION PRIOR TO FINAL PRICING.
- 6.7 ALL RECESSED FIXTURES SHALL BE SET FLUSH INTO CEILINGS. 6.8 THE ELECTRICAL CONTRACTOR SHALL SUBMIT CUTS OF ALL NON-BUILDING
- STANDARD FIXTURES AS SHOWN IN THE DRAWINGS, FOR REVIEW BY THE ARCHITECT AND ELECTRICAL ENGINEER. 6.9 THE ELECTRICAL SUBCONTRACTOR SHALL COORDINATE ANY ELECTRICAL OR LIGHTING INSTALLATION INTO CABINETWORK WITH CABINET SUBCONTRACTOR
- AS REQUIRED. 6.10 THE ELECTRICAL SUBCONTRACTOR SHALL COORDINATE ANY TELEPHONE DATA / SECURITY AND AUDIO-VISUAL REQUIREMENTS WITH THE TENANT'S
- VENDORS AS REQUIRED 6.11 THE ELECTRICAL SUBCONTRACTOR SHALL PROVIDE ALL TEMPORARY LIGHTING 7.4
- AND ELECTRICAL SERVICE FOR ALL TRADES AS REQUIRED. 6.12 WHERE MORE THAN ONE SWITCH OCCURS IN THE SAME LOCATION, THEY
- SHALL BE INSTALLED IN GANG TYPE BOX UNDER ONE COVER PLATE. 6.13 ALL ELECTRICAL, DATA/TELEPHONE RECEPTACLES AND LIGHT FIXTURES
- SHALL BE LOCATED WHERE DIMENSIONED ON PLANS. ALL FURNITURE FEEDS/J-BOXES TO BE LOCATED PER DIMENSIONS PROVIDED BY TENANT'S FURNITURE VENDOR. 6.14 ALL NEW OUTLETS ON COLUMNS WILL BE CENTERED ON FACE, UNLESS
- OTHERWISE NOTED. 6.15 UNLESS OTHERWISE NOTED, ALL TELEPHONE, DATA AND POWER OUTLETS
- SHALL BE INSTALLED VERTICALLY AT 18" ABOVE FINISH FLOOR TO CENTER OF BOX. (MINIMUM 15" FROM BOTTOM OF BOX) 6.16 UNLESS OTHERWISE NOTED, ALL THERMOSTATS AND CONTROL DEVICES SHALL BE A MAXIMUM OF 48" ABOVE FINISH FLOOR TO THE TOP OF THE
- BOX. THERMOSTATS AND LIGHTING CONTROLS OCCURRING WITHIN THE SAME ROOM SHALL BE LOCATED PER TYPICAL INSTALLATION ELEVATION IN DRAWINGS. 6.17 UNLESS OTHERWISE NOTED, ALL SIDE BY SIDE OUTLETS SHALL BE NO MORE
- THAN 6" ON CENTER, APART. 6.18 PROVIDE NEW BLANK COVER PLATES FOR EXISTING OUTLETS NOT BEING
- USED WHEN NOTED. COVER PLATES TO MATCH BUILDING STANDARD, AND/OR TO MATCHING EXISTING, UNLESS OTHERWISE NOTED. 6.19 OUTLETS AT BACK TO BACK LOCATIONS ARE TO BE STAGGERED
- 6.20 ALL LAMPS SHALL BE IDENTICAL FROM THE SAME MANUFACTURER.
- CONTRACTOR SHALL REPLACE ALL NON-CONFORMING LAMPS. 6.21 ALL OUTLETS OCCURRING ON MILLWORK, OR OTHER FINISH PANELS SHALL BE INSTALLED FLUSH WITH FACE OF MILLWORK, OR FINISH PANEL.
- 6.22 UNLESS OTHERWISE NOTED, VOICE/DATA OUTLETS SHALL CONSIST OF A 2-GANG BOX WITH A PULL STRING AND 3/4" CONDUIT, STUBBED 6"
- ABOVE CEILING. 6.23 U.N.O. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION AND EVALUATION OF EXISTING ELECTRICAL SYSTEMS INCLUDING VOICE/DATA.
- POWER, SECURITY AND ELECTRICAL. 6.24 U.N.O. EXISTING OUTLETS ARE NOT SHOWN ON PLAN. PROVIDE REQUIRED OUTLETS PER PLAN AND RE-USE ANY EXISTING OUTLETS WHERE POSSIBLE PROVIDE NEW DEVICE AND COVER PLATE AS REQUIRED TO MATCH BUILDING 8.0 PLUMBING OF ONE ANOTHER. HEIGHT OF ANY EXISTING OUTLETS TO REMAIN. NEW ARE TO MATCH BUILDING STANDARD AND COMPLY WITH CURRENT CODE.
- 6.25 COMMUNICATIONS, DATA, SECURITY, CABLING, AND EQUIPMENT: N.I.C. BY 8.2 THE PLUMBING SUBCONTRACTOR SHALL SUBMIT CUTS OF ALL NEW TENANT'S VENDOR. ALL CABLING TO BE PLENUM RATED WHEN LOCATED IN RETURN AIR PLENUM.
- 6.26 <u>FIRE LIFE SAFETY SYSTEM:</u> MODIFY EXISTING SYSTEM TO PROVIDE FULL FIRE 8.3 LIFE SAFETY SYSTEM TO MEET TENANT'S REQUIREMENTS. GENERAL CONTRACTOR TO COORDINATE DRAWINGS AND INSTALLATION WITHIN THIS 8.4 SCOPE OF WORK. SEE ELECTRICAL.
- 6.27 <u>FURNITURE. N.I.C.</u>: (BY CUSTOMER) FURNITURE CONSULTANT TO PROVIDE REQUIREMENTS. AT WORKSTATIONS WITH PANELS PROVIDE J-BOX FEED. AT WORKSTATIONS WITHOUT PANELS PROVIDE POWER/DATA AT NEAREST WALL/COLUMN.
- 6.28 <u>GFI OUTLETS.</u>: ALL OUTLETS WITHIN 6'-0" OF SINK TO BE GROUND FAULT INTERRUPTED. 6.29 OUTLETS.: PROVIDE BUILDING STANDARD OUTLETS/DEVICES AND COVER
- 6.30 CONTRACTOR IS RESPONSIBLE FOR MARKING ALL POWER AND SIGNAL LOCATIONS ON SLAB AND HAVING THEM REVIEWED BY THE ARCHITECT.
- 6.31 ALL DIMENSIONS ARE TO THE CENTERLINE OF OUTLET, PAIR OR GROUPING OF OUTLETS, UNLESS OTHERWISE NOTED. 6.32 WALL MOUNT TELEPHONE OUTLETS AT +48" A.F.F. AND SHALL BE
- INSTALLED VERTICALLY. 6.33 PRIOR TO FINAL HOOK-UP THE CONTRACTOR SHALL REQUEST THE
- ARCHITECT. TO REVIEW LOCATIONS OF ELECTRICAL FIXTURES FOR POSSIBLE 9.3 ALL "INSTALLED" CABINETRY SHALL COMPLY WITH ALL LOCAL APPLICABLE ADJUSTMENTS (WITHIN 24-INCHES ONE DIRECTION AND 48-INCHES THE OTHER DIRECTION).
- PRODUCT DESCRIPTIONS, ILLUSTRATIONS, SPECIFICATIONS AND LINE DRAWINGS SHOWING CLEARANCES AND ROUGH-IN INFORMATION.
- 6.35 ALL TELEPHONE WORK SHALL BE COORDINATED BY THE GENERAL CONTRACTOR WITH TENANT'S CONSULTANT AND TELEPHONE COMPANY. ELECTRICAL CONTRACTOR TO PROVIDE 1" CONDUIT AT ALL BACK TO BACK WALL MOUNTED TELEPHONE OUTLETS. ELECTRICAL CONTRACTOR TO OBTAIN ALL ADDITIONAL TELEPHONE CONDUIT REQUIREMENTS FROM THE TENANT'S TELEPHONE CONSULTANT 6.36 ELECTRICAL CONTRACTOR TO INSTALL CONDUIT WHEN SPECIFIED FOR AV,
- NETWORKING AND COMMUNICATIONS EQUIPMENT. CONDUIT SHALL BE ROUTED 9.8 ALL THE WORK SHALL BE FABRICATED, ASSEMBLED, FINISHED AND ERECTED FROM ELEVATOR SHAFTS AND ELECTRICAL ROOMS OR ANY DEVICE WHICH MAY CAUSE INTERFERENCE WITH DATA TRANSMISSION OR RECEPTION.
- 6.37 PROVIDE BOXES, WIRING DEVICES, PLATES, CONDUIT AND WIRING TO J-BOXES AND ALL HOLD OPEN DOORS. 6.38 PROVIDE TRANSFORMERS WHEN NECESSARY FOR LOW VOLTAGE LIGHTING.
- BUSY LIGHTS OR OTHER SPECIAL ITEMS. VERIFY LOCATION WITH THE ARCHITECT
- 6.39 ELECTRICAL CONTRACTOR TO CALCULATE VOLTAGE REQUIREMENTS NECESSARY TO SIZE SWITCHES AND PLAN CIRCUIT LOADS. 6.40 ELECTRICAL CONTRACTOR SHALL SUBMIT ALL NECESSARY DRAWINGS, CATALOG CUTS, ETC., FOR ARCHITECT REVIEW. SUBSTITUTIONS SHALL NOT BE MADE
- UNLESS ARCHITECT CONCURRENCE IS RECEIVED AND SHOP DRAWINGS ARE SUBMITTED FOR REVIEW. REFER TO BUILDING STANDARDS FOR ADDITIONAL INFORMATION AND SPECIFICATIONS. CONTRACTOR TO VERIFY LEAD TIME FOR ALL LIGHT FIXTURES SPECIFIED BEFORE CONSTRUCTION. 6.41 THE ARCHITECTURAL REFLECTED CEILING PLANS SHALL BE USED TO
- DETERMINE THE LOCATION, QUANTITY, EXTENT, AND TYPE OF LIGHT FIXTURES. ANY CONFLICTS BETWEEN DRAWINGS SHALL BE SUBMITTED IN WRITING TO ALL CONFLICTS ARISING DURING THE CONSTRUCTION SHALL BE SUBMITTED IN 9.13 SEE VARIOUS ELEVATIONS FOR MISCELLANEOUS HARDWARE AND FINISH THE ARCHITECT AND DESIGN/BUILD ENGINEERS DURING THE PRICING PERIOD. WRITING TO THE ARCHITECT.
- 6.42 ALL SWITCHES SHOWN SHALL BE 42" ABOVE FINISH FLOOR, UNLESS OTHERWISE NOTED ON PLAN. ALL HEIGHTS ARE GIVEN FROM TOP OF ROUGH FLOOR TO CENTERLINE OF COVER PLATES, MOUNTED VERTICALLY LENGTHWISE, U.N.O. ALL GANGED SWITCHES SHALL BE COVERED WITH A ONE-PIECE PLATE. COLOR TO BE BUILDING STANDARD. IF IMPROVEMENT IS 9.16 COORDINATION OF MILLWORK, STONE, OR OTHER SPECIALTIES CONTRACTORS REUSING EXISTING DEVICES, NEW DEVICE AND COVER PLATE SHALL MATCH EXISTING. CONTRACTOR SHALL VERIFY.
- 6.43 REFER TO ELECTRICAL DESIGN/BUILD DRAWINGS FOR LOCATION OF EXIT LIGHTS AND OTHER LIFE SAFETY EQUIPMENT. VERIFY LOCATION WITH THE ARCHITECT POWER FOR EXIT LIGHTS AND EMERGENCY LIGHTING MUST CONFORM TO CURRENT C.B.C. REQUIREMENTS SECTIONS 1012 AND 1013. PROVIDE TWO SOURCES OF POWER IF THERE ARE 50 OR MORE OCCUPANTS. 9.18 FULLY CONCEALED CABINET INTERIORS TO BE "MELAMINE"; WHITE AT
- 6.44 CONTRACTOR RESPONSIBLE TO VERIFY THAT EXIT SIGNS AND EGRESS LIGHT

SELF CONTAINED BATTERY BACK-UP. VERIFY BUILDING STANDARDS. LOCATION FOR EXITS SIGNS SHALL BE PROVIDED BY THE ARCHITECT. LOCATION FOR EGRESS LIGHT FIXTURE SHALL BE PROVIDED BY ELECTRICAL CONTRACTOR. 9.20 ALL MILLWORK TO BE ATTACHED TO WALLS OR STRUCTURE AS REQUIRED 6.45 GENERAL CONTRACTOR AND ELECTRICIAN ARE RESPONSIBLE FOR FINAL

- FURNITURE REQUIREMENTS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS, PUBLIC 6.46 AT ANY EXISTING SPACE THAT IS DIVIDED INTO A TWO SEPARATE SUITES, CONTRACTOR TO SPLIT ELECTRICAL SYSTEMS AS REQUIRED, SO EACH SUITE 9.22 ALL PAINTED WOOD SURFACES TO BE PROPERLY SEALED, SANDED AND OPERATES INDEPENDENTLY
 - CONTRACTOR RESPONSIBLE FOR BUILDING STANDARD EXIT SIGNS INVENTORY. 9.23 MILLWORK CONTRACTOR TO SUBMIT WOOD, PAINT AND/OR STAIN SAMPLES VERIFY NUMBER AND CONDITION AVAILABLE FOR RELOCATION. REFER TO REFLECTED CEILING PLAN FOR REQUIREMENTS.
 - 6.48 CONTRACTOR RESPONSIBLE TO COORDINATE WITH BUILDING ENGINEER/OWNER 9.24 ALL PLASTIC LAMINATE SHEETS ARE TO BE PROPERLY BACKED TO PREVENT TO REWORK OR TO PROVIDE NEW LIGHTING CONTROL SYSTEM FOR DAY-LIGHTING CONTROL AND AFTER HOUR CONTROL OF LIGHT FIXTURES. CONTRACTOR TO ENSURE COMPLIANCE WITH TITLE 24.
 - 6.49 CONTRACTOR TO ENSURE THAT ALL FIXTURES SCHEDULED TO REMAIN OR NEW MAINTAIN CONTROL BY EXISTING/NEW SWITCHING OR MOTION SENSOR. 9.26 GENERAL CONTRACTOR TO PROVIDE AND INSTALL WALL BACKING. 16 GA. REFER TO BUILDING STANDARDS.
 - DIRECTIONS.

7.0 HVAC

- 7.1 THE GENERAL CONTRACTOR SHALL NOTIFY THE MECHANICAL ENGINEER FOR REVIEW OF MECHANICAL WORK PRIOR TO INSPECTION AND CLOSING-UP CELING
- 7.2 THE HVAC CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD SUPERVISION OF 10.0 ALL THEIR WORK DURING INSTALLATION AND SHALL INSPECT ALL SYSTEMS FOR PROPER OPERATIONS AT COMPLETION OF JOB. 7.3 SHOP DRAWINGS OF ALL HVAC EQUIPMENT, REGISTERS; INCLUDING ACCESS
- PANELS IF REQUIRED, SHALL BE SUBMITTED TO ARCHITECT AND MECHANICAL ENGINEER FOR REVIEW PRIOR TO PROCEEDING WITH FABRICATION AND/OR 10.2 DETAILED DOOR AND HARDWARE SCHEDULES AND CUT SHEETS SHALL BE INSTALLATION OR RELOCATION. INSTALLATION SHALL BE COORDINATED WITH ALL TRADES AS REQUIRED FOR
- PROPER ASSEMBLY. CEILING DIFFUSERS TO BE RELOCATED TO ACCOMMODATE NEW LIGHT FIXTURE PATTERNS.
- 7.5 INTERIOR SPACES SHALL BE MECHANICALLY VENTILATED IN ACCORDANCE WITH APPLICABLE CODES 7.6 THE HVAC ENGINEER SHALL PROVIDE NECESSARY ENGINEERING DRAWINGS
- AND CALCULATIONS TO REWORK ALL EXISTING EQUIPMENT AND TO DETERMINE ALL NEW EQUIPMENT TO MEET THE TENANT'S REQUIREMENT.
- 7.7 THERMOSTATS, SUPPLY AND RETURN AIR GRILLE LOCATIONS NOT SHOWN ON THIS PLAN. IF THE SCOPE OF WORK IS "DUCTWORK-ONLY", OR IF NEW UNITS, MECHANICAL DESIGN/BUILD ENGINEER IS RESPONSIBLE TO PROVIDE PLANS REFLECTING EXISTING AND/OR NEW LAYOUT OF HVAC DUCTWORK, SUPPLY AND RETURN AIR GRILLES.
- 7.8 HVAC ENGINEER TO PROVIDE ALL NECESSARY TITLE 24 REPORTS REQUIRED TO OBTAIN PERMIT
- 7.9 FOR ANY EXHAUST SYSTEM REQUIRED AT THE SPACE, CONTRACTOR TO COORDINATE WITH BUILDING ENGINEER/OWNER FOR DUCTWORK CONFIGURATION
- 7.10 AT ANY SPACE THAT IS DIVIDED INTO TWO SEPARATE SUITES, CONTRACTOR TO SPLIT MECHANICAL SYSTEMS AS REQUIRED, SO EACH SUITE OPERATES INDEPENDENTLY. PROVIDE INDEPENDENT CONTROL. VERIFY THAT ALL DUCTWORK. SUPPLIES. RETURNS AND THERMOSTATS ARE SPLIT PROPERLY. RELOCATE EXISTING AS NECESSARY. PROVIDE PROPER ZONING AND INSTALL APPROPRIATE ZONE CONTROLS.
- 7.11 FOR ANY EXHAUST SYSTEM REQUIRED AT THE SPACE, CONTRACTOR TO COORDINATE WITH BUILDING ENGINEER/OWNER FOR DUCTWORK CONFIGURATION
- 7.12 FOR DETAILS OF BUILDING STANDARD CIRCUITING AIR CONDITIONING, DUCT WORK, AIR SUPPLY DIFFUSERS, AIR RETURN GRILLES, THERMOSTATS, SMOKE 10.9 AT ANY DOORS REQUIRED TO HAVE ACCESS CONTROL, COORDINATE WITH DETECTORS, ETC., SEE ORIGINAL BUILDING MECHANICAL DRAWINGS AND SPECIFICATIONS AND COORDINATE WITH BUILDING ENGINEER/OWNER.
- 7.13 SEE MECHANICAL ENGINEER'S DRAWINGS FOR THERMOSTAT LOCATIONS. GENERAL CONTRACTOR SHALL NOT INSTALL THERMOSTATS WITHOUT APPROVAL OF LOCATIONS FROM THE ARCHITECT. MOUNT ALL THERMOSTATS 42" A.F.F. NEXT TO LIGHT SWITCH. (U.N.O.).

- STANDARD. ALL DATA/POWER SHOWN GROUPED ARE TO REMAIN WITHIN 4" 8.1 THE PLUMBING SUBCONTRACTOR SHALL SUPPLY AND INSTALL ALL PLUMBING ROUGH-INS, FIXTURES AND ACCESSORIES AS SHOWN OR IMPLIED ON CONSTRUCTION DRAWINGS, AND PER CODE.
 - FIXTURES, FITTINGS AND ACCESSORIES TO ARCHITECT AND PLUMBING
 - NGINEER FOR REVIEW PRIOR TO PLACING ORDEF THE PLUMBING SUBCONTRACTOR SHALL COORDINATE HIS WORK WITH MANUFACTURER'S SPECIFICATIONS AND WITH ALL OF THE OTHER TRADES.
 - FURNISH ALL VALVES AS INDICATED ON THE DRAWINGS, OR AS MAY BE REQUIRED FOR THE PROPER CONTROL OF THE VARIOUS APPARATUS AND PIPELINES INSTALLED UNDER THIS SECTION SO THAT ANY FIXTURE LINES OR
 - PIECE OF APPARATUS MAY BE CUT OFF FOR REPAIR WITHOUT INTERFERENCE OR INTERRUPTION OF THE SERVICE TO THE REST OF THE BUILDING 8.5 BEFORE BEING COVERED UP OR BUILT-IN, PIPING SHALL BE TESTED AS
 - REQUIRED BY THE AUTHORITIES HAVING JURISDICTION. 8.6 HOT WATER AND DRAIN PIPES UNDER LAVATORIES AND SINKS SHALL BE
 - INSULATED OR OTHERWISE COVERED.

