



AGENDA

GARDEN GROVE PLANNING COMMISSION

JUNE 19, 2025 - 7:00 PM

COMMUNITY MEETING CENTER
11300 STANFORD AVENUE

Meeting Assistance: Any person requiring auxiliary aids and services, due to a disability, to address the Planning Commission, should contact the Community Development Department at (714) 741-5312 or email planning@ggcity.org 72 hours prior to the meeting to arrange for special accommodations. (Government Code §5494.3.2).

Agenda Item Descriptions: Agenda item descriptions are intended to give a brief and general description of the item. The Planning Commission may take legislative action deemed appropriate with respect to the item and is not limited to the recommended action indicated in staff reports or the agenda.

Documents/Writings: Any revised or additional documents/writings related to an item on the agenda distributed to all or a majority of the Planning Commission within 72 hours of a meeting, are made available for public inspection at the same time (1) in the Planning Services Division Office at 11222 Acacia Parkway, Garden Grove, CA 92840, during normal business hours; and (2) at the Community Meeting Center at the time of the meeting.

Public Comments: Members of the public who attend the meeting in-person and would like to address the Planning Commission are requested to complete a yellow speaker card indicating their name and address, and identifying the subject matter they wish to address. This card should be given to the Recording Secretary before the meeting begins. General comments are made during "Oral Communications" and are limited to three (3) minutes and to matters the Planning Commission has jurisdiction over. Persons wishing to address the Planning Commission regarding a Public Hearing matter will be called to the podium at the time the matter is being considered. Members of the public who wish to comment on matters before the Commission, in lieu of doing so in person, may submit comments by emailing public-comment@ggcity.org no later than 3:00 p.m. the day of the meeting. The comments will be provided to the Commission as part of the meeting record.

PLEASE SILENCE YOUR CELL PHONES DURING THE MEETING.

REGULAR MEETING AGENDA

ROLL CALL: COMMISSIONERS ASHLAND, BEARD, CUEVA, FLANDERS, LARICCHIA,
LINDSAY, RAMIREZ

PLEDGE OF ALLEGIANCE TO THE FLAG OF THE UNITED STATES OF AMERICA

- A. ORAL COMMUNICATIONS - PUBLIC
- B. APPROVAL OF MINUTES – [June 5, 2025](#)
- C. PUBLIC HEARING(S) (Authorization for the Chair to execute Resolution shall be included in the motion.)
 - C.1. [SITE PLAN NO. SP-111-2022\(TE2\)](#)
[TENTATIVE PARCEL MAP NO. PM-2021-190\(TE2\)](#)

APPLICANT: DR. MICHAEL DAO

LOCATION: NORTHEAST CORNER OF GARDEN GROVE BOULEVARD AND BROOKHURST STREET AT 10201 AND 10231 GARDEN GROVE BOULEVARD

REQUEST: A request to approve a one-year time extension for the approved entitlements under Site Plan No. SP-111-2022 and Tentative Parcel Map No. PM-2021-190, as modified by Minor Modification No. 1, which allowed the consolidation of two (2) existing parcels into a single 1.86 acre parcel, and the construction of a five-story mixed-use development on the 1.86-acre site consisting of 5,312 square feet of retail space, 3,548 square feet for an art gallery use, and 10,745 square feet of medical space, and 52 apartment units. Pursuant to the State Density Bonus Law, in exchange for reserving three (3) units for very-low income, the project qualifies for a density bonus, concessions, waivers, and reduced parking. A California Environmental Quality Act (CEQA) determination is not required as the project was previously exempted.

STAFF RECOMMENDATION: Approval of a one-year time extension for Site Plan No. SP-111-2022(TE2) and Tentative Parcel Map No. PM-2021-190(TE2).

C.2. [CONDITIONAL USE PERMIT NO. CUP-259-2024\(TE1\)](#)

APPLICANT: FREEDOMHOUSE OC CHURCH

LOCATION: SOUTHWEST CORNER OF KATELLA AVENUE AND EUCLID STREET AT 10912 KATELLA AVENUE

REQUEST: A request for a one-year time extension for the approved entitlements under Conditional Use Permit No. CUP-259-2024 to operate a new religious facility, including, church services, an accredited bible college, and a child day care within an existing 46,287 square-foot tenant space. A California Environmental Quality Act (CEQA) determination is not required as the project was previously exempted.

STAFF RECOMMENDATION: Approval of a one-year time extension for Conditional Use Permit No. CUP-259-2024(TE1).

C.3. [SITE PLAN NO. SP-160-2025](#)

APPLICANT: DAVID SIMPSON

LOCATION: SOUTHEAST CORNER OF TRASK AVENUE AND BROOKHURST STREET AT 10150 TRASK AVENUE

REQUEST: A request for Site Plan approval to construct a one-story 3,625 square foot freestanding steel structure for vehicle maintenance on an existing car dealership lot. In conjunction with the request, the Planning Commission will consider a determination that the project is categorically exempt from the California Environmental Quality Act (CEQA).

STAFF RECOMMENDATION: Approval of Site Plan No. SP-160-2025, pursuant to the recommended Conditions of Approval.

E. MATTERS FROM COMMISSIONERS

F. MATTERS FROM STAFF

G. ADJOURNMENT

GARDEN GROVE PLANNING COMMISSION
Community Meeting Center
11300 Stanford Avenue, Garden Grove, CA 92840

Meeting Minutes
Thursday, June 5, 2025

CALL TO ORDER: 7:00 p.m.

ROLL CALL:

Commissioner Ashland
Commissioner Beard
Commissioner Cueva
Commissioner Flanders
Commissioner Laricchia
Commissioner Lindsay
Commissioner Ramirez

PLEDGE OF ALLEGIANCE: Led by Commissioner Lindsay.

ORAL COMMUNICATIONS – PUBLIC

Speaker: Tom Raber

May 15, 2025 MINUTES:

Action: Received and filed.

Motion: Lindsay Second: Beard

Ayes: (4) Ashland, Beard, Laricchia, Lindsay

Noes: (1) Cueva

Absent: (0) None

Abstain: (2) Flanders, Ramirez

PUBLIC HEARING – NEGATIVE DECLARATION, GENERAL PLAN AMENDMENT NO. GPA-002-2025 AND SITE PLAN NO. SP-159-2025 FOR PROPERTY LOCATED ON THE NORTHWEST CORNER OF KNOTT STREET AND ACACIA AVENUE, AT 12821 KNOTT STREET

Applicant: HARBINGER MOTORS, INC.

Date: June 5, 2025

Request: A request that the Planning Commission recommend City Council approval of a General Plan Amendment, and Site Plan for the construction of a mezzanine office space for an existing industrial building on an approximately 7.97-acre site. The specific land use

entitlement approvals requested include the following: (i) General Plan Amendment to establish subareas A and B within the IC (Industrial Commercial Mixed Use) land use designation, and establish a 0.55 FAR for industrial uses within Subarea B; and (ii) Site Plan approval to allow for an approximately 10,368 square-foot interior mezzanine addition for an existing industrial building.

The Planning Commission will also consider a recommendation that the City Council adopt a Negative Declaration for the project.

At the request of Staff, Chairman Ramirez moved this item up on the Agenda.

Action: The Planning Commission continued the item to a date uncertain for staff to update and recirculate the environmental document and address noticing errors. The item will be re-advertised.

The Planning Commission did not receive an oral staff report, take public testimony, or discuss the item.

Motion: Ashland Second: Lindsay

Ayes: (7) Ashland, Beard, Cueva, Flanders, Laricchia, Lindsay, Ramirez
Noes: (0) None
Absent: (0) None

CONTINUED PUBLIC HEARING – SITE PLAN NO. SP-157-2025 AND LOT LINE ADJUSTMENT NO. LLA-036-2025 FOR PROPERTY LOCATED ON THE SOUTHEAST CORNER OF TRASK AVENUE AND MAGNOLIA STREET AT 9032 AND 9062 TRASK AVENUE

Applicant: IN-N-OUT BURGERS, INC.
Date: June 5, 2025

Request: A request for Site Plan approval to construct a 778 square foot freestanding outdoor dining patio structure at an existing restaurant, In-N-Out Burger, and to reconfigure the existing drive-thru lane and parking area. The project includes the demolition of an existing vacant restaurant building, formerly occupied by Mae’s Café, to accommodate additional drive-thru vehicle queuing and parking spaces. Also, a request for Lot Line Adjustment approval to remove an existing lot line for the purpose of consolidating two (2) adjoining parcels into one (1) parcel to accommodate the proposed improvements. In conjunction with the request, the Planning Commission will also consider a determination

that the project is categorically exempt from the California Environmental Quality Act (CEQA).

Commissioner Ramirez announced he has a financial conflict of interest because his spouse is an employee of the applicant, recused himself, and left the meeting before hearing or consideration of the item by the Commission.

Action: Resolution No. 6112-25 was approved with one amendment to the Conditions of Approval as follows:

Delete Condition 74: ~~There shall be no deliveries from or to the premises before 7:00 a.m. and after 10:00 p.m., seven days a week.~~, and renumber the conditions of approval.

Motion: Lindsay Second: Cueva

Ayes: (6) Ashland, Beard, Cueva, Flanders, Laricchia, Lindsay
Noes: (0) None
Absent: (1) Ramirez

Commissioner Ramirez rejoined the meeting.

PUBLIC HEARING – SITE PLAN NO. SP-158-2025 FOR PROPERTY LOCATED ON THE NORTHWEST CORNER OF LINCOLN WAY AND WESTERN AVENUE, AT 7441 LINCOLN WAY

Applicant: JYJ LOGISTICS LLC
Date: June 5, 2025

Request: A request for Site Plan approval to construct a new 50,300 square foot shell industrial building along with other associated site improvements following the demolition of the existing 22,108 square foot building. In conjunction with the request, the Planning Commission will consider a determination that the project is categorically exempt from the California Environment Quality Act (CEQA).

Action: Resolution No. 6115-25 was approved with Condition of Approval No. 83, 84, and 85 added, and revisions to Conditions of Approval Nos. 16, 37, and 67 as follows:

83. The entry gates into the loading truck court shall be positioned after a minimum of fifty feet (50'-0") of total available stacking depth inside the property line.

84. Anti-idling signs indicating a three-minute heavy-duty truck engine idling restriction shall be posted along entrances to the site and at the truck loading bays. Signs shall be installed at all heavy-duty truck exit driveways directing truck drivers to the truck route as indicated in the truck routing plan, as described in condition No. 85 below, and in the state highway system.
85. Prior to the issuance of a certificate of occupancy, the facility operator shall submit a truck routing plan to and from the state highway system based on the latest truck route map of the city to the Community Development Director for review and approval. The truck routing plan shall describe the operational characteristics of the use of the facility operator, including, but not limited to, hours of operation, types of items to be stored within the building, and proposed truck routing to and from the facility to designated truck routes that, to the greatest extent possible, avoid passing sensitive receptors.

The truck routing plan shall include measures, such as signage and pavement markings, queuing analysis, and enforcement, for preventing truck queuing, circling, stopping, and parking on public streets. The facility operator shall be responsible for enforcement of the truck routing plan. A revised truck routing plan shall be submitted to the planning director or equivalent position prior to a business license being issued by the city, county, or city and county for any new tenant of the property. The Community Development Director shall have discretion to determine if changes to the truck routing plan are necessary, including, but not limited to, any additional measures to alleviate truck routing and parking issues that may arise during the life of the facility.

16. The applicant shall remove any existing substandard driveway approaches, curbs, sidewalks, ADA ramps, pavement sections, tree well and landscaping, and construct **~~Newport Street Lincoln Way and Western Avenue~~** frontage improvements as identified below.
[...]

- g. The new landscaping in the public right of way on Lincoln Way and Western Avenue shall be consistent with existing landscape **~~with the resort are north of the project site along street frontage~~** and approved by Planning **Services** Division.

37.

- f. Identify responsible contractor and individuals for maintaining the new landscape and irrigation improvements in the public right of way for a period of three **~~(5)~~ (3)** years following the acceptance of the improvements by the City.

67.

- a. Monday through ~~Saturday~~ **Friday** - not before 7:00 a.m. and not after 5:00 p.m. (of the same day).

One letter of opposition submitted by Chase Preciado and Rebecca Davis with Lozeau Drury LLP.

Motion: Laricchia Second: Ashland

Ayes: (7) Ashland, Beard, Cueva, Flanders, Laricchia, Lindsay, Ramirez

Noes: (0) None

Absent: (0) None

PUBLIC HEARING – SITE PLAN NO. SP-156-2025 FOR PROPERTY LOCATED ON THE SOUTH SIDE OF CHAPMAN AVENUE, BETWEEN GILBERT STREET AND BROOKHURST STREET, AT 9562 CHAPMAN AVENUE.

Applicant: WILLIAM D. JAGER

Date: June 5, 2025

Request: A request for Site Plan approval to construct a four-story, thirty-six (36) unit residential apartment building and associated site improvements on an approximately 0.82-acre lot. The proposal includes four (4) affordable housing units for "very low-income" households. Inclusion of the four (4) very low-income units qualifies the project for a density bonus, concessions, waivers, and reduced parking pursuant to the State Density Bonus Law and Garden Grove Municipal Code (GGMC) Section 9.60.040 (collectively, the "Density Bonus Law" or "DBL"). The project has been designed to incorporate certain incentives/concessions and waivers/reductions of development standards pursuant to the DBL. In conjunction with the request, the Planning Commission will also consider a determination that the project is categorically exempt from the California Environmental Quality Act (CEQA).

Action: Resolution No. 6116-25 was approved with Condition of Approval No. 74 revised as follows:

74. All new block walls, and/or retaining wall(s), including existing block walls to remain, if any, shall be shown on the grading plans. Block walls shall be developed to City Standards or designed by a Registered Engineer and shall be measured from on-site finished grade. The applicant shall provide the following:

- a. Decorative masonry walls are required along the perimeter property lines, and shall be constructed to a minimum height of six feet (6'-0"), up to a maximum of ~~seven feet (7'-0")~~ **eight feet (8'-0")**, as measured from highest point

of finished grade. Whether new or existing, the block walls shall be decorative and utilize stucco finish, slump stone, decorative CMU, or split face block. Street-facing perimeter walls shall include trailing vines, hedges planted along the base of the exterior face, or other landscaping treatments that deter graffiti.

Three letters of support submitted by Devin Valdez, Elizabeth Hansburg, and Matthew Gelfand.

Motion: Lindsay Second: Laricchia

Ayes: (7) Ashland, Beard, Cueva, Flanders, Laricchia, Lindsay, Ramirez

Noes: (0) None

Absent: (0) None

CONTINUED PUBLIC HEARING – AMENDMENT NO. A-042-2025

Applicant: CITY OF GARDEN GROVE

Date: June 5, 2025

Request: A request for a City-initiated Zoning Text Amendment to various provisions of Title 9 (Land Use) of the Garden Grove Municipal Code. The proposed Amendment would update portions of Chapters 9.04 (General Provisions), 9.08 (Single-Family Residential Development Standards), 9.12 (Multifamily Residential Development Standards), 9.16 (Commercial, Office Professional, Industrial, and Open Space Development Standards), 9.18 (Mixed Use Regulations and Development Standards), 9.32 (Procedures and Hearings), 9.54 (Accessory Dwelling Units and Junior Accessory Dwelling Units), and 9.60 (Special Housing Regulations) to conform to changes in State Law and City Policies, and to make clarifications and typographical corrections. In conjunction with the request, the Planning Commission will also consider a recommendation that the City Council determine that the proposed amendment is categorically and statutorily exempt from review under the California Environmental Quality Act (CEQA).

At the request of Staff, Chairman Ramirez moved this item to the end of the Agenda.

Commissioner Lindsay announced that he had a potential conflict of interest because he owned a general contracting business that could potentially be affected by some of the proposed amendments, recused himself, and left the meeting room prior to the start of the item.

Action: Resolution No. 6113-25 was approved.

Motion: Ramirez Second: Cueva

Ayes: (5) Ashland, Beard, Cueva, Laricchia, Ramirez

Noes: (1) Flanders

Absent: (1) Lindsay

Commissioner Lindsay did not rejoin the meeting.

MATTERS FROM COMMISSIONERS:

Commissioner Ramirez thanked staff and requested status updates on the self-storage facility on Western Avenue and the car wash on Katella Avenue at the next meeting.

MATTERS FROM STAFF: Staff gave a brief description of the upcoming items for the June 19, 2025 Planning Commission Meeting.

ADJOURNMENT: At 8:38 p.m.

Carol Sebbo
Recording Secretary

COMMUNITY DEVELOPMENT DEPARTMENT PLANNING STAFF REPORT

AGENDA ITEM NO.: C.1.	SITE LOCATION: Northeast corner of Garden Grove Boulevard and Brookhurst Street at 10201 and 10231 Garden Grove Boulevard
HEARING DATE: June 19, 2025	GENERAL PLAN: Residential/Commercial Mixed Use 2
CASE NOS.: Site Plan No. SP-111-2022(TE 2) and Tentative Parcel Map No. PM-2021-190(TE2)	ZONE: GGMU-2 (Garden Grove Boulevard Mixed Use 2)
APPLICANT: Dr. Michael Dao	APN: 089-072-53, 089-072-66
PROPERTY OWNER: Same as applicant	CEQA DETERMINATION: Previously Exempt- Section 15332 "In-Fill Development Projects"

REQUEST:

The applicant is requesting approval of a one-year time extension for the approved entitlements under Site Plan No. SP-111-2022 and Tentative Parcel Map No. PM-2021-190, as modified by Minor Modification No. 1, which allowed the consolidation of two (2) existing parcels into a single 1.86 acre parcel, and the construction of a five-story mixed-use development on the 1.86-acre site consisting of 5,312 square feet of retail space, 3,548 square feet for an art gallery use, 10,745 square feet of medical space, and 52 apartment units.

BACKGROUND:

The project site is comprised of two (2) parcels with a combined land area of 1.86-acres located on the northeast corner of Garden Grove Boulevard and Brookhurst Street. The subject site has a General Plan Land Use designation of Residential/Commercial Mixed Use 2, and is zoned GGMU-2 (Garden Grove Boulevard Mixed Use 2).

The project site is located in an area developed with commercial and residential developments. The project site abuts a GGMU-2 zoned property to the north developed with a four-story office professional building and a one-story restaurant building; a Planned Unit Development (PUD-101-95) zoned residential development to the east developed with 104 detached, three-story, residential homes; GGMU-3 zoned properties to the south, across Garden Grove Boulevard, developed with a Wienerschnitzel restaurant and an auto body shop; and PUD-123-09 zoned parcels to the west, across Brookhurst Street, entitled for the Brookhurst Triangle Project.

On May 19, 2022, the Planning Commission approved Site Plan No. SP-111-2022 and Tentative Parcel Map No. PM-2021-190. The approval allowed the consolidation two (2)

existing parcels into a single 1.86 acre parcel and the construction of a five-story mixed-use development on the 1.86-acre site consisting of 9,786 square feet of retail space, 9,270 square feet of medical office space, and 52 apartment units. Pursuant to the State Density Bonus law, in exchange for reserving three (3) of the apartment units for very low-income households, the applicant qualified for density bonus, concessions, and waivers and reduced parking.

On March 10, 2023, the Community and Economic Development Director approved Minor Modification No. 1 to Site Plan No. SP-111-2022 to authorize (1) a redesign to the elevator lobbies and enclosed stairwells to comply with the Building Code requirements for egress; (2) shifting the third floor commercial tenant space to align with the exterior building plane, along the south and west building elevations, and shifting and redesigning the exterior corridor used to access the commercial tenant space into an interior, enclosed corridor; (3) increasing the size of a roof garden located on the fourth floor, along the west building elevation, from two smaller passive roof gardens with a combined area of 918 square feet to one passive roof garden with an area of 2,765 square feet; and (4) a modification to Condition of Approval No. 84 to change the allowable square footages of the retail and medical uses while continuing to provide the required number of parking spaces.

Under the State Subdivision Map Act, tentative maps expire two-years from the date the land use approval becomes effective. Condition of Approval No. 110 of SP-111-2022 and PM-2021-190 allowed the Site Plan to expire two years from the date the approval became effective to be consistent with the two-year expiration date of the Tentative Parcel Map. The land use entitlements became effective on June 9, 2022, with a two-year expiration date of June 9, 2024.

On June 20, 2024, the Planning Commission approved a one-year extension (Time Extension No. 1) to Site Plan No. SP-111-2022 and Tentative Parcel Map No. PM-2021-190, as modified by Minor Modification No. 1. This time extension allowed the applicant additional time to finalize the permit approvals due to delays created by the project's redesign to address building code requirements. The one-year time extension extended the land use entitlements expiration date to June 9, 2025.

On May 19, 2025, prior to the expiration of the subject entitlements, the applicant filed a land use application with the City requesting a second one-year time extension (Time Extension No. 2) of Site Plan No. SP-111-2022 and Tentative Parcel Map No. PM-2021-190, as modified by Minor Modification No. 1. The time extension would allow the applicant additional time to finalize the grading and building plans, and to record the parcel map.

In accordance with the Municipal Code, and because the approved entitlements were not yet exercised, the applicant is now requesting a second one-year time extension (Time Extension No. 2) to the previously approved entitlements. No changes are proposed to the previously approved project.

DISCUSSION:

TIME EXTENSION

Site Plan No. SP-111-2022 and Tentative Parcel Map No. PM-2021-190 became effective on June 9, 2022, with a two-year expiration date of June 9, 2024. A one-year time extension (Time Extension No. 1) was approved for said entitlements on June 20, 2024, which extended the expiration date of the entitlements to June 9, 2025.

The applicant filed an application with the City of Garden Grove requesting a second time extension (Time Extension No. 2) on May 19, 2025, prior to the entitlements expiring.

The project is currently undergoing grading and building plan review by City staff, and the applicant is working to address the final remaining corrections. In addition, the parcel map is being reviewed by the County Surveyor's Office. The applicant has indicated that a delay to recording the parcel map has occurred due to an existing property easement. The applicant is working to clear the existing easement, which will allow the parcel map to be recorded. The applicant anticipates that permits for the project will be issued, and project construction will commence, within the timeframe of this time extension.

Title 9 of the Municipal Code allows for a one (1) year time extension for approved entitlements, provided that the Planning Commission finds that: (a) the request for the time extension was submitted prior to the permit expiration date, (b) there has been no change in the general plan designation or zoning of the site, and (c) there is no land use action or study currently underway that would have the potential to render the development nonconforming.

The applicant submitted the second time extension application on May 19, 2025, prior to the expiration of the entitlements. In addition, the General Plan Land Use Designation of Residential/Commercial Mixed Use 2 and the GGMU-2 (Garden Grove Boulevard Mixed Use 2) zoning of the property have remained the same, and there are no pending land use actions or studies that would have the potential to render the approved development nonconforming. As such, the proposed project is conforming to the General Plan and zoning designations of the property. The subject request is in compliance with Municipal Code standards for time extensions.

Approval of the second time extension will extend the expiration date of the land use entitlement by one-year to June 9, 2026.

RECOMMENDATION:

Staff recommends that the Planning Commission take the following action:

1. Adopt Resolution No. 6121-25 approving a one year time extension for Site Plan No. SP-111-2022 and Tentative Parcel Map No. PM-2021-190 [referred to as Site Plan No. SP-111-2022(TE2) and Tentative Parcel Map No. PM-2021-190(TE2)].

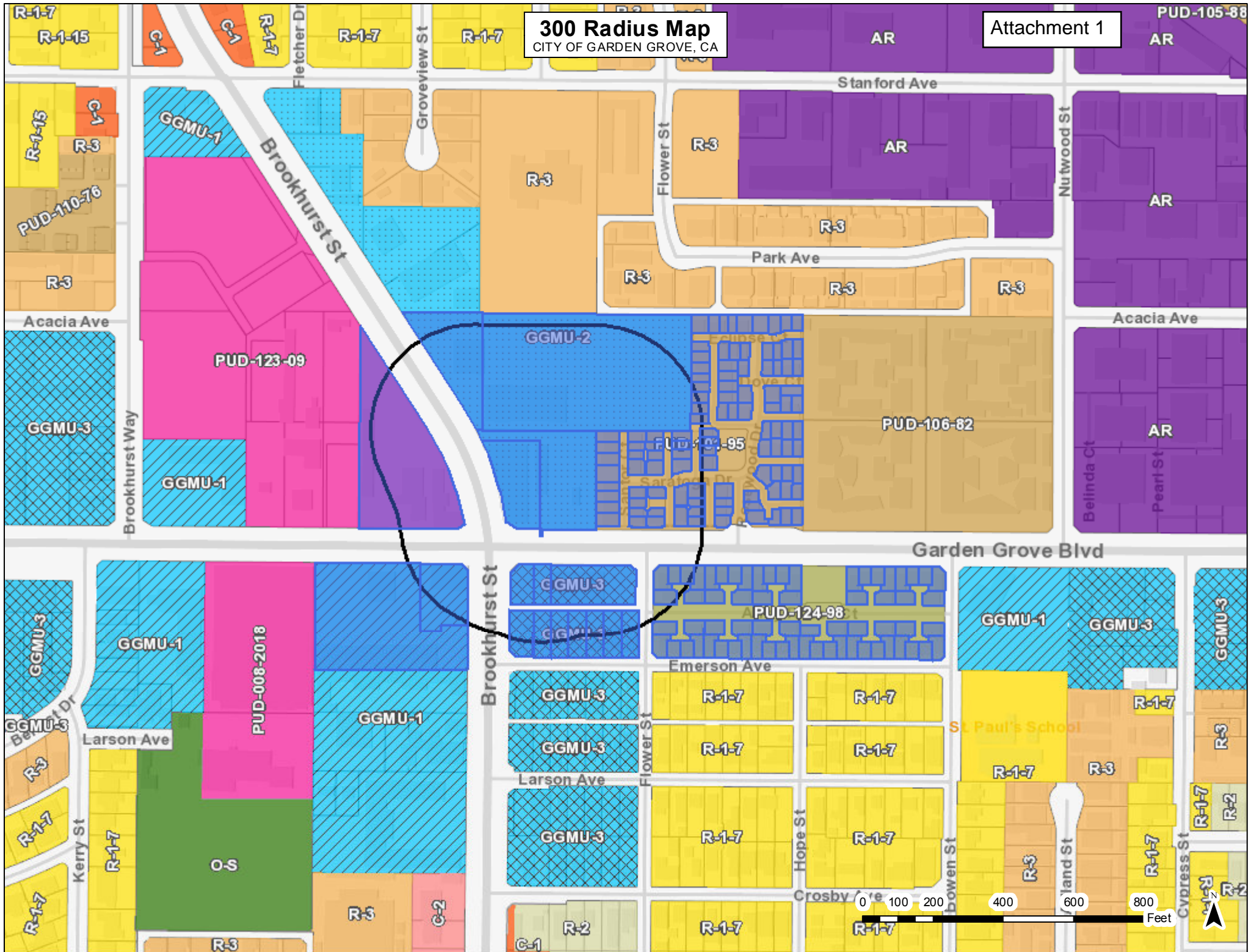


Maria Parra
Planning Services Manager

- Attachment 1: Vicinity Map
Attachment 2: Revised Plans Approved Under Minor Modification No. 1
Attachment 3: Resolution No. 6121-25 for SP-111-2022(TE2) and PM-2021-190(TE2)
Attachment 4: Planning Staff Report dated May 19, 2022 with Resolution No. 6041-22 and Conditions of Approval for SP-111-2022 and PM-2021-190
Attachment 5: Minor Modification No. 1 for SP-111-2022 Approval
Attachment 6: Planning Staff Report dated June 20, 2024 with Resolution No. 6092-24 for SP-111-2022(TE1) and PM-2021-190(TE1)

300 Radius Map
CITY OF GARDEN GROVE, CA

Attachment 1



MIXED-USE BUILDING FOR DR. DAO
10201 & 10231 GARDEN GROVE BLVD.,
GARDEN GROVE, CA 92843-1041

PROJECT INFORMATION

15. NUMBER OF EV STALL :
 - COMMERCIAL: REQUIRED: 11 / PROVIDED: 11
 - RESIDENTIAL: REQUIRED: 8 / PROVIDED: 8

16. NUMBER OF CHARGING STATION:
 - COMMERCIAL: REQUIRED: 7 / PROVIDED: 7
 - RESIDENTIAL: REQUIRED: 5 / PROVIDED: 5

17. NUMBER OF ACCESSIBLE PARKING:
 - COMMERCIAL: REQUIRED: 5 / PROVIDED: 5
 - RESIDENTIAL: REQUIRED: 4 / PROVIDED: 4

18. NUMBER OF PARKING
 - REQUIRED:
 - COMMERCIAL UNITS
 - RETAIL: 5,312.72 SF / 200 SF = 26.56
 - ART GALLERY: 3,548.59 SF / 500 SF = 7.10
 - MEDICAL OFFICE: 7,459.12 + 5,246.86 SF + 542.87 SF
 = 13,248.85 SF / 170 SF = 77.93
 - TOTAL
 111.59 = 112 STALLS
 - RESIDENTIAL UNITS
 - 1 BEDROOMS 26 x 1 = 26 STALLS
 - 2 BEDROOMS 26 x 1.5 = 39 STALLS
 - TOTAL 65 STALLS
 - REQUIRED TOTAL: 112 + 65 = 177 STALLS
 * NOTE: ENCLOSED CORRIDORS AND LOBBY AREA INCLUDED TOWARDS REQUIRED PARKING

- PROPOSED:

	ON-GROUND	1ST FLOOR	2ND FLOOR	3RD FLOOR	TOTAL
NUMBER OF PARKING PROVIDED					
COMMERCIAL	7	53	55	3	118
RESIDENTIAL	0	0	14	51	65
TOTAL	7	53	69	54	183

19. OPENSAPCE
 - REQUIRED: 52 UNIT * 300 SF = 15,600 SF

- PROPOSED:
 (1) PRIVATE OPEN SPACE:
 - BALCONY OF 1-BEDROOM UNITS: 59.97 SF * 26 = 1,559.22 SF
 - BALCONY OF 2-BEDROOM UNITS: 44.35 SF * 26 = 1,153.1 SF
 - TOTAL: 2,712.32 SF