9.0 CABINET WORK

- 9.1 REFERENCE FINISH PLANS AND DETAILS FOR MILLWORK FINISH AND MATERIAL QUALITY SPECIFICATIONS TO MEET OR EXCEED AWI STANDARDS. 10.21 DOORS AND FRAMES THAT ARE PART OF 20-MINUTE FIRE ASSEMBLY SHALL 9.2 THE GENERAL CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THAT OF THE CABINET SUBCONTRACTOR.
- BUILDING CODES. REGULATIONS, ORDINANCES AND ADA. 9.4 ALL "INSTALLED" CABINETS SHALL BE SCRIBED TO WALL OR CEILING.
- 6.34 FOR APPLIANCES SUBMIT MANUFACTURER'S LITERATURE INCLUDING FULL 9.5 THE CABINET CONTRACTOR SHALL SUBMIT THREE (3) SETS OF SHOP DRAWINGS AND FINISH SAMPLES TO THE ARCHITECT, AS REQUESTED IN THE DRAWINGS AND SPECIFICATIONS, FOR REVIEW.
 - 9.6 THE CABINET CONTRACTOR SHALL CHECK AND FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE. ALL DISCREPANCIES BETWEEN THE ARCHITECT AND EXISTING CONDITIONS ARE TO BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION PRIOR TO THE COMMENCEMENT OF WORK.
 - ALL FINISHED WORK SHALL, AS FAR AS PRACTICAL, BE ASSEMBLED AND FINISHED IN THE SHOP AND DELIVERED TO THE BUILDING READY TO ERECT
 - TO MEET WIC "STANDARD" GRADE FOR PLASTIC LAMINATE AND "PREMIUM" 11.5 THE INTERIOR FINISHES SHALL COMPLY WITH 2013 CBC CHAPTERS 803.1, GRADE FOR ALL WOOD.
 - 9.9 WHERE FILES ARE SHOWN AS BEING SET INTO CABINETWORK, THE CABINET CONTRACTOR SHALL SET AND BOLT ALL FILES TOGETHER.
 - 9.10 ALL MILLWORK SHOP DRAWINGS ARE TO CALL OUT ALL MATERIALS AND FINISHES. ALL JOINTS, CORNERS, EDGES ARE TO BE DETAILED IN
 - INDIVIDUAL DETAILS. ALL DIMENSIONS CRITICAL, OR OTHERWISE ARE TO BE CALLED OUT ON THE SHOP DRAWINGS. ARCHITECT WILL NOT REVIEW DRAWINGS, WHICH ARE INCOMPLETE OR SHOW MINIMAL REQUIRED DETAILING 11.7 REFER TO BUILDING STANDARDS FOR ADDITIONAL INFORMATION. AND INFORMATION.
 - 9.11 FILE DRAWERS REQUIRED ARE TO BE COMPLETE WITH FILE HANGERS TO ACCOMMODATE LEGAL AND LETTER SIZE FILE OPTIONS. DRAWER DEPTH TO 12.0 WALL FINISHES BE ADJUSTED TO ALLOW FOR ADEQUATE CLEARANCE OF FILE FOLDER
 - 9.12 SPECIFIED GROMMETS TO BE FIELD DRILLED AS REQUIRED TO ACCESS ELECTRICAL OUTLETS. SEE ELEVATIONS FOR LOCATION AND QUANTITY. GROMMETS TO BE LOCATED AT BACK OF SURFACE, CLOSE TO WALL, TYPICAL. SIZE TO BE 3-" TYPICAL. PULLS TO BE AS SPECIFIED ON
 - ELEVATIONS. COLOR TO BE AS SPECIFIED ON ELEVATIONS.
 - SPECIFICATIONS 9.14 U.N.O., BASE OF MILLWORK IS TO BE FINISHED WITH MATERIAL TO MATCH CABINETRY. PLASTIC LAMINATE OVER 3/4" PLYWOOD FRAMING, U.O.N. 9.15 HINGES ARE TO BE "SOSS" CONCEALED HINGES GS OVERLAY 1006 (OR
 - EQUAL).
 - IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. 9.17 MILLWORK CONTRACTOR TO PROVIDE ALL NECESSARY CUT- OUTS FOR PLUMBING, ELECTRICAL AND ALL OTHER REQUIRED COORDINATION WITH
 - OTHER TRADES. WHERE ELECTRICAL WORK IS SPECIFIED, ALL LAMPS, FIXTURES, OUTLET, SWITCHES, PLUG MOLDS, ETC. ARE TO BE PROVIDED BY CABINET CONTRACTOR OR COORDINATED WITH ELECTRICAL CONTRACTOR. PLASTIC LAMINATE AND BLACK AT WOOD VENEER CABINETS, UNLESS OTHERWISE NOTED.

- OF THE FINISHED FLOOR MATERIAL. 10.19 THE GENERAL CONTRACTOR SHALL UNDERCUT DOORS AS REQUIRED TO

FIXTURES ARE TO BE CIRCUITED TO AN EMERGENCY PANEL. OR TO BE 9.19 COMPLETION OF WORK WILL INCLUDE CLEAN-UP AND REMOVAL OF ALL EXTRANEOUS ARTICLES AND DEBRIS GENERATED BY WORK. ALL MILLWORK TO BE CHECKED FOR PROPER MECHANICAL OPERATION. FOR STABLE INSTALLATION

CONNECTION AND INSTALLATION OF ELECTRICAL COMPONENTS FOR SYSTEMS 9.21 CONTRACTOR TO SUBMIT ALL SHOP DRAWINGS, FINISH, DOOR AND HARDWARE SCHEDULES, SAMPLES AND CUT SHEETS FOR APPROVAL PRIOR TO START OF WORK.

- SHOP PRIMED TO RECEIVE FINISH COAT
- SPECIES SPECIFIED SHALL BE SUBMITTED WITH SPECIFIED FINISH.
- WARPAGE OF THE SUBSTRATE 9.25 ALL WOOD VENEER AND PLASTIC LAMINATE PANELS OR SHELVES ARE TO HAVE GRAIN RUNNING PER ELEVATIONS. ALL EXPOSED EDGES TO BE
 - BANDED WITH MATCHING MATERIAL.
- GALV. MET 4-" WIDE COVERING MINIMUM THREE STUDS AND SCREWED TO STUDS FOR ALL MILLWORK. TOILET ACCESSORIES, HANGING WALL EQUIPMENT, ETC. VERIFY LOCATIONS WITH MILLWORK CONTRACTOR. 9.27 ALL DRAWERS ARE TO BE FULL DEPTH COMPLETE WITH FULL EXTENSION
- DRAWER SLIDES RATED 50 LBS. WITH ROLLING BALLS, STEEL ROLLERS AND SELF-LUBRICATING BEARINGS. 9.28 FOR ADJUSTABLE SHELVING PROVIDE EUROPEAN STYLE, 5MM HOLES, 32MM ON CENTER WITH 5MM SHELF PINS, UNLESS NOTED OTHERWISE.

DOORS, FRAMES, AND HARDWARE

- AND FRAME ASSEMBLIES AS SHOWN ON THE DRAWINGS, UNLESS OTHERWISE
- SUBMITTED TO ARCHITECT FOR REVIEW. FABRICATION OF MATERIAL SHALL NOT BE COMMENCED UNTIL SUCH REVIEW HAS BEEN COMPLETE AND RETURNED
- 10.3 ALL EXISTING/ RELOCATED AND NEW DOOR ASSEMBLIES SHALL MEET ALL CURRENT TITLE 24 AND ADA ACCESSIBILITY REQUIREMENTS. MODIFY AND PROVIDE NEW AS NECESSARY FOR <u>COMPLETE</u>
- ASSEMBLY 10.4 GENERAL CONTRACTOR IS RESPONSIBLE TO PROVIDE COMPLIANCE WITH LOCAL APPLICABLE CODES WITH RESPECT TO FIRE RATING OF DOORS, FRAMES, AND RELATED HARDWARE. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN CODES AND SPECIFICATIONS.
- 10.5 GENERAL CONTRACTOR TO PROVIDE AND INSTALL ALL DOORS, FRAMES AND RELATED HARDWARE, UNLESS NOTED OTHERWISE.
- OF DOORS FROM DEMOLITION. PRIOR TO ORDERING NEW DOOR ASSEMBLIES, 13.0 FLOOR COVERING CONTRACTOR RESPONSIBLE FOR DOOR INVENTORY. REUSE MAXIMUM NUMBER CONTRACTOR TO VERIFY QUANTITY OF DOOR AVAILABLE FOR REUSE. RELOCATE DOOR ASSEMBLIES WHERE POSSIBLE. TOUCH UP EXISTING DOORS FOR BEST POSSIBLE APPEARANCE WHERE APPLIES. IF RELOCATED DOORS ARE NOT AVAILABLE, ORDER NEW PER TYPE LISTED. REVIEW BUILDING
- STOCK FOR AVAILABILITY WHEN APPLICABLE, GENERAL CONTRACTOR TO BE RESPONSIBLE FOR PROVIDING KEYING. CONTRACTOR TO VERIFY THE BUILDING KEYWAY SYSTEM
- LOCKSETS ARE TO BE KEYED SEPARATELY WITH MASTER KEY PROVIDED, UNLESS NOTED OTHERWISE. GENERAL CONTRACTOR SHALL SUBMIT A REQUEST OF THE ARCHITECT 10.8 AT ANY FIRE RATED DOORS REQUIRED TO HAVE ACCESS CONTROL, OR
 - MAGNETIC HOLD OPEN DEVICES COORDINATE INSTALLATION WITH FIRE ALARM AND SMOKE DETECTION SYSTEMS INTERFACE WIRING REQUIREMENTS. TENANT SECURITY VENDOR AND ELECTRICIAN FOR SECURITY ACCESSORIES. DOORS WITH SECURITY SYSTEM SHALL HAVE BUILDING STANDARD LEVER AND ELECTRIC COMPONENTS COMPATIBLE WITH
- BUILDING. PROVIDE KEY OVERRIDE FOR BUILDING ENGINEER/OWNER ACCESS. AT EXISTING DOOR ASSEMBLIES MODIFY OR PROVIDE NEW AS REQUIRED
- 10.10 CONTRACTOR TO VERIFY FRAME SIZE REQUIRED DUE TO STUD SIZE REQUIREMENT, AS NOTED IN PARTITION PLAN.
- 10.11 PROVIDE DOOR, FRAME AND HARDWARE SUBMITTALS FOR REVIEW BEFORE ORDER PLACEMENT. PROVIDE STAIN SUBMITTAL ON SPECIFIED WOOD SPECIES FOR APPROVAL.
- 10.12 ALL EXISTING DOOR ASSEMBLIES TO BE VERIFIED. PROVIDE MISSING OR COMPLIANT HARDWARE AS REQUIRED. REFER TO DOOR SCHEDULE. 10.13 U.N.O. AT NEW DOOR ASSEMBLIES: ALL FRAMES TO MATCH EXISTING.
- 10.14 U.N.O. SELF-CLOSING DEVICES TO BE BUILDING STANDAR RATED CORRIDOR, AND LEVER HARDWARE, U.O.N. ALL DOORS MEET OR EXCEED MIN. SIZE REQUIREMENT OF 3'-0" X 6'-8".
- 10.16 MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 POUNDS FOR EXTERIOR AND INTERIOR DOORS. 10.17 ALL DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF
- KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. 10.18 ALL DOORS TO RECEIVE APPROPRIATE BUILDING STANDARD DOOR STOPS. ALL FLOOR-MOUNTED STOPS ARE TO BE INSTALLED AFTER THE INSTALLATION
- ORDERED SO AS TO CLEAR FLOORING MATERIAL BY 1/4". 10.20 PROVIDE PAIR OF DOORS WITH APPLICABLE ASTRAGALS, AUTOMATIC FLUSH BOLTS, SELF-CLOSERS AND COORDINATORS.
 - HAVE SELF CLOSERS OR AUTOMATIC CLOSERS WITH SMOKE DETECTORS AND SMOKE SEALS.

11.0 GENERAL FINISHES

- 11.1 ALTERNATES TO SPECIFIED FINISHES SHALL NOT BE ACCEPTED WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT.
- 11.2 ALL FLOOR AND WALL FINISHES SUPPLIED AND INSTALLED BY CONTRACTOR UNLESS NOTED OTHERWISE.
- 11.3 CONTRACTOR TO PROVIDE MAINTENANCE SPECIFICATIONS AND RECOMMENDATIONS, AND MATERIAL AND LABOR WARRANTIES TO
- TENANT/OWNER AT PROJECT COMPLETION. 11.4 ALL SUBSTRATES SHALL BE CLEANED AND PREPARED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR TO INCLUDE ALL NECESSARY TESTING (MOISTURE, MOLD, ASBESTOS ETC.) AS REQUIRED
 - INSTALL NEW FINISHES PER MANUFACTURERS RECOMMENDATIONS AND MAINTAIN PRODUCT WARRANTIES.
- 804.1. AND TABLE 803.9. ALL DECORATIVE MATERIALS SHALL BE MAINTAINED IN A FLAME RETARDANT CONDITION. THE MAXIMUM FLAME SPREAD CLASS OF ALL FINISH MATERIALS SPECIFIED FOR INTERIOR WALLS AND CEILINGS DOES NOT EXCEED THAT SET FORTH IN TABLE 803.9. 11.6 FLOOR AND WALL COVERING IN CLOSETS SHALL BE THE SAME AS THAT OF THE SPACE INTO WHICH THE CLOSET DOORS OPEN, UNLESS OTHERWISE

FIXTURES, DIFFUSERS, REGISTERS, ETC.

- 12.1 WALLS SHALL INCLUDE SURFACES FROM FLOOR TO CEILING, INCLUDING PILASTERS, FASCIAS, AND ALL VERTICAL SURFACES NOT INCLUDED IN CEILING. UNLESS OTHERWISE NOTED.
- 12.2 WALLCOVERING SUBCONTRACTOR TO REVIEW PERTINENT WALL PATCHING NOTES IN "SECTION 3.01, PATCHING AND CUTTING" ON THIS SHEET, AND
- 12.3 11.3 THE GENERAL CONTRACTOR SHALL SUBMIT THREE SAMPLES (12"X12") OF EACH FINISH FOR REVIEW BY ARCHITECT. THIS INCLUDES, BUT IS NOT LIMITED TO ALL PAINT, WALLCOVERINGS, ETC. 12.4 ALL WALLS AND CEILINGS SHALL BE PROPERLY PREPARED, PATCHED,
 - SANDED, ETC. UNEVENNESS IN EXISTING PARTITIONS SHALL BE SANDED OR CHIPPED AWAY AND SURFACES PATCHED TO INSURE A PERFECTLY EVEN SURFACE. PROVIDE A LEVEL 4 FINISH AND PROVIDE LEVEL 5 FINISH ONLY WHERE INDICATED ON PLAN
- 12.5 ALL OPEN PORES IN WOOD SHELVING AND PAINTED DOORS SHALL BE FILLED AND SHALL RECEIVE PRIMING. SANDING AND TWO FULL COATS OF SEMI-GLOSS ENAMEL, FREE OF BRUSH MARKS, U.O.N.
- 12.6 THE CONTRACTOR SHALL, REMOVE ALL ELECTRICAL SWITCH PLATES AND OUTLET PLATES, SURFACE HARDWARE, ETC., PRIOR TO PAINTING, PROTECTING AND REPLACING SAME WHEN PAINTING HAS BEEN COMPLETED. HE SHALL REMOVE ALL PAINT FROM WHERE IT HAS SPILLED, SPLASHED OR SPLATTERED ON SURFACES, INCLUDING BUT NOT LIMITED TO LIGHT

- 12.7 EXISTING LOOSE PAINT SHALL BE REMOVED AND THE SURFACE SANDED 14.1 ALL WINDOW COVERINGS SHALL BE INSPECTED BY THE CONTRAC SMOOTH TO RECEIVE NEW FINISH.
- 12.8 THE CONTRACTOR SHALL USE A LATEX BASE PAINT IN COLORS AND FINISHES SELECTED BY ARCHITECT. PRIOR TO APPLICATION OF PAINT ALL 14.2 ALL EXISTING WINDOW COVERINGS SHALL BE PROTECTED DURING SURFACES ARE TO BE PROPERLY PREPARED, TAPED, AND TEXTURED, AS REQUIRED FOR SMOOTH SURFACE. ALL SURFACES TO RECEIVE ONE (1) PRIMER COAT AND TWO (2) FINISH COATS OF PAINT IN COLOR SELECTED BY ARCHITECT. USE APPROPRIATE COLOR OF PRIMER TO AVOID "READ" THROUGH AT NEW WALL FINISH LOCATIONS
- 12.9 ALL PAINTING BIDS HAVE TO INCLUDE REPAINTING WINDOW MULLIONS AND DOOR FRAMES AS NEEDED WHERE SPECIFIED, TYP. AND FINISHES FOR APPROVAL BY H.H.D.A. PRIOR TO FABRICATION. WOOD 12.10 U.N.O. ALL TELEPHONE BACKBOARD OR ELECTRICAL PANELS TO BE PAINTED. 15.2 AUTOMATIC EXTERNAL DEFIBRILLATORS (AED'S) SHALL BE DESIGNED AND
 - U.N.O. COLOR TO MATCH WALL COLOR. PAINT ALL ACCESS PLATES, PANEL BOXES, ETC. TO MATCH ADJACENT PAINTED SURFACE, UNLESS OTHER WISE 12.11 THE GENERAL CONTRACTOR SHALL INSTALL WALLCOVERINGS AS PER
 - MANUFACTURER'S INSTALLATION SPECIFICATIONS, WHERE DESIGNATED. ALL WALLCOVERINGS SHALL BE SMOOTH. WITH NO WRINKLES. BUBBLES OR LOOSE EDGES, ALL PASTE AND BRUSH MARKS SHALL BE THOROUGHLY REMOVED. WALLCOVERING ADJOINING WOOD OR METAL TRIM SHALL BE CUT STRAIGHT AND SQUARE. CONTRACTOR TO TEST HANG (3) PANELS OF ALL TYPES OF COVERINGS FOR REVIEW AND APPROVAL BY THE ARCHITECT PRIOR TO FULL INSTALLATION
 - 12.12 AT ANY WALLCOVERING INSTALLATION SCHEDULED TO MATCH ADJACENT EXISTING CONDITIONS, CONTRACTOR RESPONSIBLE FOR ADEQUATE PRODUCT 15.5 WHEN REQUIRE TO BE LOCATED ON THE FLOOR LEVEL OF THE BUILDING INSTALLATION SO THAT CONSISTENT WALLCOVERING SHADING EXTENDS FROM CORNER TO CORNER. 12.13 U.N.O. IF NEW DOORS ARE NOT PRE-FINISHED. COORDINATE WITH DOOR
- CONTRACTOR AND PROVIDE SPECIFIED FINISH AT ALL DOORS. 10.1 THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL REQUIRED DOOR 12.14 U.N.O. ANY RELOCATED DOORS TO BE TOUCHED-UP, U.N.O. DOORS TO BE
 - FINISHED AS SPECIFIED FOR "BEST POSSIBLE APPEARANCE" 12.15 THE CONTRACTOR SHALL EXAMINE ALL AREAS OF CONSTRUCTION AFTER COMPLETION OF WORK BY ALL TRADES (INCLUDING TELEPHONE INSTALLATION, FLOORING, ETC.) AND COMPLETE ALL NECESSARY "TOUCH-UP" PAINTING AND/OR PATCHING PRIOR TO SCHEDULING A PUNCHWALK.
 - 12.16 REFER TO MILLWORK ELEVATIONS FOR PLASTIC LAMINATE, WOOD VENEER ETC.FINISH LOCATIONS.
 - 12.17 IT IS THE INTENT OF THE DRAWINGS THAT ALL EXPOSED SURFACES RECEIVE FINISHES UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS. ANY 15.9 TRAINED EMPLOYEES SHALL BE MADE AVAILABLE WITHIN THE BUILDING TO SURFACES WHICH DO NOT HAVE A SPECIFIC FINISH NOTED, OR ARE NOTED TO REMAIN UNFINISHED, SHALL BE BROUGHT TO THE ATTENTION OF THE 15.10 THE BUILDING OWNER SHALL BE RESPONSIBLE FOR REPORTING, TO THE ARCHITECT AND FINISHED PER ARCHITECT'S INSTRUCTIONS.
 - 12.18 PROVIDE CLASS "C" FLAME SPREAD AND SMOKE DENSITY FOR WALL AND CEILING FINISHES IN ACCORDANCE WITH CBC TABLE 803.5.