(2) ACTIVE RECREATION AREA:
 - ROOF GARDEN-1: 5,365.43 SF
 - ROOF GARDEN-2: 3,978.80 SF
 - TOTAL: 9,344.23 SF

(3) PASSIVE RECREATION AREA
 - ROOF GARDEN-3: 2,765.80 SF
 - 50% OF PASSIVE RECREATION AREA: 1,382.9 SF

(4) INDOOR RECREATION AREA
 - GYM 1&2: 2,841.44 SF
 - LOUNGE 1&2: 765.27 SF
 - TOTAL: 3,606.71 SF (< 7,800 SF = 15,600 * 50%)

(5) RESIDENTIAL & COMMERCIAL SHARED RECREATION AREA:
 25% OF GARDEN GROVE PLAZA: 84,75.5 SF (3,367 SF * 25%)

- TOTAL PROPOSAL: (1)+(2)+(3)+(4)+(5) = 17,884.82 SF (>15,600 SF)

20. STOREFRONT OPENING REQUIREMENT
 - GARDEN GROVE SIDE:
 - REQUIREMENT: 40%
 - PROVIDED: 2,848.53 SF / 5,537.28 SF = 51.44%
 - BROOKHURST SIDE:
 - REQUIREMENT: 20%
 - PROVIDED: 2,163.88 SF / 4,385.66 SF = 49.34%

21. TOTAL PROPOSED LANDSCAPE AREA ON GROUND:
 - ON SITE: 8,010 SF
 - OFF SITE (TREE-WELLS): 252 SF
 - TOTAL: 8,262 SF

SITE AREA LANDSCAPE RATIO:
 - SITE LANDSCAPE ON GROUND (8,262 SF) / PROPERTY AREA (80,876 SF) = 10.22%

2. ADDRESS: 10201 GARDEN GROVE BLVD., 10231 GARDEN GROVE BLVD.
2Z. ZONING: GMMU-2
3. APN: 089-072-S3 And 089-072-B6
4. LEGAL DESCRIPTION: SEE DESCRIPTION IN TOPOGRAPHIC SURVEY , G-1.2
5. SITE AREA: 81,110 S.F. (1.86 ACRES)
6. OCCUPANCY: S-2, M, B, R-2
7. CONSTRUCTION TYPE: I-A, V-A
8. SPRINKLERED: YES
9. NUMBER OF STORY: 5
10.BUILDING HEIGHT & STORY:
ALLOWED (GMMU-2): 50', 4 STORIES
PROPOSED: 54'-8"(TO ROOF), 60'-2"(TO PARAPET), 67'-8"(TO STAIR ENCLOSURE)

11. PROJECT DESCRIPTION
-A 5-STORY MIXED-USE BUILDING
1ST FLOOR: PARKING STRUCTURE (TYPE I-A, S-2) + COMMERCIAL UNITS (TYPE I-A, B & M)
2ND FLOOR: PARKING STRUCTURE (TYPE I-A, S-2)
3RD FLOOR: PARKING STRUCTURE (TYPE I-A, S-2) + COMMERCIAL UNITS (TYPE I-A, B & M)
4TH-5TH FLOOR: MULTI-FAMILY RESIDENTIAL (TYPE V-A, R-2)

12. AREA TABULATION FOR PLANNING (UNIT: SF)

		1ST FL	2ND FL	3RD FL	4TH FL	5TH FL	TOTAL
PARKING STRUCTURE	PARKING	32,252.89	32,643.73	29,256.50	0	0	94,155.12
	RAMP	1,872.49	1,872.49	1,872.49	0	0	5,617.47
	STAIRS	640.04	657.70	764.66	0	0	2,062.40
	TOTAL	34,765.42	35,175.92	31,893.65	0	0	101,834.99
COMMERCIAL (B/M)	TENANT	8,861.31	0	12,705.98	0	0	21,567.29
	LOBBY	542.87	0	0	0	0	542.87
	ELEVATOR	174.22	174.22	181.64	0	0	530.08
	MACHINE	207.32	0	0	0	0	207.32
	OPEN HW*	0	548.77	1,360.19	0	0	1,908.96
	TOTAL	9,785.72	174.22	12,887.62	0	0	22,847.56
RESIDENTIAL	LIVING	0	0	0	23,124.50	23,124.50	46,249.00
	BALCONY	0	0	0	1,356.16	1,356.16	2,712.32
	CABINET	0	0	0	186.81	186.81	373.62
	LOBBY	1,517.30	867.06	1,171.44	0	0	3,555.80
	GYM/LOUNGE	0	0	0	1,681.03	1,925.68	3,606.71
	CORRIDOR	0	0	0	5,849.12	5,448.36	11,297.48
	STAIRS	0	0	0	736.87	736.87	1,473.74
	ELEVATOR	264.45	270.78	267.56	263.59	267.25	1,333.63
	MACHINE	264.73	0	0	0	0	264.73
	TRASH	490.67	186.67	186.67	118.11	118.11	1,100.23
	GARDEN*	0	0	0	10,259.67	0	10,259.67
TOTAL	2,537.15	1,324.51	1,625.67	33,316.19	33,163.74	71,967.26	
TOTAL	47,088.29	36,674.65	46,406.94	33,316.19	33,163.74	196,649.81	

* OPEN HALLWAY AND GARDEN ARE NOT INCLUDED IN TO THE TOTAL AREA.

13. FAR
COMMERCIAL: 22,847.56 SF / 81,110 SF = 0.282
RESIDENTIAL: 71,967.26 SF / 81,110 SF = 0.887
NOTE:
1. PARKING STRUCTURE AREA NOT COUNTED
2. ENCLOSED CORRIDORS AND LOBBY AREAS WILL BE INCLUDED IN THE FAR = 56 UNITS

14. NUMBER OF RESIDENTIAL UNITS ALLOWED:
- NUMBER OF RESIDENTIAL UNITS ALLOWED PER GMMU-2: 1.86 ACRE X 24 = 44.64 = 45 UNITS
- AFFORDABLE UNIT PERCENTAGE = 3 UNITS (VERY LOW INCOME)/45 UNITS x 100 = 6.67%
- DENSITY BONUS APPLIED: 22.50%
- NUMBER OF UNITS ALLOWED W/ DENSITY BONUS (22.50%) APPLIED: 45 UNITS x 1.225 = 55.125 = 56 UNITS
PROPOSED:
- NUMBER OF 1 BEDROOM UNITS PROPOSED (756.2 SF): 13 UNITS x 2 STORIES = 26 UNITS
- NUMBER OF 2 BEDROOM UNITS PROPOSED (1,008.36 SF): 13 UNITS x 2 STORIES = 26 UNITS
TOTAL NUMBER OF UNITS PROPOSED: 52 UNITS

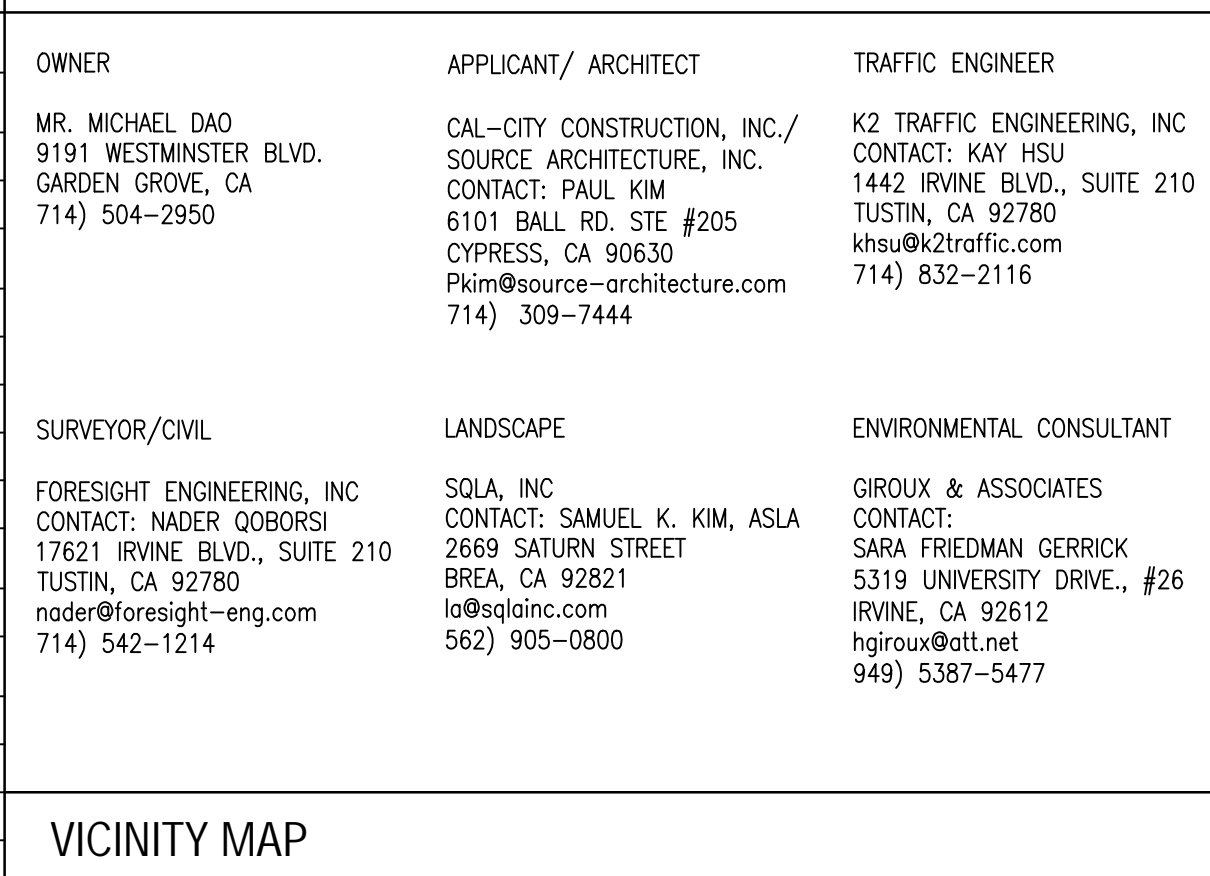
* OPEN HALLWAY AND GARDEN ARE NOT INCLUDED IN TO THE TOTAL AREA.

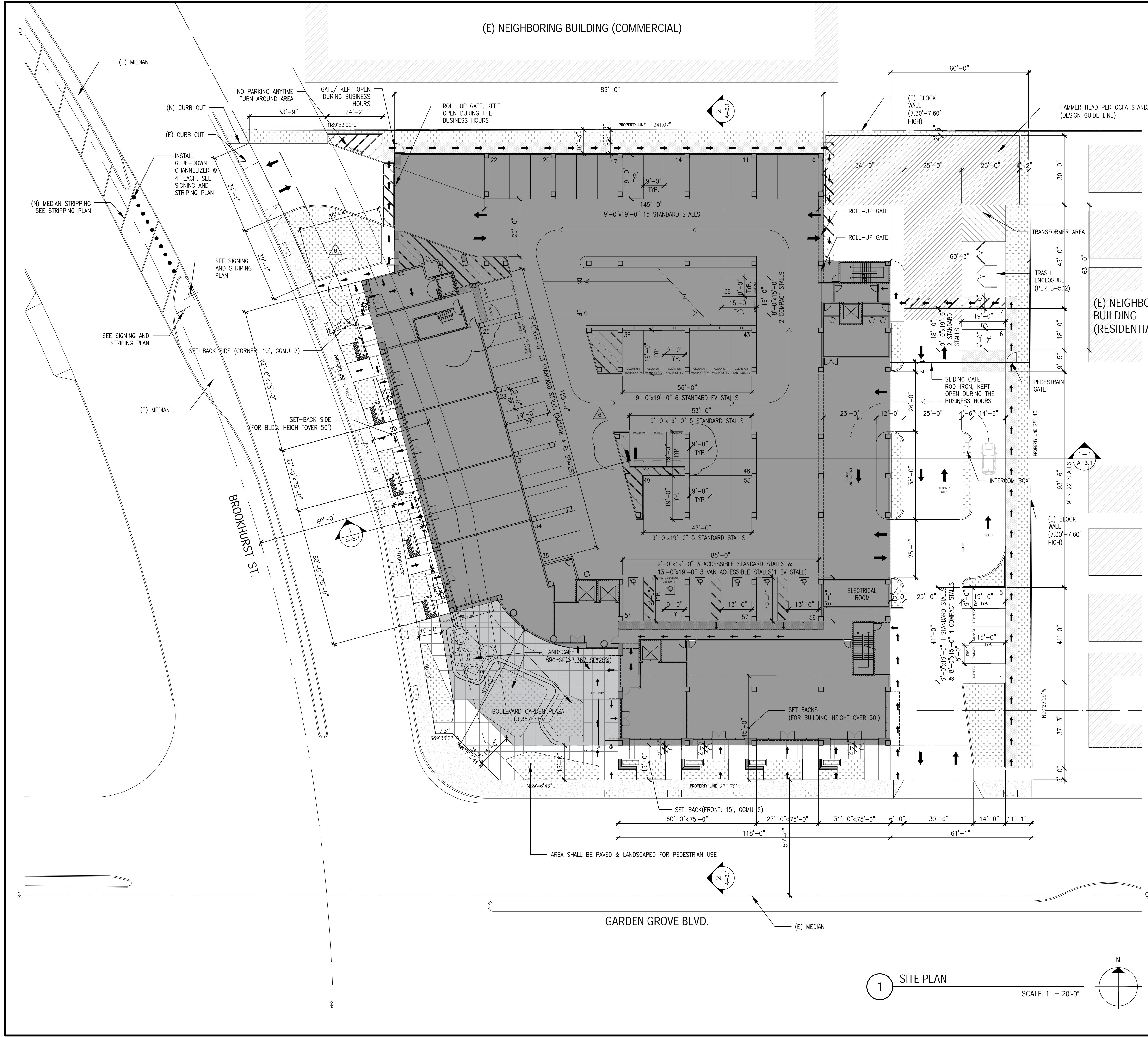
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TOTAL NUMBER OF UNITS PROPOSED: 52 UNITS

SEQ.	SHT.	DESCRIPTION
GENERAL		
1	G 1.1	PROJECT DESCRIPTION, VICINITY MAP, DIRECTORY
2		TOPOGRAPHIC SURVEY
CIVIL		
1		TITLE SHEET
2		GRADING PLAN
3		SECTIONS AND DETAILS
4		TENTATIVE MAP (EXISTING CONDITION)
5		TENTATIVE MAP (PRELIMINARY GRADING PLAN)
TRAFFIC		
1		SIGNING AND STRIPING PLAN
ARCHITECTURAL		
1	A 1.1	SITE PLAN
2	A 1.2	FIRST FLOOR PLAN
3	A 1.3	SECOND FLOOR PLAN
4	A 1.4	THIRD FLOOR PLAN
5	A 1.5	FOURTH FLOOR PLAN
6	A 1.6	FIFTH FLOOR PLAN
7	A 1.7	ROOF PLAN
8	A 1.8	RESIDENTIAL UNIT PLAN
9	A 1.9	FLOOR PLAN DIAGRAMS
10	A 2.1	ELEVATION-1
11	A 2.2	ELEVATION-2
12	A 3.1	SECTION-1
13	A 3.2	SECTION-2
LANDSCAPE		
1	LP-1	PRELIMINARY LANDSCAPE PLAN
2	LP-1A	PRELIMINARY LANDSCAPE PLAN
3	LP-2	PRELIMINARY LANDSCAPE PLAN-4TH FLOOR
4	LP-3	PLANTING DETAILS

OWNER	APPLICANT / ARCHITECT	TRAFFIC ENGINEER, INC
MR. MICHAEL DAO 9191 WESTMINSTER BLVD. GARDEN GROVE, CA 714) 504-2950	CAL-CITY CONSTRUCTION, INC./ SOURCE ARCHITECTURE, INC. CONTACT: PAUL KIM 6101 BALL RD. STE #205 CYPRESS, CA 90630 Pkim@source-architecture.com 714) 309-7444	K2 TRAFFIC ENGINEERING, INC CONTACT: KAY HSU 1442 IRVINE BLVD., SUITE 210 TUSTIN, CA 92780 khsu@k2traffic.com 714) 832-2116
SURVEYOR/CIVIL	LANDSCAPE	ENVIRONMENTAL CONSULTANT
FORESIGHT ENGINEERING, INC CONTACT: NADER QOBORSI 17621 IRVINE BLVD., SUITE 210 TUSTIN, CA 92780 nader@foresight-eng.com 714) 542-1214	SOLA, INC CONTACT: SAMUEL K. KIM, ASLA 2669 SATURN STREET BREA, CA 92821 lo@solainc.com 562) 905-0800	GIROUX & ASSOCIATES CONTACT: SARA FRIEDMAN GERRICK 5319 UNIVERSITY DRIVE., #26 IRVINE, CA 92612 hgiroux@att.net 949) 5367-5477
VICINITY MAP		





SITE PLAN SYMBOL LEGEND

- PROJECT BUILDING
- HAMMER HEAD PER OCFA STANDARD
- LANDSCAPE AREA, SEE LANDSCAPE
- BOULEVARD PLAZA, 25% OF PLAZA AREA SHALL BE LANDSCAPED
- PEDESTRIAN WALKWAY, PAVED & LANDSCAPED
- (E) BUILDING

- DIRECTIONAL ARROW MARKING, (2)COAT MIN., TRAFFIC WHITE PAINT
- ACCESSIBLE ROUTE PER 11B-206, MIN. 4'-0" CLEAR WIDTH, MIN. 5' x 5" CLEAR SPACE IN FRONT OF THE DOORS SHOULD BE PROVIDED. THE SLOPE IN THE DIRECTION OF TRAVEL SHOULD BE LESS THAN 5% AND THE SLOPE PERPENDICULAR TO THE DIRECTION OF TRAVEL SHOULD BE LESS THAN 2%. CONTRACTOR TO VERIFY THE SLOPE. ANY NECESSARY WORK SHOULD BE DONE TO ENSURE THE SLOPE AS REQUIRED.

- PROPOSED LANDSCAPE AREA
- ON SITE
 - LANDSCAPE AREA WITHIN PARKING AREA: 2,841 SF
 - 2,841 SF / 19,205 SF(PARKING AREA) * 100 = 14.8 % OF THE PARKING AREA
 - SETBACK LANDSCAPE AREA, S.L.D.
 - BROOKHURST ST. FRONTAGE LANDSCAPE PROVIDED : 1,385 SF
 - GARDEN GROVE BLVD. FRONTAGE LANDSCAPE PROVIDED : 1,211 SF
 - EAST SETBACK LANDSCAPE PROVIDED : 1,643 SF
 - BOULEVARD GARDEN PLAZA LANDSCAPE PROVIDED : 890 SF
 - MISCELLANEOUS : 40 SF
 - ON SITE TOTAL : 8,010 SF
 - ON SITE LANDSCAPE RATIO : 8,010 SF / 80,876 SF = 10.22 %
 - OFF SITE(TREE-WELLS) : 252 SF

PARKING, UNCOVERED, ON GROUND		
PARKING STALLS	COMMERCIAL	RESIDENTIAL
STANDARD 9'x19'	3 EA	0 EA
COMPACT 8'x15'	4 EA	0 EA
ACCESSIBLE 9'x19'	0 EA	0 EA
VAN ACCESSIBLE 13'x19'	0 EA	0 EA
EV ACCESSIBLE W/ CHARGING 13'x19' VAN	0 EA	0 EA
EV STALL W/ CHARGING STATION 9'x19'	0 EA	0 EA
EV STALLS W/O CHARGING STATION 9'x19'	0 EA	0 EA
TOTAL	7 TOTAL	

EALEITY

CONSTRUCTION
DESIGN/BUILD

SOURCE

ARCHITECTURE

6101 BALL RD. STE #205, CYPRESS, CA 90630

P. (714) 309-7444

E. Pkmm@Source-Architect.com

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SEAL/SIGNATURE

CONSULTANT

MIXED-USE BUILDING FOR DR. DAO
10201 & 10231 GARDEN GROVE BLVD
GARDEN GROVE, CA 92843-1041
MR. MICHAEL DAO

PROJECT :

TITLE

SITE PLAN

DATE REVISION BY

DRAWN BY: APPROVED:

DATE: SCALE:

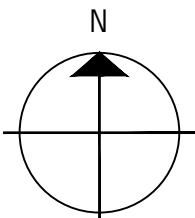
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OF SHEETS

1 SITE PLAN

SCALE: 1" = 20'-0"



PLAN SYMBOL LEGEND

EV STALL CHARGING STATION

ACCESSIBLE ROUTE PER 11B-206, MIN. 4'-0" CLEAR WIDTH, MIN. 5' x 5" CLEAR SPACE IN FRONT OF THE DOORS SHOULD BE PROVIDED. THE SLOPE IN THE DIRECTION OF TRAVEL SHOULD BE LESS THAN 5% AND THE SLOPE PERPENDICULAR TO THE DIRECTION OF TRAVEL SHOULD BE LESS THAN 2%. CONTRACTOR TO VERIFY THE SLOPE. ANY NECESSARY WORK SHOULD BE DONE TO ENSURE THE SLOPE AS REQUIRED.

1ST FLOOR PARKING GARAGE

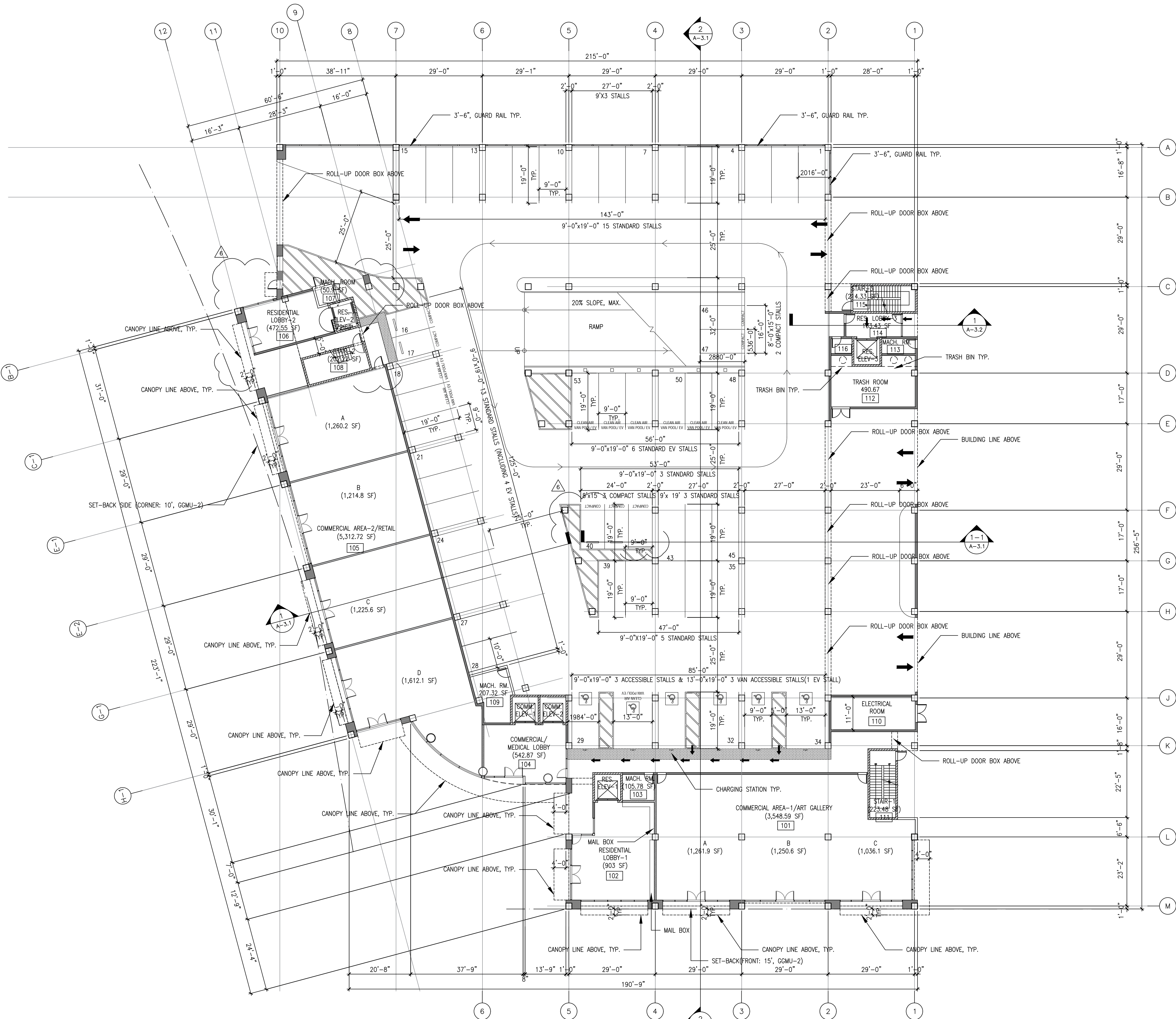
PARKING STALLS	COMMERCIAL	RESIDENTIAL
STANDARD 9'x19'	32 EA	0 EA
COMPACT 8'x15'	5 EA	0 EA
ACCESSIBLE 9'x19'	3 EA	0 EA
VAN ACCESSIBLE 13'x19'	2 EA	0 EA
EV ACCESSIBLE W/ CHARGING 13'x19' VAN	1 EA	0 EA
EV STALL W/ CHARGING STATION 9'x19'	6 EA	0 EA
EV STALLS W/O CHARGING STATION 9'x19'	4 EA	0 EA
TOTAL	53 TOTAL	

TENANT AREA BREAKDOWN (GROSS)

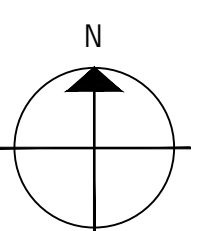
COMMERCIAL TENANT	AREA-1	AREA-2
TENANT A	1,261.9 SF	1,260.2 SF
TENANT B	1,250.6 SF	1,214.8 SF
TENANT C	1,036.1 SF	1,225.6 SF
TENANT D	-	1,612.1 SF
HALLWAY	-	-
TOTAL TENANTS	3,548.6 SF	5,312.7SF
TOTAL COMMERCIAL	8,861.3 SF	

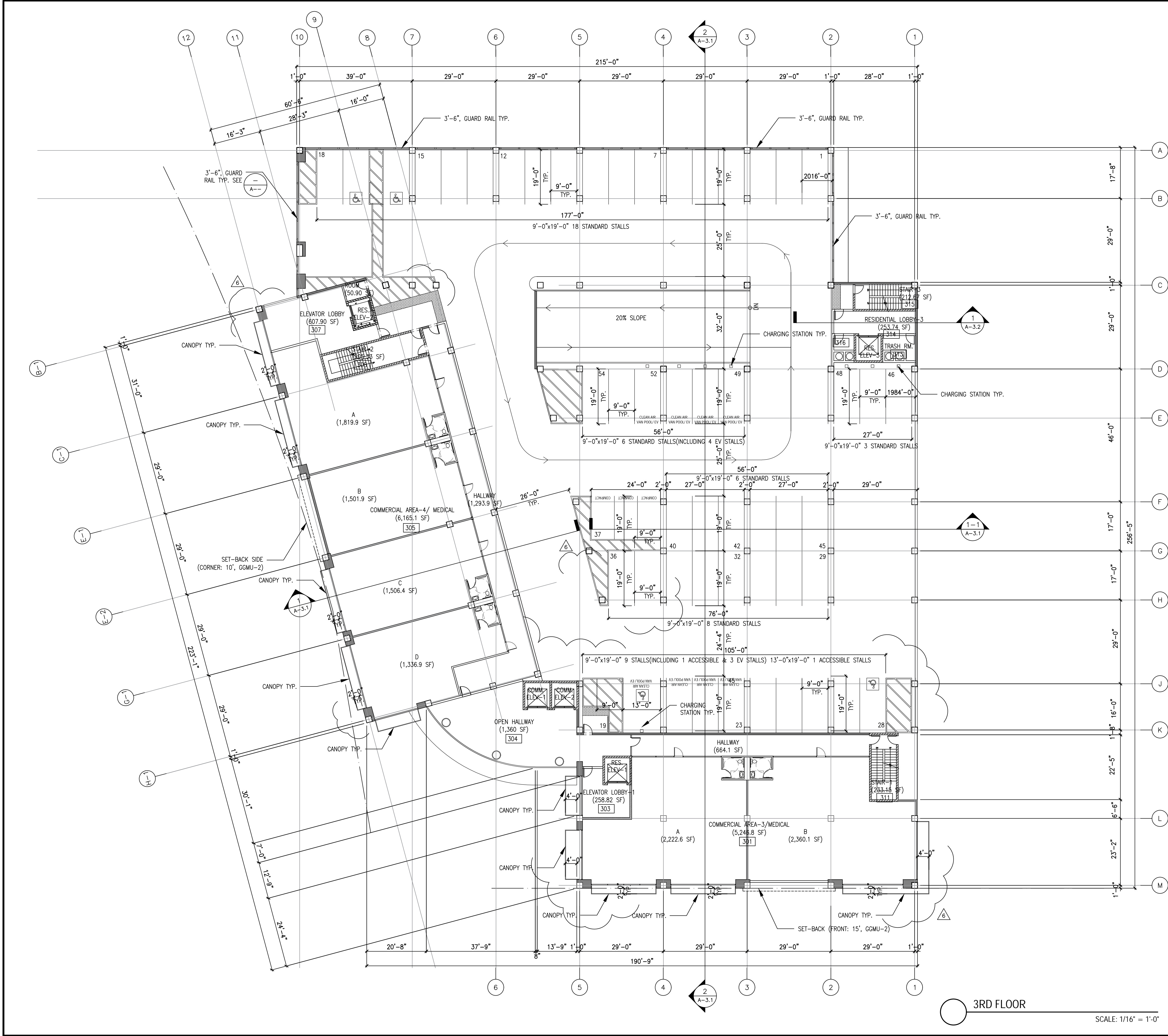
NOTES:

- 1-HR, SEPARATION BETWEEN B.M/R-3/S-2
- STAIRS SHAFT & SHALL BE PROVIDED W/ FIRE RATED ENCLOSURES PER CBC
- ROLL-UP DOORS KEPT OPEN DURING THE BUSINESS HOURS
- ALL PARKING STALLS ARE STANDARD (9'-0" X 19'-0")



1 1ST FLOOR
SCALE: 1/16" = 1'-0"