- 13.1 FLOORING SUBCONTRACTOR TO REVIEW PERTINENT FLOOR PATCHING NOTES IN "SECTION 3.01, PATCHING & CUTTING" ON THIS SHEET, AND ENSURE SURFACES ARE PROPERLY PREPPED PRIOR TO COMMENCING WORK. 13.2 FLOOR PREPARATION IS THE RESPONSIBILITY OF THE FLOOR
 - SUBCONTRACTOR. CONTRACTOR SHALL FILL, SAND, AND LEVEL AS REQUIRED PRIOR TO INSTALLING FINISH MATERIAL. ALL SELF LEVELING COMPOUNDS USED SHALL BE CEMENTITIOUS.
- AND COORDINATE REQUIREMENTS WITH BUILDING OWNER AND TENANT. ALL 13.3 ALL NEW FLOORING IS TO BE PROVIDED AND INSTALLED BY GENERAL CONTRACTOR AND SHALL BE AS SPECIFIED ON CONSTRUCTION DOCUMENTS, 17.1 GENERAL CONTRACTOR SHALL SUBMIT ALL REQUESTED FABRICATION SHOP UNLESS OTHERWISE NOTED.
- DETAILED KEYING SCHEDULE AND FURNISH HARDWARE SAMPLES AT THE 13.4 TILE SHALL BE LAID IN SQUARE PATTERN WITH COURSES PARALLEL TO WALLS, UNLESS OTHERWISE INDICATED ON DRAWINGS. THE TILE SHALL BE SECURELY CEMENTED AND SHALL BE LAID WITH TIGHT JOINTS. THE ADHESIVE USED FOR CEMENTING TILE SHALL BE APPLIED FAR ENOUGH IN ADVANCE OF THE SETTING TO PERMIT THE ADHESIVE TO REACH ITS INITIAL SET, BUT NOT ITS FINAL SET. ALL STONE AND TILE FLOORING SHALL BE INSTALLED OVER CRACKED ISOLATION/WATERPROOFING MEMBRANE PER CTI STANDARDS. CONTRACTOR TO TEST SLAB FOR MOISTURE PRIOR TO INSTALLATION OF RESILIENT FLOORING, AND INSTALL PER MANUFACTURER'S INSTRUCTIONS
 - 13.5 SPACES BEING SURFACED SHALL BE CLOSED TO TRAFFIC AND OTHER WORK DURING THE LAYING OF FLOORING. STONE FLOORS SHALL BE COVERED AFTER INSTALLATION FOR PROTECTION.
 - 13.6 ALL MASONRY WALLS AND DRYWALL PARTITIONS SHALL HAVE SPECIFIED STRAIGHT RESILIENT BASE IN CUT PILE CARPETED AREAS AND COVE RESILIENT BASE IN LOOP PILE CARPET AND RESILIENT AREAS, UNLESS OTHERWISE NOTED.
 - 13.7 UPON COMPLETION, ALL WORK SHALL BE CLEANED BY THE CONTRACTOR, REMOVING ALL SPOTS OF ADHESIVE AND SURFACE STAINS AND ALL SCRAPS, CARTONS AND CONTAINERS SHALL BE REMOVED FROM THE RUILDING
- 10.15 ALL EXISTING DOORS COMPLY WITH RATING REQUIREMENTS, 20 MINUTE ON 13.8 WHEN SPECIFICALLY DIRECTED, AFTER CLEANING, THE GENERAL CONTRACTOR SHALL GIVE RESILIENT TILE FLOOR TWO (2) APPLICATIONS OF AN APPROVED 17.6 THE ARCHITECT WILL REJECT AND RETURN TO THE CONTRACTOR, SHOP NON-SLIP WAX, WHICH IS TO BE THOROUGHLY MACHINE BUFFED AND LEFT IN CONDITION SATISFACTORY TO OWNER. STONE/TILE & GROUT TO BE SEALED AS REQUIRED PER MANUFACTURER'S RECOMMENDATIONS AND BASE 17.7 THE ARCHITECT IS NOT RESPONSIBLE FOR DELAYS CAUSED BY REJECTION TO BE CAULKED WITH CLEAR SILICONE
 - 13.9 THE GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN ADEQUATE PROTECTION FOR ALL FLOORING WORK FOR THE DURATION OF THE CONTRACT, AND REMOVE ALL PROTECTION PRIOR TO PUNCHLIST. ONLY OWNER APPROVED CARPET PROTECTION SHALL BE USED, ENSURING NO RESIDUE WILL REMAIN UPON REMOVAL
- CLEAR FLOORING MATERIAL BY 1/4". ALL RATED DOORS, IF ANY, SHALL BE 13.10 STONE, WOOD AND TILE FLOORING CONTRACTORS TO SUBMIT ACTUAL DIMENSIONED LAYOUT PLAN FOR ARCHITECT'S REVIEW PRIOR TO INSTALLATION.
 - 13.11 CONTRACTOR TO ENSURE THAT EXISTING CONCRETE FLOOR SLAB TO BE EVEN AND THAT SURFACE VARYING NO MORE THAN 1/4" IN 10'-0". FLOAT FLOOR AS NECESSARY. EACH SIDE OF THE DOOR SHALL BE LEVEL 5'-0" X
 - 13.12 AT ALL CARPET TO VCT TRANSITIONS. PROVIDE RUBBER TRANSITION STRIP TO MATCH RUBBER BASE. ENSURE NO "TRIPPING HAZARDS." REFER TO FINISH LEGEND FOR SPEC.
 - 13.13 ALL STONE TO CARPET TRANSITIONS TO BE STAINLESS STEEL SCHLUTER STRIP. REFER TO FINISH LEGEND FOR SPECIFICATION. 13.14 U.N.O. AT TRANSITION BETWEEN DIRECT GLUE CARPET AND CARPET OVER
 - PAD. FLOAT FLOOR AS REQUIRED TO PROVIDE A SMOOTH AND EVEN TRANSITION. FLOOR FLOAT TO BE UNDETECTABLE. 13.15 U.N.O. AT ANY VCT INSTALLATION, A FULL TILE SHOULD BE INSTALLED AT
 - CENTERLINE OF A DOOR OPENING. 13.16 WHEN NEW FLOOR FINISH IS SCHEDULED TO BE INSTALLED AT ROOMS WITH KITCHEN CABINETS, NEW FLOORING TO BE INSTALLED BELOW SINK CABINET.
 - 13.17 U.N.O. ANY VCT FLOORING SCHEDULED TO REMAIN IS TO BE STRIPPED, CLEANED, SEALED/POLISHED AND BUFFED PER MANUFACTURERS RECOMMENDATIONS
 - 13.18 CONTRACTOR TO COORDINATE WITH CARPET VENDOR TO ENSURE THAT EXISTING FLOOR HAS BEEN PREPARED PER MANUFACTURER'S RECOMMENDATIONS AND THE LATEST GUIDELINES OF THE CARPET AND RUG INSTITUTE PRIOR TO FULL INSTALLATION. IF SUBSTRATE IS DAMAGED CONTRACTOR TO QUALIFY BEST METHOD TO PREPARE FLOORING TO RECEIVE NEW FINISH. NOTICEABLE DEFECTS THOUGH NEW WORK, SHALL RESULT REINSTALLATION OF FINISH TO SATISFACTION OF END USER.
 - 13.19 ALL CARPET TO BE FROM SAME DYE LOT. SUBMIT A SEAMING DIAGRAM TO ARCHITECT FOR REVIEW & APPROVAL BEFORE ORDER PLACEMENT. 13.20 CARPET CONTRACTOR TO PROVIDE SEAMING DIAGRAM AND THREE (3) 12 X 12 SAMPLES TO ARCHITECT FOR REVIEW PRIOR TO INSTALLATION OF ALL
 - SPECIFIED FLOOR COVERINGS AND BASE MATERIALS. 13.21 U.N.O AT ANY OCCUPIED SPACE SCHEDULED TO RECEIVED NEW FLOOR FINISH. CONTRACTOR SHALL BE RESPONSIBLE TO MOVE EXISTING FURNITURE TO INSTALL NEW CARPET. COORDINATE WITH BUILDING MANAGEMENT/CONSTRUCTION MANAGER/OWNER FOR AFTER-HOURS SCHEDULE
- ENSURE SURFACES ARE PROPERLY PREPPED PRIOR TO COMMENCING WORK. 13.22 AT ANY BASE INSTALLATION TO MATCH EXISTING, BASE TO BE CONSISTENT FOR COLOR AND SEAMLESS APPEARANCE. ALL RUBBER/VINYL BASE IS TO BE CONTINUOUS ROLLED GOODS, U.N.O.
 - 13.23 WHERE WOOD BASE EXISTS IN OFFICES AND NEW FINISHES TO BE INSTALLED, WOOD BASE SHOULD BE REMOVED AND REINSTALLED. CONTRACTOR TO INCLUDE IN THE BID TO PROVIDE A NEW BASE SUPPLEMENTED TO MATCH EXISTING CONDITIONS IF REQUIRED.
 - 13.24 CONTRACTOR TO COORDINATE ALL FLOORING CONTRACTORS INVOLVED TO ASSURE FLUSH INSTALLATION OF VARYING FLOOR MATERIALS USED. ALL TRANSITION METHODS TO BE APPROVED BY ARCHITECT.
 - 13.25 ALL FLOOR SURFACES TO BE PREPPED AS REQUIRED BY MANUFACTURER'S INSTRUCTIONS
 - 13.26 FLOOR COVERING MATERIALS SHALL COMPLY WITH ASTM E 648, AND HAVING A SMOKE DENSITY RATING OF LESS THAN 450 PER ASTM E 84. CBC 804.4.1.

14.0 WINDOW COVERINGS

- ALL INOPERABLE OR DAMAGED CONDITIONS SHALL BE REPAIRED OR
- REPLACED CONSTRUCTION PERIOD.
- 13.3 PROVIDE NEW BUILDING STANDARD WINDOW COVERINGS AT ALL EXTERIOR WINDOWS IN FIRST GENERATION SPACES.

15.0 AED - DEFIBRILLATORS

- 15.1 ALL ASPECTS SHALL MEET CURRENT SAN DIEGO MUNICIPAL CODE REQUIREMENTS
- LOCATED UNDER THE TENANT IMPROVEMENT PERMIT. AED'S SHALL BE INSTALLED AND MEET THE REQUIREMENTS BELOW PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- 15.3 AED'S ARE REQUIRED IN NEW BUILDINGS AND TENANT SPACES IN SHELL BUILDINGS WHEN THE OCCUPANT LOAD WITHIN THE BUILDING OR THE OCCUPANT LOAD WITHIN AN OCCUPANCY OR TENANT SPACES EXCEEDS THE OCCUPANT LOADS IN TABLE 145-3910 OF THE MUNICIPAL CODE. (SET. 145.3910(A)) 15.4 AED'S SHALL BE CONSPICUOUSLY PLACED AND READILY ACCESSIBLE IN THE
- EVENT OF AN EMERGENCY. AED'S SHALL BE MOUNTED SUCH THAT THE TOP OF THE AED IS NO MORE THAN (5) FEET ABOVE FLOOR LEVEL.
- P; URSUANT TO SECTION 145.3910 AND TABLE 145-3910, ONE AED SHALL BE PLACED AT THE MAIN ENTRANCE OF EVERY FLOOR REQUIRED TO HAVE ONE OR MORE AEDS. (SEC.145.3915 (B) 1) 15.6 WHEN NOT REQUIRED ON EVERY FLOOR OF A BUILDING PURSUANT TO
- SECTION 145.3910 AND TABLE 145-3910, AEDS SHALL BE LOCATED SUCH THAT THE LENGTH OF VERTICAL TRAVEL BETWEEN ANY TWO ON ANY TWO FLOORS SHALL NOT EXCEED 450 FEET (SE. 145.3915 (C) 2). 15.7 THE BUILDING OWNER SHALL REGISTER AED(S), AT THE TIME IT IS
- ACQUIRED, WITH THE CITY OF SAN DIEGO FIRE-RESCUE DEPARTMENT AND SHALL IDENTIFY THE EXISTENCE OF AED, LOCATION AND TYPE OF AED. 15.8 PRIOR TO FINAL OCCUPANCY THE BUILDING OWNER SHALL PROVIDE TO THE SATISFACTION OF THE FIRE-RESCUE DEPARTMENT WRITTEN VALIDATION AND
- PRESCRIPTION FOR USE OF THE AED(S) IS SECURED BY TRAINED INDIVIDUALS FROM A PRESCRIBING PHYSICIAN
- RESPOND TO AN EMERGENCY DURING NORMAL OPERATING HOURS. FIRE-RESCUE DEPARTMENT. THE TENANT'S ANNUAL RECEIPT OF AN AMERICAN HEART ASSOCIATION OR AMERICAN RED CROSS APPROVED BROCHURE ON THE PROPER USE OF AN AED ALSO POSTED NEXT TO ALL AED'S AND TENANT NOTIFICATION OF ALL AED'S IN THE BUILDING.

16.0 CLEANING

16.1 THE "EXISTING TO REMAIN", "EXISTING TO BE RELOCATED" OR "NEW" ITEMS INSTALLED BY THE GENERAL CONTRACTOR, IN ADDITION TO BEING AMPLY PROTECTED THROUGHOUT THE PERIOD OF CONSTRUCTION SHALL BE THOROUGHLY CLEANED TO THE SATISFACTION OF OWNER AND TENANT PRIOR TO BEING TURNED OVER TO THE TENANT.

17.0 SUBMITTAL PROCEDURES

- DRAWINGS, SAMPLES AND FIXTURE CUTS TO ARCHITECT FOR REVIEW. THREE (3) SETS OF REPRODUCIBLE PAPER COPIES SHALL BE PROVIDED. ALL SHOP DRAWINGS AND CUT SHEETS SIGNED "REVIEWED" SHALL SUPERSEDE ORIGINAL DRAWINGS IN DESIGN APPEARANCE ONLY. SUBCONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS IN THEIR DRAWINGS
- 7.2 GENERAL CONTRACTOR SHALL REVIEW SUBCONTRACTOR'S SUBMITTED DRAWINGS AND DATA, VERIFY FIELD MEASUREMENTS, APPLY REVIEW STAMP
- AND SUBMIT TO ARCHITECT PROMPTLY. 17.3 GENERAL CONTRACTOR SHALL INDICATE ON REVIEW STAMP THAT THE CONTRACTOR HAS REVIEWED SUBCONTRACTOR'S SUBMITTAL FOR CONFORMANCE TO THE SPECIFIED PRODUCT.
- 17.4 GENERAL CONTRACTOR SHALL DISAPPROVE AND RETURN TO SUBCONTRACTOR ANY SUBMITTALS NOT MEETING THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. GENERAL CONTRACTOR SHALL MAINTAIN AN UP-TO-DATE SUBMITTAL LOG, AND DISTRIBUTE THE LOG WEEKLY.

DRAWINGS AND PRODUCT LITERATURE SUBMITTED WITHOUT THE

OF SHOP DRAWINGS SUBMITTED BY THE CONTRACTOR.

INTERPRETED AS APPROVING QUANTITIES AND DIMENSIONS.

ERRORS IN SHOP DRAWINGS OR OTHER DATA.

18.0 SUBSTITUION PROCEDURES

SUBSTITUTION WITH HIS REQUEST

PRIOR TO CONSTRUCTION.

OF SPECIFIED MATERIAL OR ITEM.

REQUIREMENTS OF THE CONTRACT DOCUMENTS.

CONTRACTOR PRIOR TO SUBMITTAL.

FRRORS

CTOR	AN

17.5 THE ARCHITECT WILL REVIEW, AND EITHER ACCEPT OR REJECT, WITH REASONABLE PROMPTNESS AND AS OUTLINED IN THE ACCEPTED SUBMITTAL SCHEDULE. DATA AND DRAWINGS SUBMITTED BY THE CONTRACTOR. THE ARCHITECT WILL REVIEW SUBMITTALS FOR CONFORMANCE WITH THE INTENT

OF THE DESIGN, AND FOR COMPLIANCE WITH SPECIFIC AND RELEVANT

CONTRACTOR'S REVIEW STAMP AND/OR NOT THOROUGHLY REVIEWED BY

17.8 REVIEW WILL NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR

17.9 REVIEW OF SUBMITTALS BY THE ARCHITECT SHALL NOT BE CONSTRUED AS AUTHORIZING CHANGES IN THE CONTRACT SUM OR CONTRACT TIME. NOR SHALL IT BE CONSTRUED AS RELIEVING THE CONTRACTOR OF HIS

RESPONSIBILITY FOR COORDINATION OF WORK WITH OTHER TRADES, OR 17.10 THE ARCHITECT'S REVIEW OF SUBMITTALS OR DATA SHALL NOT RELIEVE THE

CONTRACTOR FROM RESPONSIBILITY FOR DEVIATIONS FROM CONTRACT DRAWINGS OR SPECIFICATIONS UNLESS THE CONTRACTOR HAS CALLED THE ARCHITECT'S AND OWNER'S ATTENTION TO SUCH DEVIATIONS AND SECURED WRITTEN ACCEPTANCE, NOR SHALL IT RELIEVE HIM OF RESPONSIBILITY FOR

18.1 THE GENERAL CONTRACTOR SHALL SUBMIT HIS WRITTEN REQUEST FOR A PROPOSED SUBSTITUTION AND ALL DATA SUBSTANTIATING HIS REQUEST.

THE GENERAL CONTRACTOR SHALL INCLUDE SAMPLES OF THE PROPOSED IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO SUBMIT COMPLETE INFORMATION TO THE ARCHITECT SO THAT PROPER EVALUATION CAN BE MADE. THE BURDEN OF PROOF OF EQUIVALENCY OF THE SUBSTITUTION ITEM SHALL BE ON THE GENERAL CONTRACTOR. ACCEPTANCE OF SUCH SUBSTITUTIONS IS ENTIRELY AT THE DISCRETION OF THE ARCHITECT AND THE BUILDING OWNER. ALL MATERIALS AND/OR ITEMS OF

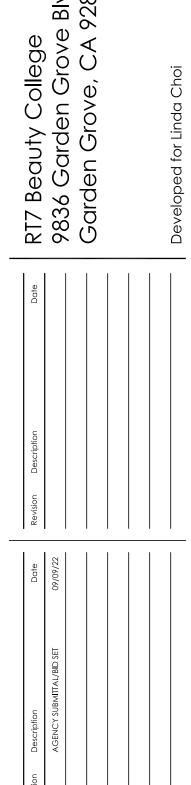
MANUFACTURER, WHICH THE GENERAL CONTRACTOR PROPOSES TO SUBSTITUTE FOR THOSE SPECIFIED MUST BE REVIEWED BY THE ARCHITECT BEFORE THEY MAY BE ORDERED. SUBSTITUTIONS SHALL BE SUBMITTED 18.3 NO SUBSTITUTION WILL BE REVIEWED FOR ANY MATERIALS AND/OR ITEM OF

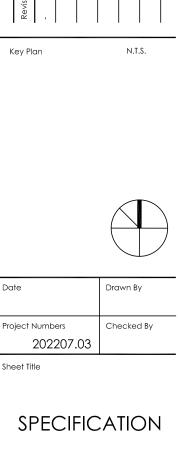
MANUFACTURER CALLED FOR IN THE CONSTRUCTION DOCUMENTS WHICH IS NOT OF EQUAL QUALITY AND PERFORMANCE AND WHICH DOES NOT POSSESS EQUIVALENT DESIGN AND/OR COLOR CHARACTERISTICS TO THOSE 18.4 IF, IN THE OPINION OF THE ARCHITECT, BUILDING OWNER OR END USER, THE

PROPOSED SUBSTITUTION IS NOT EQUIVALENT OR BETTER IN EVERY RESPECT TO THAT SO INDICATED OR SPECIFIED, OR WAS NOT SUBMITTED FOR REVIEW IN THE MANNER OUTLINED ABOVE, THE GENERAL CONTRACTOR SHALL FURNISH THE SPECIFIED MATERIALS. THESE MATERIALS SHALL BE SUPPLIED AT NO ADDITIONAL COST TO THE BUILDING OWNER/END USER.

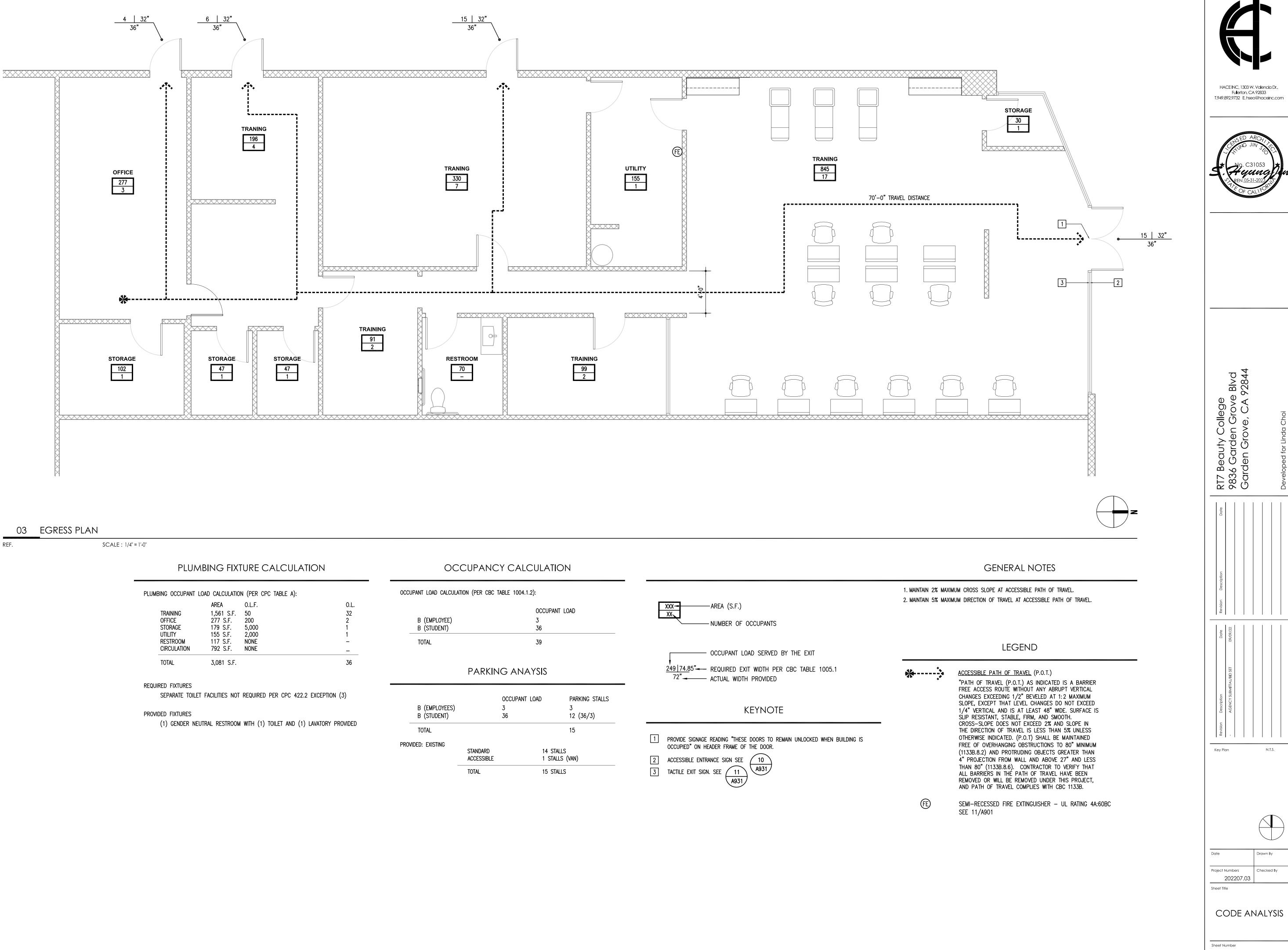






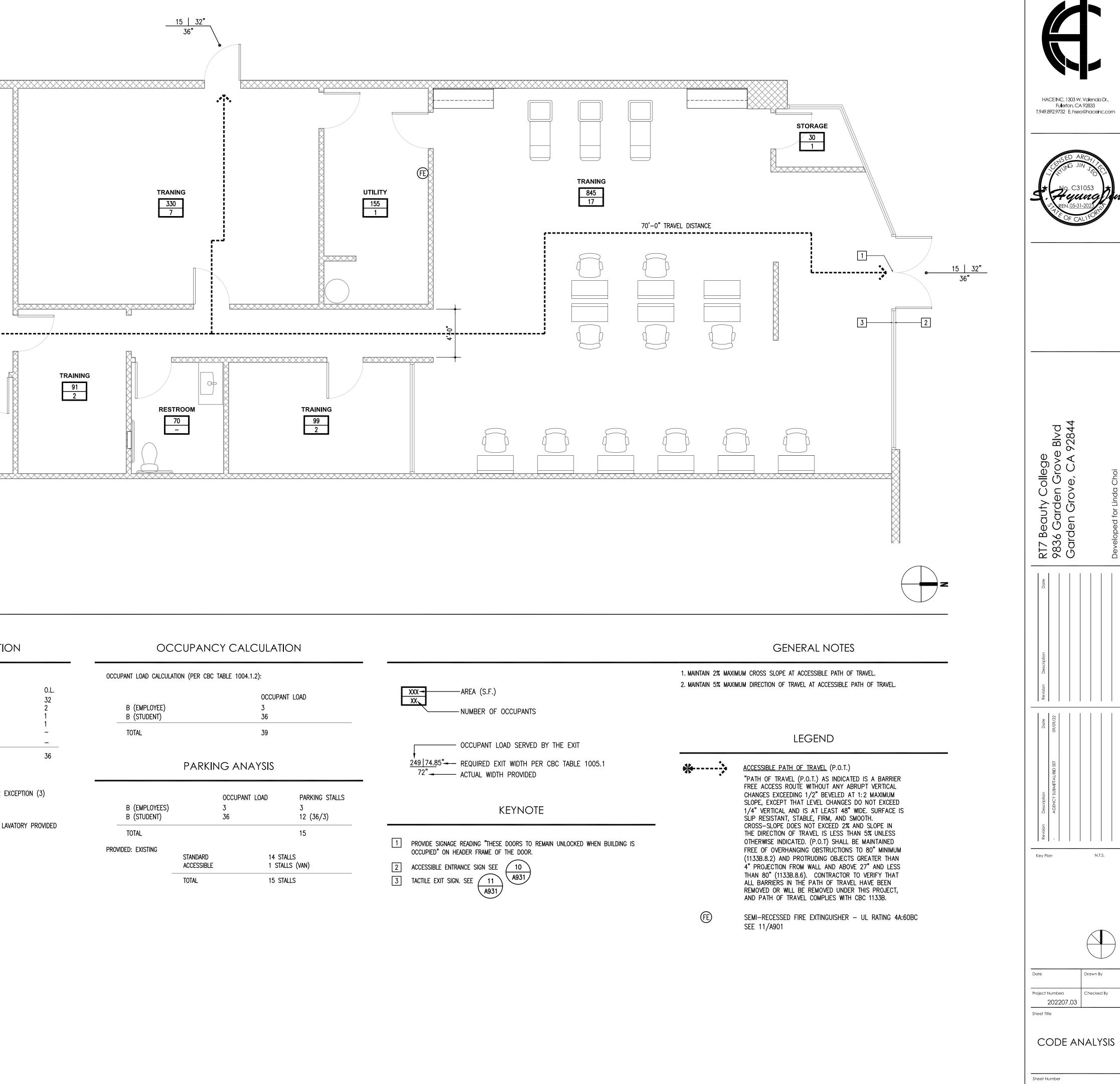


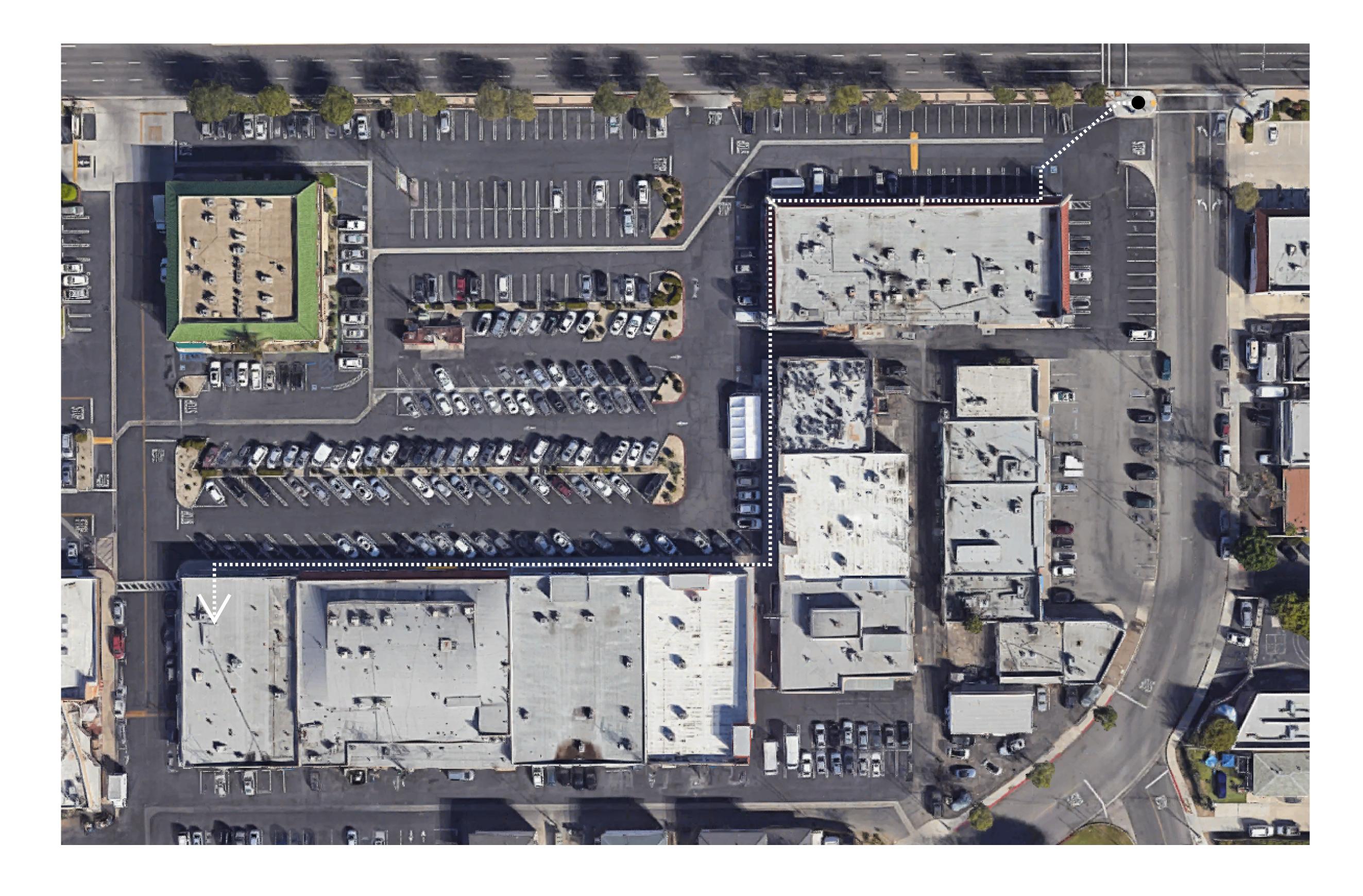
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PLUMBING OCCUPANT	LOAD CALCULATION	I (PER CPC TABLE A):	
	AREA	0.L.F.	
TRAINING	1,561 S.F.	50	
OFFICE	277 S.F.	200	
STORAGE	179 S.F.	5,000	
UTILITY	155 S.F.	2,000	
RESTROOM	117 S.F.	NONE	
CIRCULATION	792 S.F.	NONE	
TOTAL	3,081 S.F.		





01 ACCESSIBLE PATH OF TRAVEL

RT7 Beauty College 9836 Garden Grove Blvd Garden Grove, CA 92844 φ Re 3 Re N.T.S. Key Plan Date Drawn By Project Numbers Checked By 202207.03 Sheet Title ACCESSIBLE PATH OF TRAVEL Sheet Number

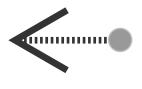
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HACE INC, 1303 W. Valencia Dr., Fulerton, CA 92833 T.949.892.9732 E. hseo@haceinc.com

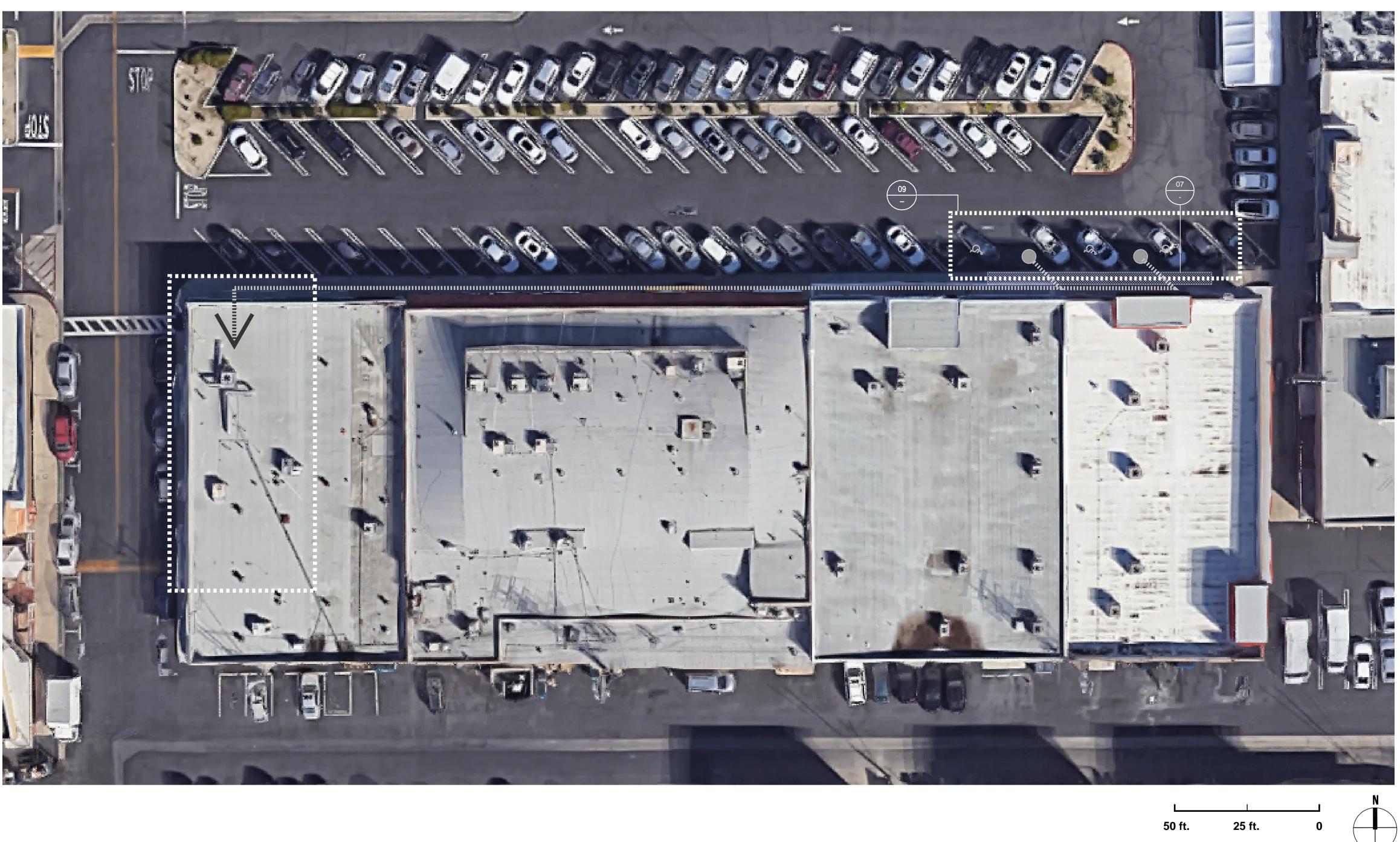
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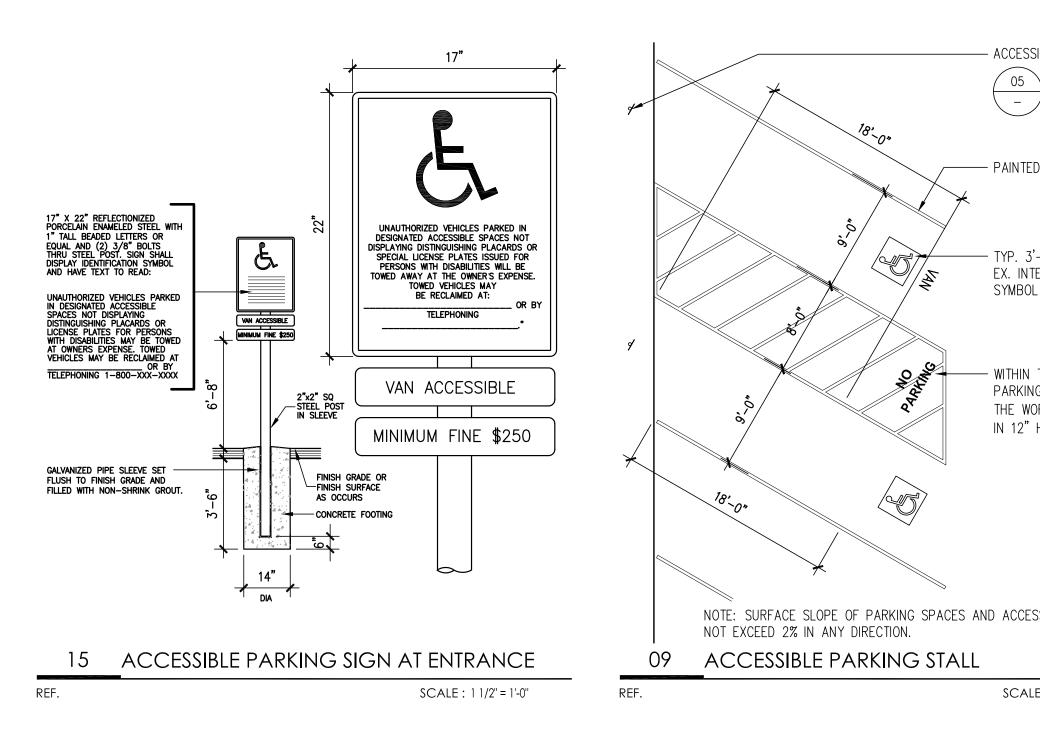
LEGEND



ACCESSIBLE PATH OF TRAVEL (P.O.T.) "PATH OF TRAVEL (P.O.T.) AS INDICATED IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL AND IS AT LEAST 48" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM, AND SMOOTH. CROSS-SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. (P.O.T) SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM (1133B.8.2) AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80" (1133B.8.6). CONTRACTOR TO VERIFY THAT ALL BARRIERS IN THE PATH OF TRAVEL HAVE BEEN REMOVED OR WILL BE REMOVED UNDER THIS PROJECT, AND PATH OF TRAVEL COMPLIES WITH CBC 1133B.