PLAN SYMBOL LEGEND

EV STALL CHARGING STATION

3RD FLOOR PARKING GARAGE

PARKING STALLS	COMMERCIAL	RESIDENTIAL
STANDARD 9'X19'	0 EA	39 EA
COMPACT 8'X15'	0 EA	3 EA
ACCESSIBLE 9'X19'	0 EA	3 EA
VAN ACCESSIBLE 13'X19'	0 EA	1 EA
VAN ACCESSIBLE EV W/ CHARGING 13'X19'	0 EA	1 EA
EV STALL W/ CHARGING STATION 9'X19'	0 EA	4 EA
EV STALLS W/O CHARGING STATION 9'X19'	0 EA	3 EA
TOTAL		54 TOTAL

TENANT AREA BREAKDOWN (GROSS)

COMMERCIAL TENANT	AREA-3	AREA-4
TENANT A	2,222.6 SF	1819.9 SF
TENANT B	2,360.1 SF	1,501.9 SF
TENANT C	-	1,506.4 SF
TENANT D	-	1,336.9 SF
HALLWAY	664.1 SF	1,293.9 SF
TOTAL TENANTS	5,246.8 SF	7,459 SF
TOTAL COMMERCIAL	12,705.8 SF	

NOTES:

- 1-HR. SEPARATION BETWEEN B,M/R-3/S-2
- STAIRS SHAFT & SHALL BE PROVIDED W/ FIRE RATED ENCLOSURES PER CBC
- ALL PARKING STALLS ARE STANDARD (9'-0"X 19'-0")

3RD FLOOR

SCALE: 1/16" = 1'-0"

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SEAL/SIGNATURE

CONSULTANT

MIXED-USE BUILDING FOR DR. DAO

10201 & 10231 GARDEN GROVE BLVD
GARDEN GROVE, CA 92843-1041

MR. MICHAEL DAO

PROJECT :

TITLE

3RD FLOOR PLAN

DATE REVISION BY

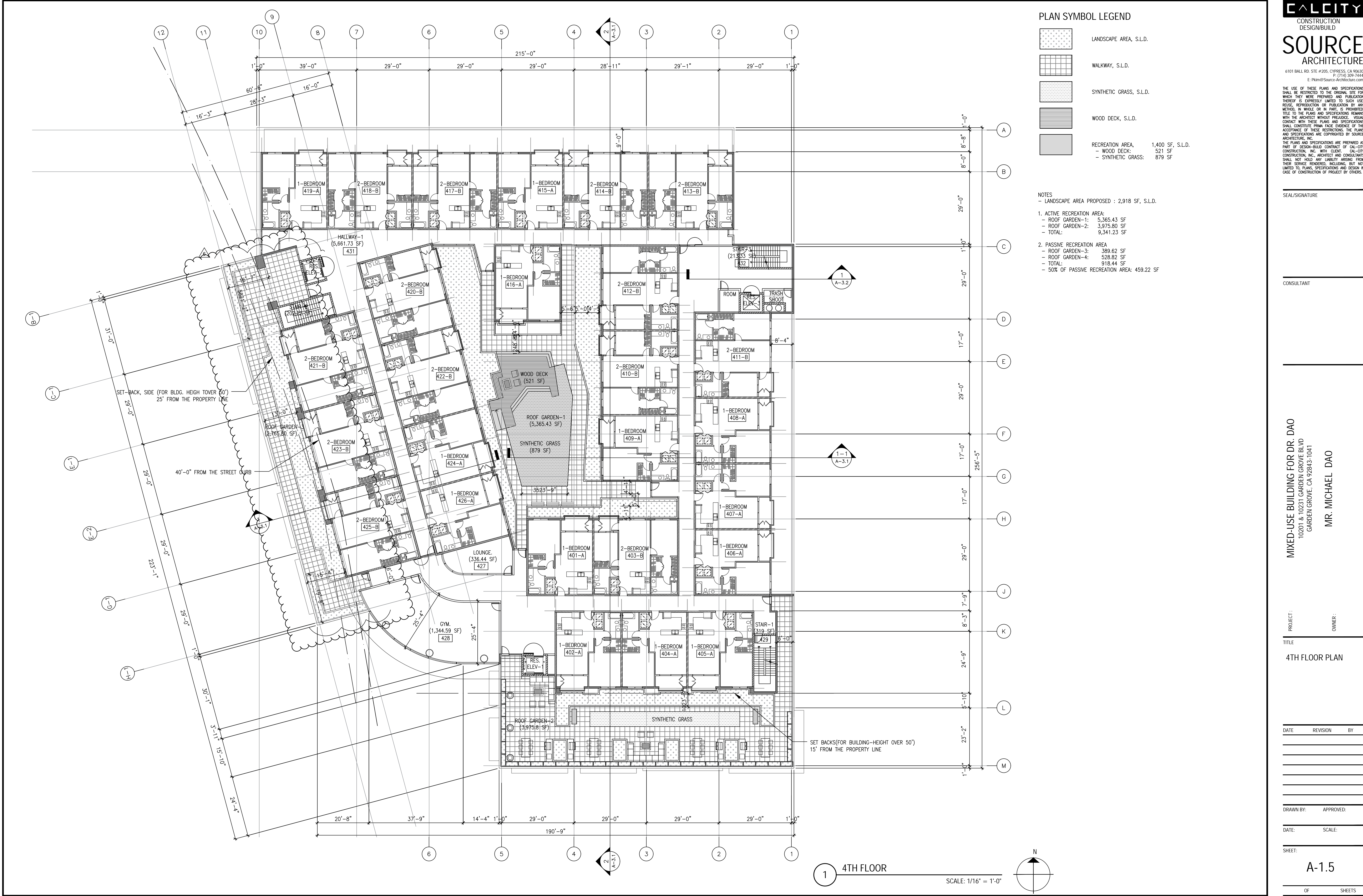
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SEAL/SIGNATURE

CONSULTANT

MIXED-USE BUILDING FOR DR. DAO

10201 & 10231 GARDEN GROVE BLVD
GARDEN GROVE, CA 92843-1041

MR. MICHAEL DAO

PROJECT :

OWNER :

TITLE

ROOF PLAN

DATE	REVISION	BY
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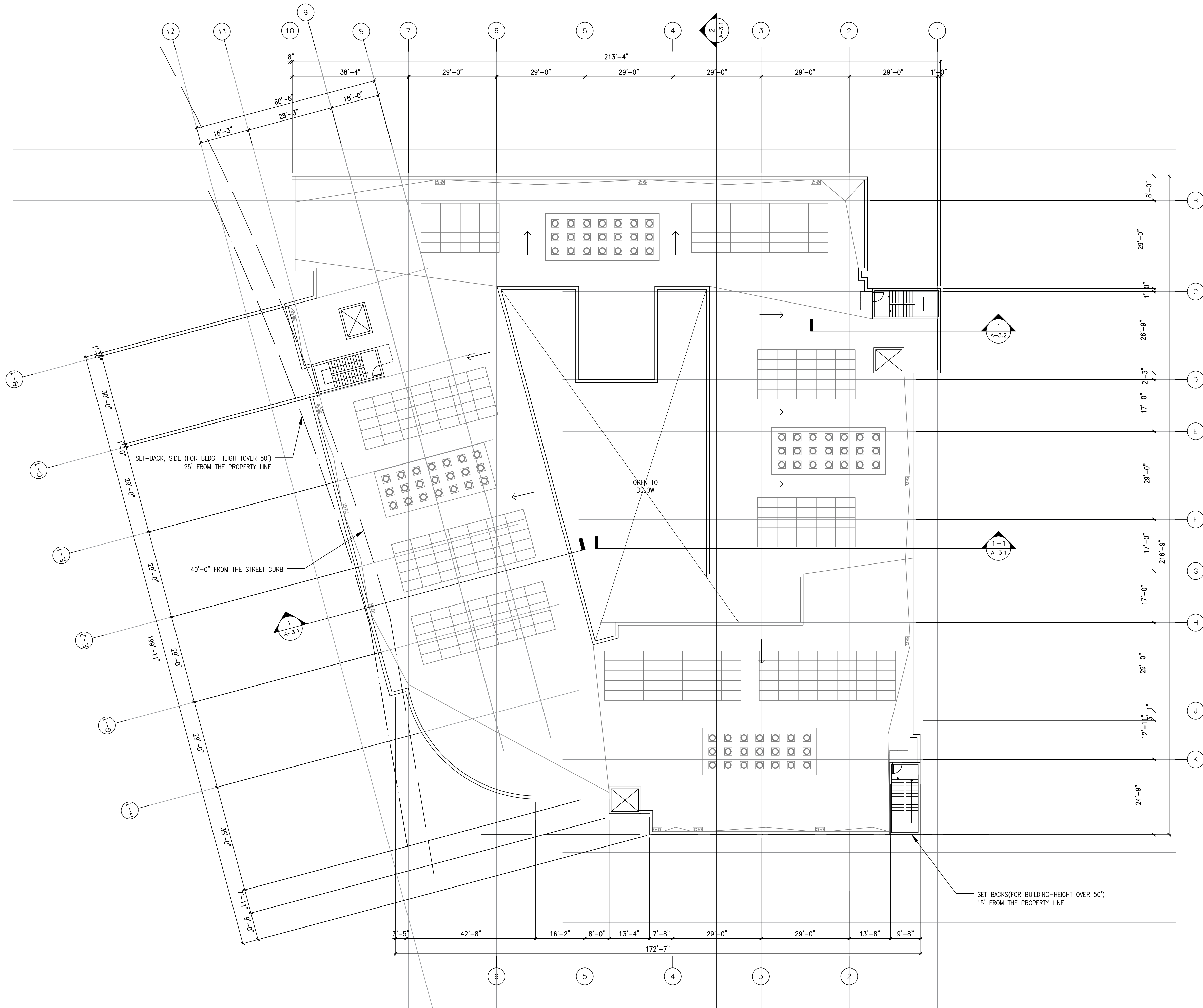
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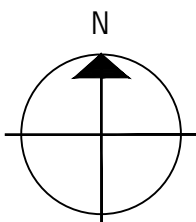
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1 ROOF PLAN

SCALE: 1/16" = 1'-0"



AREA TABULATION

(UNIT: SF)

		1ST FL.	2ND FL.	3RD FL.	4TH FL.	5TH FL.	TOTAL
PARKING STRUCTURE	PARKING	32,252.89	32,645.73	29,256.50	0	0	94,155.12
	RAMP	1,872.49	1,872.49	1,872.49	0	0	5,617.47
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	TOTAL	34,765.42	35,175.92	31,893.65	0	0	101,834.99
COMMERCIAL (B/M)	TENANT	8,861.31	0	12,705.98	0	0	21,567.29
	LOBBY	542.87	0	0	0	0	542.87
	ELEVATOR	174.22	174.22	181.64	0	0	530.08
	MACHINE	207.32	0	0	0	0	207.32
RESIDENTIAL	OPEN HW*	0	548.77	1,360.19	0	0	1,908.96
	TOTAL	9,785.72	174.22	12,887.62	0	0	22,847.56
RESIDENTIAL	LIVING	0	0	0	23,124.50	23,124.50	46,249.00
	BALCONY	0	0	0	1,356.16	1,356.16	2,712.32
	CABINET	0	0	0	186.81	186.81	373.62
	LOBBY	1,517.30	867.06	1,171.44	0	0	3,555.80
	GYM/LOUNGE	0	0	0	1,681.03	1,925.68	3,606.71
	CORRIDOR	0	0	0	5,849.12	5,448.36	11,297.48
	STAIRS	0	0	0	736.87	736.87	1,473.74
	ELEVATOR	264.45	270.78	267.56	263.59	267.25	1,333.63
	MACHINE	264.73	0	0	0	0	264.73
	TRASH	490.67	186.67	186.67	118.11	118.11	1,100.23
	GARDEN*	0	0	10,259.67	0	0	10,259.67
	TOTAL	2,537.15	1,324.51	1,625.67	33,316.19	33,163.74	71,967.26
TOTAL		47,088.29	36,674.65	46,406.94	33,316.19	33,163.74	196,649.81

* OPEN HALLWAY AND GARDEN ARE NOT INCLUDED IN TO THE TOTAL AREA.

LEGEND

	PARKING AREA		RESIDENTIAL LOBBY
	PARKING STAIRS		COMMON AREA
	COMMERCIAL AREA		CORRIDOR
	COMMERCIAL LOBBY		RESIDENTIAL STAIRS
	COMMERCIAL ELEVATOR		RESIDENTIAL ELEVATOR
	COMMERCIAL MACHINE ROOM		RESIDENTIAL MACHINE ROOM
	OPEN HALLWAY		TRASH ROOM
	LIVING AREA		GARDEN

5 FIFTH FLOOR DIAGRAM

SCALE: 1/32" = 1'-0"

4 FOURTH FLOOR DIAGRAM

SCALE: 1/32" = 1'-0"

3 THIRD FLOOR DIAGRAM

SCALE: 1/32" = 1'-0"

2 SECOND FLOOR DIAGRAM

SCALE: 1/32" = 1'-0"

1 FIRST FLOOR DIAGRAM

SCALE: 1/32" = 1'-0"

STOREFRONT REQUIREMENT

- REQUIREMENT: 20%
- PROVIDED: 2,163.88 SF/ 4,385.66 SF= 49.34%

LEGEND

----- COMMERCIAL ELEVATION AREA
OPENING AREA

F	DARK ANNOIDIZED
G	NATURAL WOOD, OAK
H	PAVESTONE, SW 7642, SHERWIN-WILLIAMS
J	MODERN GRAY, SW 7632, SHERWIN-WILLIAMS
K	LIGONIER TAN, SW 7717, SHERWIN-WILLIAMS
L	OFF WHITE SY95, SKYBRIDGE

COLOR KEY NOTES

A-1	CHISELED LIMESTONE/ SUNRIVER BLEND/ CORONADO STONE PRODUCTS
A-2	CHISELED LIMESTONE/ BEIGE/ CORONADO STONE PRODUCTS
B	SW 7645, THUNDER GRAY/ SHERWIN-WILLIAMS
C	SW 7567, NATURAL TAN/ SHERWIN-WILLIAMS
D	SW 7566, WESTHIGHLAND WHITE/ SHERWIN-WILLIAMS
E	PAPER LANTERN, SW 7676, SHERWIN-WILLIAMS

7	AL CURTAIN WALL SYSTEM
8	AL WINDOW
9	ROUND COLUMN ENVELOPE, BONDERIZED SHEET METAL, 16 GAUGE, PAINTED
10	STUCCO FINISH, SMOOTH
11	COLORLED CONCRETE
12	(E) STUCCO FINISH TO REMAIN

MATERIAL KEY NOTES

1	STONE VENEER, FACTORY FINISHED
2	METAL LOUVRE, PRIMED &PAINTED
3	BONDERIZED SHEET METAL 16 GAUGE, PAINTED
4	STEEL CANOPY, PRIMED & PAINTED
5	STEEL, GUARD RAIL W/ WIRE-MESH, PRIMED & PAINTED
6	AL. STORE FRONT SYSTEM, FACTORY FINISHED

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CONSULTANT

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10201 & 10231 GARDEN GROVE BLVD
GARDEN GROVE, CA 92843-1041

MR. MICHAEL DAO

PROJECT :

TITLE

ELEVATIONS_1

DATE

REVISION

BY

DRAWN BY:

APPROVED:

DATE:

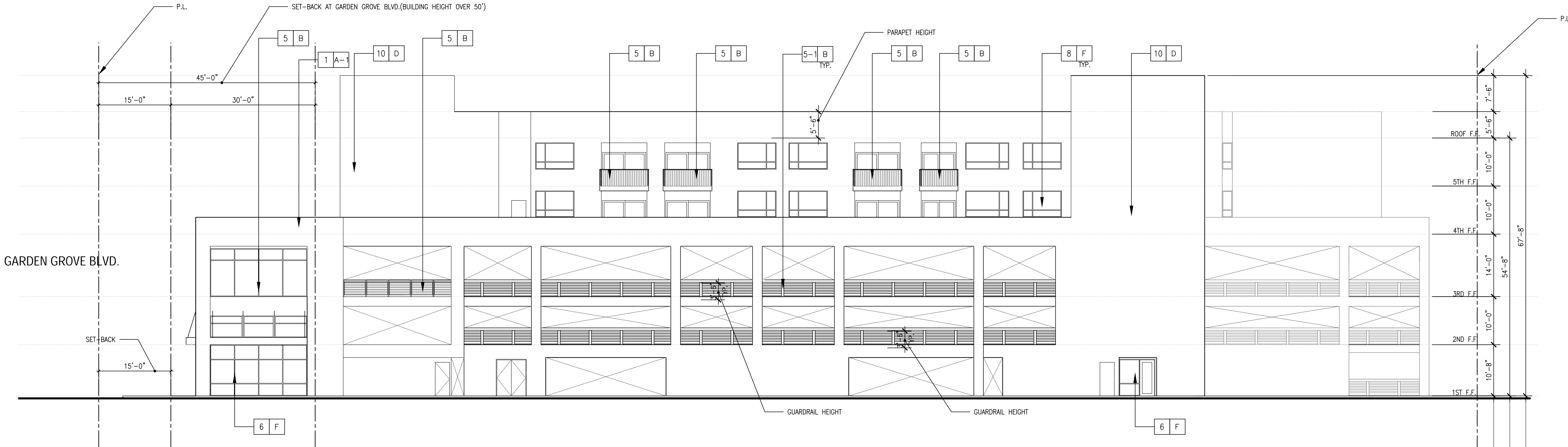
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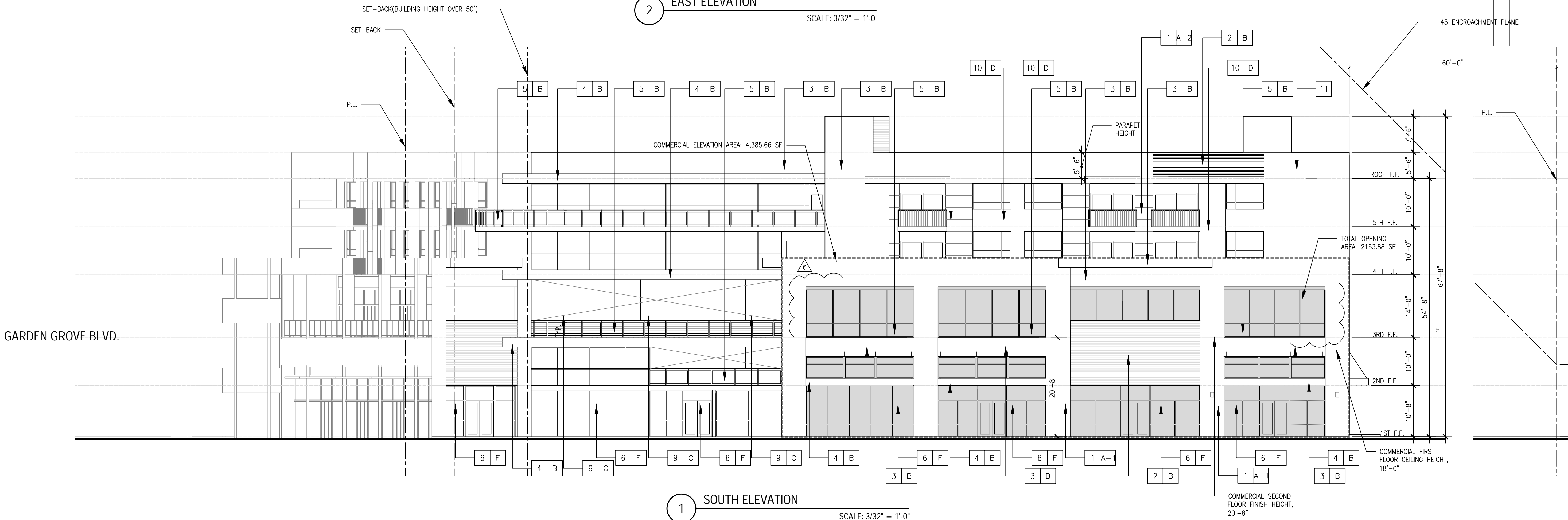
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2 EAST ELEVATION

SCALE: 3/32" = 1'-0"



1 SOUTH ELEVATION

SCALE: 3/32" = 1'-0"

STOREFRONT REQUIREMENT

- REQUIREMENT: 40%
- PROVIDED: 2,848.53 SF/ 5,537.28 SF= 51.44%

LEGEND

----- COMMERCIAL ELEVATION AREA

OPENING AREA

F	DARK ANNOZIDED
G	NATURAL WOOD, OAK
H	PAVESTONE, SW 7642, SHERWIN-WILLIAMS
J	MODERN GRAY, SW 7632, SHERWIN-WILLIAMS
K	LIGONIER TAN, SW 7717, SHERWIN-WILLIAMS
L	OFF WHITE SY95, SKYBRIDGE

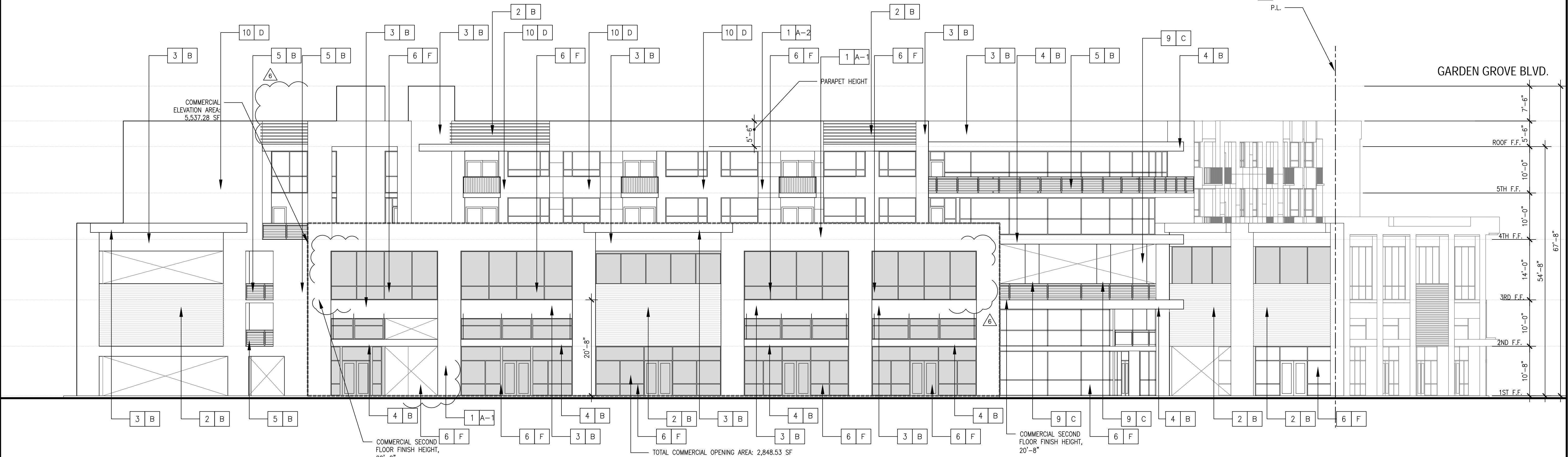
COLOR KEY NOTES

A-1	CHISELED LIMESTONE/ SUNRIVER BLEND/ CORONADO STONE PRODUCTS
A-2	CHISELED LIMESTONE/ BEIGE/ CORONADO STONE PRODUCTS
B	SW 7645, THUNDER GRAY/ SHERWIN-WILLIAMS
C	SW 7567, NATURAL TAN/ SHERWIN-WILLIAMS
D	SW 7566, WESTHIGHLAND WHITE/ SHERWIN-WILLIAMS
E	PAPER LANTERN, SW 7676, SHERWIN-WILLIAMS

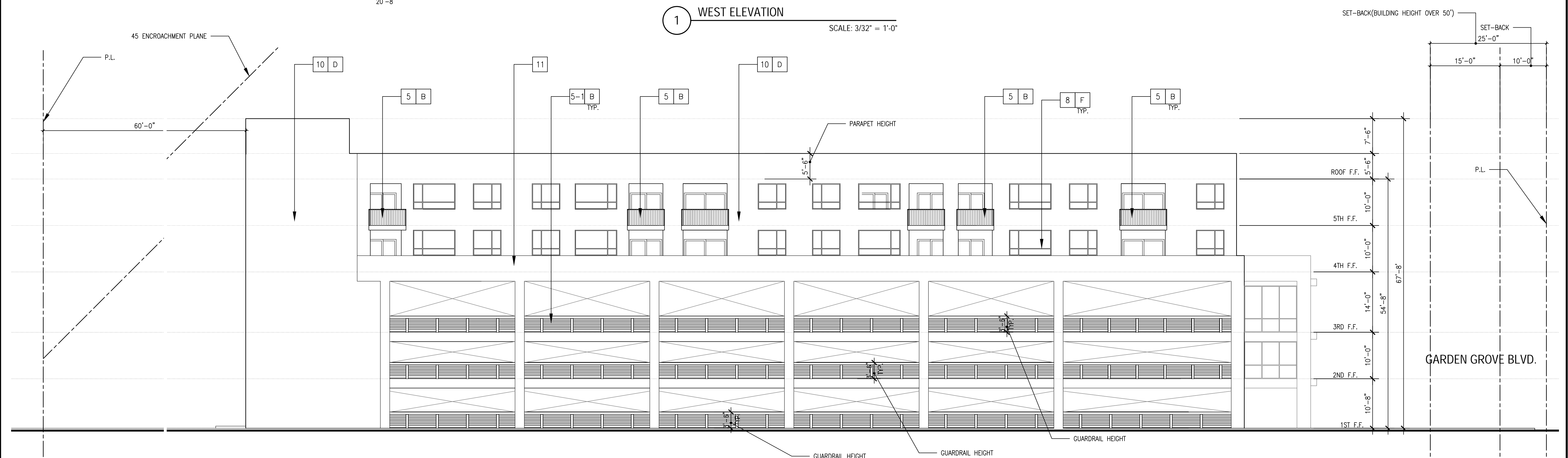
7	AL CURTAIN WALL SYSTEM
8	AL WINDOW
9	ROUND COLUMN ENVELOPE, BONDERIZED SHEET METAL, 16 GAUGE, PAINTED
10	STUCCO FINISH, SMOOTH
11	COLORLED CONCRETE
12	(E) STUCCO FINISH TO REMAIN

MATERIAL KEY NOTES

1	STONE VENEER, FACTORY FINISHED
2	METAL LOUVRE, PRIMED & PAINTED
3	BONDERIZED SHEET METAL 16 GAUGE, PAINTED
4	STEEL CANOPY, PRIMED & PAINTED
5	STEEL, GUARD RAIL W/ WIRE-MESH, PRIMED & PAINTED
6	AL. STORE FRONT SYSTEM, FACTORY FINISHED



1 WEST ELEVATION
SCALE: 3/32" = 1'-0"



1 NORTH ELEVATION
SCALE: 3/32" = 1'-0"

RESOLUTION NO. 6121-25

A RESOLUTION BY THE PLANNING COMMISSION OF THE CITY OF GARDEN GROVE APPROVING A ONE-YEAR TIME EXTENSION FOR SITE PLAN NO. SP-111-2022 AND TENTATIVE PARCEL MAP NO. PM-2021-190 [REFERRED TO AS SP-111-2022(TE2) AND PM-2021-190 (TE2)].

BE IT RESOLVED that the Planning Commission of the City of Garden Grove, in regular session assembled on June 19, 2025, does hereby approve a one (1) year time extension for the entitlements approved under Site Plan No. SP-111-2022 and Tentative Parcel Map No. PM-2021-190, as modified by Minor Modification No. 1, for a property located on the northeast corner of Garden Grove Boulevard and Brookhurst Street, at 10201 and 10231 Garden Grove Boulevard, Assessor's Parcel Nos. 089-072-53 and 089-072-66.

BE IT FURTHER RESOLVED in the matter of the time extension for Site Plan No. SP-111-2022 and Tentative Parcel Map No. PM-2021-190, the Planning Commission of the City of Garden Grove does hereby report as follows:

1. The subject case was initiated by Dr. Michael Dao.
2. The applicant is requesting approval of a one-year time extension for the approved entitlements under Site Plan No. SP-111-2022 and Tentative Parcel Map No. PM-2021-190, as modified by Minor Modification No. 1, which allow the consolidation of two (2) existing parcels into a single 1.86 acre parcel and the construction of a five-story mixed-use development on the 1.86-acre site consisting of 5,312 square feet of retail space, 3,548 square feet for an art gallery use, 10,745 square feet of medical space, and 52 apartment units.
3. On May 19, 2022, the Planning Commission adopted Resolution No. 6041-22 approving Site Plan No. SP-111-2022 and Tentative Parcel Map No. PM-2021-190 to allow the consolidation of two (2) existing parcels into a single 1.86 acre parcel, and the construction of a five-story mixed-use development on the 1.86-acre site consisting of 9,786 square feet of retail space, 9,270 square feet of medical space, and 52 apartment units. Pursuant to the state density bonus law, in exchange for reserving three (3) units for very-low income, the project qualifies for a density bonus, concessions, waivers, and reduced parking. On March 10, 2023, the Community and Economic Development Director approved Minor Modification No. 1 to Site Plan No. SP-111-2022 to authorize (1) a redesign to the elevator lobbies and enclosed stairwells to comply with the Building Code requirements for egress; (2) shifting the third floor commercial tenant space to align with the exterior building plane, along the south and west building elevations, and shifting and redesigning the exterior corridor used to access the commercial tenant space into an interior, enclosed corridor; (3) increasing the size of a roof garden located on the fourth floor, along the west building elevation, from two smaller passive roof gardens with a combined area of 918 square feet to one passive roof garden with an area of 2,765 square feet; and (4) a modification

to Condition of Approval No. 84 to change the allowable square footages of the retail and medical uses while continuing to provide the required number of parking spaces. On June 20, 2024, the Planning Commission approved a one-year time extension (Time Extension No. 1) to Site Plan No. SP-111-2022 and Tentative Parcel Map No. PM-2021-190, as modified by Minor Modification No. 1.