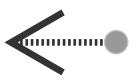


01 SITE PLAN (FOR REFERENCE ONLY)



SIBLE SIGN PER	12"x12" (NOMINAL) TRUNCATED DOME TILES PER LAYOUT AND MATERIALS PLAN. COLOR: YELLOW (ADA-40) NO. 33538 PER FED STD 595B, CBC 1133B.8.5, AND 1121B.3.1.8A. COLOR TO BE IN CONTRAST WITH ADJACEN PAVING.		_
)	2 MORTAR SETTING BED PER MANUF.		35
	3 CONCRETE		N.
D STRIPE IN BLUE	4 BASE MATERIAL AND COMPACTED SUBGRADE		
	5 EXPANSION JOINT		0.4
	6 GROUT JOINT		
–0"SQ. ERNATIONAL	7 FINISH SURFACE		
OF ACCESSIBILITY	8 ADJACENT PAVING	V PLAN	_
	9 1/2" SMOOTH STEEL DOWEL X 24" @ 18" O.C. FOR PEDESTRIAN 5/8" SMOOTH STEEL DOWEL X 24" @18" O.C. FOR VEHICULAR, USE "SPEED DOWEL" BY GREENSTREAK.	3'-0" MIN IN DIRECTION OF PEDESTRIAN TRAVEL	_
THE ACCESSIBLE G STALL PAINT DRDS "NO PARKING" HIGH LETTERS MIN.	10 CONCRETE CURB		5910
	NOTE: 1. TRUNCATED DOME TILES ARE TO CONFORM TO STATE ACCESSIBILITY STANDARDS. CONTRACTOR TO VERIFY STANDARDS PRIOR TO INSTALLATION. 2. ONLY APPROVED DIVISION OF THE STATE ARCHITECT, ACCESS COMPLIANCE (DS/AC) APPROVED DETECTABLE WARNING PRODUCTS AND DIRECTIONAL SURFACES SHALL BE INSTALLED.		
SS AISLE SHALL		SECTION	
	07 TRUNCATED DOME PAVERS		
E : 1/8" = 1'-0"	REF. SCALE : 1	1/2"=1'-0"	

LEGEND



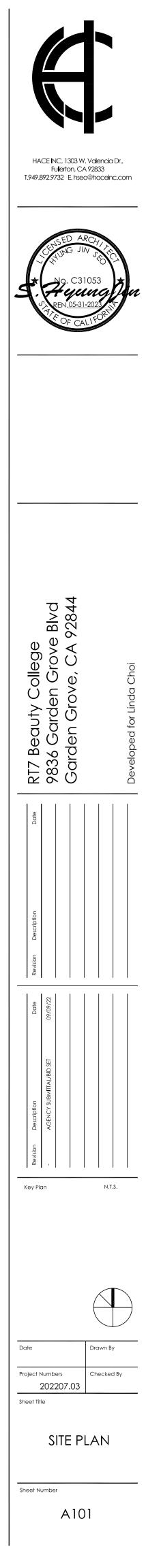
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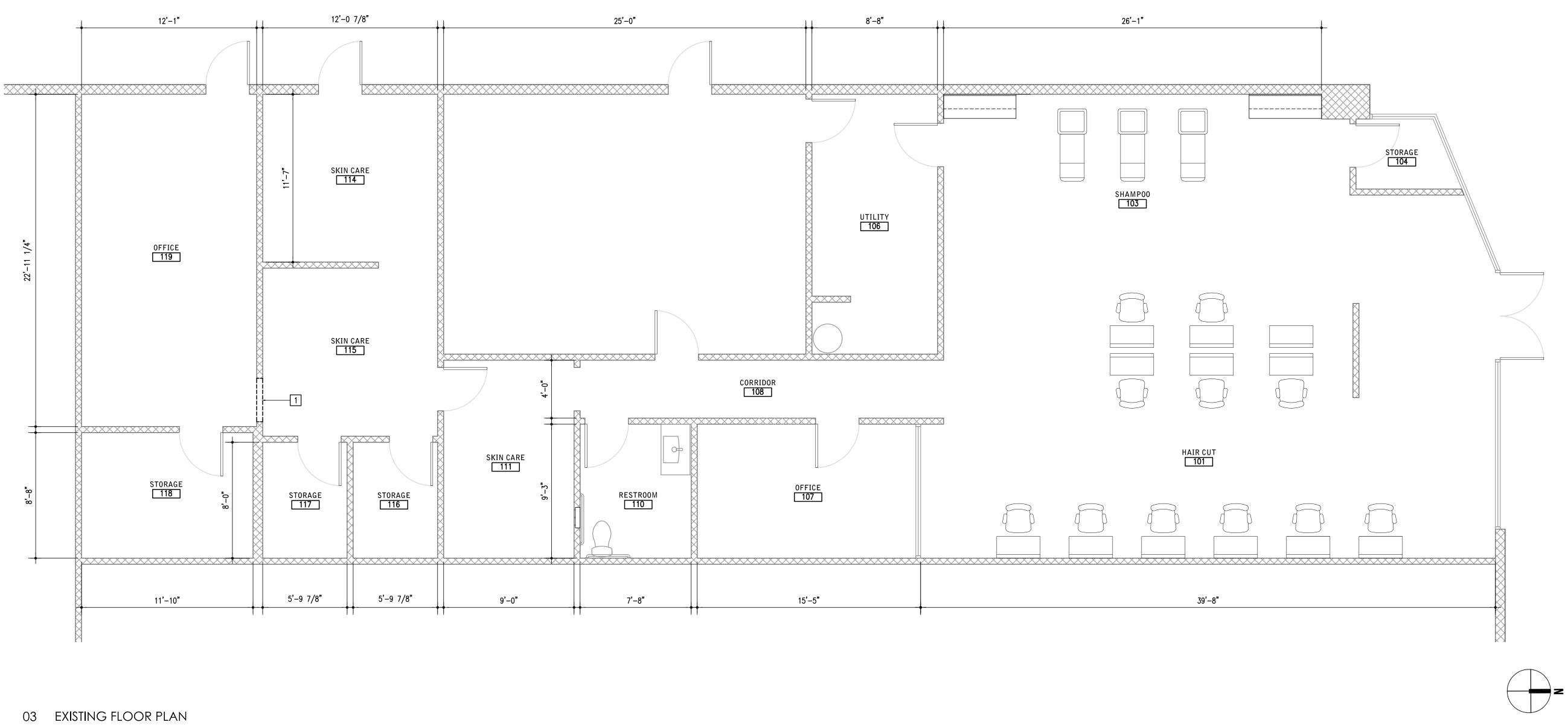
ACCESSIBLE PATH OF TRAVEL (P.O.T.) "PATH OF TRAVEL (P.O.T.) AS INDICATED IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGÉS DO NOT EXCEED 1/4" VERTICAL AND IS AT LEAST 48" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM, AND SMOOTH. CROSS-SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. (P.O.T) SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM (1133B.8.2) AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80" (1133B.8.6). CONTRACTOR TO VERIFY THAT ALL BARRIERS IN THE PATH OF TRAVEL HAVE BEEN REMOVED OR WILL BE REMOVED UNDER THIS PROJECT, AND PATH OF TRAVEL COMPLIES WITH CBC 1133B.

KEYNOTES

1 EXISTING TWO WAY TRAFFIC AISLE AND PARKING TO REMAIN 2 EXISTING ACCESSIBLE PARKING STALL PER 09

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LEGEND

EXISTING WALL, POWER & COMMUNICATION OUTLET, AND SWIRCH TO

2

- EXISTING FRAME GLASS TO REMAIN
- EXISTING HALF WALL

REMAIN

KEYNOTES

1 REMOVE WALL TO ADD NEW DOOR

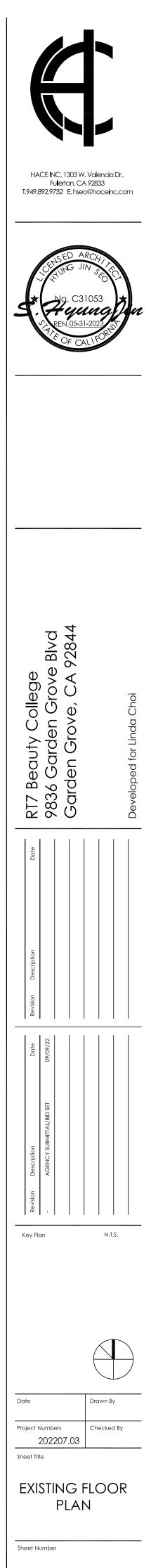
- 7. CONTRACTOR TO STORE SALVAGED MATERIALS ON SITE IN A PROTECTED RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF DEVICE FOR REUSE.
- 8. DEMOLITION SHALL INCLUDE ALL EXISTING CEILINGS, AND CEILING ELECT MECHANICAL FIXTURES, UNLESS NOTED OTHERWISE.
- 9. PRIOR TO WORK, CONTRACTOR SHALL FIELD VERIFY IF THERE IS ANY S FIRE RATED WALL THAT ARE TO BE REMOVED AND NOTIFY ARCHITECT. 10. CONTRACTOR SHALL THOROUGHLY INVESTIGATE STRUCTURE AND PROVID DEMOLITION AS NECESSARY.

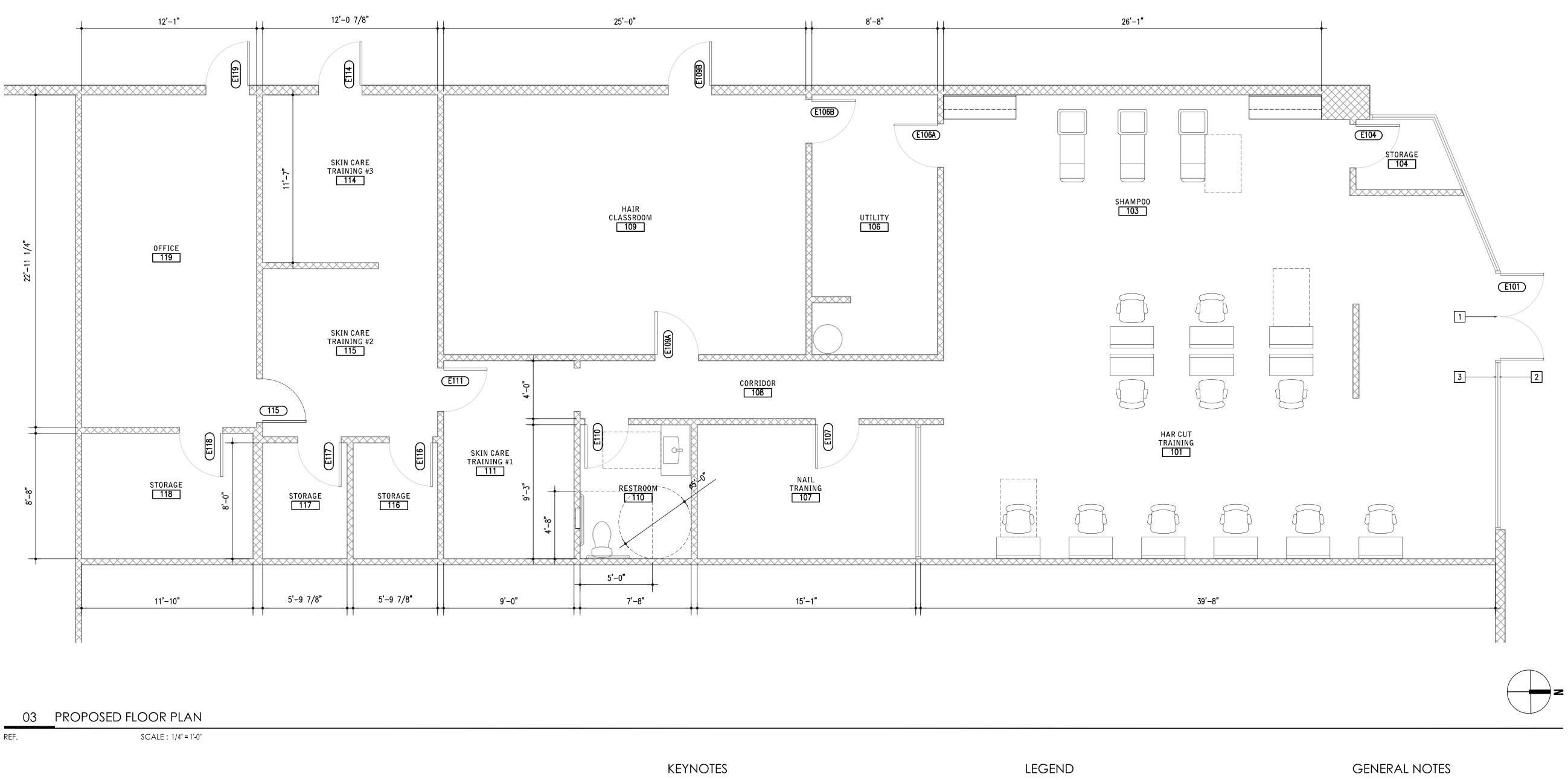
GENERAL	NOTES

ED AREA AND IS E.	1.	THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, LIGHTING, POWER, AND COMMUNICATIONS NECESSARY TO ACCOMPLISH THE DEMOLITION WORK AS DESCRIBED ON THE DRAWINGS
CTRICAL AND	2.	THE CONTRACTOR SHALL CLEAN ALL ADJACENT SPACES AND IMPROVEMENTS OF ALL DEBRIS CAUSED BY DEMOLITION OPERATIONS AS DIRECTED BY OWNER AND OR THE ARCHITECT.
IDE SHORING PRIOR TO	3.	THE CONTRACTOR SHALL DISPOSE OF REMOVED AND DEMOLISHED ITEMS INCLUDING TRASH AND DEBRIS OFF THE OWNER'S PREMISES IN A LEGAL FASHION, LEAVING THE PREMISES IN A BROOM-CLEAN CONDITION.
	4.	THE CONTRACTOR SHALL ACCOMPLISH ALL DEMOLITION WORK IN ACCORDANCE WITH ALL GOVERNMENTAL REQUIREMENTS, SUPPLYING ADEQUATE PROTECTION AROUND ALL OPENINGS, PROVIDING ALL BARRICADES AND SAFEGUARDS AT ALL HOLES, SHAFT OPENINGS, ETC., TO PREVENT INJURY TO WORKMEN AND OTHERS HAVING BUSINESS WITHIN AND ABOUT THE PREMISES. ALSO PROVIDE ALL SAFEGUARDS AS REQUIRED BY THE BUILDING CODE, OSHA, OR OTHER DEPARTMENTS HAVING JURISDICTION. TAKE FULL RESPONSIBILITY FOR ALL SAFETY PRECAUTIONS AND METHODS.
	5.	ALL CONSTRUCTION MATERIALS TO BE RECYCLED TO THE MAXIMUM FEASIBLE EXTENT. ALL RECYCLABLE CONSTRUCTION MATERIALS ARE TO BE TAKEN TO AN APPROVED TRANSFER

STATION.

6. MAINTAIN CONNECTIONS TO EXISTING SITE LIGHTING AND PARKING LOT LIGHTING DURING CONSTRUCTION.







- 1 PROVIDE SIGNAGE READING "THESE DOORS TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED" ON HEADER FRAME OF THE DOOR.
- 2 ACCESSIBLE ENTRANCE SIGN SEE 10 3 TACTILE EXIT SIGN. SEE 11 A931 ∖A931/

DOOR NUMBER, SEE DOOE SCHEDULE EXISTING FRAME GLASS WALL PARTITION/WINDOW EXISTING WALL

EXISTING HALF WALL

ALIGN

XXXX

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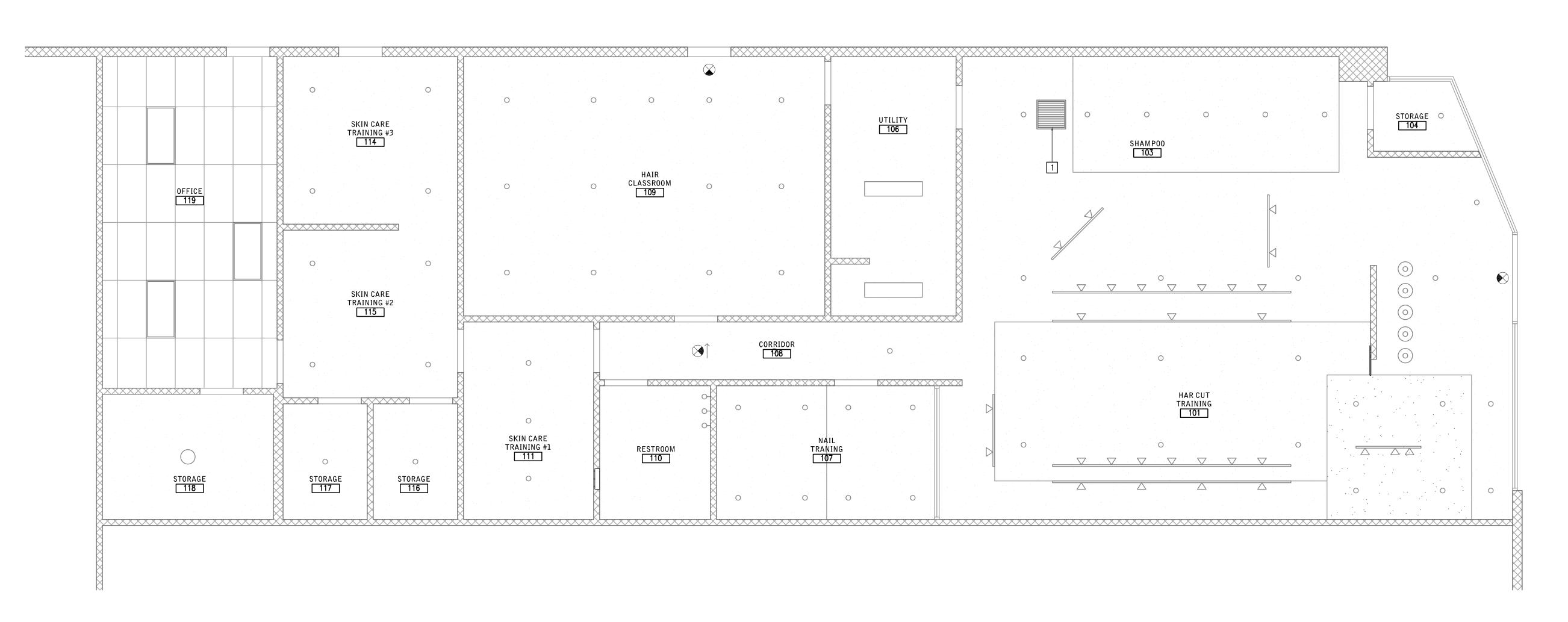
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NEW INTERIOR PARTITION, SEE A901 – WALL TYPE A, U.O.N. NEW INTERIOR HALF WALL PARTITION, SEE 12/A901 FULL HEIGHT DEMISING WALL PER 02 OR 04/A901 WALL TYPE, SEE A901

> A 2-A/10B/C FIRE EXTINGUISHER, SEE 13/A901 30"X48" CLEAR FLOOR SPACE

- 1. ALL DIMENSIONS ARE TO FACE OF FINISH U.O.N.
- 2. INSTALL METAL CORNER BEADS AT ALL EXPOSED WALLBOARD EDGES, INSTALL CASING BEADS WHEREVER WALLBOARD, PLASTER, ETC. ABUTS DISSIMILAR FINISH MATERIAL AND PROVIDE SEALANT AS REQUIRED.
- 3. USE CEMENTATIONS BACKER BOARDS AT ALL WALL TILE, AND USG AQUA-TOUGH AT ALL LOCATIONS WHERE MOISTURE WILL BE PRESENT.
- 4. PROVIDE EXTRA STUDS AS REQUIRED TO MOUNT ELECTRICAL OR MECHANICAL CONTROLS. INSURE STUDS REMAIN PLUMB. CRIMP OR SCREW ATTACHED TO RUNNERS AS REQUIRED.
- 5. ALL INTERIOR GLASS SHALL BE TEMPERED. ALL EXPOSED EDGES SHALL BE POLISHED.
- 6. G.C. TO VERIFY CONDITIONS AND NOTIFY ARCHITECTS OF ANY CONFLICTS.
- 7. ALL ADJACENT RECEPTACLES AND OUTLETS TO BE AT 6" ON CENTER, U.O.N.
- 8. ALL ELECTRICAL OUTLETS NEAR SINKS ARE TO BE G.F.I. TYPE.
- 9. BEFORE STARTING ANY WORK, CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS. IF THERE ARE EXISTING BUILDING OBSTRUCTIONS AND CEILING FIXTURES, LEVEL CHANGES, SOFFITS, ETC., CANNOT BE INSTALLED WHERE INDICATED, OR IF THERE ARE ANY CONFLICTS OR DISCREPANCIES CONTRACTOR SHALL NOTIFY THE OWNER AND SHALL OBTAIN CLARIFICATION FROM THE OWNER IN WRITING BEFORE PROCEEDING WITH ANY PART OF THE CEILING WORK OR RELATED WORK.
- 10. LOCATE ALL LIGHT FIXTURES, SPEAKERS, ACCESS PANELS, SPRINKLER HEADS, LIFE-SAFETY DEVICES, ETC., IN STRAIGHT LINES AND IN CENTER OF CEILING TILES U.O.N.
- 11. SEE 14/A901 VAPOR BARRIER REPAIR AT SLAB ON GRADE SAWCUT.
- 12. SEE 15/A931 FOR TOILET FIXTURE AND ACCESSORIES MOUNTING HEIGHTS.

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RT7 Beauty College	9836 Garden Grove Blvd Garden Grove, CA 92844	Developed for Linda Choi			
Date					
Revision Description					
Date	09/09/22				
Revision Description	- AGENCY SUBMITTAL/BID SET				
Sheet Title	Umbers Checker	ed By			



03 EXISTING REFLECTED CEILING PLAN (FOR REFERENCE ONLY) REF. SCALE : 1/4" = 1'-0"

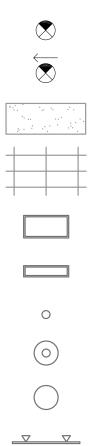
KEYNOTES

1 EXISTING 3,000 CFM MECHANICAL EXHAUST

2 3

X'-X"

CEILING HEIGHT. EXISTING CEILING HEIGHT TO REMAIN U.N.O.

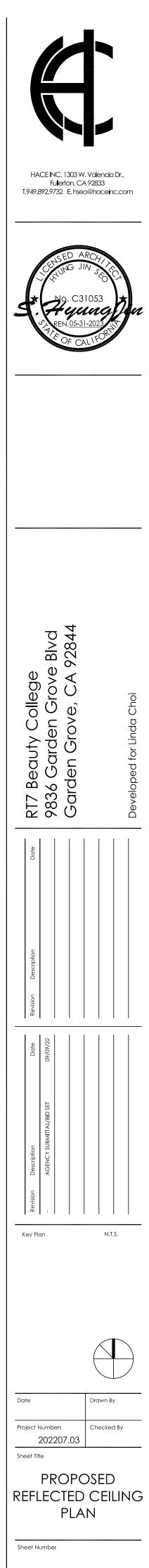


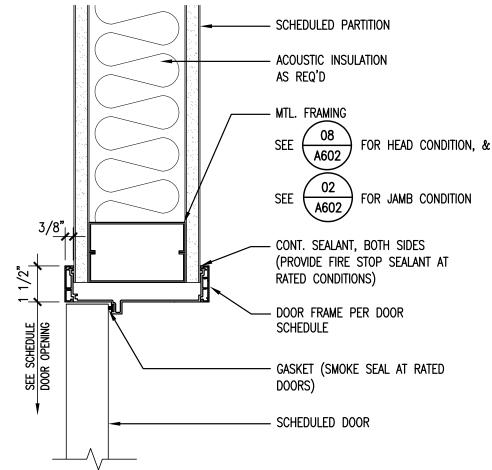
LEGEND

EXISTING ILLUMINATED EXIT SIGN, EDGE LIT, RED EXISTING ILLUMINATED DIRECTIONAL EXIT SIGN, EDGE LIT EXISTING FRAMED HARDLID CEILING, PAINT TO MATCH W EXISTING 24"X48" SUSPENDED CEILING GRID EXISTING 2'x4' LED RECESSED LIGHT FIXTURE TO REMA EXISTING 1'x4' LED RECESSED LIGHT FIXTURE TO REMA EXISTING LED DOWNLIGHT FIXTURE TO REMAIN EXISTING LED SUSPENDED LIGHT FIXTURE TO REMAIN EXISTING LED SURFACE LIGHT FIXTURE TO REMAIN EXISTING LED SURFACE LIGHT FIXTURE TO REMAIN

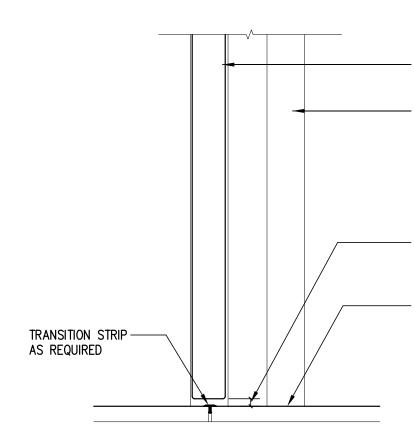
	GENERAL NOTES
	1. ALL DIMENSIONS ARE TO FACE OF FINISH U.O.N.
e lit, red	 INSTALL METAL CORNER BEADS AT ALL EXPOSED WALLBOARD EDGES, INSTALL CASING BEADS WHEREVER WALLBOARD, PLASTER, ETC. ABUTS DISSIMILAR FINISH MATERIAL AND PROVIDE SEALANT AS REQUIRED.
CH WALL.	3. USE CEMENTATIONS BACKER BOARDS AT ALL WALL TILE, AND USG AQUA-TOUGH AT ALL LOCATIONS WHERE MOISTURE WILL BE PRESENT.
	4. PROVIDE EXTRA STUDS AS REQUIRED TO MOUNT ELECTRICAL OR MECHANICAL CONTROLS. INSURE STUDS REMAIN PLUMB. CRIMP OR SCREW ATTACHED TO RUNNERS AS REQUIRED.
	5. ALL INTERIOR GLASS SHALL BE TEMPERED. ALL EXPOSED EDGES SHALL BE POLISHED.
	6. G.C. TO VERIFY CONDITIONS AND NOTIFY ARCHITECTS OF ANY CONFLICTS.
REMAIN	7. ALL ADJACENT RECEPTACLES AND OUTLETS TO BE AT 6" ON CENTER, U.O.N.
	8. ALL ELECTRICAL OUTLETS NEAR SINKS ARE TO BE G.F.I. TYPE.
REMAIN	9. BEFORE STARTING ANY WORK, CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS. IF THERE ARE EXISTING BUILDING OBSTRUCTIONS AND CEILING FIXTURES, LEVEL CHANGES, SOFFITS, ETC., CANNOT BE INSTALLED WHERE INDICATED, OR IF THERE ARE ANY CONFLICTS OR DISCREPANCIES CONTRACTOR SHALL NOTIFY THE OWNER AND SHALL OBTAIN CLARIFICATION FROM THE OWNER IN WRITING REFORE PROCEEDING WITH ANY

OBTAIN CLARIFICATION FROM THE OWNER IN WRITING BEFORE PROCEEDING WITH ANY PART OF THE CEILING WORK OR RELATED WORK. 10. LOCATE ALL LIGHT FIXTURES, SPEAKERS, ACCESS PANELS, SPRINKLER HEADS, LIFE-SAFETY DEVICES, ETC., IN STRAIGHT LINES AND IN CENTER OF CEILING TILES U.O.N.





10 TYP. INTERIOR DOOR HEAD/JAMB REF. SCALE: 3" = 1'-0"

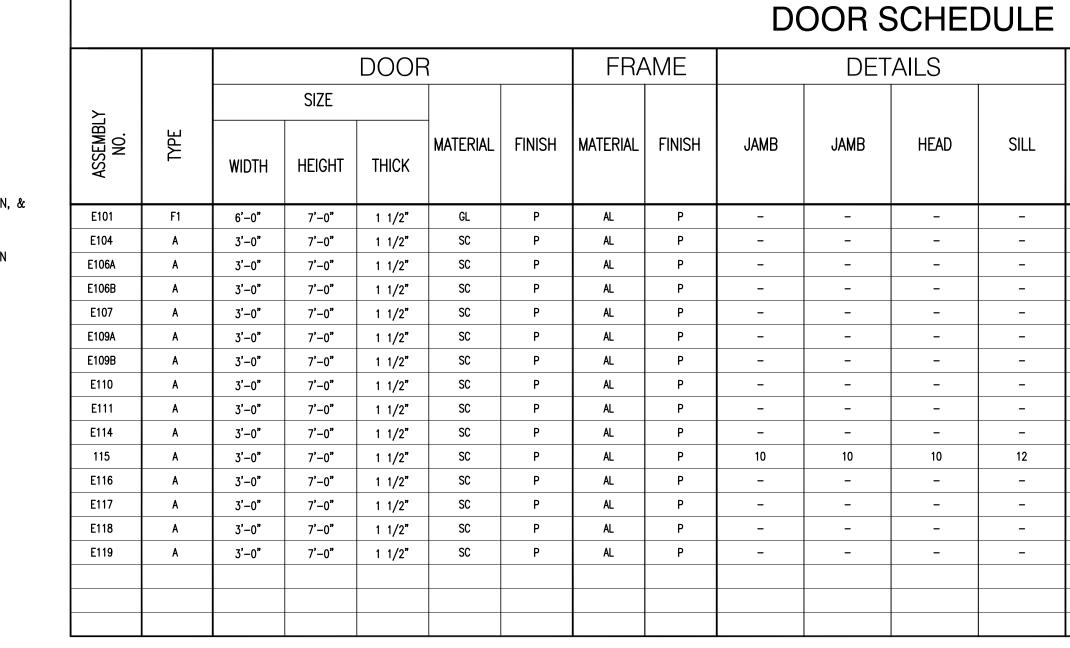


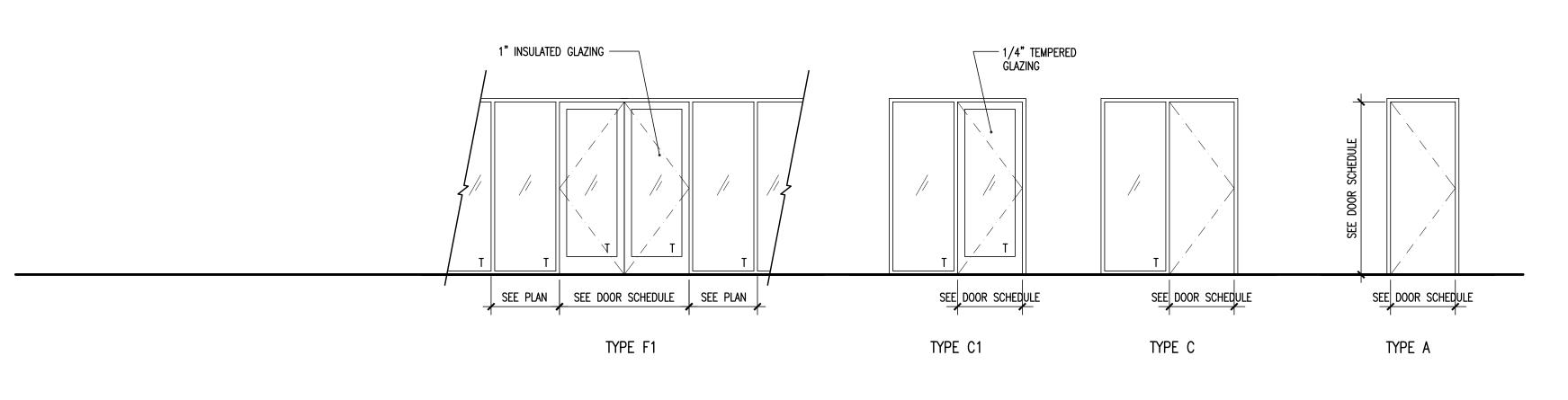
12 INT. THRESHOLD

ULATION	

FOR HEAD CONDITION, &

– CONT. SEALANT, BOTH SIDES





02 DOOR TYPES

REF.

SCALE: 1/4" = 1'-0"

-DOOR - SEE DOOR SCHEDULE

-DOOR FRAME AND ASSEMBLY BEYOND

-UNDERCUT DOOR AS REQUIRED FOR FLOOR FINISH -Floor Finish -

SEE FINISH SCHEDULE

FIN. FLR. _____

SCALE: 3" = 1'-0"

FIRE RATING	HARDWARE SET	REMARKS
-	-	EXISTING TO REMAIN WITH LEVER TYPE DOOR HANDLE
-	-	EXISTING TO REMAIN WITH LEVER TYPE DOOR HANDLE
-	-	EXISTING TO REMAIN WITH LEVER TYPE DOOR HANDLE
-	-	EXISTING TO REMAIN WITH LEVER TYPE DOOR HANDLE
-	-	EXISTING TO REMAIN WITH LEVER TYPE DOOR HANDLE
-	-	EXISTING TO REMAIN WITH LEVER TYPE DOOR HANDLE
-	-	EXISTING TO REMAIN WITH LEVER TYPE DOOR HANDLE
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-	E	
-	-	EXISTING TO REMAIN WITH LEVER TYPE DOOR HANDLE
-	-	EXISTING TO REMAIN WITH LEVER TYPE DOOR HANDLE
-	-	EXISTING TO REMAIN WITH LEVER TYPE DOOR HANDLE
-	-	EXISTING TO REMAIN WITH LEVER TYPE DOOR HANDLE
		•

DOOR FRAME:

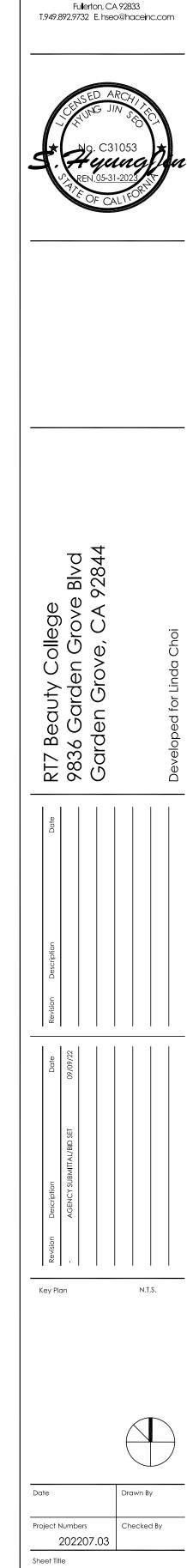
ALPHA ALUMINUM CLR ANODIZED ALUM W/BLK VINYL SEALS OR SILICONE AS REQUIRED.