4. Pursuant to the California Environmental Quality Act ("CEQA"), the City of Garden Grove previously determined that the proposed project was categorically exempt from the CEQA pursuant to Section 15332 (In-Fill Development Projects) of the CEQA Guidelines (14 Cal. Code Regs., Section 15303). As set forth in the Class 32 exemption, the proposed project is: (1) consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations; (2) the proposed development occurs within City limits on a project site of no more than five acres substantially surrounded by urban uses; (3) the project site has no value as habitat for endangered, rare or threatened species; (4) approval of the project would not result in any significant effects relating to traffic, noise, air quality or water quality; and (5) the site can be adequately served by all required utilities and public services.
5. The property has a General Plan Land Use designation of Residential/Commercial Mixed Use 2 and is zoned GGMU-2 (Garden Grove Boulevard Mixed Use 2). The site is currently vacant. The property was previously occupied by a furniture store and a used car dealership business. The building structures associated with these uses were demolished in 2019.
6. Existing land use, zoning, and General Plan designation of property in the vicinity of the subject property have been reviewed.
7. Report submitted by City staff was reviewed.
8. Pursuant to a legal notice, a public hearing was held on June 19, 2025, and all interested persons were given an opportunity to be heard.
9. The Planning Commission gave due and careful consideration to the matter during its meeting of June 19, 2025; and

BE IT FURTHER RESOLVED, FOUND AND DETERMINED that the facts and reasons supporting the conclusion of the Planning Commission, as required under Municipal Code Section 9.32.030.D.9, are as follows:

FACTS:

The project site is comprised of two (2) parcels, with a combined land area of 1.86 acres, located on the northeast corner of Garden Grove Boulevard and Brookhurst Street. The subject site has a General Plan Land Use designation of Residential/Commercial Mixed Use 2, and is zoned GGMU-2 (Garden Grove Boulevard Mixed Use 2). The Residential/Commercial Mixed Use 2 land use designation is intended to allow a mix of residential and commercial uses around older and underutilized commercial development, while the GGMU-2 zone allows for mixed-use developments.

The project site is located in an area developed with commercial and residential developments. The project site abuts a GGMU-2 zoned property to the north developed with a four-story office professional building and a one-story restaurant building; a Planned Unit Development (PUD-101-95) zoned residential development to the east, developed with 104 detached, three-story, residential homes; GGMU-3 zoned properties to the south, across Garden Grove Boulevard, developed with a Wienerschnitzel restaurant and an auto body shop; and PUD-123-09 zoned parcels to the west, across Brookhurst Street, entitled for the Brookhurst Triangle Project. The project site is also located in close proximity to two mixed-use projects: the Brookhurst Triangle Project and the Garden Brook Senior Village Project (10032 Garden Grove Boulevard).

On May 19, 2022, the Planning Commission approved Site Plan No. SP-111-2022 and Tentative Parcel Map No. PM-2021-190. The approval allowed the consolidation two (2) existing parcels into a single 1.86 acre parcel and the construction of a five-story mixed-use development on the 1.86-acre site consisting of 9,786 square feet of retail space, 9,270 square feet of medical office space, and 52 apartment units. Pursuant to the State Density Bonus law, in exchange for reserving three (3) of the apartment units for very low-income households, the applicant qualified for density bonus, concessions, and waivers and reduced parking.

On March 10, 2023, the Community and Economic Development Director approved Minor Modification No. 1 to Site Plan No. SP-111-2022 to redesign elevator lobbies and enclosed stairwells to comply with the Building Code requirements for egress; to shift the third floor commercial tenant space to align with the exterior building plane, along the south and west building elevations, and to shift and redesign the exterior corridor used to access the commercial tenant space into an interior, enclosed corridor; increasing the size of a roof garden located on the fourth floor, along the west building elevation, from two (2) smaller passive roof gardens; and to modify Condition of Approval No. 84 to change the allowable square footages of the retail and medical uses while continuing to comply with the required parking.

On June 20, 2024, the Planning Commission approved a one-year time extension (Time Extension No. 1) for the approved entitlements under Site Plan No. SP-111-2022 and Tentative Parcel Map No. PM-2021-190, as modified by Minor

Modification No. 1, which extended the land use entitlement expiration date to June 9, 2025.

On May 19, 2025, prior to the expiration of the subject entitlements, the applicant filed a land use application with the City requesting a second one-year time extension (Time Extension No. 2) of Site Plan No. SP-111-2022 and Tentative Parcel Map No. PM-2021-190, as modified by Minor Modification No. 1.

In accordance with the Municipal Code, and because the approved entitlements were not yet exercised, the applicant is now requesting a second one-year year time extension (Time Extension No. 2) to the previously approved entitlements. No changes are proposed to the previously approved project.

Approval of the time extension would extend the approval of SP-111-2022 and Tentative Parcel Map No. PM-2021-190, as modified by Mionr Modification No. 1, to June 9, 2026.

FINDINGS AND REASONS:

Time Extension:

1. A request for a time extension, including the reasons therefore, has been submitted prior to the permit expiration date, or the hearing body finds that due to special circumstances demonstrated by the property owner or the applicant, a late-filed request should be considered.

The applicant submitted a timely request to extend the Site Plan and Tentative Parcel Map approvals of the subject project for one (1) year, prior to the entitlement expiration date of June 9, 2025. The project is currently in the City undergoing grading and building plan review, and the applicant is working to address the final remaining corrections. In addition, the parcel map is being reviewed by the County Surveyor's Office. Delays to the recordation of the parcel map have occurred due to an existing property easement that the applicant is working to resolve. The applicant anticipates that permits for the project will be obtained, and the project construction will commence, within the timeframe of this time extension.

The applicant is requesting the time extension to finalize the parcel map, and the grading and building construction plans to receive permits to commence with the project construction. The time extension would extend the land use entitlement expiration date by one-year to June 9, 2026.

2. There has been no change in the General Plan designation or Zoning of the site that would render the development or use nonconforming.

The subject site's General Plan Land Use Designation of Residential/Commercial Mixed Use 2 and zoning of GGMU-2 (Garden Grove Boulevard Mixed Use 2) have not changed since the original approval May 19, 2022. Therefore, the development will not be rendered nonconforming.

3. There are no land use actions or studies currently underway that would have the potential to render the development or use nonconforming.

There are no known studies or actions that would affect the site or proposed development that would possibly render the development nonconforming.

INCORPORATION OF FACTS AND FINDINGS SET FORTH IN STAFF REPORT

In addition to the foregoing, the Planning Commission incorporates herein by this reference, the facts and findings set forth in the staff report.

BE IT FURTHER RESOLVED that the Planning Commission does conclude:

1. The Time Extensions for the approved Site Plan and Tentative Parcel Map do possess characteristics that would indicate justification of the request in accordance with Municipal Code Sections 9.32.030.D.9 (Time Extension).
2. In order to fulfill the purpose and intent of the Municipal Code, and, thereby, promote the health, safety, and general welfare, the originally approved conditions of approval for Site Plan No. SP-111-2022 and Tentative Parcel Map No. PM-2021-190, as modified pursuant to Minor Modification No. 1, shall remain in effect.

COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT PLANNING STAFF REPORT

AGENDA ITEM NO.: C.4.	SITE LOCATION: Northeast corner of Garden Grove Boulevard and Brookhurst Street at 10201 and 10231 Garden Grove Boulevard
HEARING DATE: May 19, 2022	GENERAL PLAN: Residential/Commercial Mixed Use 2
CASE NOS.: Site Plan No. SP-111-2022 and Tentative Parcel Map No. PM-2021-190	ZONE: GGMU-2 (Garden Grove Boulevard Mixed Use 2)
APPLICANT: Dr. Michael Dao	APN: 089-072-53, 089-072-66
PROPERTY OWNER: Same as applicant	CEQA DETERMINATION: Exempt- Section 15332 "In-Fill Development Projects"

REQUEST:

The applicant is requesting Tentative Parcel Map approval to consolidate two (2) existing parcels into a single 1.86 acre parcel and Site Plan approval to construct a five-story mixed-use development on the 1.86-acre site with 9,786 square feet of retail space, 9,270 square feet of medical space, and 52 apartment units. Pursuant to the State Density Bonus law, in exchange for reserving three (3) of the apartment units for very low-income households, the applicant is requesting a density bonus of seven residential units (7) and the following concession/incentive and waivers from the GGMU-2 (Garden Grove Boulevard Mixed Use 2) zone development standards: (1) a concession to allow each unit to deviate from the minimum private balcony area and dimensions for each unit, (2) a waiver to deviate from the minimum active recreation dimensions and to allow the indoor and roof deck recreation areas to contribute to more than 50% of the required open space; (3) a waiver to allow the building to exceed the maximum building height of 50 feet or 4-stories; and (4) a waiver to deviate from the minimum 300 cubic feet of private storage per unit.

BACKGROUND:

The project site is comprised of two (2) parcels with a combined land area of 1.86-acres located on the northeast corner of Garden Grove Boulevard and Brookhurst Street. The subject site has a General Plan Land Use designation of Residential/Commercial Mixed Use 2, and is zoned GGMU-2 (Garden Grove Boulevard Mixed Use 2).

The project site is located in an area developed with commercial and residential developments. The project site abuts a GGMU-2 zoned property to the north developed with a four-story office professional building and a one-story restaurant building; a Planned Unit Development (PUD-101-95) zoned residential development to the east

developed with 104 detached, three-story, residential homes; GGMU-3 zoned properties to the south, across Garden Grove Boulevard, developed with a Wienerschnitzel restaurant and an auto body shop; and PUD-123-09 zoned parcels to the west, across Brookhurst Street, entitled for the Brookhurst Triangle Project.

The project site is located in the vicinity of two (2) new mixed-use projects: the Brookhurst Triangle Project and the Garden Brook Senior Village Project. The Brookhurst Triangle Project is scheduled to be developed in phases and allows up to 600 residential units and up to 200,000 square feet of commercial/retail uses. Phase 1 of the Brookhurst Triangle Project, 180 apartment units, was completed in 2018. The project is also located in close proximity to a second mixed-use project, the Garden Brook Senior Village (10032 Garden Grove Boulevard), which is an eight-story mixed-use project, with 11,041 square feet of commercial space and 394 senior units, which is currently under construction.

The Residential/Commercial Mixed Use 2 land use designation is intended to allow a mix of residential and commercial uses around older and underutilized commercial developments, while the GGMU-2 zone allows for mixed-use developments.

The applicant purchased the project site in 2019. The project site is currently vacant and secured with a perimeter chain-link fence. The project site was previously developed and occupied by a furniture store (10201 Garden Grove Boulevard) and a used car dealership (10231 Garden Grove Boulevard) since the late 1950s. In 2019, building permits were issued to demolish all on-site building structures.

The applicant proposes to develop the project site with a five-story, mixed-use development consisting of both commercial lease space and residential units. The project will consist of 19,056 square feet of commercial spaces (9,786 square feet for retail use and 9,270 square feet for medical use), and 52 apartment units, which includes a density bonus of approximately 15.55%. The Project will reserve three (3) units for "very low-income" households. A Density Bonus Housing Agreement will be recorded to restrict the affordability of the units for 55-years.

The applicant has requested State Density Bonus allowances for density, parking, and concession and waivers to deviate from the GGMU-2 development standards. The applicant is requesting one (1) concession and three (3) waivers from the GGMU-2 zone development standards: (1) a concession to deviate from Section 9.18.110.030.F.1 of the Municipal Code that requires each unit to provide a private balcony with minimum dimensions of 9 feet and a minimum area of 90 square feet; (2) a waiver to deviate from Section 9.18.110.030.F.2 of the Municipal Code, which requires active recreation areas to maintain minimum dimensions of 20 feet, and limits indoor or roof deck recreation areas from contributing no more than 50% to the required recreation area; (3) a waiver to deviate from Section 9.18.090.020 of the Municipal Code that requires a maximum building height of 50 feet or 4 stories; and (4) a waiver to deviate from Section 9.18.110.030.H.2 of the Municipal Code, which requires each unit to provide a minimum of 300 cubic feet of storage per unit.

PROJECT STATISTICS:

	Provided	Code Requirement	Meets Code	Requires a Concession or Waiver
Total Lot Size	1.86-acres (Net)	15,000 S.F.	Yes	
Maximum Commercial (FAR)¹	0.235	0.50	Yes	
Commercial Component	19,056 S.F. Retail: 9,786 S.F. Medical: 9,270 S.F.	40,550 S.F. (Max)	Yes	
Residential Density	27.95 units per acre ²	24 units per acre	State Density Bonus Law	
Residential Units	52 units ²	45 units	State Density Bonus Law	
Total Parking				
Residential Parking	65	65 ³	State Density Bonus Law	
Commercial Parking	117	104	Yes	
Total	182	169	Yes	
Recreation Area Total	16,961 S.F.	15,600 S.F.	Yes	
Recreation Area	14,249 S.F.		State Density Bonus Law	Yes
Private Balcony	2,712 S.F.			
Building Setbacks				
North (Rear)	10'-3"	None	Yes	
South (Front)	15'-0"	15'-0"	Yes	
East (Side)	60'-3"	10'-0" plus encroachment plan	Yes	
West (Corner Street)	11'-5"	10'-0"	Yes	
Building Height	54'-8" (overall to elevator shaft: 67'-8")	50'-0 or 4-stories	State Density Bonus Law	Yes
Building Height Stepbacks⁵				
Garden Grove Boulevard	34'-8" high	50'-0" height within 45 feet		
Brookhurst Street	34'-8" high	50'-0" height within 25 feet		

1. Floor Area Ratio (F.A.R.): means the ratio of total net building area to the total lot area.
2. The applicant requests a State Density Bonus to increase the project's density by 22.5%, which entitles the project to eleven (11) additional units above the base density. However, the project will only provide seven (7) additional units above the base density.
3. The State Density Bonus law requires parking at 1 space per 1 bedroom unit, and 1.5 spaces per 2-3 bedroom unit.
4. While the project complies with the total required recreation area, a concession and waivers are requested to facilitate the development of the project, as discussed in the concession and waiver section of the report
5. The code requires building heights within 45 feet of the Garden Grove Boulevard property line not to exceed 50 feet in height, and building heights within 25 feet of the Brookhurst Street property line not to exceed 50 feet in height.

Residential Units

Number of Bedrooms/Baths	Total Living Area	Total Number of Units
1 Bedroom, 1 Bath	756 S.F.	26
2 Bedrooms, 2 Bath	1,006 S.F.	26
	Total	52

DISCUSSION:

State Density Bonus Law:

The State Density Bonus Law (Section 65915 *et seq.* of the California Government Code) entitles applicants to a density bonus, concessions, waivers, and reduced parking to encourage the construction of affordable housing units. The applicant has developed its proposal based on the State Density Bonus law allowances. In exchange for providing three (3) “very low-income” units, the applicant has requested a density bonus, one (1) concession and three (3) waivers to deviate from the development standards of the GGMU-2 zone, and to apply parking ratios established by the State Density Bonus law.

Under the GGMU-2 zone, the base density for the site, which is the maximum number of units allowed by the zone, is 45 dwelling units. The applicant has offered to reserve three (3) of the apartment units, or slightly more than 6% of the base density, for very low-income households. Under the State Density Bonus Law, this entitles the applicant to a density bonus of up to 22.5%. A density bonus of 22.5% allows eleven (11) additional units above the base density, for a total of 56 units. However, the applicant only proposes to construct seven (7) additional units above the base density, for a total of 52 units.

The Project has been designed to comply with the parking requirements of the State Density Bonus, which requires one (1) parking space for each one (1) bedroom unit, and one and one-half (1.5) parking spaces for each two (2) to three (3) bedroom unit. The project provides 26 one-bedroom units, and 26 two-bedroom units, which requires a total of 65 parking spaces.

Concession and Waivers

The applicant has requested one (1) concession and three (3) waivers pursuant to the State Density Bonus Law to facilitate the development of the Project.

The State Density Bonus Law provides that, in addition to a density bonus, an applicant is entitled to one (1) “concession or incentive” if it offers to restrict 5% of the housing units (excluding the density bonus units) for very low-income households. A “concession or incentive” includes a reduction in site development standards or a modification of zoning code requirements or architectural design requirements. The State Density Bonus Law provides that a city must grant a requested concession or incentive unless it makes a written finding, based upon substantial evidence, that the

concession or incentive (1) does not result in identifiable and actual cost reductions to provide for affordable housing costs or rents for the targeted units; (2) would have a specific, adverse impact upon public health and safety or on any real property that is listed in the California Register of Historical Resources and for which there is no feasible method to satisfactorily mitigate or avoid the specific, adverse impact without rendering the development unaffordable to low-income and moderate-income households; or (3) would be contrary to state or federal law.

The following concession is requested for the Project:

Concession 1: The applicant requests a concession to deviate from Section 9.18.110.030.F.1 of the Municipal Code that requires each unit to provide a private balcony with minimum dimensions of 9 feet and a minimum area of 90 square feet. The project is designed to provide a private balcony for each unit that is less than the minimum dimension and minimum area required by the Municipal Code. Each 1-bedroom unit (total of 26 units) is designed with a private balcony with a dimension of 5'-8" in one direction and an area of 59.97 square feet. Each 2-bedroom unit (total of 26 units) is designed with a private balcony with a dimension of 5'-10" in one direction and an area of 44.71 square feet. While the private balconies deviate from the minimum dimension and area required by the code, the balconies are of adequate size to render the space usable by tenants. Furthermore, the total recreation area proposed by the development of 16,961 square feet exceeds the minimum code requirement of 15,600 square feet.

The State Density Bonus Law provides that, in addition to a density bonus and concessions or incentives required to be provided, an applicant may also request the waiver or reduction of development standards that will have the effect of physically precluding the construction of the proposed development, with the required density bonus and concessions or incentives. Similar to a concession or incentive, a city must waive or reduce a development standard that would physically preclude construction of the proposed development unless the waiver or reduction (1) would have a specific, adverse impact upon health or safety, and for which there is no feasible method to satisfactorily mitigate or avoid the specific adverse impact; (2) would have an adverse impact on any real property that is listed in the California Register of Historical Resources; or (3) would be contrary to state or federal law.

The following waivers are requested for the Project:

Waiver 1: The applicant requests a waiver to deviate from Section 9.18.110.030.F.2 of the Municipal Code, which requires active recreation areas to maintain minimum dimensions of 20 feet, and limits indoor or roof deck recreation areas from contributing no more than 50% to the required recreation area.

The project will provide recreation areas to serve the residential component designed as indoor space and roof decks. The recreation areas are located on the fourth and fifth floors of the project. The active recreation areas are designed as two (2) large roof gardens (Roof Garden No. 1 and No. 2) located on the fourth floor roof deck, and an indoor gym and indoor lounge, each located on the fourth and fifth floors. Roof Garden

No. 1 and No. 2 and the two (2) indoor lounges have dimensions of less than 20 feet in one direction. The two (2) roof gardens have walkways within the recreation area, including several with adjoining landscape planters, that are less than 20-feet wide. The width vary in size from approximately 5 feet to 15 feet. These walkways and landscape planters are an integral part of the recreation area. Nevertheless, while the walkways that serve the roof garden are less than 20-feet wide, each roof garden provides a usable recreation space to accommodate appropriate outdoor activities. Roof Garden No. 1 provides a total area of 5,365 square feet, while Roof Garden No. 2 provides a total area of 3,975 square feet.

Furthermore, the two (2) indoor lounges are smaller recreation areas with an area of 336 square feet and 428 square feet, and with dimensions of less than 20 feet, with approximately 6 feet at the narrowest portion and approximately 14 feet at the widest portion of the room. The indoor lounges are intended to be used as community rooms that will be appropriately furnished to encourage residents to socialize or to serve as a quiet area for reading.

Also, the applicant proposes to count 100% of the total area of the indoor gym, indoor lounge, and roof gardens toward the total recreation area requirement. Currently, the Municipal Code allows up to 50% of the area of an indoor recreation space and roof decks to count toward the required recreation area. The purpose of this provision is to require projects to design the majority of the recreation area on the ground-level. The proposed project is designed as a five-story, urban, mixed-use project. The ground-level is designed to accommodate the project's vehicular circulation, drive-aisles, parking, and turn-around areas. Based on the design of the project, locating a major portion of the recreation area on the ground-level is not feasible. The recreation area for the project is proposed on the fourth and the fifth floors, which includes a combination of usable roof decks and indoor recreation areas. The project includes four (4) indoor recreation areas (two (2) gyms and two (2) lounge areas), and roof gardens that are secured and conveniently located to the residential units. Allowing 100% of the indoor recreation areas and the roof gardens to count toward the required recreation area allows the project to comply with its recreation requirement in a configuration that is more conducive to an urban, mixed-use project.

Waiver 2: The applicant requests a waiver to deviate from Section 9.18.090.020 of the Municipal Code that requires a maximum building height of 50 feet or 4 stories. The project is designed as a five-story building with an overall building height of 54'-8" to the roof line, which exceeds the maximum stories and building height of the GGMU-2 zone. The project also includes roof structures that will house the elevator shaft and stairwells, and parapet walls to screen roof equipment that extends 13'-0" and 5'-6", respectively, above the roof line. Section 9.18.100.020.F of the Municipal Code allows roof structures for elevator shafts and stairways, and parapet walls to extend 15'-0" above the building roof height. The proposed building height of the roof extension complies with the code once the waiver for the building height deviation is granted.

The waiver will allow the building to exceed the 50'-0" building height and the 4-story requirement in order to accommodate a 3-level parking structure. The commercial component will be located on the first and third floors of the building, the parking

structure will be located on the first, second, and third floors, while the residential units will be located on the fourth and fifth floors. The building height increase from 50'-0" to 54'-8" to the roof line will not create impacts to the adjacent residential use located to the east since the project is designed to comply with the encroachment plane requirement of the mixed-use zone. The encroachment plane requires the building to maintain a 45-degree angle that commences 15 feet above the grade of the property line located adjacent to the residential use to buffer the residential use from taller and denser developments. The project maintains the required encroachment plane distance as measured from the easterly property line. The proposed building will maintain a 60'-3" setback from the eastern property line to screen, buffer, and to minimize impacts to the adjacent residential use from the first three floors, and a 68'-3" setback from the fourth and fifth floors. Furthermore, while the building height to the roof line will be 54'-8," the overall building height as measured to the top of the parapet wall and to the top of the elevator shaft and stairwell will be 60'-2" and 67'-8," respectively.

Waiver 3: The applicant requests a waiver to deviate from Section 9.18.110.030.H.2 of the Municipal Code, which requires each unit to provide a minimum of 300 cubic feet of storage per unit. This storage area is not part of the normal closet space that is provided in bedrooms or in cupboards, but is additional storage space that is required by the code for each unit. The applicant proposes to provide 70.83 cubic feet of storage for each 2-bedroom unit, and 58.5 cubic feet for each 1-bedroom unit. The storage is designed as a storage closet located within each unit's private balcony. The reduction to the storage area allows the developer to earmark building area to each unit for purposes of meeting the minimum unit living area. The code requires a living area of 750 square feet for 1-bedroom units, and a living area of 900 square feet for 2-bedroom units. Each 1-bedroom unit is designed with approximately 756 square feet of living area, and each 2-bedroom unit is designed with approximately 1,006 square feet of living area.

A copy of the density bonus application for the project is attached as Exhibit A, and includes the applicant's justification for granting the concession and waivers to facilitate the development of the project.

Site Design and Circulation:

The applicant proposes to construct a five-story, mixed-use development consisting of 19,056 square feet of commercial space and 52 residential apartment units with a State Density Bonus. The project incorporates a three (3) level parking structure that will serve the commercial and residential uses.

The building footprint occupies the westerly two-thirds portion of the site. The building's commercial storefront is oriented toward Garden Grove Boulevard and Brookhurst Street with a garden plaza located at the southeast corner of the lot. The site design includes an uncovered drive-aisle located along the easterly portion of the site, and a secondary drive-aisle located on the northwest corner of the site.

The site design incorporates several pedestrian walkways that connect the site from the Garden Grove Boulevard and Brookhurst Street sidewalks to promote pedestrian

activity. These walkways connect directly to each storefront and to the garden plaza. On-site walkways are also provided that run parallel to the building's storefront to connect the ground-level tenants and the garden plaza. Additional walkways are provided to access the parking structure and the interior sides of the project.

The vehicular access to the site will be provided from a new drive approach on Garden Grove Boulevard, and a new drive approach from Brookhurst Street. The drive approach located on Garden Grove Boulevard leads directly to a drive-aisle that circulates along the east side of the project site. The drive-aisle incorporates seven (7) parking spaces located along the easterly property line, a designated vehicle lane with a residential call box, and an emergency vehicle turn-around area. The drive-aisle also connects to the parking structure.

The parking structure is designed with three (3) vehicular entry points that are served by the easterly drive-aisle. Two (2) entry points are located in the center of the drive-aisle, and the third entry point is located at the most northerly portion of the drive-aisle, adjacent to the emergency turn-around area. The parking structure also includes one (1) entry point on the west side of the structure that is accessed directly from Brookhurst Street.

The parking structure will include roll-up gates to secure the structure during non-business hours. A sliding gate is also proposed at the center most portion of the easterly drive-aisle that will be closed during non-business hours. The parking structure's gates, and the drive-aisle sliding gate, will remain open during the day when the commercial tenants are in operation, typically from 8:00 a.m. to 8:00 p.m. During non-business hours, the gates will be closed, and residents will use a gate remote to access the parking structure from the northerly entrance from the easterly drive-aisle. The project is designed to provide adequate turn-around area in front of the parking structure gates to allow guests to safely maneuver vehicles off of the site if access to the parking structure is unavailable.

The project will also provide the appropriate red curbs and "No Parking" signs to allow maneuvering of trash trucks and emergency vehicles within the turn-around area.

The project is required to maintain a six-foot high, decorative masonry block wall along the north and east property lines.

Building Floor Plan Design

The proposed Project is a mixed-used development with approximately 19,056 square feet of commercial space, and 52 residential apartment units.

The GGMU-2 zone allows a maximum commercial floor area ratio (FAR) of 0.5, and a maximum residential density of 24 units per acre. The proposed Project will provide a commercial FAR of 0.235, and through a State Density Bonus, the project will provide a residential density of 27.5 units per acre. The base density of the project is 45 units, and the project will provide seven (7) additional "density bonus" units above the base density, for 52 units. The project will reserve three (3) units for "very low income"

households as required by the State Density Bonus. It should be noted that a density bonus of 22.5% entitles the project to eleven (11) additional units above the base density for total of 56 units; however, the applicant only proposes to construct seven (7) units above the base density.

The proposed building is five-stories with an integrated three-level parking structure. The distribution of uses within the building include commercial tenants and parking on the first floor, parking on the second floor, commercial tenants and parking on the third floor, and residential units on the fourth and fifth floors.

The first floor includes two (2) commercial tenant areas that are intended for retail use, while the third floor includes two (2) commercial tenant areas that are intended for medical use. The plan calls for a commercial shell that will be divided as tenants are identified. The building includes separate lobby areas with elevators to serve the commercial and residential uses. The residential use includes three (3) separate lobby areas with elevator access, while the commercial use is designed with one centralized lobby area. The commercial elevators can access the first, second, and third floors, while the residential elevators can access all five floors. The residential lobbies will be equipped with a key code pad to restrict access to residents only.

The project includes separate trash areas to serve the commercial and residential uses. A trash enclosure is provided along the east side of the property to serve the commercial uses, while a trash room with trash shoots is located within the building that can be accessed by residents on the fourth and fifth floors.

Residential Units

The project will provide 52 apartment units configured as 26 one (1) bedroom units and 26 two (2) bedroom units, each with a private balcony. The residential units are located on the fourth and fifth floors of the building.

The 1-bedroom units are designed with the same floor plan layout. The units will consist of a 756 square foot living area, and include a living room, a kitchen, a washer and dryer closet, a bedroom with a walk-in closet, and one (1) bathroom. The unit includes a private balcony with a storage closet.

The 2-bedroom units are also designed with the same floor plan layout. The units will consist of a 1,006 square feet living area, and include a living room, a kitchen, a washer and dryer closet, a master bedroom with a walk-in closet and a private bathroom, a standard bedroom, and one (1) bathroom. Each of the unit includes a private balcony with a storage closet.

Parking

The project provides 182 parking spaces to serve the commercial and residential uses. The parking distribution includes 175 parking spaces located within the three (3) level parking structure, and seven (7) parking spaces located outside of the parking structure, on the ground-level, along the easterly property line. The parking spaces will

include the required number of accessible, electric vehicle (EV), and charging stations for both the commercial and residential uses as required by the California Building Code and the Green Building Code.

The commercial parking spaces will be located on the ground-level, and on the first and second levels of the parking structure, while the parking for the residential units will be located on the second and third levels of the parking structure. Table 1 below identifies the distribution of the commercial and residential parking spaces. The residential parking spaces will be clearly labeled, and residents will be issued a parking permit. During non-business hours, the residents will be allowed to use the commercial parking spaces for overflow parking.

Table 1: On-Site Parking Distribution

Parking	Commercial Parking	Residential Parking	Total
Ground-Level	7	0	7
1 st Level Structure	52	0	52
2 nd Level Structure	58	10	68
3 rd Level Structure	0	55	55
Total	117	65	182

Based on the proposed uses, a total of 169 parking spaces are required for the project, including 104 parking spaces for the commercial component and 65 parking spaces for the residential component. The project provides 182 parking spaces, which includes 13 additional parking spaces to serve the commercial use.

The commercial component will include retail and medical uses that are parked with different parking ratios. Retail uses are parked at 1 space per 200 square feet of Gross Floor Area (GFA), while medical uses are parked at 1 space per 170 square feet of GFA. The commercial tenant square footages include approximately 9,786 square feet of retail space, which requires 49 parking spaces, and approximately 9,270 square feet of medical space, which requires 55 parking spaces. The commercial component is required to provide 104 parking spaces, and the project provides 117 parking spaces to serve the commercial use.

The parking for the residential use complies with the State Density Bonus parking requirement. The State Density Bonus law requires 1 space for each 1-bedroom unit, and 1.5 spaces for each 2 and 3 bedroom unit. The project provides 26 one-bedroom units and 26, two-bedroom units. As such, based on the unit design, the residential use is required to provide 65 parking spaces.

Residential Recreation Area:

The project is designed to provide approximately 16,961 square feet of recreation area for the residential use designed as indoor recreation areas, roof deck gardens, private balconies, and passive recreation areas. The Municipal Code requires the project to provide a minimum of 15,600 square feet of recreation area, and the project exceeds

the minimum recreation area requirement. The Municipal Code allows 50% of passive recreation areas and 25% of the garden plaza to count toward the project's required total recreation area.

The recreation areas are located on the fourth and fifth floors of the building, as well as on the ground-level within the garden plaza area. Table 1 below identifies the location, type, use, and area (square footage) of each recreation area.

Table 2: Residential Recreation Areas

Location	Type	Use	Area ¹
Ground-level	Garden Plaza	Garden Plaza (3,367 S.F. at 25%)	842 S.F.
4 th Floor	Active	Roof Garden No. 1	5,365 S.F.
	Active	Roof Garden No. 2	3,976 S.F.
	Passive	Roof Garden No. 3 (528.82 S.F. @ 50%)	195 S.F.
	Passive	Roof Garden No. 4 (528.82 S.F. @ 50%)	264 S.F.
	Indoor	Gym	1,345 S.F.
	Indoor	Lounge	336 S.F.
5 th Floor	Indoor	Gym	1,497 S.F.
	Indoor	Lounge	429 S.F.
Units	Private Balconies	Balconies	2,712 S.F.
Total			16,961 S.F.

1. Fractions have been rounded to nearest whole number.

The indoor recreation areas are located on the fourth and fifth floors of the building, and each floor will provide a gym and a lounge. The lounge area will function as a community room to encourage residents to socialize, such as a children's play area or quiet reading room, and will be furnished based on the needs of the residents, such as with chairs, sofas, and coffee tables.

The roof gardens are located on the fourth floor of the building. The roof gardens include two (2) roof gardens, and two (2) passive roof gardens. Roof Garden No. 1 will feature a raised wood deck with a fire pit, synthetic grass, benches with connecting walkways and landscaping. Roof Garden No. 2 will include outdoor tables and lounge furniture, barbeque grills, benches, synthetic turf, fiberglass planters, and landscaping. Roof Garden No. 3 and No. 4 are smaller gardens that will serve as passive recreation space enhanced with landscaping and amenities required by the code.

As previously mentioned, 25% of the garden plaza area will be counted toward the residential recreation area requirement.

Garden Plaza and Landscaping:

The mixed-use zone requires mixed-use projects to incorporate a garden plaza adjacent to the public right-of-way to liven the streetscape, and to promote a multi-purpose space that can be used for pedestrian activity, public gatherings, art, and passive recreation.

The garden plaza is located at the southeast corner of the lot, and is oriented toward the Garden Grove Boulevard and Brookhurst Street intersection. The garden plaza will features a central lawn area, a seating area designed as a single, continuous step that meanders through the garden plaza, landscape planters, decorative concrete paving, and several freestanding, circular, LED light fixtures. The LED light fixtures will be a unique art feature that will enhance the garden plaza environment.

Landscaping is also an important component to visually enhance, activate, and promote pedestrian friendly streets. The project will feature canopy trees along the Garden Grove Boulevard and Brookhurst Street rights-of-ways, as well as on-site landscape planters within the street setback areas to create a lively streetscape that is urban in design; that creates an attractive environment for pedestrians; and that is visually appealing to passing motorists.

Furthermore, the applicant is required to submit a detailed landscape and irrigation plan to the City that complies with the landscaping requirements of Title 9 of the Municipal Code, including the City's Landscape Water Efficiency Guidelines. Planning staff will review the type and location of all proposed plant materials.

Building Design/Architecture:

The proposed architectural design of the building will feature an attractive contemporary style that includes enhanced articulation, detailing, and varied building massing appropriate for an urban, mixed-use development.

The building design features commercial storefronts that are oriented toward Garden Grove Boulevard and Brookhurst Street. The façade incorporates a curved building element with a glass storefront system at the center of the building that extends vertically along each floor of the elevation to create a focal point. The commercial façade also incorporates the use of columns that are evenly placed along the elevation to provide articulation and to frame the storefront of each ground level commercial tenant.

The commercial ground floor features a double-height storefront of 20'-6." The upper level commercial tenants incorporate storefront systems that are visible, and oriented, to the street. The upper level commercial tenants are served by an open walkway with a railing.

The commercial component street façade incorporates the use of complimentary architecture detailing that is well-designed and integrated into the overall building design. The architecture detailing includes the use of terracotta color, chiseled limestone stone veneer along the columns, mounted horizontal metal louvers, and steel canopies over the entrance to several of the ground-level tenants.

The building design includes a building step-back of 45'-0" from Garden Grove Boulevard, and a building step-back of 25'-0" from Brookhurst Street to the residential units to further vary the building massing. The building area within the step-backs will be activated with the residential roof gardens.

The building façade for the residential component is located on the upper two (2) levels of the building elevation and include the residential unit windows and balconies. The architectural detailing compliments the commercial component and includes a beige color, chiseled limestone veneer, horizontal metal louvers on portions of the parapet wall, and a white smooth stucco finish.

The interior side (east) and rear (north) building elevations include the parking structure openings with railing, and window systems and balconies for the residential units. These elevations will feature a white smooth stucco finish.

TENTATIVE PARCEL MAP:

In accordance with the State Subdivision Map Act, the applicant is requesting approval of Tentative Parcel Map No. PM-2021-190 to consolidate two (2) existing parcels into one (1) parcel to accommodate the proposed development. The parcel at 10201 Garden Grove Boulevard has a lot size of 31,560 square feet, while the parcel at 10231 Garden Grove Boulevard has a lot size of 49,272 square feet. The consolidated project site will have a combined lot area of 1.86-acres. The Tentative Parcel Map is the most appropriate instrument to consolidate the project site due to existing utilities easements, such as power poles, that have to be relocated and realigned to facilitate the development. The proposed Tentative Parcel Map is in conformance with the City's General Plan, the City's Subdivision Ordinance, the GGMU-2 zone requirements, and the State's Subdivision Map Act.

California Environmental Quality Act:

The proposed development has been determined to be exempt from the California Environmental Quality Act ("CEQA"), pursuant to Section 15332 (In-Fill Development Projects) of the CEQA Guidelines (14 Cal. Code Regs., Section 15303). As set forth in the Class 32 exemption, the proposed project is: (1) consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations; (2) the proposed development occurs within City limits on a project site of no more than five acres substantially surrounded by urban uses; (3) the project site has no value as habitat for endangered, rare or threatened species; (4) approval of the project would not result in any significant effects relating to traffic, noise, air quality or water quality; and (5) the site can be adequately served by all required utilities and public services.

No Net Loss

Government Code Section 65863 requires jurisdictions to maintain adequate sites to accommodate their remaining unmet Regional Housing Needs Allocation (RHNA) by each income category at all times throughout the Housing Element planning period. A jurisdiction may not take any action to reduce a parcel's residential density unless it makes findings that the reduction is consistent with the General Plan, including the Housing Element, and that the remaining sites identified in its Housing Element sites inventory can accommodate its remaining unmet RHNA by each income category or it identifies additional sites so that there is no net loss of residential unit capacity.

In addition, if a jurisdiction approves a development on a parcel identified in its Housing Element sites inventory with fewer units than shown in the Housing Element, the jurisdiction must either make findings that the Housing Element's remaining sites have sufficient capacity to accommodate the remaining unmet RHNA by each income level, or identify and make available additional adequate sites to accommodate the remaining unmet RHNA for each income category. However, a jurisdiction may not disapprove a housing development project on the basis that approval of the development would trigger the identification or zoning of additional adequate sites to accommodate the remaining RHNA.

The City's 6th Cycle RHNA requires the City to plan for 19,168 housing units for all income levels. A component of preparing the City's Housing Element is the identification of vacant and underutilized sites suitable for residential development, and an evaluation of the housing development potential of these sites in fulfilling the City's RHNA. The combined project site is identified in the City's Housing Element sites inventory as having a realistic capacity to accommodate a total of 54 "above moderate income" units, consisting of 25 units on 10201 Garden Grove Boulevard and 29 units on 10231 Garden Grove Boulevard. The project proposes a total of 52 units, consisting of 49 "above moderate income" units and three (3) "very low-income" units. Because the proposed project includes fewer units than shown in the Housing Element sites inventory, the City must determine whether the remaining Housing Element inventory sites have sufficient capacity to accommodate the City's remaining unmet RHNA by income level if the project is approved as proposed. Staff has evaluated the housing projects that have been permitted or approved during the current planning period, or which are otherwise not accounted for in the Housing Element site analysis, and has determined that the remaining sites identified in the sites inventory have sufficient capacity to accommodate the City's remaining unmet RHNA need for each income level.

At the time the Housing Element was prepared and adopted, the City's *unmet* RHNA was calculated to be 18,208 units, broken down as follows: 6,567 low and very low-income units, 3,087 moderate-income units, and 8,554 above moderate-income units. The sites identified in the adopted Housing Element were determined adequate to accommodate a total of 18,291 units, including 401 more units than the City's unmet RHNA in the low and very low-income categories and 240 more units than the City's unmet RHNA for the moderate-income category. Sites deemed adequate to accommodate the lower and moderate-income categories are also adequate to accommodate above-moderate income units. Overall, the sites inventory in the adopted Housing Element reflected a total capacity surplus of 83 units. Due to this surplus, the proposed project will not create a reduction to the City's total required RHNA allocation.

Excluding ADUs, Staff has identified 17 recently permitted or approved new housing units not accounted for in the Housing Element site capacity analysis. These include two (2) deed restricted units in the lower income categories (one very low-income unit and one low-income unit). The other 15 units have been tentatively classified as "above moderate-income" units pending further evaluation. Some of these units were developed on sites not included in the Housing Element sites inventory. After accounting for these permitted and entitled units, and the 52 units in the proposed project, the City's total remaining unmet RHNA would be 18,139 units, broken down as

follows: 6,562 low and very low-income units, 3,087 moderate-income units, and 8,490 above-moderate income units. The remaining capacity of the sites identified in the Housing Element would be 18,226 units, resulting in a total capacity surplus of 87 units. The remaining sites are also adequate to accommodate a surplus of low and very low-income units (403) and moderate-income units (240), and such sites are also adequate to accommodate the City's remaining unmet above moderate-income RHNA. Due to this surplus, the overall residential capacity on sites identified in the Housing Element will still be sufficient to accommodate the City's total remaining unmet RHNA if the proposed project is approved. The required No Net Loss findings can be made and are included in Resolution No. 6041-22.

RECOMMENDATION:

Staff recommends that the Planning Commission take the following action:

1. Adopt Resolution No. 6041-22 approving Site Plan No. SP-111-2022 and Tentative Parcel Map No. PM-2021-190, subject to the recommended Conditions of Approval.

Lee Marino - Planning Services Manager

By: Maria Parra - Senior Planner

Attachment: Exhibit "A" – Density Bonus Application
Exhibit "B" – Technical Studies

RESOLUTION NO. 6041-22

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF GARDEN GROVE APPROVING SITE PLAN NO. SP-111-2022 AND TENTATIVE PARCEL MAP NO. PM-2021-190, FOR PROPERTY LOCATED ON THE NORTHEAST CORNER OF GARDEN GROVE BOULEVARD AND BROOKHURST STREET, AT 10201 AND 10231 GARDEN GROVE BOULEVARD, ASSESSOR'S PARCEL NOS. 089-072-53 AND 089-072-66.

BE IT RESOLVED that the Planning Commission of the City of Garden Grove, in a regular session assembled on May 19, 2022, hereby approves Site Plan No. SP-111-2022 and Tentative Parcel Map No. PM-2021-190, for a property located on the northeast corner Garden Grove Boulevard and Brookhurst Street, at 10201 and 10231 Garden Grove Boulevard, Assessor's Parcel Nos. 089-072-53 and 089-072-66.

BE IT FURTHER RESOLVED in the matter of Site Plan No. SP-111-2022 and Tentative Parcel Map No. PM-2021-190, the Planning Commission of the City of Garden Grove does hereby report as follows:

1. The subject case was initiated by Dr. Michael Dao.
2. The applicant is requesting Tentative Parcel Map approval to consolidate two (2) existing parcels into a single 1.86 acre parcel and Site Plan approval to construct a five-story mixed-use development on the 1.86-acre site consisting of 9,786 square feet of retail space, 9,270 square feet of medical office space, and 52 apartment units. Pursuant to the State Density Bonus law, in exchange for reserving three (3) of the apartment units for very low-income households, the applicant is requesting a density bonus of seven residential units (7) and the following concession/incentive and waivers from the GGMU-2 (Garden Grove Boulevard Mixed Use 2) zone development standards: (1) a concession to allow each unit to deviate from the minimum private balcony area and dimensions, (2) a waiver to deviate from the minimum active recreation dimensions and to allow the indoor and roof deck recreation areas to contribute to more than 50% of the required open space; (3) a waiver to allow the building to exceed the maximum building height of 50 feet or 4-stories; and (4) a waiver to deviate from the minimum 300 cubic feet of private storage per unit.
3. The City of Garden Grove Planning Commission hereby determines that the proposed project is categorically exempt from review under the California Environmental Quality Act ("CEQA") pursuant to Section 15332 (In-Fill Development Projects) of the State CEQA Guidelines (14 Cal. Code Regs., Section 15303). As set forth in the Class 32 exemption, the proposed project is: (1) consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations; (2) the proposed development occurs within City limits on a project site of no more than five acres substantially surrounded by urban uses;

(3) the project site has no value as habitat for endangered, rare or threatened species; (4) approval of the project would not result in any significant effects relating to traffic, noise, air quality or water quality; and (5) the site can be adequately served by all required utilities and public services. The project is therefore exempt from CEQA review.

4. The property has a General Plan Land Use designation of Residential/Commercial Mixed Use 2 and is zoned GGMU-2 (Garden Grove Boulevard Mixed Use 2). The site is currently vacant. The property was previously occupied by a furniture store and a used car dealership business. The building structures associated with these uses were demolished in 2019.
5. Existing land use, zoning, and General Plan designation of property in the vicinity of the subject property have been reviewed.
6. Report submitted by the City staff was reviewed.
7. Pursuant to a legal notice, a public hearing was held on May 19, 2022, and all interested persons were given an opportunity to be heard.
8. The Planning Commission gave due and careful consideration to the matter during its meeting on May 19, 2022; and

BE IT FURTHER RESOLVED, FOUND AND DETERMINED that the facts and reasons supporting the conclusion of the Planning Commission, as required under Municipal Code Section 9.04.030 are as follows:

FACTS:

The project site is comprised of two (2) parcels with a combined land area of 1.86-acres located on the northeast corner of Garden Grove Boulevard and Brookhurst Street. The subject site has a General Plan Land Use designation of Residential/Commercial Mixed Use 2, and is zoned GGMU-2 (Garden Grove Boulevard Mixed Use 2). The Residential/Commercial Mixed Use 2 land use designation is intended to allow a mix of residential and commercial uses around older and underutilized commercial development, while the GGMU-2 zone allows for mixed-use developments.

The project site is located in an area developed with commercial and residential developments. The project site abuts a GGMU-2 zoned property to the north developed with a four-story office professional building and a one-story restaurant building; a Planned Unit Development (PUD-101-95) zoned residential development to the east, developed with 104 detached, three-story, residential homes; GGMU-3 zoned properties to the south, across Garden Grove Boulevard, developed with a Wienerschnitzel restaurant and an auto body shop; and PUD-123-09 zoned parcels to the west, across Brookhurst Street, entitled for the Brookhurst Triangle Project.

The project site is also located in close proximity to two mixed-use projects: the Brookhurst Triangle Project and the Garden Brook Senior Village Project (10032 Garden Grove Boulevard).

The project site is currently vacant and secured with a perimeter chain-link fence. The project site was previously developed and occupied by a furniture store (10201 Garden Grove Boulevard) and a used car dealership (10231 Garden Grove Boulevard) since the late 1950s. In 2019, building permits were issued to demolish all on-site building structures.

The applicant proposes to develop the project site with a five-story, mixed-use development consisting of both commercial lease space and residential units. The project will consist of 19,056 square feet of commercial spaces (9,786 square feet for retail and 9,270 square feet for medical office), and 52 apartment units. The Project will reserve three (3) of the apartment units for "very low-income" households. A Density Bonus Housing Agreement will be recorded to restrict the affordability of the units for 55-years.

The applicant has requested State Density Bonus allowances for density, parking, and concessions and waivers to deviate from the GGMU-2 development standards.

The applicant is requesting one (1) concession and three (3) waivers to deviate from the GGMU-2 (Garden Grove Boulevard Mixed Use 2) zone development standards: (1) a concession to allow each unit to deviate from the minimum private balcony area and dimensions (Municipal Code Section 9.18.110.030.F.1), (2) a waiver to deviate from the minimum active recreation dimensions and to allow the indoor and roof deck recreation areas to contribute to more than 50% of the required open space (Municipal Code Section 9.18.110.030.F.2); (3) a waiver to allow the building to exceed the maximum building height of 50 feet or 4-stories (Municipal Code Section 9.18.090.020); and (4) a waiver to deviate from the minimum 300 cubic feet of private storage per unit (Municipal Code Section 9.18.110.030.H.2).

FINDINGS AND REASONS:

SITE PLAN

1. The Site Plan complies with the spirit and intent of the provisions, conditions, and requirements of the Municipal Code and other applicable ordinances and is consistent with the General Plan.

The General Plan Land Use Designation of the subject site is Residential/Commercial Mixed Use 2 (RC 2), and the site is zoned Garden Grove Boulevard Mixed Use 2 (GGMU-2). The RC 2 land use designation is intended to provide a mix of residential and commercial uses mostly around older underutilized developments, with the residential serving as a catalyst to

encourage revitalization of these sites. In addition, the GGMU-2 zone implements the RC 2 land use designation and allows for commercial and residential uses to be developed as integrated developments with lower residential densities that provide landscaping and enhanced pedestrian areas along Garden Grove Boulevard.

The proposed Project is a mixed-use development consisting of approximately 19,056 square feet of commercial space and 52 residential apartment units. The GGMU-2 zone allows a maximum commercial floor area ratio (FAR) of 0.5, and a maximum residential density of 24 units per acre. However, the Project qualifies for a "density bonus" of 22.5% pursuant to the State Density Bonus because the applicant has offered to reserve three (3) of the apartment units for very low-income households. The proposed Project will provide a commercial FAR of 0.235, and a residential density of 27.5 units per acre. The base density of the project is 45 units, and through the State Density Bonus Law, the project will provide seven (7) additional units above the base density. The project will reserve three (3) units for "very low-income" households as required by the State Law. It should be noted that a 22.5% density bonus entitles the project to eleven (11) additional units above the base density; however, the applicant only proposes to construct seven (7) units above the base density.

The proposed Project has been designed to comply with all applicable development standards of the GGMU-2 zone, with exception of parking, density, and the concession and waivers requested pursuant to the State Density Bonus Law. The project applicant has requested a concession to allow each unit to deviate from the minimum private balcony area and dimensions, and has requested three (3) waivers to (1) deviate from the minimum active recreation dimensions and to allow the indoor and roof deck recreation areas to contribute to more than 50% of the required open space; (2) to allow the building to exceed the maximum building height of 50 feet or 4-stories; and (3) to deviate from the minimum 300 cubic feet of private storage per unit.

In addition, the proposed Project is consistent with the goals and policies of the General Plan, including:

- (a) *Policy LU-1.2 to encourage modern residences in areas designated as Mixed Use.*

The proposed Project is a mixed-use development with approximately 19,056 square feet of commercial space and 52 residential apartment units. The residential units are well integrated into the design of the project that features an urban and modern building concept that will offer commercial services conveniently located to the residential units. Each unit is designed as either a 1-bedroom or 2-bedroom unit, and will include amenities, such as a washer/dryer and a private balcony, and

communal recreation areas that are secured and conveniently located to the residential units.

- (b) *Policy LU-1.3 to support the production of housing citywide that is affordable to lower and moderate-income households consistent with the policies and targets set by the Housing Element AND Goal H-2 and Policy H-2.1 to encourage housing supply to accommodate housing needs at all affordability level and to preserve and expand the City's supply of affordable rental housing for lower-income households.*

The proposed Project will provide 52 residential apartment units integrated as part of a mixed-use development. The project includes a density bonus and will provide seven (7) additional units above the base density of 45 units. Based on the State Density Bonus provisions, the project is required to reserve three (3) units for "very low-income" households, which will increase the supply of affordable housing units in the City. Furthermore, the Project will contribute to meeting the City's Regional Housing Needs Allocation (RHNA), as well as the Housing Element policies related to affordability.

- (c) *Policy LU-1.4 to encourage a wide variety of retail and commercial uses, such as restaurant and cultural arts/entertainment, in appropriate locations AND Policy LU-6.2 to encourage a mixed of retail and commercial services along major corridors and in centers to meet the community needs.*

The project is located in a mixed-use zone that is bounded by two major streets, Garden Grove Boulevard and Brookhurst Street. The proposed project includes a commercial component of approximately 19,056 square feet; specifically, the commercial component will devote 9,786 square feet for retail use and 9,270 square feet for medical office use. The project will introduce new commercial uses to the area that will serve the needs of the community. The new permitted uses will be those allowed by the GGMU-2 zone, which are intended to be uses that provide goods and services to adjacent residential uses, including the development's residential uses.

- (d) *Policy LU-1.5 to encourage active and inviting pedestrian friendly street environments that include a variety of uses within commercial and mixed-use areas.*

The GGMU-2 zone includes specific design requirements to encourage active and pedestrian friendly streets. The project includes decorative walkways that connect directly to each commercial tenant storefront from the public rights-of-ways along Garden Grove Boulevard and Brookhurst Street, as well as on-site walkways to encourage pedestrian

activity. The project includes a garden plaza as required by the GGMU-2 zone that will serve as a gathering place to promote pedestrian activity, as well as a passive recreation area for the residential component. The garden plaza will be enhanced with seating, lighting, and landscaping. Landscaping is also an important element to visually enhance, activate, and promote pedestrian friendly streets. The proposed Project will provide canopy trees along the Garden Grove Boulevard and Brookhurst Street rights-of-ways, as well as on-site trees and landscaping to create shade and a comfortable and appealing environment for pedestrians.

(e) *Policy LU-1.6 that encourages mixed use projects that:*

- (i) *Create a pleasant walking environment to encourage pedestrian activity;*
- (ii) *Create lively streetscape, interesting urban spaces and attractive landscaping;*
- (iii) *Provide convenient shopping opportunities for residents close to their residents*

The project is designed to comply with the GGMU-2 zoning requirements to encourage pedestrian activity. Specifically, the project includes walkways that connect the site from the public rights-of-way along Garden Grove Boulevard and Brookhurst Street, as well as providing on-site walkways that connect each tenant and the garden plaza to encourage pedestrian activity. The project includes landscaping that will create a visually and aesthetically pleasing environment. The project will feature canopy trees along the Garden Grove Boulevard and Brookhurst Street rights-of-ways, as well as landscape planters with a variety of trees, shrubs, and ground cover within the street setback areas to create a lively streetscape that is urban in design; that creates an attractive environment for pedestrians; and that is visually appealing to passing motorists. In addition, the commercial component will provide retail and medical uses that will provide new shopping and job opportunities to local residents.

(f) *Policy LU 2.2 to strive to provide a diverse mix of housing types AND Goal H-3 to encourage a range of available housing types, densities and affordability levels to meet diverse community needs.*

The proposed project will provide 52 residential apartment units as part of a mixed-use development that will introduce new rental housing units to the local housing market, and will reserve three (3) units for very low-income households to expand the number of affordable housing units in the City to meet the community needs. Furthermore, the proposed project will contribute to the City's meeting its RHNA obligation.

- (g) *Policy LU-3.1 to encourage new residential development and allowing mixed use in older or underutilized commercial centers. Residential housing provides convenient access to jobs and activities and supplies a resident clientele to support commercial sales and services in mixed-use areas.*

The project site is currently vacant and secured with a chain-link fence. The project site was previously developed and occupied by furniture store and a used car dealership that were in operation since the late 1950s. Building permits were issued in 2019 to demolish all on-site structures. The proposed project will revitalize and redevelop the project site with a mixed-use development that includes approximately 19,056 square feet of commercial space and 52 residential apartment units. As a mixed-use project, the Project will provide housing that can support the commercial component. In addition, the residential use is conveniently located to potential employment centers and other commercial services in the area.

- (h) *Goal LU-4 that seeks to develop uses that are compatible with one another AND Policy LU 4.5 that requires that commercial developments adjoining residential uses be adequately screened and buffered from residential areas.*

The project site is located in an area that is developed with commercial and residential uses, including two (2) new mixed-use projects. The two (2) new mixed-use projects are located in close proximity to the project site: the Brookhurst Triangle Project and the Garden Brook Senior Village. The Brookhurst Triangle project is a horizontal mixed-use project located to the west of the project site, across Brookhurst Street, and will include up to 600 residential units and up to 200,000 square feet of commercial/retail space, while the Garden Brook Senior Village (10032 Garden Grove Boulevard) is an eight-story mixed-use project with 11,041 square feet of commercial space and 394 senior units. The proposed mixed-use project will be compatible with the existing commercial developments in the area and with the two (2) mixed-use projects that are under construction.

Furthermore, the project is designed to comply with the encroachment plane requirement of the mixed-use zone to minimize impacts to the residential development located to the east of the project site. The encroachment plane requires the building to maintain a 45-degree angle that commences 15 feet above the grade of the property line located adjacent to the residential use to buffer the residential use from taller and denser developments. The project maintains the required encroachment plane distance as measured from the easterly property

line. The proposed building will maintain a 60'-3" setback from the eastern property line to screen, buffer, and to minimize impacts to the adjacent residential use from the first three floors, and a 68'-3" setback from the fourth and fifth floors.

2. The proposed development does not adversely affect essential on-site facilities such as off-street parking, loading and unloading areas, traffic circulation, and points of vehicular and pedestrian access.

The project site will be accessed from a new drive approach located on Garden Grove Boulevard, and a new drive approach located on Brookhurst Street. The project is designed with a three (3) level parking structure. The on-site circulation is designed with two-way drive aisles that provide access to the parking structure and parking spaces. The site is also designed with the required turn-around area that allows for trash truck and emergency vehicle access. The appropriate red curbs and "No Parking" signs will be installed to allow maneuvering of trash trucks and emergency vehicles within the turn-around area.

The parking structure will be secured with vehicular gates, and during normal business hours, the gates will remain open. During non-business hours, the parking structure gates will be closed, and residents will access the parking structure with a gate remote from the northerly entrance located on the east side of the property. The project will also include a designated vehicle lane with an intercom box where guests can call a unit directly to gain access to the parking structure after-hours. The project includes appropriate turn-around areas in front of the parking structure gates to allow guests to safely maneuver off of the site if access to the parking structure is unavailable.

The project provides pedestrian walkways to access the site from the public right-of-way, including walkways from Garden Grove Boulevard and Brookhurst Street. The project also provides on-site walkways that access the commercial tenants, the garden plaza, and the residential units.

The project has been designed to provide the required number of parking spaces to serve the commercial and residential uses. A total of 169 parking spaces are required for the project, including 104 parking spaces for the commercial component and 65 parking spaces for the residential component. The project provides 182 parking spaces, which includes 13 additional parking spaces to serve the commercial use. The parking distribution includes 175 parking spaces within the parking structure, and seven (7) parking spaces located on the ground-level outside of the parking structure. The commercial parking will accommodate 9,786 square feet of retail, which requires 49 parking spaces, and 9,270 square feet of medical office, which requires 55 parking spaces.

Sixty-five (65) residential parking spaces are provided, which complies with the maximum parking requirement that may be imposed under the State Density Bonus Law. The parking for the development will be located primarily within the parking structure, with the commercial parking spaces located on the ground-level and inside the parking structure on the first and second levels, while the residential parking spaces will be located on the second and third levels of the parking structure. The residential parking spaces will be clearly labeled, and during non-business hours, the residents can use the commercial parking spaces for overflow parking.

A Traffic Study was prepared for the project that reviewed the Project's traffic impact, including impacts to the Level of Service (LOS) of existing intersections, and Vehicles Miles Traveled (VMT) analysis. The study concluded that the project will not have any significant impacts to the LOS, and the project meets the Low VMT Area screening criteria. The Traffic Engineering Division reviewed and confirmed the conclusions of the study.

The City's Traffic Engineering Division has reviewed the proposed project, and all appropriate conditions of approval have been incorporated to minimize any adverse impacts to surrounding streets.

3. The development, as proposed, will not adversely affect essential public facilities such as streets and alleys, utilities, and drainage channels.

The streets in the area will be adequate to accommodate the development once the developer provides the necessary improvements for the project. Utilities and drainage channels in the area are existing and are adequate to accommodate the development. The proposed development will provide landscaping and proper grading of the site, thereby, improving drainage in the area.

The City's Public Works Department has reviewed the proposed project, and all appropriate conditions of approval have been incorporated to minimize any adverse impacts to surrounding streets.

4. The project will not adversely impact the Public Works Department's ability to perform its required function.

The proposed Project will not adversely impact the Public Works Department ability to perform its required function. The City's Public Works Department has reviewed the project, and has incorporated all the appropriate conditions of approval to minimize any adverse impacts.

5. The project is compatible with the physical, functional, and visual quality of the neighboring uses and desirable neighborhood characteristics.

The project is located in a mixed-use area that is developed with commercial and residential developments, including two (2) mixed-use projects that are currently under construction, the Brookhurst Triangle Project and the Garden Brook Senior Village (10032 Garden Grove Boulevard). The Brookhurst Triangle includes up to 600 residential units and up to 200,000 square feet of commercial/retail space on 13.9-acres, and the Garden Brook Senior Village includes 11,041 square feet of commercial space and 394 senior units on 3.1-acres.

The proposed project is a five-story mixed-use development with approximately 19,056 square feet of commercial space, and 52 residential apartment units with a State Density Bonus on 1.86-acres. The proposed project will revitalize a site that is currently vacant with new commercial and residential uses to serve the community.

The proposed architectural design of the building will feature an attractive contemporary style that includes enhanced articulation, detailing, and varied building massing, including storefronts that are oriented toward Garden Grove Boulevard and Brookhurst Street. The project also includes pedestrian-friendly features and landscaping to enhance and activate the streetscape along Garden Grove Boulevard and Brookhurst Street. The project includes decorative walkways that connect directly to each commercial tenant storefront and the garden plaza from Garden Grove Boulevard and Brookhurst Street, as well as on-site walkways that connect each tenant and the garden plaza to encourage pedestrian activity. The garden plaza will serve both as a gathering place to encourage pedestrian activity, and a passive recreation area for the project's residential use. The garden plaza will be enhanced with seating, lighting, and landscaping.