- DOOR SCHEDULE ABBREVIATIONS:
- SC SOLID CORE WOOD
- AL ALUMINUM HM HOLLOW METAL
- P PAINT WN WOOD VENEER
- CLR. CLEAR ANODIZED

NOTE:

- 1. ALL DOOR SIZES ARE JAMB (FRAME) OPENING SIZE
- 2. ALL UNDERCUT DOORS FOR VARYING CARPET THICKNESS RUBBER FLOORING ETC. SHALL BE VERIFIED AND PROPERLY COORDINATED
- 3. COORDINATE ALL DOOR AND DOOR DETAILS TO PROVIDE ADEQUATE CLEARANCE AND FRAME REINFORCEMENT FOR HARDWARE TYPS. (REFER TO SPECS FOR HARDWARE MOUNTING TYPES).
- 4. TYPICAL DOOR BEVEL TO BE 1/8" IN 2" U.N.O. BY HARDWARE TEMPLATE REQUIRMENTS.
- 5. ADJUST DOOR FRAME OPENING SIZES AS NECESSARY TO REFLECT VARIATIONS IN THE EXISTING STRUCTURAL SLAB AND VARYING THICKNESSES OF THE FLOOR FINISHES.
- 6. ALL DOOR HARDWARE SHALL BE LEVER TYPE U.N.O.
- 7. ALL PAINTED DOORS SHALL MATCH COLOR AND SHEEN OF ADJACENT WALL
- 8. ALL WOOD VENEER DOORS SHALL HAVE BEECH VENEER UNSTEAMED
- 9. FOR TYPICAL DOOR CLEARANCE, SEE DETAIL 9/-10. FOR SWITCH AND DEVICE ALIGNMENT, SEE DETAIL 10/-
- 11. FOR INTERIOR FLOOR TRANSITION, SEE DETAIL 8/-

01 DOOR NOTES



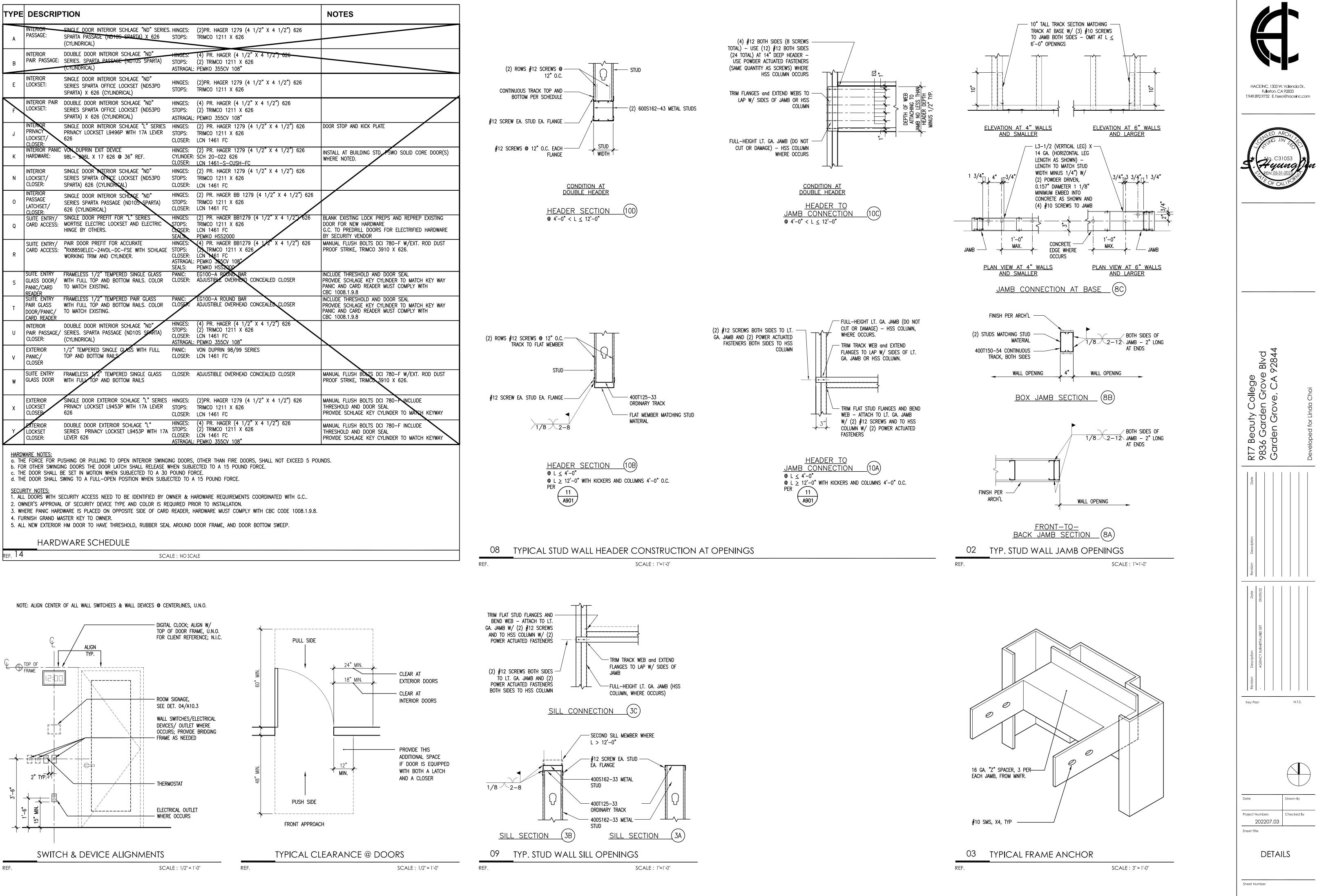
HACE INC, 1303 W. Valencia Dr.,

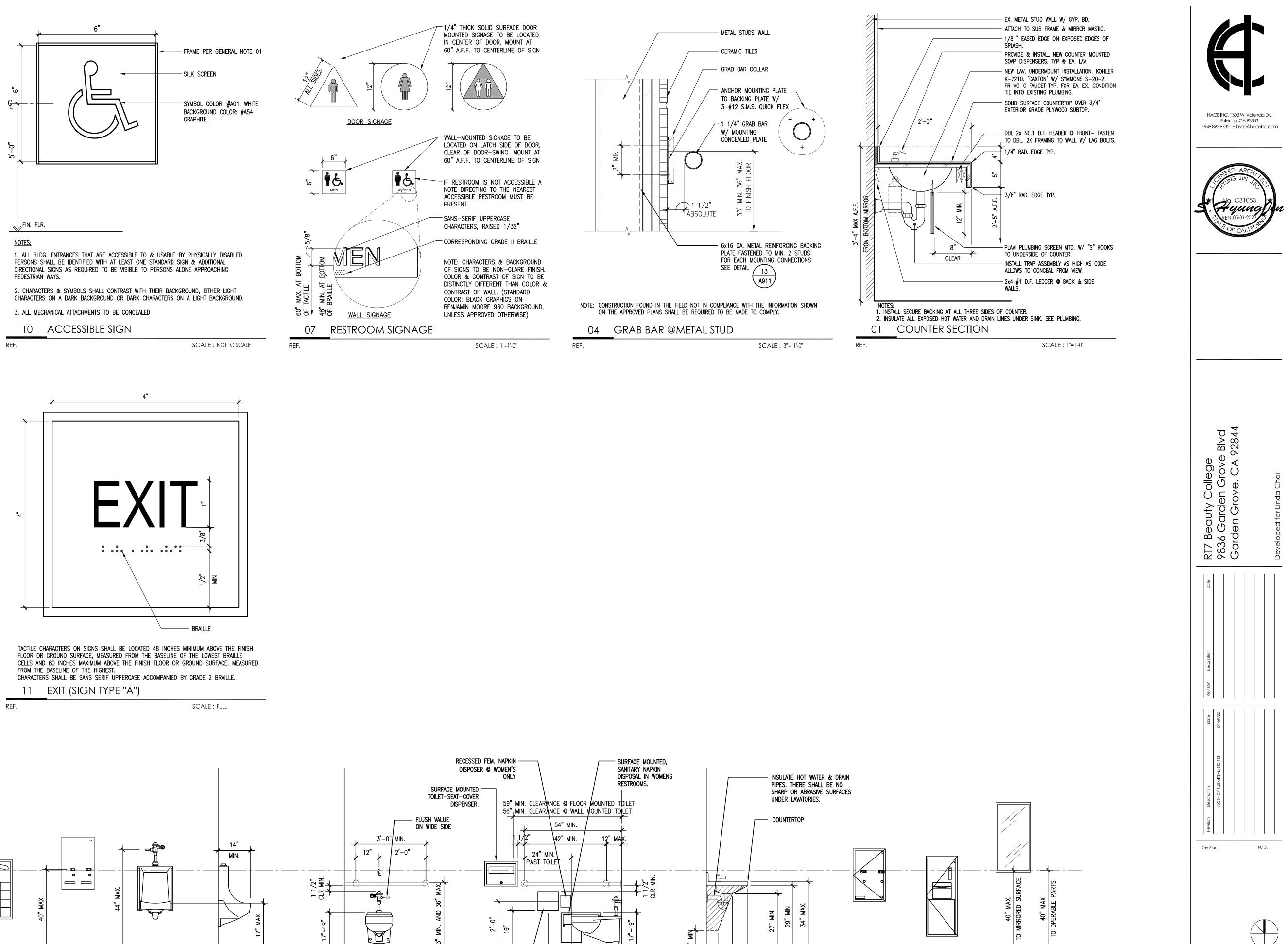
DOOR SCHEDULE AND DETAILS

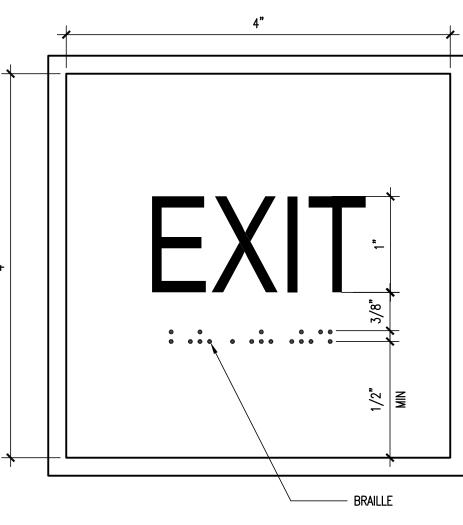
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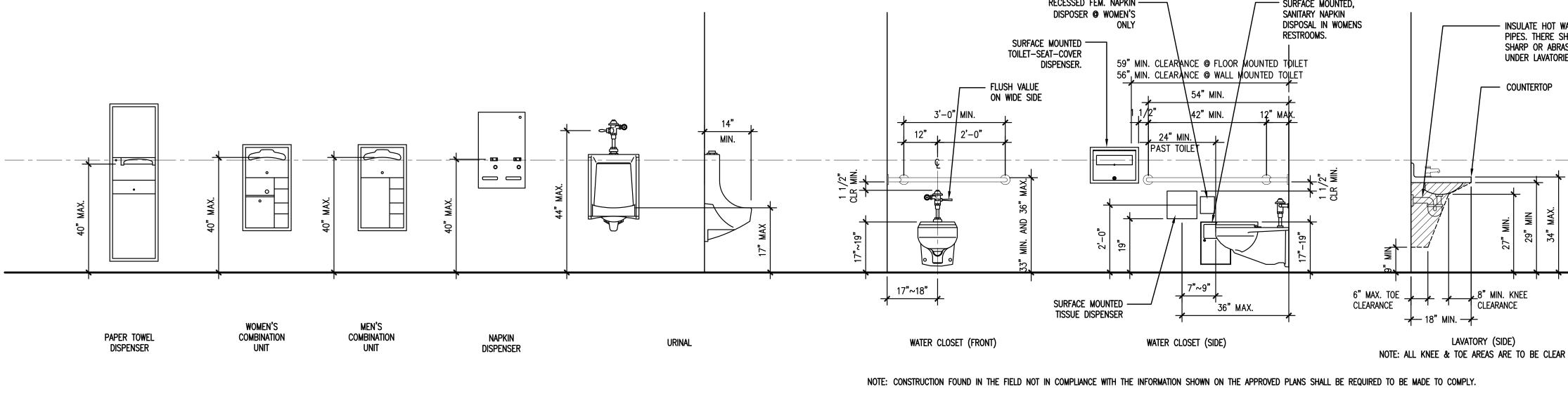
REF.

YPE	DESCRIP	TION			NOTES
A	INTE RIOR PASSAGE:	<u>SINGLE DOOR INTERIOR SCHLAGE "ND" SERIES</u> SPARTA PASSAGE (ND105 SPARTA) X 626 (CYLINDRICAL)	5. Hinges: Stops:	(2)PR. HAGER 1279 (4 1/2" X 4 1/2") 626 TRIMCO 1211 X 626	
В	INTERIOR PAIR PASSAGE:	DOUBLE DOOR INTERIOR SCHLAGE "ND" SERIES. SPARTA PASSAGE (NDTUS SPARTA) (CYLINDRICAL)	HINGES: STOPS: ASTRAGAL	(4) PR. HAGER (4 1/2" X 4 1/2") 626 (2) TRIMCO 1211 X 626 : PEMKO 355CV 108"	
E	INTERIOR LOCKSET:	SINGLE DOOR INTERIOR SCHLAGE "ND" SERIES SPARTA OFFICE LOCKSET (ND53PD SPARTA) X 626 (CYLINDRICAL)	HINGES: STOPS:	(2)PR. HAGER 1279 (4 1/2" X 4 1/2") 626 TRIMCO 1211 X 626	
F	INTERIOR PAIR LOCKSET:	DOUBLE DOOR INTERIOR SCHLAGE "ND" SERIES SPARTA OFFICE LOCKSET (ND53PD SPARTA) X 626 (CYLINDRICAL)	HINGES: STOPS: ASTRAGAL	(4) PR. HAGER (4 1/2" X 4 1/2") 626 (2) TRIMCO 1211 X 626 : PEMKO 355CV 108"	
J	INTERIOR PRIVACY LOCKSET/ CLOSER:	SINGLE DOOR INTERIOR SCHLAGE "L" SERIES PRIVACY LOCKSET L9496P WITH 17A LEVER 626	HINGES: STOPS: CLOSER:	(2) PR. HAGER 1279 (4 1/2" X 4 1/2") 626 TRIMCO 1211 X 626 LCN 1461 FC	DOOR STOP AND KICK PLATE
к	INTERIOR PANIC HARDWARE:	VON DUPRIN EXIT DEVICE 98L- 996L X 17 626 @ 36" REF.	HINGES: CYLINDER: CLOSER:	(2) PR. HAGER 1279 (4 1/2" X 4 1/2") 626 : SCH 20–022 626 LCN 1461–S–CUSH–FC	INSTALL AT BUILDING STD. SWO SO WHERE NOTED.
N	INTERIOR LOCKSET/ CLOSER:	SINGLE DOOR INTERIOR SCHLAGE "ND" SERIES SPARTA OFINCE LOCKSET (ND53PD SPARTA) 626 (CYLINDRICAL)	HINGES: STOPS: CLOSER:	(2) PR. HAGER 1279 (4 1/2" X 4 1/2") 626 TRIMCO 1211 X 626 LCN 1461 FC	
0	INTERIOR PASSAGE LATCHSET/ CLOSER:	SINGLE DOOR INTERIOR SCHDAGE "ND" SERIES SPARTA PASSAGE (ND10S SPARTA) 626 (CYLINDRICAL)	HINGES: STOPS: CLOSER:	(2) PR. HAGER BB 1279 (4 1/2" X 4 1/2") 626 TRIMCO 1211 X 626 LCN 1461 FC	
Q	SUITE ENTRY/ CARD ACCESS:	SINGLE DOOR PREFIT FOR "L" SERIES MORTISE ELECTRIC LOCKSET AND ELECTRIC HINGE BY OTHERS.	HINGES: STOPS: CLOSER: SEALS:	(2) PR. HAGER BB1279 (4 1/2" X 4 1/2") 626 TRIMCO 1211 X 626 LCN 1461 FC PEMKO HSS2000	BLANK EXISTING LOCK PREPS AND DOOR FOR NEW HARDWARE G.C. TO PREDRILL DOORS FOR ELED BY SECURITY VENDOR
R	SUITE ENTRY/ CARD ACCESS:	PAIR DOOR PREFIT FOR ACCURATE "RX8859ELEC-24VOL-DC-FSE WITH SCHLAGE WORKING TRIM AND CYLINDER.	HINGES: STOPS: CLOSER:	(4) PR. HAGER BB1279 (4 1/2" X 4 1/2") 626 (2) TRIMCO 1211 X 626	MANUAL FLUSH BOLTS DCI 780-F PROOF STRIKE, TRIMCO 3910 X 62
S	SUITE ENTRY GLASS DOOR/ PANIC/CARD READER	FRAMELESS 1/2" TEMPERED SINGLE GLASS WITH FULL TOP AND BOTTOM RAILS. COLOR TO MATCH EXISTING.	PANIC: CLOSER:	EG100-A ROOND BAR ADJUSTIBLE OVERHEAD CONCEALED CLOSER	INCLUDE THRESHOLD AND DOOR SE PROVIDE SCHLAGE KEY CYLINDER TO PANIC AND CARD READER MUST CO CBC 1008.1.9.8
Т	Suite Entry Pair Glass Door/Panic/ Card Reader	FRAMELESS 1/2" TEMPERED PAIR GLASS WITH FULL TOP AND BOTTOM RAILS. COLOR TO MATCH EXISTING.	PANIC: CLOSER:	EG100–A ROUND BAR ADJUSTIBLE OVERHEAD CONCEALED CLOSER	INCLUDE THRESHOLD AND DOOR SE PROVIDE SCHLAGE KEY CYLINDER TO PANIC AND CARD READER MUST CO CBC 1008.1.9.8
U	INTERIOR	DOUBLE DOOR INTERIOR SCHLAGE "ND" SERIES. SPARTA PASSAGE (ND10S SPARTA) (CYLINDRICAL)	HINGES: STOPS: CLOSER: ASTRAGAL	(4) PR. HAGER (4 1/2" X 4 1/2") 626 (2) TRIMCO 1211 X 626 LCN 1461 FC : PEMKO 355CV 108"	
v	EXTERIOR PANIC/ CLOSER	1/2" TEMPERED SINGLE GLASS WITH FULL TOP AND BOTTOM RAILS.	PANIC:	VON DUPRIN 98/99 SERIES LCN 1461 FC	
w	SUITE ENTRY GLASS DOOR	FRAMELESS 1/2" TEMPERED SINGLE GLASS WITH FULL TOP AND BOTTOM RAILS	CLOSER:	ADJUSTIBLE OVERHEAD CONCEALED CLOSER	MANUAL FLUSH BONTS DCI 780-F PROOF STRIKE, TRIMCO 3910 X 62
x	EXTERIOR LOCKSET CLOSEB	SINGLE DOOR EXTERIOR SCHLAGE "L" SERIES PRIVACY LOCKSET L9453P WITH 17A LEVER 626	HINGES: STOPS: CLOSER:	(2)PR. HAGER 1279 (4 1/2" X 4 1/2") 626 TRIMCO 1211 X 626 LCN 1461 FC	MANUAL FLUSH BOLTS DCI 780- THRESHOLD AND DOOR SEAL PROVIDE SCHLAGE KEY CYLINDER TO
Y	Exterior Lockset Closer:	DOUBLE DOOR EXTERIOR SCHLAGE "L" SERIES PRIVACY LOCKSET L9453P WITH 17A LEVER 626	CLOSER:	(4) PR. HAGER (4 1/2" X 4 1/2") 626 (2) TRIMCO 1211 X 626 LCN 1461 FC : PEMKO 355CV 108"	MANUAL FLUSH BOLTS DCI 780-F I THRESHOLD AND DOOR SEAL PROVIDE SCHLAGE KEY CYLINDER TO
a. TH b. FO c. TH	r other swingi E door shall e	USHING OR PULLING TO OPEN INTERIOR SWING NG DOORS THE DOOR LATCH SHALL RELEASE V BE SET IN MOTION WHEN SUBJECTED TO A 30 SWING TO A FULL-OPEN POSITION WHEN SUBJE	ING DOORS, WHEN SUBJ POUND FO	, OTHER THAN FIRE DOORS, SHALL NOT EXCEED 5 POL ECTED TO A 15 POUND FORCE. IRCE.	JNDS.
<u>SECUF</u> 1. ALI 2. OW 3. WH 4. FU	RITY NOTES: DOORS WITH S INER'S APPROVAL IERE PANIC HARE RNISH GRAND M	ECURITY ACCESS NEED TO BE IDENTIFIED BY C OF SECURITY DEVICE TYPE AND COLOR IS RE	WNER & H EQUIRED PR READER, I	IARDWARE REQUIREMENTS COORDINATED WITH G.C RIOR TO INSTALLATION. HARDWARE MUST COMPLY WITH CBC CODE 1008.1.9.8.	









RESTROOM MOUNTING HEIGHTS 15

Feminine Napkin VENDING MACHINE

WASTE/TOWEL

FINISH FLOOR ----

MIRROR

DETAILS

202207.03

Date

Project Numbers

Sheet Title

Drawn By

Checked By

DECISION NO. 1836-23

A DECISION OF THE ZONING ADMINISTRATOR OF THE CITY OF GARDEN GROVE APPROVING CONDITIONAL USE PERMIT NO. CUP-234-2023 FOR PROPERTY LOCATED AT 9836 GARDEN GROVE BOULEVARD, ASSESSOR'S PARCEL NO. 098-062-24.

BE IT RESOLVED that the Zoning Administrator of the City of Garden Grove does hereby approve Conditional Use Permit No. CUP-234-2023 for a property located on the south side of Garden Grove Boulevard, between Kerry Street and Galway Street, at 9836 Garden Grove Boulevard, Assessor's Parcel No. 098-062-24.

BE IT FURTHER RESOLVED in the matter of Conditional Use Permit No. CUP-234-2023, the Zoning Administrator of the City of Garden Grove does hereby report as follows:

- 1. The subject case was initiated by Kyunghee Choi Park for RT7 Beauty School, with authorization of the property owner, Hwa Sook Junn.
- 2. The applicant is requesting approval of a Conditional Use Permit to allow the operation of a new vocational beauty school, RT7 Beauty School, with a maximum capacity of three (3) instructors, and thirty-six (36) students within an existing 3,081 square foot tenant space.
- 3. Pursuant to the California Environmental Quality Act ("CEQA"), the Zoning Administrator hereby determines that the proposed project is categorically exempt from the CEQA pursuant to Section 15301, Existing Facilities, of the CEQA Guidelines (14 Cal. Code Regs., Section §15301).
- 4. The subject property has a General Plan Land Use Designation of RC3 (Residential/Commercial Mixed Use 3), and is zoned GGMU-3 (Garden Grove Boulevard Mixed Use 3). The subject property is currently improved with a multi-tenant shopping center.
- 5. Existing land use, zoning, and General Plan designation of property within the vicinity of the subject property have been reviewed.
- 6. Report submitted by City Staff was reviewed.
- 7. Pursuant to a legal notice, a public hearing was held on January 26, 2023, and all interested persons were given an opportunity to be heard.
- 8. The Zoning Administrator gave due and careful consideration to the matter during its meeting of January 26, 2023 and

Decision No. 1836-23

BE IT FURTHER RESOLVED, FOUND AND DETERMINED that the facts and reasons supporting the conclusion of the Zoning Administrator, as required under Municipal Code Section 9.32.030 (Conditional Use Permits), are as follows:

FACTS:

The subject site is developed with a multi-tenant commercial center, Hanmi Plaza, located on the south side of Garden Grove Boulevard, between Kerry Street and Galway Street, at 9836 Garden Grove Boulevard. The subject property has a General Plan Land Use Designation of RC3 (Residential/Commercial Mixed Use 3), and is zoned GGMU-3 (Garden Grove Boulevard Mixed Use 3). The property is adjacent to GGMU-3 zoned properties to the north, south, east, and west.

The RT7 Beauty School has a total floor area of 3,081 square feet, within the existing salon space. With the tenant space previously being used for a salon, the interior improvements are minimal, and only related to administrative office areas. The school's proposed floor plan consists of a hair washing and cutting area, a classroom for nail care, three (3) areas for skin care training, a classroom for hair care, an administrative office, a restroom, a utility room, and storage rooms.

Students will receive training in hair, skin, and nail care. No body massage, or other physical manipulation of the body will occur at the business. RT7 Beauty School will operate Monday to Saturday, and closed Sunday. Classes will be held in three sessions throughout the day. The morning session will be held from 9:30 a.m. to 12:00 p.m., afternoon sessions from 1:00 p.m. to 5:30 p.m., and the evening sessions from 5:30 p.m. to 9:30 p.m.

The Community and Economic Development Department have reviewed the request and are supporting the proposal. All appropriate conditions of approval for a "Business, Trade School" will apply.

FINDINGS AND REASONS:

1. That the proposed use will be consistent with the City's adopted General Plan and redevelopment plan.

The subject property has a General Plan Land Use designation of RC3 (Residential/Commercial Mixed Use 3), and is zoned GGMU-3 (Garden Grove Boulevard Mixed Use 3). The Residential/Commercial Mixed Use 3 designation is intended to provide a mix of residential and commercial uses. The GGMU-3 zone is intended to integrate developments either on a single development site or as complementary uses within a district, such as commercial uses that provide goods and services for adjacent or integrated residential units. In particular, the subject proposal is consistent with the following General Plan Goals, Policies, and Implementation Measures:

Policy LU-1.4 *Encourage a wide variety of retail and commercial services, such as restaurants and cultural arts / entertainment, in appropriate locations.* The subject beauty school is located along Garden Grove Boulevard, in an area already developed with a variety of commercial businesses. The subject use can further enhance the commercial district along Garden Grove Boulevard. Particularly, the school can serve the local clientele in the nearby residential neighborhoods, as well as visitors from further destinations.

Goal LU-4 *Uses compatible with one another.* The proposed use is a vocational beauty school with training in hair, nail, and skin care. The subject tenant space has been in operation as a beauty salon since 2010. The same business owners are now intending to operate as a beauty school, and not a retail salon. Directly adjacent to the subject use are retail, restaurant, and other personal service uses. Business and trade school uses are compatible with these other uses, and other lighter, commercial uses. Furthermore, provided the conditions of approval are adhered to for the life of the project, the use will be compatible with other commercial uses.

Goal LU-5 *Economically viable, vital, and attractive commercial centers throughout the City that serve the needs of the community*. Business and trade schools, and beauty schools more specifically, can enhance the vitality of the City's commercial centers. The proposed Conditional Use Permit would allow for the conversion of an existing beauty salon into a beauty school. A beauty school can enrich the community by providing another unique opportunity for vocational education and training.

Policy LU-6.2 *Encourage a mix of retail and commercial services along the major corridors and in centers to meet the community's needs.* The subject tenant space is located in a shopping center on the south side of Garden Grove Boulevard, a major corridor. The subject request for a Conditional Use Permit would allow for the conversion of an existing retail beauty salon into a vocational beauty school. With the subject request, the proposed use will further enhance the variety of commercial uses already in the area. By approving the subject request, the shopping center, and the commercial district centered along Garden Grove Boulevard, would provide an even greater variety of commercial services to meet the community's needs.

Goal ED-2 *The City must attract new businesses, while supporting and assisting those already located within Garden Grove*. The proposed Conditional Use Permit will allow for the transition of an existing retail beauty salon to a vocational beauty trade school. The Conditional Use Permit would allow for the business to market towards a different clientele, and a different business model altogether. Should the Conditional Use Permit be approved, the City is providing an existing business all the opportunities they need to be successful. The City would be supporting an existing business to operate in a new fashion.

Decision No. 1836-23

2. That the requested use at the location proposed will not: adversely affect the health, peace, comfort, or welfare of the persons residing or working in the surrounding area, or unreasonably interfere with the use, enjoyment, or valuation of the property of other persons located in the vicinity of the site, or jeopardize, endanger, or otherwise constitute a menace to public health, safety, or general welfare.

The use will not adversely affect the health, peace, comfort or welfare of persons residing or working in the surrounding area. The subject tenant space is currently in operation as a beauty salon. The same business is requesting to now operate as a vocational beauty trade school. Other than a few minor interior alterations, the existing tenant space will remain largely unchanged. The day-to-day activities would be compatible with the existing commercial uses in the area.

The use will not unreasonably interfere with the use, enjoyment, or valuation of other property located within the vicinity of the site, provided the conditions of approval are adhered to for the life of the project. By operating as a vocational beauty trade school, with limitations on class sizes, the use will be compatible with the surrounding uses.

3. That the proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in this title or as is otherwise required in order to integrate such use with the uses in the surrounding area.

The subject shopping center site, with the existing site improvements and modifications, is of adequate size to accommodate the proposed use within the surrounding area. No modifications are required to any of the existing site development features on site. This includes any buildings, yards, walls, fences, parking and loading facilities, and landscaping. The subject tenant space has been occupied by a RT7 Beauty salon since 2010. Having been previously a beauty salon, the tenant space will be of adequate size to accommodate the proposed beauty school use.

4. That the proposed site is adequately served: by highways or streets or sufficient width and improved as necessary to carry the kind and quantity of traffic such as to be generated, and by other public or private service facilities as required.

The subject site is located on the south side of Garden Grove Boulevard, between Kerry Street and Galway Street. The commercial center is adequately accessed by three (3) driveways along Garden Grove Boulevard, three (3) driveways along Galway Street, and two (2) driveways along Kerry Street. On-site circulation is adequate to serve all the uses in the commercial center. The site is also sufficiently served by the public service facilities required, such

as public utilities: gas, electric, water, and sewer facilities. As a part of this request, no changes are proposed for the design and function of the subject restaurant, or shopping center. Therefore, the site will continue to be adequately served by all existing highways, streets, and other public and private service facilities.

INCORPORATION OF FACTS AND REASONS SET FORTH IN THE STAFF REPORT

In addition to the foregoing, the Zoning Administrator incorporates herein by this reference, the facts and reasons set forth in the staff report.

BE IT FURTHER RESOLVED that the Zoning Administrator does conclude:

- 1. The Conditional Use Permit does possess characteristics that would indicate justification of the request in accordance with Municipal Code Section 9.32.030 (Conditional Use Permits).
- 2. In order to fulfill the purpose and intent of the Municipal Code and thereby promote the health, safety, and general welfare, the following Conditions of Approval, attached as Exhibit "A", shall apply to Conditional Use Permit No. CUP-234-2023.

Dated: January 26, 2023

DAVID DENT ZONING ADMINISTRATOR

EXHIBIT "A" Conditional Use Permit No. CUP-234-2023

9836 Garden Grove Boulevard

CONDITIONS OF APPROVAL

General Conditions

- 1. Each owner of the property shall execute, and the applicant shall record against the property, a "Notice of Discretionary Permit Approval and Agreement with Conditions of Approval," as prepared by the City Attorney's Office, within 30 days of approval. This Conditional Use Permit runs with the land and is binding upon the property owner, his/her/its heirs, assigns, and successors in interest.
- 2. All Conditions of Approval set forth herein shall be binding on and enforceable against each of the following, and whenever used herein, the term "applicant" shall mean and refer to each of the following: the project applicant, Kyunghee Choi Park, the developer of the project, the owner(s) and tenants(s) of the property, and each of their respective successors and assigns. The applicant and subsequent owner/operators of such business shall adhere to the conditions of approval for the life of the project, regardless of property ownership. Any changes of the conditions of approval require approval by the applicable City hearing body, except as otherwise provided herein.
- 3. Approval of this Conditional Use Permit shall not be construed to mean any waiver of applicable and appropriate zoning and other regulations; and wherein not otherwise specified, all requirements of the City of Garden Grove Municipal Code shall apply.
- 4. This Conditional Use Permit only authorizes the operation of an approximately 3,081 square foot vocational beauty trade school, as identified on the floor plan attached to these Conditions of Approval. Approval of this Conditional Use Permit shall not be construed to mean any waiver of applicable and appropriate zoning and other regulations; and wherein not otherwise specified, all requirements of the City of Garden Grove Municipal Code shall apply. Modifications, which do not change the intent of the project, may be approved by the Community and Economic Development Director.
- 5. Minor modifications to the approved site plan, floor plan, and/or these Conditions of Approval may be approved by the Community and Economic Development Director, in his or her discretion. Proposed modifications to the approved floor plan, site plan, or Conditions of Approval that would result in the intensification of the project or create impacts that have not been

Exhibit "A" Conditional Use Permit No. CUP-234-2023 Conditions of Approval

> previously addressed, and which are determined by the Community and Economic Development Director not to be minor in nature shall be subject to approval of new and/or amended land use entitlements by the applicable City hearing body.

6. All conditions of approval shall be implemented at the applicant's expense, except where specified in the individual condition.

Orange County Fire Authority

7. The applicant shall comply with all applicable Orange County Fire Authority requirements, including, but not limited to the Fire Master Plan.

Community and Economic Development Department

- 8. The vocational beauty trade school shall operate from 9:30 a.m. to 9:30 p.m., Monday through Saturday. In the event that problems arise concerning the operation of this business, such as parking problems, and changing the hours of operation will reduce these problems, the school shall change the hours of operation as prescribed by the City.
- 9. The maximum number of students allowed on the premises at any one time shall be limited to thirty-six (36) students, and the maximum number of employees/instructors allowed shall be limited to three (3) employees. In the event the school proposes to increase the number of students and/or employees/instructors, the operator shall demonstrate to the satisfaction of the Community and Economic Development Director that the proposed increase will not impact the current parking and circulation demands of the retail center, and that all necessary building improvements shall be properly obtained. If additional floor area, including new classrooms and/or training areas is required in order to accommodate the proposed increase to the number of students and/or instructors, a new Conditional Use Permit shall be obtained.
- 10. In the event the site cannot accommodate the parking demand, due to impacts generated by any use on the property, at any given time, which causes a nuisance, hindrance, and/or problem with either on-site and off-site parking and circulation, as determined by the City's Community and Economic Development Director in his/her reasonable discretion, the applicant shall devise and implement a plan approved by the City to relieve the situation.

Exhibit "A" Conditional Use Permit No. CUP-234-2023 Conditions of Approval

- a. Upon written request by the City, the applicant shall submit a plan to manage parking issues for review and approval by the Community and Economic Development Department. The plan may include, but is not be limited to: reducing the hours of operation, instituting an off-site parking arrangement; having on-site parking control personnel; and/or others actions that may be deemed applicable to the situation.
- b. If the City's Community and Economic Development Director deems such action is necessary to address parking and circulation problems, such action shall be implemented within 30 days of written notice. Failure to take appropriate action shall be deemed a violation of these Conditions of Approval and may result in the City restricting the overall use of the establishment.
- 11. The school shall only provide cosmetology, manicurist, barber, and esthetician courses. The school, and all programs and course instruction, shall be State-approved by the California Department of Consumer Affairs, Board of Barbering and Cosmetology, and/or the Bureau of Private Postsecondary Education, and all instructors shall have the proper licensing and certifications.
- 12. The vocational beauty trade school shall be fully licensed by the State prior to operating, and prior to the issuance of a business license.
- 13. All student practice sessions shall be conducted under the supervision of the instructor at all times.
- 14. No outdoor storage or display shall be permitted outside of the building, including, but not limited to, storage and display of merchandise, cardboard, pallets, or boxes.
- 15. There shall be no uses or activities of an adult-oriented nature permitted on the premises as outlined in City Code Section 9.08.070.
- 16. Litter shall be removed daily from the premises, including adjacent public sidewalks and from all parking areas under the control of the licensee. These areas shall be swept or cleaned, either mechanically or manually, on a weekly basis, to control debris.
- 17. The property owner shall provide sufficient trash bins to accommodate the use. Trash pickup shall be at least one time a week. Should the need arise,

trash pickup shall increase, in order to handle the amount of trash generated by all uses on site.

- 18. The applicant/property owner shall abate all graffiti vandalism within the premises. The applicant/property owner shall implement best management practices to prevent and abate graffiti vandalism within the premises throughout the life of the project, including, but not limited to, timely removal of all graffiti, the use of graffiti resistant coatings and surfaces, the installation of vegetation screening of frequent graffiti sites, and the installation of signage, lighting, and/or security cameras, as necessary. Graffiti shall be removed/eliminated by the applicant/property owner as soon as reasonably possible after it is discovered, but not later than 72 hours after discovery.
- 19. The applicant is advised that the establishment is subject to the provisions of State Labor Code Section 6404.5 (ref: State Law AB 13), which prohibits smoking inside the establishment as of January 1, 1995.
- 20. No roof-mounted mechanical equipment shall be permitted unless a method of screening complementary to the architecture of the building is approved by the Community and Economic Development Department, Planning Division. Said screening shall block visibility of any roof-mounted mechanical equipment from view of public streets and surrounding properties.
- 21. The applicant shall be responsible for providing adequate parking area lighting in compliance with City regulations. Lighting in the parking area shall be directed, positioned, or shielded in such a manner so as not to unreasonably illuminate adjacent properties.
- 22. No satellite dish antennas shall be installed on said premises unless, and until, plans have been submitted to and approved by the Community and Economic Development Department, Planning Division. No advertising material shall be placed thereon.
- 23. There shall be no outdoor activities conducted on the premises without approval of a Special Event Permit or Community Event Permit.
- 24. Permits from the City of Garden Grove shall be obtained prior to displaying any temporary advertising (i.e., banners).
- 25. Signs shall comply with the City of Garden Grove sign requirements. No more than 15% of the total window area and clear doors shall bear

advertising or signs of any sort. No signs advertising alcoholic beverages shall be placed on the windows. Any opaque material applied to the store front, such as window tint, shall count toward the maximum window coverage area.

- 26. Any modifications to existing signs or the installation of new signs shall require approval by the Community and Economic Development Department, Planning Services Division prior to issuance of a building permit.
- 27. A copy of the decision and the conditions of approval for Conditional Use Permit No. CUP-234-2023 shall be kept on the premises at all times.
- 28. The permittee shall submit a signed letter acknowledging receipt of the decision approving Conditional Use Permit No. CUP-234-2023 and his/her agreement with all conditions of the approval.
- 29. The Conditional Use Permit may be called for review by City staff, the City Council, or Planning Commission, if noise or other complaints are filed and verified as valid by the Code Enforcement office or other City department concerning the violation of approved conditions, the Garden Grove Municipal Code, or any other applicable provisions of law.
- 30. If deemed necessary by the Community and Economic Development Director, the Conditional Use Permit may be reviewed within one year from the date of this approval, and every three (3) years thereafter, in order to determine if the business is operating in compliance.
- 31. The applicant shall, as a condition of project approval, at its sole expense, defend, indemnify and hold harmless the City, its officers, employees, agents and consultants from any claim, action, or proceeding against the City, its officers, agents, employees and/or consultants, which action seeks to set aside, void, annul or otherwise challenge any approval by the City Council, Planning Commission, or other City decision-making body, or City staff action concerning Conditional Use Permit No. CUP-234-2023. The applicant shall pay the City's defense costs, including attorney fees and all other litigation related expenses, and shall reimburse the City for court costs, which the City may be required to pay as a result of such defense. The applicant shall further pay any adverse financial award, which may issue against the City including but not limited to any award of attorney fees to a party challenging such project approval. The City shall retain the right to select its counsel of choice in any action referred to herein.

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32. Unless a time extension is granted pursuant to Section 9.32.030.D.9 of Title 9 of the Municipal Code, the use authorized by this approval of Conditional Use Permit No. CUP-234-2023 shall become null and void if the subject use or construction necessary and incidental thereto is not commenced within one (1) year of the expiration of the appeal period and thereafter diligently advanced until completion of the project.

Building and Safety Division

- 33. The project shall comply with the latest California Building Standards Code at the time of permit application.
- 34. An exterior accessible path-of-travel from the public sidewalk to the building entrance shall be provided, and shall comply with the circulation path requirements of CBC Section 11B-205.
- 35. All rooms/spaces within the building shall be on an accessible route.
- 36. Occupancy separations shall be provided between units per CBC Table 508.4.
- 37. The project shall comply with the accessibility requirements of CBC Chapter 11B.

Water Division

- 38. If applicable, new water service installations 0'-2" and smaller, shall be installed by the City of Garden Grove at owner's/developer's expense. Installation shall be scheduled upon payment of applicable fees, unless otherwise noted. Fire services and larger water services 0'-3" and larger, shall be installed by developer/owner's contractor per City Standards.
- 39. Water meters shall be located within the City right-of-way or within dedicated waterline easement. Fire services and large water services 0'-3" and larger, shall be installed by contractor with Class A or C-34 license, per City water standards and inspected by approved Public Works inspection.
- 40. If any new fire service connections or additions / modification to the existing fire sprinkler system are being proposed, fire service is required to have above-ground backflow device with a double-check valve assembly (DCDA) per City standard B-773. Existing single-check in the vault shall be removed; vault shall be removed. A right-of-way permit is required and contractor shall have a Class A / C-34 license. New DCDA shall be tested immediately after installation and once a year thereafter by a certified backflow device tester

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and the results to be submitted to Public Works, Water Services Division. Device shall be on private property and is the responsibility of the property owner. The above-ground assembly shall be screened from public view as required by the Planning Services Division. Contact Water Engineering for additional requirements for plan submittal at (714) 741-5346.