The project will feature canopy trees along the Garden Grove Boulevard and Brookhurst Street rights-of-ways, and on-site landscape planters to create a lively streetscape that is urban in design; that creates an attractive environment for pedestrians; and that is visually appealing to passing motorists.

The proposed project, including the building architecture and landscaping, will be compatible and compliment other projects in the immediate vicinity; will continue to promote mixed-use developments in the GGMU-2 zone; and will assist with implementation of the General Plan that encourages the revitalization of underutilized parcels and mixed-use developments.

6. Through the planning and design of buildings and building replacement, the provision of open space landscaping and other site amenities will attain an attractive environment for the occupants of the property.

The proposed Project will revitalize two (2) older and underutilized commercial properties with a vibrant and attractive mixed-use development. The proposed architectural design of the building will feature an attractive contemporary style that includes enhanced articulation, detailing, and varied building massing. The mixed-use zone includes specific design requirements for garden plazas to encourage the activation of pedestrian-friendly streets. The project includes decorative walkways that connect directly to each commercial tenant storefront and the garden plaza from Garden Grove Boulevard and Brookhurst Street, and on-site walkways to encourage pedestrian activity. The garden plaza will serve as a gathering place to encourage pedestrian activity, and as a passive recreation area for the residential use. The garden plaza will be enhanced with seating, lighting, and landscaping. The proposed landscaping will visually enhance, activate, and promote pedestrian friendly streets. The project will feature new canopy trees along the Garden Grove Boulevard and Brookhurst Street sidewalks, and will also include landscape areas within the street setbacks to create a lively streetscape that is urban in design; that creates an attractive environment for pedestrians; and that is visually appealing to passing motorists.

In addition, the project will provide recreation areas that will serve the residential use. The project includes indoor and outdoor recreation areas located on the fourth and fifth floors of the development. The project includes indoor recreation areas for a gym and lounge, and roof gardens that will incorporate seating, artificial turf, and landscaping.

TENTATIVE PARCEL MAP

1. The proposed map is consistent with the General Plan.

The proposed map is consistent with the provisions of the General Plan Land Use Designation of the Residential/Commercial Mixed Use 2 (RC 2). The RC 2 land use designation is intended to provide a mix of residential and commercial uses mostly around older underutilized developments, with residential serving as a catalyst to encourage revitalization of these sites.

The proposed project is a mixed-use development with approximately 19,056 square feet of commercial space, and 52 residential apartment units with a State Density Bonus. The RC 2 land use designation allows for residential densities up to 24 units per acre. With the proposed State Density Bonus, the residential density for the project will be 27.95 units per acre. The project will provide seven (7) additional units above the base density of 45 units, and will reserve three (3) units for "very low-income" households.

The project site currently consists of two (2) parcels each with a lot size of 31,560 square feet (10201 Garden Grove Boulevard) and 49,272 square feet (10231 Garden Grove Boulevard). A Tentative Parcel Map is being processed

to consolidate the project site into one single-lot with an area of 1.86-acres. The City has determined that a parcel map is the most appropriate instrument to consolidate the parcels due to existing utility easements that must to be relocated and realigned to accommodate the proposed project.

In addition, the proposed Project is consistent with the goals and policies of the General Plan, including:

- (a) *Policy LU-1.2 to encourage modern residences in areas designated as Mixed Use.*

The proposed Project is a mixed-use development with approximately 19,056 square feet of commercial space and 52 residential apartment units. The residential units are well integrated into the design of the project that features an urban and modern building concept that will offer commercial services conveniently located to the residential units. Each unit is designed as either a 1-bedroom or 2-bedroom unit, and will include amenities, such as a washer/dryer and a private balcony, and communal recreation areas that are secured and conveniently located to the residential units.

- (b) *Policy LU-1.3 to support the production of housing citywide that is affordable to lower and moderate-income households consistent with the policies and targets set by the Housing Element AND Goal H-2 and Policy H-2.1 to encourage housing supply to accommodate housing needs at all affordability level and to preserve and expand the City's supply of affordable rental housing for lower-income households.*

The proposed Project will provide 52 residential apartment units integrated as part of a mixed-use development. The project includes a density bonus and will provide seven (7) additional units above the base density of 45 units. Based on the State Density Bonus provisions, the project is required to reserve three (3) units for "very low-income" households, which will increase the supply of affordable housing units in the City. Furthermore, the Project will contribute to meeting the City's Regional Housing Needs Allocation (RHNA), as well as the Housing Element policies related to affordability.

- (c) *Policy LU-1.4 to encourage a wide variety of retail and commercial uses, such as restaurant and cultural arts/entertainment, in appropriate locations AND Policy LU-6.2 to encourage a mixed of retail and commercial services along major corridors and in centers to meet the community needs.*

The project is located in a mixed-use zone that is bounded by two major streets, Garden Grove Boulevard and Brookhurst Street. The proposed

project includes a commercial component of approximately 19,056 square feet; specifically, the commercial component will devote 9,786 square feet for retail use and 9,270 square feet for medical office use. The project will introduce new commercial uses to the area that will serve the needs of the community. The new permitted uses will be those allowed by the GGMU-2 zone, which are intended to be uses that provide goods and services to adjacent residential uses, including the development's residential uses.

- (d) *Policy LU-1.5 to encourage active and inviting pedestrian-friendly street environments that include a variety of uses within commercial and mixed-use areas.*

The GGMU-2 zone includes specific design requirements to encourage active and pedestrian friendly streets. The project includes decorative walkways that connect directly to each commercial tenant storefront from the public rights-of-ways along Garden Grove Boulevard and Brookhurst Street, as well as on-site walkways to encourage pedestrian activity. The project includes a garden plaza as required by the GGMU-2 zone that will serve as a gathering place to promote pedestrian activity, as well as a passive recreation area for the residential component. The garden plaza will be enhanced with seating, lighting, and landscaping. Landscaping is also an important element to visually enhance, activate, and promote pedestrian friendly streets. The proposed Project will provide canopy trees along the Garden Grove Boulevard and Brookhurst Street rights-of-ways, as well as on-site trees and landscaping to create shade and a comfortable and appealing environment for pedestrians.

- (e) *Policy LU-1.6 that encourages mixed use projects that:*

- (i) *Create a pleasant walking environment to encourage pedestrian activity;*
- (ii) *Create lively streetscape, interesting urban spaces and attractive landscaping;*
- (iii) *Provide convenient shopping opportunities for residents close to their residents*

The project is designed to comply with the GGMU-2 zoning requirements to encourage pedestrian activity. Specifically, the project includes walkways that connect the site from the public rights-of-way along Garden Grove Boulevard and Brookhurst Street, as well as providing on-site walkways that connect each tenant and the garden plaza to encourage pedestrian activity. The project includes landscaping that will create a visually and aesthetically pleasing environment. The project will feature canopy trees along the Garden Grove Boulevard and Brookhurst Street rights-of-ways, as well as landscape planters with a

variety of trees, shrubs, and ground cover within the street setback areas to create a lively streetscape that is urban in design; that creates an attractive environment for pedestrians; and that is visually appealing to passing motorists. In addition, the commercial component will provide retail and medical uses that will provide new shopping and job opportunities to local residents.

- (f) *Policy LU 2.2 to strive to provide a diverse mix of housing types AND Goal H-3 to encourage a range of available housing types, densities and affordability levels to meet diverse community needs.*

The proposed project will provide 52 residential apartment units as part of a mixed-use development that will introduce new rental housing units to the local housing market, and will reserve three (3) units for very low-income households to expand the number of affordable housing units in the City to meet the community needs. Furthermore, the proposed project will contribute to the City's meeting its RHNA obligation.

- (g) *Policy LU-3.1 to encourage new residential development and allowing mixed use in older or underutilized commercial center. Residential housing provides convenient access to jobs and activities and supplies a resident clientele to support commercial sales and services in mixed-use areas.*

The project site is currently vacant and secured with a chain-link fence. The project site was previously developed and occupied by furniture store and a used car dealership that were in operation since the late 1950s. Building permits were issued in 2019 to demolish all on-site structures. The proposed project will revitalize and redevelop the project site with a mixed-use development that includes approximately 19,056 square feet of commercial space and 52 residential apartment units. As a mixed-use project, the Project will provide housing that can support the commercial component. In addition, the residential use is conveniently located to potential employment centers and other commercial services in the area.

- (h) *Goal LU-4 that seeks to develop uses that are compatible with one another AND Policy LU 4.5 that requires that commercial developments adjoining residential uses be adequately screened and buffered from residential areas.*

The project site is located in an area that is developed with commercial and residential uses, including two (2) new mixed-use projects. The two (2) new mixed-use projects are located in close proximity to the project site: the Brookhurst Triangle Project and the Garden Brook

Senior Village. The Brookhurst Triangle project is a horizontal mixed-use project located to the west of the project site, across Brookhurst Street, and will include up to 600 residential units and up to 200,000 square feet of commercial/retail space, while the Garden Brook Senior Village (10032 Garden Grove Boulevard) is an eight-story mixed-use project with 11,041 square feet of commercial space and 394 senior units. The proposed mixed-use project will be compatible with the existing commercial developments in the area and with the two (2) mixed-use projects that are under construction.

Furthermore, the project is designed to comply with the encroachment plane requirement of the mixed-use zone to minimize impacts to the residential development located to the east of the project site. The encroachment plane requires the building to maintain a 45-degree angle that commences 15 feet above the grade of the property line located adjacent to the residential use to buffer the residential use from taller and denser developments. The project maintains the required encroachment plane distance as measured from the easterly property line. The proposed building will maintain a 60'-3" setback from the eastern property line to screen, buffer, and to minimize impacts to the adjacent residential use from the first three floors, and a 68'-3" setback from the fourth and fifth floors.

2. The design and improvement of the proposed subdivision are consistent with the General Plan.

The design and improvement of the proposed map is consistent with the General Plan land use designation of Residential/Commercial Mixed Use 2 (RC 2). The RC 2 land use designation is intended to provide a mix of residential and commercial uses mostly around older underutilized developments, with residential serving as the catalyst to encourage revitalization of these sites.

The project site currently consists of two (2) parcels each with a lot size of 31,560 square feet (10201 Garden Grove Boulevard) and 49,272 square feet (10231 Garden Grove Boulevard). A Tentative Parcel Map is being processed to consolidate the project site into one single-lot with a lot size of 1.86-acres. The City has determined that a parcel map is the most appropriate instrument to consolidate the parcels due to existing utility easements that must to be relocated and realigned to accommodate the proposed project.

The proposed subdivision will allow the project site to be developed with a mixed-use project with approximately 19,056 square feet of commercial space, and 52 residential apartment units with a State Density Bonus. The RC 2 land use designation allows for residential densities up to 24 units per acre. With the State Density Bonus, the project will have a residential density of 27.5 units per acre. The project will include seven (7) additional units above the

base density of 45 units. It should be noted that while the project applicant has requested a density bonus of 22.5%, which entitles the project to eleven (11) additional units above the base density for total of 56 units, the applicant only proposes to construct seven (7) units above the base density.

The proposed parcel configuration and design of the project is compatible with existing commercial and residential developments in the area, including two (2) mixed-use projects that are currently being developed, the Brookhurst Triangle Project and Garden Brook Senior Villages.

In addition, the proposed project will further the goals and policies of the General Plan Land Use Element and Housing Element by redeveloping a vacant and underutilized site with a mixed-use development that will introduce new commercial uses to serve the needs of the community, that will encourage a pedestrian-friendly environment, and that will introduce new housing stock to the community, including affordable units, to meet the City's regional housing needs. The proposed project is also consistent with several goals and policies of the General Plan, as described in Finding No. 1, above.

3. The site is physically suitable for the type of development and complies with the spirit and intent of the Municipal Code.

The site is physically suitable for the proposed development. The Tentative Parcel Map will consolidate the project site, which currently consists of two (2) parcels, into one lot with a combined lot area of 1.86 acres. The site will have sufficient land area to accommodate the proposed mixed-use project with approximately 19,056 square feet of commercial space, and 52 residential apartment units with a State Density Bonus. The site design will accommodate the required drive approaches and drive-aisles to access the site designed to the City's standard, and will also provide adequate access and a turn-around areas for trash trucks and emergency vehicles.

Furthermore, the project has been designed to comply with all applicable development standards of the GGMU-2 zone, with exception of parking, density, and the concession and waivers requested pursuant to the State Density Bonus. The project applicant has requested a State Density Bonus concession to allow each unit to deviate from the minimum private balcony area and dimensions, and three (3) waivers to (1) deviate from the minimum active recreation dimensions and to allow the indoor and roof deck recreation areas to contribute to more than 50% of the required open space; (2) to allow the building to exceed the maximum building height of 50 feet or 4-stories; and (3) to deviate from the minimum 300 cubic feet of private storage per unit.

Therefore, the proposed project complies with the spirit and intent of the Municipal Code.

4. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat, and the requirements of the California Environmental Quality Act have been satisfied.

The proposed project site is located in an urbanized area that is not habitat for fish or wildlife, and the project is categorically exempt from CEQA pursuant to Section 15332 (In-Fill Development Projects) of the CEQA Guidelines (14 Cal. Code Regs., Section 15332). The proposed project is characterized as in-fill development meeting conditions described in Section 15332.

5. The site is physically suitable for the proposed density of the development.

The site is physically suitable for the density proposed by the developer. The Residential/Commercial Mixed Use 2 land use designation allows for mixed-use projects. The maximum floor area ratio (FAR) allowed for the commercial component is 0.5, and the maximum residential density allowed is 24 units per acre. The project will provide a commercial FAR of 0.235, and through a State Density Bonus, the project will provide a residential density of 27.5 units per acre. The proposed project will consist of approximately 19,056 square feet of commercial space and 52 residential apartment units. The project will provide seven (7) additional units above the base density.

It should be noted that while the project applicant has requested a density bonus of 22.5%, which entitles the project to eleven (11) additional units above the base density for total of 56 units, the applicant only proposes to construct seven (7) units above the base density.

The proposed Tentative Parcel Map will consolidate two (2) existing parcels, each with a lot size of 31,560 square feet (10201 Garden Grove Boulevard) and 49,272 square feet (10231 Garden Grove Boulevard), into one single-lot with a combined land area of 1.86-acres to facilitate the development of the proposed project. The Tentative Parcel Map is the best instrument to consolidate the parcels due to existing utilities easements that have to be relocated and realigned to facilitate the development.

Therefore, the subject site is sufficient in size to accommodate the proposed development, and complies with all applicable provisions of the City of Garden Grove Municipal Code, with exception of the parking, density and concession and waivers requested pursuant to the State Density Bonus Law.

6. The design of the subdivision and the proposed improvements are not likely to cause serious public health problems.

The design of the subdivision and the proposed improvements are not likely to cause serious public health problems since the conditions of approval will be

in place to safeguard the public health. The proposed subdivision has been designed to comply with the development standards of the GGMU-2 zone, with exception of the parking, density, and concession and waivers requested pursuant to the State Density Bonus Law. City Departments, including Traffic Division, Water Division, Engineering Division, Planning Division, and the Orange County Fire Authority (OCFA) have reviewed the proposed development and have applied conditions of approval to minimize potential negative impacts that the project may have on the community. The conditions of approval for on and off-site improvements will safeguard the public health.

7. The design of the project and the proposed improvements will not conflict with easements of record or easements established by court judgment acquired by the public at large for access through or use of property within the subdivision; or, if such easements exist, alternate easements for access or for use will be provided and these will be substantially equivalent to the ones previously acquired by the public.

The design of the subdivision and the proposed improvements will not conflict with easements of record or easements established by court judgment acquired by the public at large for access through or use of property within the proposed subdivision. The project has been designed to avoid development over existing easements.

8. The design and improvement of the proposed subdivision are suitable for the uses proposed and the subdivision can be developed in compliance with the applicable zoning regulations.

The design of the subdivision is suitable for the proposed mixed-use project. The proposed Tentative Parcel Map will consolidate two (2) existing parcels, each with a lot size of 31,560 square feet (10201 Garden Grove Boulevard) and 49,272 square feet (10231 Garden Grove Boulevard), into one-parcel with a combined lot area of 1.86-acres. The proposed project is a mixed-use project with approximately 19,056 square feet of commercial space and 52 residential apartment units with a State Density Bonus.

The subdivision complies with the spirit and intent of the General Plan, and the Subdivision Map Act. The project has also been designed to comply with the GGMU-2 development standards, with exception of the parking, density, and concession and waivers requested pursuant to the State Density Bonus Law.

9. The design of the subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities in the subdivision.

To the extent feasible, the project has been designed in accordance with Government Code Section 66473.1, such as to allow for passive or natural heating opportunities in the subdivision design, to encourage the orientation

of structures to take advantage of shade and prevailing breezes, to allow solar access for passive heating and opportunities for placement of shade trees and other vegetation for cooling.

10. The design, density, and configuration of the subdivision strike a balance between the affect of the subdivision on the housing needs of the region and public service needs. The character of the subdivision is compatible with the design of existing structures, and the lot sizes of the subdivision are substantially compatible with the lot sizes within the general area.

The project has been reviewed in relation to the housing needs and goals of the City and is compatible with other projects in the vicinity. The project is located in a mixed-use area that is developed with commercial and residential uses, including two (2) mixed-use projects that are currently under construction, the Brookhurst Triangle Project and the Garden Brook Senior Village (10032 Garden Grove Boulevard). The Brookhurst Triangle Project, which is a horizontal mixed-use project located to the west of the project site, across Brookhurst Street, includes up to 600 residential units and up to 200,000 square feet of commercial/retail space on 13.9-acres, while the Garden Brook Senior Village is an eight-story mixed-use project with 11,041 square feet of commercial space and 394 senior living units on 3.1-acres.

The proposed project is a mixed-used development with approximately 19,056 square feet of commercial space and 52 residential apartment units with a State Density Bonus on 1.86-acres. Through the proposed Tentative Parcel Map, the project will combined two (2) existing lots into one-single lot. The proposed project is compatible with the design of existing structures and developments in the area, and the subdivision is also compatible with the lot sizes in the general area.

The proposed project will introduce new commercial uses to serve the needs of the community, and will introduce new housing stock to the community, including affordable units, to meet the City's regional housing needs. The project will further the goals and policies of the City's Land Use Element and Housing Element.

11. The subject property is not located within a state responsibility area or a very high fire hazard severity zone, the proposed subdivision is served by local fire suppression services, and the proposed subdivision meets applicable design, location, and ingress-egress requirements.
12. The discharge of waste from the proposed subdivision into the existing sewer system will not result in violation of existing requirements prescribed by the California Regional Water Quality Control Board. The conditions of approval for on and off-site improvements will ensure permitted capacity of the public sewer system is not exceeded.

NO NET LOSS (GOVERNMENT CODE SECTION 65863) FINDINGS

1. If approval of the proposed Project will result in development of the Site at a lower residential density, the reduction in residential density is consistent with the adopted general plan, including the housing element.

The project site is comprised of two (2) parcels with a combined land area of 1.86-acres. The parcel located at 10201 Garden Grove Boulevard (APN # 089-072-53) is 0.72 acres in size. The parcel located at 10231 Garden Grove Boulevard (APN #089-072-66) is 1.13 acres in size. Both parcels have a General Plan Land Use designation of Residential/Commercial Mixed Use 2 and are zoned GGMU-2 (Garden Grove Boulevard Mixed Use 2). The combined project site is identified in the City's Housing Element sites inventory as having a realistic capacity to accommodate a total of 54 "above moderate income" units, consisting of 25 units on 10201 Garden Grove Boulevard and 29 units on 10231 Garden Grove Boulevard. The project proposes a total of 52 units, consisting of 49 "above moderate income" units and three (3) "very low-income" units. The maximum allowable residential density for the site under the General Plan Land Use Element and Municipal Code is 24 units per acre, or 45 units. The applicant is proposing to develop the site at the maximum permitted density. In addition, the project includes a request for a density bonus of seven (7) additional units, for a total of 52 units. This equates to a density of 27.5 units per acre. The City cannot require the applicant to seek a larger density bonus. Therefore, even though the proposed project results in two fewer units than identified in the Housing Element site inventory, the 52 units proposed is consistent with the density limits of the General Plan. The proposed project is also consistent with several goals and policies of the General Plan Land Use Element, as noted in the findings above.

2. The remaining sites identified in the housing element are adequate to meet the requirements of Government Code Section 65583.2 and to accommodate the City's share of the regional housing need pursuant to Government Code Section 65584; or, if not, the City has, or will within 180 days, identify and make available additional adequate sites to accommodate the City's share of the regional housing need by income level.

The City's 6th Cycle RHNA requires the City to plan for 19,168 housing units for all income levels. A component of preparing the City's Housing Element is the identification of vacant and underutilized sites suitable for residential development, and an evaluation of the housing development potential of these sites in fulfilling the City's RHNA. The combined project site is identified in the City's Housing Element sites inventory as having a realistic capacity to accommodate a total of 54 "above moderate income" units, consisting of 25 units on 10201 Garden Grove Boulevard and 29 units on 10231 Garden Grove

Boulevard. The project proposes a total of 52 units, consisting of 49 “above moderate income” units and three (3) “very low-income” units. Although the proposed project includes fewer units than shown in the Housing Element sites inventory, the remaining Housing Element inventory sites have sufficient capacity to accommodate the City’s remaining unmet RHNA by income level if the project is approved as proposed.

At the time the Housing Element was prepared and adopted, the City’s *unmet* RHNA was calculated to be 18,208 units, broken down as follows: 6,567 low and very low-income units, 3,087 moderate-income units, and 8,554 above moderate-income units. The sites identified in the adopted Housing Element were determined adequate to accommodate a total of 18,291 units, including 401 more units than the City’s unmet RHNA in the low and very low-income categories and 240 more units than the City’s unmet RHNA for the moderate-income category. Sites deemed adequate to accommodate the lower and moderate-income categories are also adequate to accommodate above-moderate income units. Overall, the sites inventory in the adopted Housing Element reflected a total capacity surplus of 83 units.

Excluding ADUs, 17 new housing units not accounted for in the Housing Element site capacity analysis have recently been permitted or approved. These include two (2) deed restricted units in the lower income categories (one very low-income unit and one low-income unit) and 15 above moderate-income units. After accounting for these permitted and entitled units, and the 52 units in the proposed project, the City’s total remaining unmet RHNA would be 18,139 units, including 6,562 low and very low-income units, 3,087 moderate-income units, and 8,490 above-moderate income units. The remaining capacity of the sites identified in the Housing Element would be 18,226 units, resulting in a total capacity surplus of 87 units. The remaining sites are also adequate to accommodate a surplus of low and very low-income units (403) and moderate-income units (240), and such sites are also adequate to accommodate the City’s remaining unmet above moderate-income RHNA. Due to this surplus, the overall residential capacity on sites identified in the Housing Element will still be sufficient to accommodate the City’s total remaining unmet RHNA if the proposed project is approved.

INCORPORATION OF FACTS AND FINDINGS SET FORTH IN STAFF REPORT

In addition to the foregoing, the Planning Commission incorporates herein by this reference, the facts and findings set forth in the staff report.

BE IT FURTHER RESOLVED that the Planning Commission does conclude:

1. The Site Plan and Tentative Parcel Map possess characteristics that would justify the request in accordance with Municipal Code Section No. 9.32.030.3 (Site Plan) and Section 9.40.060 (Tentative Maps).

2. In order to fulfill the purpose and intent of the Municipal Code and thereby promote the health, safety, and general welfare, the attached Conditions of Approval (Exhibit "A") shall apply to Site Plan No. SP-111-2022 and Tentative Parcel Map No. PM-2021-190.

Adopted this 19th day of May 2022

ATTEST:

/s/ JOSH LINDSAY
VICE CHAIR

/s/ JUDITH MOORE
RECORDING SECRETARY

STATE OF CALIFORNIA)
COUNTY OF ORANGE) SS:
CITY OF GARDEN GROVE)

I, JUDITH MOORE, Secretary of the City of Garden Grove Planning Commission, do hereby certify that the foregoing Resolution was duly adopted by the Planning Commission of the City of Garden Grove, California, at a meeting held on May 19, 2022, by the following vote:

AYES:	COMMISSIONERS:	(4)	ARESTEGUI, CUNNINGHAM, LINDSAY, SOEFFNER
NOES:	COMMISSIONERS:	(0)	NONE
ABSENT:	COMMISSIONERS:	(3)	LEHMAN, PEREZ, RAMIREZ

/s/ JUDITH MOORE
RECORDING SECRETARY

PLEASE NOTE: Any request for court review of this decision must be filed within 90 days of the date this decision was final (See Code of Civil Procedure Section 1094.6).

A decision becomes final if it is not timely appealed to the City Council. Appeal deadline is June 9, 2022.

EXHIBIT "A"

Site Plan No. SP-111-2022

Tentative Parcel Map No. PM-2021-190

10201 and 10231 Garden Grove Boulevard

CONDITIONS OF APPROVAL

GENERAL CONDITIONS

1. Each owner of the property shall execute, and the applicant shall record against the property, a "Notice of Discretionary Permit Approval and Agreement with Conditions of Approval" as prepared by the City Attorney's Office, on the property. Proof of such recordation is required prior to issuance of building permits.
2. All Conditions of Approval set forth herein shall be binding on and enforceable against each of the following, and whenever used herein, the term "applicant" shall mean and refer to each of the following: the project applicant, Dr. Michael Dao, the developer of the project, the owner(s) and tenants(s) of the property, and each of their respective successors and assigns. All conditions of approval are required to be adhered to for the life of the project, regardless of property ownership.
3. Approval of this Site Plan and Tentative Parcel Map shall not be construed to mean any waiver of applicable and appropriate zoning and other regulations; and wherein not otherwise specified, all requirements of the City of Garden Grove Municipal Code shall apply.
4. Minor modifications to the Site Plan, Tentative Parcel Map, and/or these Conditions of Approval may be approved by the Community and Economic Development Director, in his or her discretion. Proposed modifications to the project and/or these Conditions of Approval determined by the Community and Economic Development Director not to be minor in nature shall be subject to approval of new and/or amended land use entitlements by the applicable City hearing body.
5. All conditions of approval shall be implemented at the applicant's expense, except where specified in the individual condition.

Public Works Engineering Division

Project Design

6. A geotechnical study prepared by a registered geotechnical engineer is required. The report shall analyze the liquefaction potential of the site and

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Conditions of Approval

make recommendations. The report shall analyze sub-surface issues related to the past uses of the site, including sub-surface tanks and basement and septic facilities. Any soil or groundwater contamination shall be remediated prior to the issuance of a building permit per the requirements of the Orange County Health Department and the mitigation requirements of governing regulatory requirements. The report shall make recommendations for foundations and pavement structural section design of interior streets and parking spaces. The report shall also test and analyze soil conditions for LID (Low Impact Development) principles and the implementation of water quality for storm water run-off, including potential infiltration alternatives, soil compaction, saturation, permeability, and groundwater levels.

7. Prior to the issuance of any grading or building permits, the applicant shall submit to the City for review and approval a final design Water Quality Management Plan that:
 - a. Addresses required mitigation Site Design Best Management Practices (BMPs) based upon the latest Santa Ana Regional Water Quality Control Board (SARWQCB) approved Drainage Area Management Plan (DAMP) as identified in the geotechnical report recommendations and findings, including, but not limited to, infiltration minimizing impervious areas, maximizing permeability, minimizing directly connected impervious areas, creating reduced or "zero discharge" areas, and conserving natural areas as required by the latest adopted County of Orange Technical Guidance Document (TGD).
 - b. BMP's shall be sized per the requirements of the latest Technical Guidance Documents.
 - c. Incorporates the applicable Routine Source Control BMPs as defined in the DAMP.
 - d. Incorporates structural and Treatment Control BMPs as defined in the DAMP.
 - e. Generally describes the long-term operation and maintenance requirements for the Treatment Control BMPs.
 - f. Identifies the entity that will be responsible for long-term operation and maintenance of the Treatment Control BMPs.
 - g. Describes the mechanism for funding the long-term operation and maintenance of the Treatment Control BMPs.
 - h. Provides a hydrological analysis with scaled map as well as hydrologic and hydraulic calculations to size storm drains per the Orange County RDMD standards.

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8. Parkway culverts shall be designed per City of Garden Grove Standard Plan B-209. Storm drain lateral pipe connections to City maintained storm drains within City right-of-way shall be RCP with a minimum diameter of 18-inches.
9. Grading and Street improvement plans prepared by a registered Civil Engineer are required. As required under Section 107 of the California Building Code (CBC), the grading plan shall be based on a current survey of the site, including a boundary survey, topography on adjacent properties up to 30' outside the boundary, and designed to preclude cross-lot drainage. Minimum grades shall be 0.50% for concrete flow lines and 1.25% for asphalt. The grading plan shall also include water and sewer improvements. The grading plan shall include a coordinated utility plan showing all existing utility facilities, easements and proposed utility facilities. All on-site improvements shall be tied by horizontal dimensional control to the property boundary as established by survey. A minimum uninterrupted 20-foot wide throat access to the site is required from the street for the multi-residential projects and shall meet the requirements of the California Fire Code throughout the site. Vehicle maneuvering, as demonstrated by Auto Turn along private streets and access ways, shall be demonstrated on the grading plan. Street improvement plans shall conform to all format and design requirements of the City Standard Drawings & Specifications.
10. All vehicular access drives to the site shall be provided in locations approved by the City Traffic Engineer. (Policies and Procedures – TE-17)
11. The applicant shall coordinate with Planning Services and Orange County Fire Authority to identify proper emergency vehicle access to the site and shall provide the Engineering Division a copy of the approval letters upon first submittal of the grading and street improvement plans.
12. The applicant shall complete the following for the parcel map:
 - a. Prior to recordation of a final parcel or tract map, the surveyor/engineer preparing the map shall tie the boundary of the map into the Horizontal Control System established by the County Surveyor in a manner described in Sections 7-9-330 and 7-9-337 of the Orange County Subdivision Code and Orange County Subdivision Manual, Subarticle 18. The surveyor/engineer shall submit record information to the City on Auto Cad DWG format.
 - b. Prior to recordation of a final parcel or tract map, the surveyor/engineer preparing the map shall submit to the County Surveyor a digital graphics file of said map in a manner described in Sections 7-9-330 and 7-9-337 of the Orange County Subdivision Code and Orange County Subdivision Manual, Subarticle 18. The surveyor/engineer shall submit record information to the City on Auto Cad DWG format.

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- c. Prior to issuance of a grading permit, the applicant shall submit to the Planning Services Division an updated title report along with copies of the recorded instruments listed in the title report, reference maps used to prepare legal description and the plat for review and approval of the parcel map.
 - d. All subdivision mapping shall be concurrently reviewed by the City Engineering Division and the County of Orange Survey Department. The applicant shall forward all plan check comments received from the County of Orange Survey Department to the City of Garden Grove's Engineering Division upon receipt from the county.
- 13. Prior to the issuance of the street improvement encroachment permit and grading permit, provide subdivision completion bonds for all work constructed under the street improvements and grading permit for review and approval by the City Engineer, City Attorney, and City Finance Department (Risk Management). Alternate forms of security may be considered, solely at the discretion of the City Engineer and with the concurrence of the City Attorney and City Finance Department (Risk Management)
 - 14. Any new drive approaches to the site shall be constructed in accordance with Garden Grove Standard B-120 (option #2) as they conform to land use and roadway designation.
 - 15. Prior to issuance of a grading permit, the applicant shall design overhead street lighting within the frontage of the development in conformance with City specifications and the approval of the City's Lighting Administrator. Location of lighting poles shall be shown on all the improvement plans and grading plan.
 - 16. The grading plan shall depict an accessibility route for the ADA pathway in conformance with the requirements of the Department of Justice standards, latest edition and section 1110A of the California Building Code.
 - 17. All trash container areas shall meet the following requirements per City of Garden Grove Standard B-502 and State mandated commercial organic recycling law-AB 1826, including any other applicable State recycling laws related to refuse, recyclables, and/or organics:
 - a. Paved with an impervious surface, designed not to allow run-on mixing of drainage from adjoining areas, designed to divert drainage from adjoining roofs and pavements to be directed around the area for trash roll out, and screened or walled to prevent off-site transport of trash by water or wind.
 - b. Provide solid roof or awning to prevent direct precipitation into the enclosure.

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- c. Connection of trash area drains to the municipal storm drain system is prohibited. Drainage from the enclosure may be directed to a conforming grease or contaminant interceptor.
 - d. Potential conflicts with fire code access requirements and garbage pickup routing for access activities shall be considered in implementation of design and source control. See CASQA Storm Water Handbook Section 3.2.9 and BMP Fact Sheet SD-32 for additional information.
 - e. The trash enclosure and containers shall be located to allow pick-up and maneuvering, including turn-arounds, in the area of enclosures, and concrete aprons for roll-out areas.
 - f. Pursuant to state mandated commercial organic recycling law-AB 1826, the applicant is required to coordinate storage and removal of the organics waste with local recycling/trash company.
 - g. Pursuant to applicable state mandated laws, the applicant is required to contact and coordinate with the operations manager of the local recycling/trash company (Republic Services, 800-700-8610) to ensure the trash enclosure includes the appropriate size and number of containers for the disposal of items such as, but may not limited to, municipal solid waste (MSW), recyclables, and organic green waste.
 - h. Based on the amount of waste disposed, per week, the applicant shall coordinate with the local recycling/trash company to ensure the adequate frequency of trash pick-up is serviced to the site for municipal solid waste (MSW), recyclables, and organic green waste, including any other type of waste.
 - i. The applicant shall ensure large bulk items, intended for coordinated and scheduled pick-up by the local recycling/trash company, are not placed in areas that encroach into drive-aisles, parking spaces, pedestrian pathways, or areas in the front of the property including areas public right-of-way (e.g., street, sidewalk), during and after construction. Any large bulk items shall be out of public vantage points.
 - j. The requirements for the trash enclosure and design criteria are bound and coordinated with the Water Quality Management Plan (WQMP), when required, as depicted on the project grading plan, which shall be incorporated into the WQMP by narrative description, exhibits and an Operation and Maintenance Plan (O&M).
18. Any new or required block walls and/or retaining walls shall be shown on the grading plans, both in plan-view and cross sections. Cross sections shall show

vertical and horizontal relations of improvements (existing and proposed) on both sides of property lines. Required wall heights shall be measured vertically from the highest adjacent finished grade. Block walls shall be designed in accordance to City of Garden Grove Standard B-504, B-505, B-506 & B-508 or designed by a professional registered engineer. In addition, the following shall apply:

- a. The color and material of all proposed block walls, columns, and wrought iron fencing shall be approved by the Planning Services Division Prior to installation.
 - b. Openings for drainage through walls shall be shown in section details and approved by the City Engineer. Cross-lot drainage is not allowed.
19. The applicant shall remove any existing substandard driveway approaches, curbs, sidewalks, ADA ramps, pavement sections, tree well and landscaping, and construct Garden Grove Boulevard frontage improvements as identified below. All landscape, irrigation, sidewalk, and lighting improvements installed within the public rights-of-way shall require the approval of the City Engineer, Street Division, and Planning Services Division and shall be maintained by the applicant for the life of the Project.
- a. A separate street improvement plan shall be prepared and submitted to the Engineering Division for the proposed improvements within the public right-of-way Garden Grove Boulevard/Brookhurst Street, which shall include any proposed landscaping and irrigation plans. All work shall be per City standards and specifications.
 - b. Existing substandard driveways (3 total) on Garden Grove Boulevard shall be removed and replaced with new curb, gutter, landscape, and sidewalk per City standards and specifications.
 - c. The new driveway approach to the site on Garden Grove Boulevard shall be constructed in accordance with Garden Grove Standard B-120 (option #2).
 - d. The applicant shall remove the existing damaged sidewalk panels fronting the project on Garden Grove Boulevard and replace it with new sidewalk panels in accordance with City of Garden Grove Standard B-106. The owner/contractor shall verify the removal and replacement sections of the sidewalk concrete panels with public works inspector prior to start of construction.
 - e. The new tree wells fronting the project on Garden Grove Boulevard shall be constructed in accordance with Garden Grove Standard B-123 and B-127.

- f. The applicant shall plant total of six Columbia Sycamore tree (36-inch box). The applicant shall coordinate with City's public works division prior to order and placement of trees on Garden Grove Boulevard.
 - g. Construct curb and gutter when replacing any existing driveway approaches along the property frontage on Garden Grove Boulevard in accordance with City Standard Plan B-113.
 - h. The applicant shall locate all existing public utilities across the property frontage and within the property boundary of the project prior to commencement of grading operation and mobilization.
 - i. The applicant shall coordinate with the Planning Services Division and Public Works Street Division before placing any type of tree within public right-of-way and proposed landscape area.
 - j. Street signs shall be installed as required and approved by the City Traffic Engineer.
20. The applicant shall remove any existing substandard driveway approaches, curbs, sidewalks, ADA ramps, pavement sections, tree well and landscaping, and construct Brookhurst Street frontage improvements as identified below. All landscape, irrigation, sidewalk, and lighting improvements installed within the public rights-of-way shall require the approval of the City Engineer, Street Division, and Planning Division and shall be maintained by the applicant for the life of the Project.
- a. A separate street improvement plan shall be prepared and submitted to the Engineering Division for the proposed improvements within the public right-of-way Garden Grove Boulevard/Brookhurst Street, which shall include any proposed landscaping and irrigation plans. All work shall be per City standards and specifications.
 - b. Existing substandard driveway on Brookhurst Street shall be removed and replaced with new curb, gutter, landscape, and sidewalk per City standards and specifications.
 - c. The new driveway approach to the site on Brookhurst Street shall be constructed in accordance with Garden Grove Standard B-120 (option #2).
 - d. The applicant shall remove the existing damaged sidewalk panels fronting the project on Brookhurst Street and replace it with new sidewalk panels in accordance with City of Garden Grove Standard B-106. The owner/contractor shall verify the removal and replacement sections of the sidewalk concrete panels with public works inspector prior to start of construction.

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- e. The applicant shall install delineator and striping to prevent southbound left turns into Brookhurst Street Driveway approach and also to prevent exiting left-turns onto southbound Brookhurst Street per approved site plan SP-111-2022.
 - f. The new tree wells fronting the project on Brookhurst Street shall be constructed in accordance with Garden Grove Standard B-123 and B-127.
 - g. The applicant shall plant total of seven Columbia Sycamore tree (36-inch box). The applicant shall coordinate with City's public works division prior to order and placement of trees on Brookhurst Street.
 - h. Construct curb and gutter when replacing any existing driveway approach along the property frontage on Brookhurst Street in accordance with City Standard Plan B-113.
 - i. The applicant shall locate all existing public utilities across the property frontage and within the property boundary of the project prior to commencement of grading operation and mobilization.
 - j. The applicant shall coordinate with the Planning Services Division and Public Works Street Division before placing any type of tree within public right-of-way and proposed landscape area.
 - k. Street signs shall be installed as required and approved by the City Traffic Engineer.
- 21. Any proposed new landscaping in public right-of-way shall be approved by Planning Services and maintained by the owner for the life of the Project.
 - 22. Driveway widths shall be in accordance with City's Traffic Engineering Policy TE-8 (Driveway Opening Policy).
 - 23. Sight Distance Standards shall be in accordance with City's Traffic Engineering Policy TE-13. All structures and walls shall be designed to ensure proper vision clearance for cars entering or leaving the driveway and parking areas. No structure, wall or fence shall cause an exceedance of the applicable site distance standards set forth in City Traffic Engineering Policy TE 13.
 - 24. The Site Plan and Tentative Map shall comply with the completed Development Review and Comment Sheet prepared pursuant to City's Traffic Engineering Policy TE-17 and provided to the applicant.
 - 25. Private Property Tow Away Sign Design shall be in accordance with City's Traffic Policy & Procedures TE-19.

26. No Parking Fire Lane Sign Design shall be in accordance with City's Traffic Policy & Procedures TE-20.
27. Traffic Impact Mitigation Fees / Transportation Facilities Fees shall be in accordance with Garden Grove City Council Resolution 9401-16 and Chapter 10.110 of the Garden Grove Municipal Code.
28. Parking lot layout shall be in accordance with City Standard B-311 & B-312.
29. The design, placement, and construction of off-street parking areas and spaces, driveways, maneuvering areas, and garages and carports shall conform to the standards set forth in Section 7-9-70.3 of the Orange County Code of Ordinances (Off-street parking requirements for residential uses A minimum three-foot-by-three-foot-wide maneuvering area shall be provided at the end of a dead-end parking aisle and shall consists of a ten-foot-by-nineteen-foot-wide turn-around space.
30. For any security gate that restricts vehicular access onto any multi-family residential development, the following requirements shall apply:
 - a. All vehicular security gates shall be constructed of material that is not view-obscuring.
 - b. All vehicular security gates shall be automatically operated by remote control devices. Furthermore, such vehicular gates shall not be permitted to swing-in or out.
 - c. **Pedestrian Access.** A separate pedestrian walkway leading from the public sidewalk into a development shall be provided for any development with a security gate across a vehicular access driveway. Furthermore, any security gate that restricts pedestrian access to dwelling units of any multi-family residential development, an intercom or telephone system shall be provided at the gate for each dwelling unit with restricted access as a condition of approval of the security gate.
 - d. **Gate Width.** Vehicular entry gates shall open a minimum 20 feet to completely clear the minimum driveway width. Additional width may be required by the City for access or circulation purposes.
 - e. **Vehicular Turn-around.** A turn-around area outside of the gate shall be required for any development.
 - f. **Trash Pickup.** A means of entry, to be approved by the City-franchised trash disposal service, shall be provided which automatically opens the vehicular gate(s) for trash pickup.

Permit Issuance

31. The applicant shall be subject to Traffic Mitigation Fees, In-Lieu Park Fees Drainage Facilities Fees, Water Assessment Fees, and other applicable mitigation fees identified in Chapter 9.44 of the Garden Grove Municipal Code, along with all other applicable fees duly adopted by the City. The amount of said fees shall be calculated based on the City's current fee schedule at the time of permit issuance.
32. A separate street permit is required for work performed within the public right-of-way.
33. Grading fees shall be calculated based on the current fee schedule at the time of permit issuance.
34. The applicant shall identify a temporary parking site(s) for construction crew and construction trailers office staff prior to issuance of a grading permit. No construction parking is allowed on local streets. Construction vehicles should be parked off traveled roadways in a designated parking area. Parking areas, whether on-site or off-site, shall be included and covered by the erosion control plans.
35. Prior to issuance of a grading permit, the applicant shall submit and obtain approval of a work-site traffic control plan for all the proposed improvements within public right-of-way, and shall be subject to the review and approval of the City Traffic Engineer.
36. In accordance to City of Garden Grove Municipal Code (Chapter 9.48.030), the applicant is required to underground all existing and proposed on-site and off-site utility facilities fronting the project, which the developer is developing or redeveloping. All existing improvements and utilities shall be shown as part of the grading submittal package in the topography section.

Project Construction/Operation

37. The applicant shall coordinate with City's Public Works Department (engineering, water services and streets division) and setup appointments for pre-construction inspections for all the on-site and off-site improvements prior to commencement of grading operation and mobilization.
38. In accordance with the Orange County Storm Water Program manual, the applicant and/or its contractors shall provide dumpsters on-site during construction unless an Encroachment Permit is obtained for placement in street.
39. The applicant and his contractor shall be responsible for protecting all existing horizontal and vertical survey controls, monuments, ties (centerline and

corner) and benchmarks located within the limits of the project. If any of the above require removal; relocation or resetting, the Contractor shall, prior to any construction work, and under the supervision of a California licensed Land Surveyor, establish sufficient temporary ties and benchmarks to enable the points to be re-set after completion of construction. Any ties, monuments and bench marks disturbed during construction shall be reset per Orange County Surveyor Standards after construction. Applicant and his contractor shall also re-set the tie monuments where curb or curb ramps are removed and replaced or new ramps are installed. The Applicant and his contractor shall be liable for, at his expense, any resurvey required due to his negligence in protecting existing ties, monuments, benchmarks or any such horizontal and vertical controls. Temporary Benchmarks shall not be used for Vertical control. Benchmarks shall be to the National Geodetic Vertical Datum (NGVD).

40. Heavy construction truck traffic and hauling trips, and any required lane closures shall occur outside peak travel periods. Peak travel periods are considered to be from 7 a.m. to 9 a.m. and 4 p.m. to 6 p.m.
41. Prior to grading or building permit closeout and/or the issuance of a certificate of use or a certificate of occupancy, the applicant shall:
 - a. Demonstrate that all structural best management practices (BMPs) described in the Project WQMP have been constructed and installed in conformance with approved plans and specifications.
 - b. Demonstrate that the applicant is prepared to implement and maintain all non-structural BMPs described in the Project WQMP.
 - c. Demonstrate that an adequate number of copies of the approved Project WQMP are available on-site.
 - d. Submit for review and approval by the City an Operations and Maintenance (O&M) Plan for all structural BMPs.

Public Works Water Services Division

42. New water connections may be taken off the 8" water main on the east side of Brookhurst Street, or off the 10" water main on Garden Grove Boulevard.
43. New water service installations 2" and smaller, may be installed by the City of Garden Grove at owner's/developer's expense. Installation shall be scheduled upon payment of applicable fees, unless otherwise noted. Fire services and larger water services 3" and larger, shall be installed by applicant's contractor per City Standards.
44. Water meters shall be located within the City right-of-way. Fire services and large water services 3" and larger shall be installed by applicant's contractor

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possessing a Class A or C-34 license, per City water standards and inspected by approved Public Works inspection.

45. A Reduced Pressure Principle Device (RPPD) backflow prevention device shall be installed for meter protection. The landscape system shall also have RPPD device. Any carbonation dispensing equipment shall have a RPPD device. Installation shall be per City Standards and shall be tested by a certified backflow device tester immediately after installation. Cross-connection inspector shall be notified for inspection after the installation is completed. Property owner shall have RPPD device tested once a year thereafter by a certified backflow device tester and the test shall be submitted to Public Works, Water Services Division. Property owner must open a water account upon installation of RPPD device.
46. It shall be the responsibility of owner/developer to abandon any existing private water well(s) per Orange County Health Department requirements. Abandonment(s) shall be inspected by Orange County Health Department inspector after permits have been obtained.
47. A composite utility site plan shall be part of the water plan approval.
48. There shall be a minimum 15-foot clearance of building footings from the water main. Clearances less than 15 feet shall be reviewed and approved by Water Engineering.
49. The project site has an existing water main easement located on the east side of the property. There shall be no structures or utilities built on, or crossing, the water or sewer main easements.
50. New utilities shall have a minimum 5-foot horizontal and a minimum 1-foot vertical clearance from water main and appurtenances.
51. There shall be a minimum clearance from sewer main and water main of 10 feet from outside-of-pipe to outside-of-pipe.
52. Any new or existing water valve located within new concrete driveway or sidewalk construction shall be reconstructed per City Standard B-753.
53. City shall determine if existing water services(s) is/are usable and meets current City Standards. Any existing meter and service located within new driveway(s) shall be relocated at applicant's expense.
54. Fire service and private fire hydrant connections shall have above-ground backflow device with a double-check valve assembly per City standard plan B-773. Device(s) shall be tested immediately after installation and once a year thereafter by a certified backflow device tester and the results to be submitted to Public Works, Water Services Division. Device shall be on private property

and is the responsibility of the property owner. The above-ground assembly shall be screened from public view as required by the Planning Division.

55. No permanent structures, trees or deep-rooted plants shall be placed over sewer main or water main.
56. Location and number of fire hydrants shall be as required by Water Services Division and OCFA.
57. Commercial food use of any type shall require the installation of an approved grease interceptor prior to obtaining a business license. Plumbing plan for grease interceptor shall be routed to environmental services for review.
58. A properly sized grease interceptor shall be installed on the sewer lateral and maintained by the property owner. There shall be a separate sanitary waste line that will connect to the sewer lateral downstream of the grease interceptor. All other waste lines shall be drained through the grease interceptor. Grease interceptor shall be located outside of the building and accessible for routine maintenance. Owner shall maintain comprehensive grease interceptor maintenance records and shall make them available to the City of Garden Grove upon demand.
59. Food grinders (garbage disposal devices) are prohibited per Ordinance 6 of the Garden Grove Sanitary District Code of Regulations. Existing units are to be removed.
60. Applicant shall install new private sewer lateral with clean out at right-of-way line. Lateral in public right-of-way shall be 6" minimum diameter, extra strength VCP with wedgelock joints.
61. Should the water main be exposed during installation of the new sewer lateral, section of water main will be required to be removed and replaced with 20-foot section of PVC C-900 DR14 Class 305, centered at the crossing and size in kind.
62. Should the new sewer lateral be proposed to cross over the water main, a variance from the State Water Resources Control Board (SWRCB) is required.
63. Applicant shall abandon all existing sewer laterals. The 8" sewer main on Garden Grove Blvd directly in front of the property shall also be abandoned in its entirety up to the manhole aligning with the easterly property line.

Building and Safety Division

64. The project shall comply with the requirements of the 2019 California Building Code (CBC), the California Green Building Code, and all California Model Codes, including, that the buildings shall be solar ready.

65. All works shall comply with the latest California (CA) Building Standards Code (CBC) at time of permit application.
66. The project shall comply with the allowable building areas/heights/number of stories per CBC Chapter 5. The project shall provide a complete analysis on the title sheet and clearly indicate any area/height/number of story increase proposed, and shall reference the Code Section(s) being used.
67. The project shall demonstrate that the allowable number of stories for group R-2 in Type V-A construction complies with per Table 504.4 of the CBC with the exception of Section 510.4.
68. The project shall, on the title sheet, clearly identify type of automatic fire sprinkler system that will be used for the project.
69. The building shall comply with the latest CA Green Building Standards. The project shall provide a complete cross reference of each item from the Green Code checklist to the plans and sheets where compliance can be found.
70. Markings and identifications of future Electric Vehicle (EV) spaces shall be as required by the Green Building Code and shall comply with CBC Section 11B-228.3.
71. All residential areas and common use areas shall comply with CBC Chapter 11A.
72. Multi-story dwelling units in a building with one or more elevators shall comply with CBC Section 1102A.3.2.
73. All public use areas shall comply with CBC Chapter 11B.
74. The project shall demonstrate that the occupied roof complies with CBC Section 503.1.4, and the occupancy of the roof is an occupancy that is permitted by Table 504.4 for the story immediately below the roof.
75. All roof decks shall meet all requirements of CBC Section 2304.11.4. The project shall provide complete construction details for the roof deck construction, including third party approval number.
76. Cross ventilations of roof deck shall be provided per CBC Section 2304.12.2.6
77. All egress and exiting shall meet all requirements of CBC Chapter 10.
78. Fire-rated constructions and opening and penetration protections shall comply with CBC Chapter 7.

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79. A soil investigation report per CBC Chapter 18 shall be provided at time of permit application for building plan reviews.
80. Solar zone shall be provided per CA Building Energy Efficiency Standards.
81. Building Commissioning is required for non-residential buildings over 10,000 square feet per Energy Standard Section 120.8.
82. Building Commissioning when required, shall comply with all requirements of Section 120.8(a) through 120.8(i). At time of permit application, all required commissioning items shall be submit for review or on the plans, if not provided, the plans will be deemed incomplete and no further plan review will be provided until all commissioning items are submitted.

Fire Department

83. The applicant shall comply with all applicable Orange County Fire Authority requirements, including, but not limited to the Fire Master Plan.

Planning Services Division

84. This approval is for the construction of five-story, mixed-use development with 19,056 square feet of commercial lease space designated for 9,786 square feet of retail use and 9,270 square feet of medical use, and fifty-two (52) residential apartment units.
85. Only uses listed as permitted or conditionally permitted within the Land Use Chart, Table 9.18-1 of Section 9.18.020.030 of Title 9 of the City's Municipal Code for the GGMU-2 zone shall be permitted, and subject to the parking requirements of the Municipal Code.
86. Written notification shall be provided to all occupants and users that the surrounding area may be subject to levels of noise, dust, fumes, or other effects associated with commercial uses at higher levels than would be expected in strictly residential areas. State and federal health regulations notwithstanding, noise and other standards shall be those applicable to commercial properties in the applicable zone.
87. The applicant shall submit detailed plans, showing the proposed location of utilities and mechanical equipment to the Community and Economic Development Department, Planning Services Division for review and approval prior to submitting plans into the Building and Safety Division Plan Check process. The project shall also be subject to the following:
 - a. All on-site and off-site utilities (off-site refers to the areas within public right-of-way to the center line of the streets adjacent to the subject property), within the perimeter of the site and to the centerline of the

Site Plan No. SP-111-2022 and Tentative Parcel Map No. PM-2021-190
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adjacent streets, shall be installed or relocated underground. All on-site and off-site utilities pertaining to the improvements proposed under this Site Plan and Tentative Parcel Map shall be installed or relocated underground.

- b. All above-ground utility equipment (e.g. electrical, gas, telephone, cable TV) shall not be located in any street setback, within the common areas, or any parking areas, and shall be screened to the satisfaction of the Community and Economic Development Director.
 - c. No roof-mounted mechanical equipment including, but not limited to dish antennas, shall be permitted unless a method of screening complementary to the architecture of the building is approved by the Community and Economic Development Department prior to the issuance of building permits. Screening shall block visibility of any roof-mounted mechanical equipment from view of public streets and surrounding properties.
 - d. All ground or wall-mounted mechanical equipment shall be screened from view from any place on or off the site.
 - e. No exterior piping, plumbing, or mechanical ductwork shall be permitted on any exterior façade and/or be visible from any public right-of-way or adjoining property. Roof rain gutters are permitted. The rain gutters shall follow the natural architectural lines of the building.
88. The applicant shall submit a complete and detailed landscaping plan with irrigation systems included for review and approval by the Community and Economic Development Department prior to the issuance of a building permit. Drought tolerant plantings are encouraged. The landscape plan shall include the type (both common and botanical names), size, location, and quantity of all proposed plant material. All proposed landscaping shall be planted prior to the finalization of the building permit. The plan shall be consistent with the landscape requirements set forth and/or incorporated in the Garden Grove Municipal Code. All landscape irrigation shall comply with the City's Landscape Ordinance, associated Water Efficiency Guidelines and all recent applicable revisions from the State of California on water conservation measures shall be to the landscape plans. The landscape plan is also subject to the following:
- a. A complete, permanent, automatic remote control irrigation system shall be provided for all landscaping areas shown on the plan. Subsurface systems are encouraged. The irrigation plan for any new trees shall have a deep-water irrigation system that shall be specified on the landscape plan. A detail of the deep-water irrigation system shall be provided for review. If sprinklers are used, they shall be low flow/precipitation sprinkler heads for water conservation.

- b. The plan shall provide a mixture of a minimum of ten percent (10%) of the trees at 48-inch box, ten percent (10%) of the trees at 36-inch box, fifteen percent (15%) of the trees at 24-inch box, and sixty percent (60%) of the trees at 15-gallon, the remaining five percent (5%) may be of any size. These trees shall be incorporated into the landscaped frontages of all streets, and within the outdoor recreation areas. Where clinging vines are considered for covering walls, Boston Ivy shall be used.
- c. Clinging vines shall be installed within the landscape planters along the perimeter block walls to deter graffiti.
- d. Trees planted within 10-feet of any public right-of-way shall be planted in a root barrier shield. All landscaping along street frontages adjacent to driveways shall be of the low height variety to ensure safe sight clearance.
- e. Landscaping along Garden Grove Boulevard and Brookhurst Street shall comply with the landscape requirements of the Garden Grove Mixed Use Zones. Off-site landscaping shall include planters with canopy trees spaced 30'-0" apart on center with an under planting of shrubs and flowering ground cover. Plant materials within the public rights-of-ways shall be determined by the City's Public Work's Department. On-site landscaping shall include both columnar and canopy trees. Columnar trees (minimum height at maturity of 45'-0") shall be planted within 10'-0 of the public right-of-way and shall be placed at regular intervals and no more than 40'-0" on center. On-site canopy trees shall be planted at a ratio of at least one tree for every 50'-0" of the Garden Grove Boulevard street frontage. The on-site front yard landscape area shall also include shrubs and flowering ground covers. All on and off-site canopy trees shall be a minimum size of 24-inch box. Columnar trees shall be a minimum of 25'-0" tall. Should palm trees be proposed, the brown trunk height of the palm trees shall be 25'-0".
- f. All landscape areas, including the areas located within the public rights-of-ways along Garden Grove Boulevard and Brookhurst Street that abuts the subject property, are the responsibility of the applicant/property owner(s).
- g. Landscaping within the roof deck gardens shall incorporate artificial turf, and planters with canopy trees, shrubs, and flowering plants.
- h. The landscape plan shall incorporate and maintain for the life of the project those means and methods to address water run-off also identified as Low Impact Development provisions, which address water run-off. This is to also be inclusive of any application of Water Quality Management Plans (WQMP), Drainage Area Management Plans (DAMP)

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- and any other water conservation measures applicable to this type of development.
- i. At the time of irrigation installation, the irrigation system shall comply with all applicable provisions of the City's Water Conservation Ordinance, the City's Municipal Code landscape provisions, and all applicable state regulations.
 - j. All above-ground utilities (e.g. water backflow devices, electrical transformers, irrigation equipment) shall be shown on the landscaping plan in order to ensure proper landscape screening will be provided.
89. The common recreation area improvements shall be reviewed and approved by the Community and Economic Development Department, Planning Services Division prior to issuance of building permits. The improvements to the outdoor roof gardens shall include at a minimum, a raised wood deck with a fire pit, synthetic grass, benches, and landscaping in Roof Garden No. 1; outdoor furniture, including tables, chairs, patio and lounge furniture, barbeque grills, benches, synthetic turf, fiberglass planters, and landscaping in Roof Garden No. 2; and landscaping and benches in Roof Gardens No. 3 and No. 4. All interior recreation areas shall incorporate the appropriate indoor furniture and amenities for the proposed use of the room. The indoor gyms shall incorporate exercise equipment or similar equipment, and the lounge areas shall be furnished with chairs, sofas, and coffee tables or other similar furniture. Lighting in the common recreation areas shall be provided at a maximum one-foot light candle during the hours of darkness, and shall be restricted to low decorative type wall-mounted lights or ground lighting systems.
90. The garden plaza shall incorporate amenities to encourage the pedestrian use, and shall incorporate landscaping, seating, public art and other amenities as required by the Mixed Use code for Boulevard Garden Plazas, including the amenities proposed on the approved plans, such as step seating and freestanding LED lighting.
91. Enhanced concrete treatment shall be provided within the front 20-feet for each of the driveways along Garden Grove Boulevard and Brookhurst Street, subject to the Community and Economic Development Department, Planning Services Division's approval. Such enhanced concrete treatment may include decorative stamped concrete or interlocking pavers, or other enhanced treatment, excluding scored and/or colored concrete. The final design and configuration shall be shown on the final site plan, grading plan, and landscape plans.
92. All lighting structures shall be placed so as to confine direct rays to the subject property. All exterior lights shall be reviewed and approved by the City's Planning Division. Lighting adjacent to residential properties shall be restricted

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to low decorative type wall-mounted lights, or a ground lighting system. Lighting shall be provided throughout all drive aisles, the parking structure, and entrances to the development per City standards for on-site lighting. Lighting in the common areas shall be directed, positioned, or shielded in such manner so as not to unreasonably illuminate the window area of nearby residences. The applicant shall submit a light plan (photometric plan) to Planning Services Division for review.

93. Hours and days of construction and grading shall be as set forth in Chapter 8.47 of the City of Garden Grove Municipal Code, except as follows:
- a. Monday through Saturday - not before 7 a.m. and not after 8 p.m. (of the same day).
 - b. Sunday and Federal Holidays - may work same hours, but subject to noise restrictions as established in Chapter 8.47 of the Municipal Code.

Construction activities shall adhere to SCAQMD Rule 403 (Fugitive Dust), which includes dust minimization measures, the use of electricity from power poles rather than diesel or gasoline powered generators, the use of methanol, natural gas, propane, or butane vehicles instead of gasoline or diesel powered equipment, where feasible, the use of solar or low-emission water heaters, and the use of low-sodium parking lot lights, to ensure compliance with Title 24.

94. During construction, if paleontological or archaeological resources are found, all attempts will be made to preserve in place or leave in an undisturbed state in compliance with applicable law. In the event that fossil specimens or cultural resources are encountered on the site during construction and cannot be preserved in place, the applicant shall contact and retain, at applicant's expense, a qualified paleontologist or archaeologist, as applicable, acceptable to the City to evaluate and determine appropriate treatment for the specimen or resource, and work in the vicinity of the discovery shall halt until appropriate assessment and treatment of the specimen or resource is determined by the paleontologist or archeologist (work can continue elsewhere on the project site). Any mitigation, monitoring, collection, and specimen/resource treatment measures recommended by the paleontologist/archaeologist shall be implemented by the applicant at its own cost.
95. The applicant shall comply with the Migratory Bird Treaty Act (MBTA), and Sections 3503, 3503.5 and 3515 of the California Fish and Game Code, which require the protection of active nests of all bird species, prior to the removal of any on-site landscaping, including the removal of existing trees.
96. All signage comply with Chapter 20 of Title 9 of the City's Municipal Code. A sign program shall be established for the development prior to Certificate of Occupancy.

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97. Prior to the finalization of working drawings for Planning Services Division, Engineering Division, and Building and Safety Division Plan Check, the applicant shall submit to the Community and Economic Development Department detailed and dimensioned plot plans, floor plans, exterior elevations, and landscape plans which reflect the Conditions of Approval. The plans shall indicate cross-sections of all streets within the development, landscape materials, wall materials, and building materials proposed for the project.
98. Building color and material samples shall be submitted to the Planning Services Division for review and approval prior to issuance of building permits. The building shall incorporate all the architectural detailing identified on the approval plans. Specifically, the south and west building elevations shall incorporate a storefront system, chiseled limestone stone veneer, mounted horizontal metal louvers, and steel canopies over the entrance to several of the ground-level tenants of the commercial component, and chiseled limestone veneer, horizontal metal louvers, and a white smooth stucco finish on the upper elevation for the residential component.
99. The project shall provide a separate trash enclosure to serve the commercial component, and shall comply with the following:
 - a. The proposed trash enclosure shall be designed to comply with the City's B-502 trash enclosure standard, or with an alternative design approved by the Public Works Engineering Division.
 - b. The trash enclosure shall have unifying color and exterior finish that matches, and are integrated, with the proposed development. The proposed roof design of the trash enclosure shall be architecturally compatible with the design of the development. The Planning Services Division shall review and approve the design of the proposed roof and the material(s). The proposed roof and materials shall also comply with the building code requirements.
 - c. The trash bins shall be kept inside the trash enclosures, and gates closed at all times, except during disposal and pick-up. The property owner shall provide sufficient trash bins and pick-up to accommodate the site.
100. The project shall provide a separate trash room for the residential use with a trash shoot that serves each of the residential floors. The trash bins shall be kept inside the trash room at all times, except during disposal and pick-up. The property owner shall provide sufficient trash bins and pick-up to accommodate the site.
101. Prior to the issuance of grading permits, a temporary project identification sign shall be erected on the site in a secure and visible manner. The sign shall be conspicuously posted at the site and remain in place until occupancy of the

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- project. The sign shall include the name and address of the development, and the developer's name, address, and a 24-hour emergency telephone number.
102. Litter shall be removed daily from the project site, including adjacent public sidewalks and all parking areas under the control of the applicant. The areas shall be swept or cleaned, either mechanically or manually, on a weekly basis, to control debris.
 103. The applicant shall abate all graffiti vandalism within the premises. The applicant shall implement best management practices to prevent and abate graffiti vandalism within the premises throughout the life of the project, including, but not limited to, timely removal of all graffiti, the use of graffiti resistant coatings and surfaces, the installation of vegetation screening of frequent graffiti sites, and the installation of signage, lighting, and/or security cameras, as necessary. Graffiti shall be removed/eliminated by the applicant as soon as reasonably possible after it is discovered, but not later than 72 hours after discovery.
 104. There shall be no deliveries from or to the premises before 7:00 a.m. and after 10:00 p.m., seven days a week.
 105. All new block walls, and/or retaining wall(s), including existing block walls to remain, shall be shown on the grading plans. Cross sections shall show vertical and horizontal relations of improvements and property line. Block walls shall be designed in accordance to City standards or designed by a professional registered engineer, and shall be measured from on-site finished grade. The project shall also comply with the following:
 - a. The project shall maintain perimeter block walls with a minimum height 6 feet to a maximum height of 7 feet, as measured from highest point of the on-site finished grade along the east and north property lines.
 - b. If new block walls are proposed, the new block walls shall be constructed of decorative split-face masonry with decorative caps, subject to the Community and Economic Development Department's approval.
 - c. All existing block walls that will remain shall be modified, as necessary, to comply with the minimum block wall height requirement. The type, texture, and color of the block wall shall match any existing block wall that will remain.
 - d. All block walls shall comply with the requirements of the Chapter 9.18 of the Municipal Code. Where allowed, no walls greater than 36-inches in height shall be construction with the driveway vision clearance area of the project's entrance.

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- e. The applicant shall work with the existing adjacent property owners along the project perimeter in designing and constructing the required perimeter block walls. This requirement is to avoid having double walls and to minimize any impact that it might cause to the existing landscaping on the neighbor's side as much as possible. The perimeter block wall shall be constructed and situated entirely within the subject property. In the event that the applicant cannot obtain approval from the adjacent property owners, the applicant shall construct the new wall with a decorative cap to be placed between the new and existing walls. In the event the location of a new wall adjacent to an existing wall or fence has the potential to affect the landscape planter, then the applicant shall work with City Staff to address this situation. The Community and Economic Development Director shall be authorized to approve minor alterations to the size and/or location of the landscape planter to accommodate the placement of such wall.
106. The applicant shall ensure that the project complies with the following requirements and stipulations for the life of the project:
- a. The proposed development will consist of the construction of 52 apartment units, and three (3) units shall be reserved for very low-income households.
 - b. The project shall designate, and clearly identify, the commercial and residential parking spaces. A total of 65 parking spaces shall be designated, clearly labeled, and made available to the residential units at all times. The designated residential parking spaces shall be located within the secured parking structure. During non-business hours, the commercial parking spaces may be utilized by the residents of the development.
 - c. The parking structure gates shall remain open during normal business hours when the commercial tenants are in operation. The parking structure gates shall close during non-business hours, and residents shall access the parking structure with a gate remote from a designated vehicular entrance.
 - d. All parking structure vehicular gates and the drive-aisle sliding gate shall be of automatic type.
 - e. There shall be no parking allowed along any drive-aisle, except within the designated parking areas. All curbs not designated as parking areas shall be painted red. The applicant shall post "No Parking" signs along the drive aisles.

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- f. Residents shall not park or store vehicles anywhere on the site except within the designated parking spaces; however, the commercial parking spaces may be used for overflow parking during non-business hours.
- g. Best Management Practices shall be implemented to deter and/or abate any graffiti vandalism that occurs on the project site, including, but not limited to, timely removal of all graffiti, the use of graffiti resistant coatings and surfaces, the installation of vegetation screening of frequent graffiti sites, the installation of signage, lighting, and/or security cameras, as necessary, and the installation and maintenance of clinging vines within the landscape planters along the perimeter block walls. Graffiti shall be removed/eliminated by the applicant as soon as reasonably possible after it is discovered, but not later than 72 hours after discovery.
- h. Each residence shall be utilized as one (1) dwelling unit. No portion of any residence shall be utilized or rented as a separate dwelling unit.
- i. All balconies shall remain open and shall not be enclosed at any time. There shall be no storage allowed in the balconies at any time.
- j. Parking and storage of boats, recreational vehicles, or commercial vehicles on the property is prohibited.
- k. The maintenance of the drive aisles, storm drains, sewer system, and open space areas is the responsibility of the applicant and property owner, including the common recreation area, and the common landscape areas.
- l. Each unit shall be provided with an air conditioning condensing unit and/or system so that there are no wall-mounted, or window mounted units. If units are located on the roof, an architectural design of the roof areas shall be done to effectively screen such units from adjacent properties and the public right-of-way.
- m. Mailboxes shall be provided and installed by the applicant. The local postmaster shall approve the design and location.
- n. Each unit shall have phone jacks and cable-TV outlets in all rooms, except in the hallways and bathrooms.
- o. Each unit shall be provided with washer and dryer hook-ups.
- p. Each unit shall provide a separate storage area of 70.83 cubic feet for each 2-bedroom unit, and 58.5 cubic feet for each 1-bedroom unit.

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107. Final Tentative Parcel Map No. PM-2021-190 shall be approved by the City and recorded by the applicant prior to issuance of building permits for the proposed mixed-use development.
108. The applicant/property owner shall submit signed letters acknowledging receipt of the decision approving Site Plan No. SP-111-2022 and Tentative Parcel Map No. PM-2021-190, and his/her/its agreement with all conditions of approval.
109. The applicant shall, as a condition of project approval, at its sole expense, defend, indemnify and hold harmless the City, its officers, employees, agents and consultants from any claim, action, or proceeding against the City, its officers, agents, employees and/or consultants, which action seeks to set aside, void, annul or otherwise challenge any approval by the City Council, Planning Commission, or other City decision-making body, or City staff action concerning Site Plan No. SP-111-2022 and Tentative Parcel Map No. PM-2021-190. The applicant shall pay the City's defense costs, including attorney fees and all other litigation related expenses, and shall reimburse the City for court costs, which the City may be required to pay as a result of such defense. The applicant shall further pay any adverse financial award, which may issue against the City including, but not limited, to any award of attorney fees to a party challenging such project approval. The City shall retain the right to select its counsel of choice in any action referred to herein.
110. In accordance with Garden Grove Municipal Code Sections 9.32.160 and 9.40.070.A, respectively, the rights granted pursuant to Site Plan No. SP-111-2022 and Tentative Parcel Map No. PM-2021-190 shall be valid for a period of two years from the effective date of this approval. Unless a time extension is granted pursuant to Section 9.32.030.D.9 of the Municipal Code, the rights conferred by Site Plan No. SP-111-2022 shall become null and void if the subject development and construction necessary and incidental thereto is not commenced within two (2) years of the expiration of the appeal period and thereafter diligently advanced until completion of the project. In the event construction of the project is commenced but not diligently advanced until completion, the rights granted pursuant to Site Plan No. SP-111-2022 and Tentative Parcel Map No. PM-2021-190 shall expire if the building permits for the project expire.
111. The Conditions of Approval set forth herein include certain development impact fees and other exactions. Pursuant to Government Code §66020(d), these Conditions of Approval constitute written notice of the amount of such fees. The applicant is hereby notified that the 90-day protest period, commencing from the effective date of approval of Site Plan No. SP-111-2022 and Tentative Parcel Map No. PM-2021-190, has begun.

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112. At applicant's request, applicant has been granted a density bonus of seven (7) units, one (1) incentive, and three (3) waivers in exchange for the applicant's agreement to reserve three (3) dwelling units in the project for occupancy by very low-income households for a period of 55 years commencing with the issuance of the certificate of occupancy for the project. The applicant shall at all times during the term of the affordability period comply with the requirement to rent the three (3) target units to very low-income households at an affordable rent as required by the Garden Grove Municipal Code and State Law. Landlords receive fair market rent from tenants who are recipients of subsidies under Section 8 of the U.S. Housing Act of 1937, which do not qualify as affordable rent for purposes of the three (3) target units set aside for low-income households. Pursuant to State law, the Garden Grove Municipal Code, and the City's Density Bonus Agreement Guidelines, the record owner or owners of the subject property shall enter into a Density Bonus Housing Agreement with the City in a form approved by the City Attorney. The Density Bonus Housing Agreement shall be prepared by the City at the applicant/owner's expense. The Density Bonus Housing Agreement shall be approved by the City and recorded prior to issuance of a building permit for any structure in the housing development. The Density Bonus Housing Agreement shall run with the land and bind on all future owners and successors in interest.
113. The applicant shall enhance the east building elevation by incorporating vertical wall landscaping to soften the building façade, and shall also incorporate privacy features, that are integrated with the design of the building, to the parking structure openings located on levels 2 and 3.

PROJECT INFORMATION

15. NUMBER OF EV STALL :
- COMMERCIAL: REQUIRED: 11 / PROVIDED: 11
- RESIDENTIAL: REQUIRED: 8 / PROVIDED: 8

16. NUMBER OF CHARGING STATION:
- COMMERCIAL: REQUIRED: 7 / PROVIDED: 7
- RESIDENTIAL: REQUIRED: 5 / PROVIDED: 5

17. NUMBER OF ACCESSIBLE PARKING:
- COMMERCIAL: REQUIRED: 5 / PROVIDED: 5
- RESIDENTIAL: REQUIRED: 4 / PROVIDED: 4

18. NUMBER OF PARKING

- REQUIRED:
- COMMERCIAL UNITS
- RETAIL: 9,785.72 SF / 200 SF = 48.93
- MEDICAL OFFICE*: 9,269.97 SF / 170 SF = 54.53
- TOTAL: 104 STALLS
- RESIDENTIAL UNITS
- 1 BEDROOMS: 26 x 1 = 26 STALLS
- 2 BEDROOMS: 26 x 1.5 = 39 STALLS
- TOTAL: 65 STALLS
- REQUIRED TOTAL: 169 STALLS
* NOTE: ENCLOSED CORRIDORS AND LOBBY AREA INCLUDED TOWARDS REQUIRED PARKING

- PROPOSED:
- REQUIRED: 52 UNIT * 300 SF = 15,600 SF
- PROPOSED:
(1) PRIVATE OPEN SPACE:
- BALCONY OF 1-BEDROOM UNITS: 59.97 SF * 26 = 1,559.22 SF
- BALCONY OF 2-BEDROOM UNITS: 44.35 SF * 26 = 1,153.1 SF
- TOTAL: 2,712.32 SF
(2) ACTIVE RECREATION AREA:
- ROOF GARDEN-1: 5,365.43 SF
- ROOF GARDEN-2: 3,975.80 SF
- TOTAL: 9,341.23 SF
(3) PASSIVE RECREATION AREA:
- ROOF GARDEN-3: 389.62 SF
- ROOF GARDEN-4: 528.82 SF
- TOTAL: 918.44 SF
- 50% OF PASSIVE RECREATION AREA: 459.22 SF
(4) INDOOR RECREATION AREA:
- GYM 1&2: 2,841.44 SF
- LOUNGE 1&2: 765.27 SF
- TOTAL: 3,606.71 SF (< 7,800 SF = 15,600 * 50%)
(5) RESIDENTIAL & COMMERCIAL SHARED RECREATION AREA:
- 25% OF GARDEN GROVE PLAZA: 841.75 SF (3,367 SF * 25%)

NUMBER OF PARKING PROVIDED		ON-GROUND	1ST FLOOR	2ND FLOOR	3RD FLOOR	TOTAL
	COMMERCIAL	7	52	58	0	117
	RESIDENTIAL	0	0	10	55	65
	TOTAL	7	52	68	55	182

19. OPENSOURCE
- REQUIRED: 52 UNIT * 300 SF = 15,600 SF
- PROPOSED:
(1) PRIVATE OPEN SPACE:
- BALCONY OF 1-BEDROOM UNITS: 59.97 SF * 26 = 1,559.22 SF
- BALCONY OF 2-BEDROOM UNITS: 44.35 SF * 26 = 1,153.1 SF
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- GYM 1&2: 2,841.44 SF
- LOUNGE 1&2: 765.27 SF
- TOTAL: 3,606.71 SF (< 7,800 SF = 15,600 * 50%)
(5) RESIDENTIAL & COMMERCIAL SHARED RECREATION AREA:
- 25% OF GARDEN GROVE PLAZA: 841.75 SF (3,367 SF * 25%)

- TOTAL PROPOSAL: (1)+(2)+(3)+(4)+(5)= 16,961.23 SF (>15,600 SF)

20. STOREFRONT OPENING REQUIREMENT
- GARDEN GROVE SIDE:
- REQUIREMENT: 40%
- PROVIDED: 2,848.53 SF / 5,537.28 SF = 51.44%
- BROOKHURST SIDE:
- REQUIREMENT: 20%
- PROVIDED: 2,163.88 SF / 4,385.66 SF = 49.34%

21. TOTAL PROPOSED LANDSCAPE AREA ON GROUND:
- ON SITE: 8,010 SF
- OFF SITE (TREE-WELLS): 252 SF
- TOTAL: 8,262 SF

SITE AREA LANDSCAPE RATIO:
- SITE LANDSCAPE ON GROUND (8,262 SF) / PROPERTY AREA (80,876 SF) = 10.22%

13. FAR
COMMERCIAL: 19,055.69 SF / 81,110 SF = 0.235
RESIDENTIAL: 71,930.47 SF / 81,110 SF = 0.887
NOTE:
1. PARKING STRUCTURE AREA NOT COUNTED
2. ENCLOSED CORRIDORS AND LOBBY AREAS WILL BE INCLUDED IN THE FAR

14. NUMBER OF RESIDENTIAL UNITS
ALLOWED:
- NUMBER OF RESIDENTIAL UNITS ALLOWED PER GCMU-2: 1.86 ACRE X 24 = 44.64 = 45 UNITS
- AFFORDABLE UNIT PERCENTAGE = 3 UNITS (VERY LOW INCOME)/45 UNITS x 100 = 6.67%
- DENSITY BONUS APPLIED: 22.50%
- NUMBER OF UNITS ALLOWED W/ DENSITY BONUS (22.50%) APPLIED: 45 UNITS x 1.225 = 55.125 = 56 UNITS
PROPOSED:
- NUMBER OF 1 BEDROOM UNITS PROPOSED (756.2 SF): 13 UNITS x 2 STORIES = 26 UNITS
- NUMBER OF 2 BEDROOM UNITS PROPOSED (1,006.36 SF): 13 UNITS x 2 STORIES = 26 UNITS
TOTAL NUMBER OF UNITS PROPOSED: 52 UNITS

* OPEN HALLWAY AND GARDEN ARE NOT INCLUDED IN TO THE TOTAL AREA.

13. FAR
COMMERCIAL: 19,055.69 SF / 81,110 SF = 0.235
RESIDENTIAL: 71,930.47 SF / 81,110 SF = 0.887
NOTE:
1. PARKING STRUCTURE AREA NOT COUNTED
2. ENCLOSED CORRIDORS AND LOBBY AREAS WILL BE INCLUDED IN THE FAR

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COMMERCIAL: 19,055.69 SF / 81,110 SF = 0.235
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2		GRADING PLAN
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4		TENTATIVE MAP (EXISTING CONDITION)
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2	LP-1A	PRELIMINARY LANDSCAPE PLAN
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1. ADDRESS: 10201 GARDEN GROVE BLVD., 10231 GARDEN GROVE BLVD.
2. ZONING: GCMU-2
3. APN: 089-072-53 AND 089-072-66
4. LEGAL DESCRIPTION: SEE DESCRIPTION IN TOPOGRAPHIC SURVEY, G-1.2
5. SITE AREA: 81,110 S.F. (1.86 ACRES)
6. OCCUPANCY: S-2, M, B, R-2
7. CONSTRUCTION TYPE: I-A, V-A
8. SPRINKLERED: YES
9. NUMBER OF STORY: 5
10. BUILDING HEIGHT & STORY:
ALLOWED (GCMU-2): 50', 4 STORIES
PROPOSED: 54'-8"(TO ROOF), 60'-2"(TO PARAPET), 67'-8"(TO STAIR ENCLOSURE)
11. PROJECT DESCRIPTION
-A 5-STORY MIXED-USE BUILDING
1ST FLOOR: PARKING STRUCTURE (TYPE I-A, S-2) + COMMERCIAL UNITS (TYPE I-A, B & M)
2ND FLOOR: PARKING STRUCTURE (TYPE I-A, S-2)
3RD FLOOR: PARKING STRUCTURE (TYPE I-A, S-2) + COMMERCIAL UNITS (TYPE I-A, B & M)
4TH-5TH FLOOR: MULTI-FAMILY RESIDENTIAL (TYPE V-A, R-2)

AREA TABULATION FOR PLANNING							(UNIT: SF)
		1ST FL.	2ND FL.	3RD FL.	4TH FL.	5TH FL.	TOTAL
PARKING STRUCTURE	PARKING	32,345.30	33,016.21	30,358.69	0	0	95,720.20
	RAMP	1,872.49	1,872.49	1,872.49	0	0	5,617.47
	STAIRS	640.04	649.75	651.15	0	0	1,940.94
	TOTAL	34,857.83	35,538.45	32,882.33	0	0	103,278.61
	TENANT	8,861.31	0	8,914.11	0	0	17,775.42
COMMERCIAL (B/M)	LOBBY	542.87	0	0	0	0	542.87
	ELEVATOR	174.22	174.22	181.64	0	0	530.08
	MACHINE	207.32	0	0	0	0	207.32
	OPEN HW*	0	548.77	4,160.04	0	0	4,708.81
	TOTAL	9,785.72	174.22	9,095.75	0	0	19,055.69
RESIDENTIAL	LIVING	0	0	0	23,124.50	23,124.50	46,249.00
	BALCONY	0	0	0	1,356.16	1,356.16	2,712.32
	CABINET	0	0	0	186.81	186.81	373.62
	LOBBY	1,346.87	720.41	979.69	0	0	3,046.97
	GYM/LOUNGE	0	0	0	1,681.03	1,925.68	3,606.71
	CORRIDOR	0	0	0	5,741.30	5,473.54	11,214.84
	STAIRS	0	0	0	872.08	925.31	1,797.39
	ELEVATOR	264.45	270.78	267.56	274.00	274.00	1,350.79
	MACHINE	335.48	0	0	0	0	335.48
	TRASH	490.67	186.67	186.67	189.67	189.67	1,243.35
	GARDEN*	0	0	0	10,259.67	0	10,259.67
	TOTAL	2,437.47	1,177.86	1,433.92	33,425.55	33,455.67	71,930.47
TOTAL	47,081.02	36,890.53	43,412.00	33,425.55	33,455.67	194,264.77	

* OPEN HALLWAY AND GARDEN ARE NOT INCLUDED IN TO THE TOTAL AREA.

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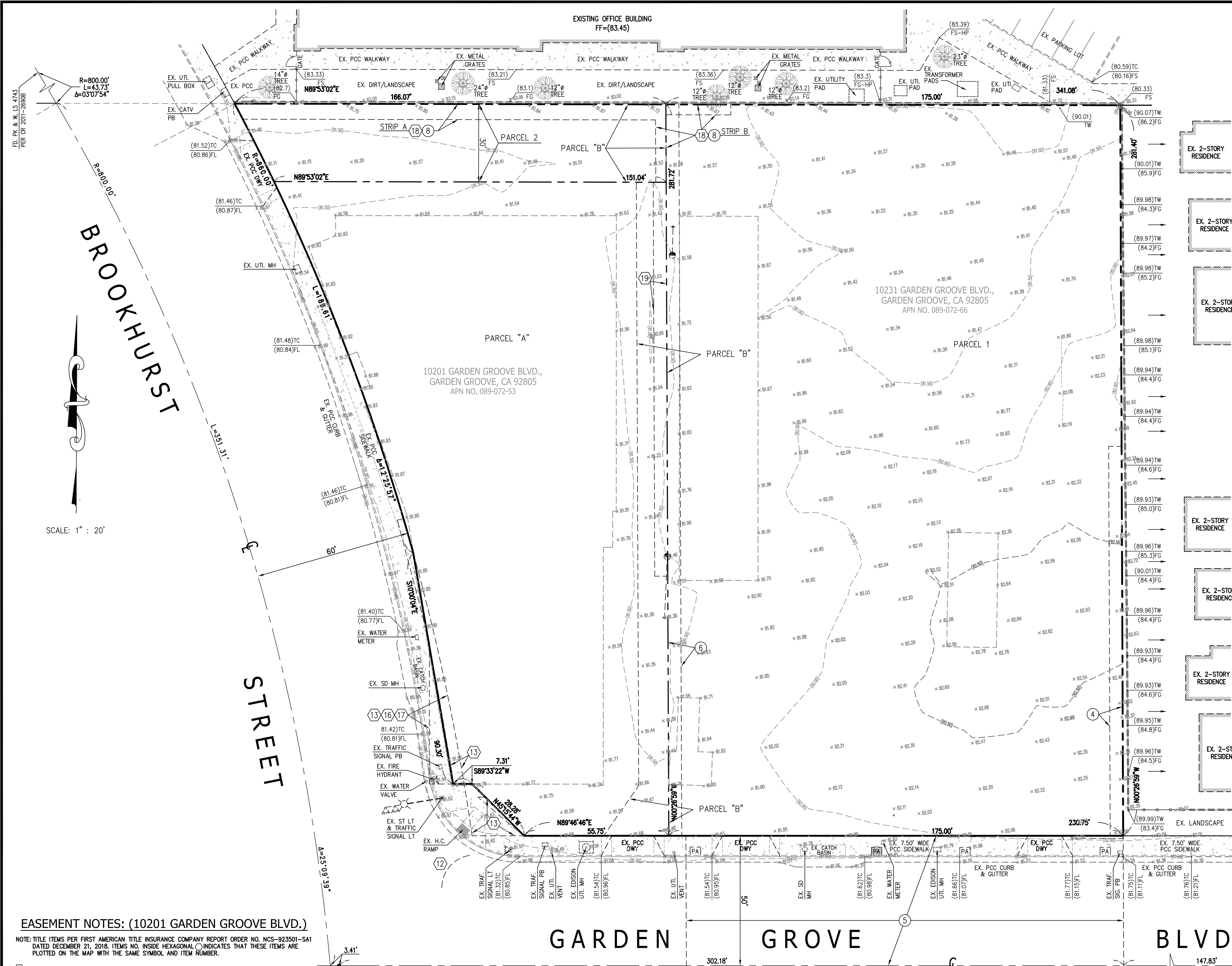
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EASEMENT NOTES: (10201 GARDEN GROOVE BLVD.)

- NOTE: TITLE ITEMS PER FIRST AMERICAN TITLE INSURANCE COMPANY REPORT ORDER NO. NCS-923501-SAI DATED DECEMBER 21, 2018. ITEMS NO. INSIDE HEXAGONAL CIRCLES INDICATES THAT THESE ITEMS ARE PLOTTED ON THE MAP WITH THE SAME SYMBOL AND ITEM NUMBER.
- AN EASEMENT FOR EITHER OR BOTH POLE LINES, CONDUITS AND INCIDENTAL PURPOSES, TO THE PACIFIC TELEPHONE AND TELEGRAPH COMPANY RECORDED APRIL 28, 1980 AS BOOK 5217, PAGE 60 OF OFFICIAL RECORDS. SAID EASEMENT CAN'T BE LOCATED FROM AVAILABLE RECORD
 - AN EASEMENT FOR STREET AND HIGHWAY AND INCIDENTAL PURPOSES, TO THE CITY OF GARDEN GROVE RECORDED AS BOOK 7610, PAGE 20 OF OFFICIAL RECORDS. NOTE: A PORTION OF SAID EASEMENT WAS VACATED BY RESOLUTION NO. 4003-71 AS RECORDED FEBRUARY 4, 1971 IN BOOK 9536, PAGE 924 OF OFFICIAL RECORDS.
 - AN EASEMENT FOR STREET AND HIGHWAY AND INCIDENTAL PURPOSES TO THE CITY OF GARDEN GROVE RECORDED FEBRUARY 03, 1970 AS BOOK 9208, PAGE 363 OF OFFICIAL RECORDS.
 - AN EASEMENT FOR STREET AND HIGHWAY AND INCIDENTAL PURPOSES TO THE CITY OF GARDEN GROVE RECORDED FEBRUARY 03, 1970 AS BOOK 9208, PAGE 366 OF OFFICIAL RECORDS.
 - AN EASEMENT FOR EITHER OR BOTH UNDERGROUND LINES, CONDUITS INCLUDING ABOVE-GROUND APPURTENANT FIXTURES AND INCIDENTAL PURPOSES TO SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION RECORDED MARCH 06, 1970 AS BOOK 9232, PAGE 696 OF OFFICIAL RECORDS. THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.
 - AN EASEMENT FOR EITHER OR BOTH UNDERGROUND LINES, CONDUITS INCLUDING ABOVE-GROUND APPURTENANT FIXTURES AND INCIDENTAL PURPOSES TO SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION RECORDED MARCH 06, 1970 AS BOOK 9232, PAGE 698 OF OFFICIAL RECORDS.
 - THE FACT THAT THE LAND LIES WITHIN THE BOUNDARIES OF THE COMMUNITY CENTER REDEVELOPMENT PROJECT AREA, AS DISCLOSED BY THE DOCUMENT RECORDED DECEMBER 06, 1976 AS INSTRUMENT NO. 7160 IN BOOK 11984, PAGE 1027 OF OFFICIAL RECORDS

EASEMENT NOTES: (10231 GARDEN GROOVE BLVD.)

- NOTE: TITLE ITEMS PER FIDELITY NATIONAL TITLE COMPANY REPORT ORDER NO. 997-30022117-1M8 DATED NOVEMBER 14, 2018. ITEMS NO. INSIDE CIRCLE O INDICATES THAT THESE ITEMS ARE PLOTTED ON THE MAP WITH THE SAME SYMBOL AND ITEM NUMBER.
- AN EASEMENT FOR ROADS, RAILROADS AND DITCHES AND RIGHTS INCIDENTAL THERETO AS RESERVED IN A DOCUMENT RESERVED BY ALFRED ROBINSON, TRUSTEE RECORDED AUGUST 11, 1875 IN BOOK 25 PAGE 540 OF DEEDS, LOS ANGELES COUNTY. EASEMENT CANNOT BE PLOTTED FROM AVAILABLE RECORDS.
 - AN EASEMENT FOR UTILITIES, INGRESS AND EGRESS AND RIGHTS INCIDENTAL TO SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION RECORDED JULY 14, 1954 IN BOOK 2770 PAGE 285 OF OFFICIAL RECORDS.
 - AN EASEMENT FOR STREET AND HIGHWAY AND RIGHTS INCIDENTAL THERETO TO THE CITY OF GARDEN GROVE, A MUNICIPAL CORPORATION RECORDED JULY 08, 1957 IN BOOK 3967 PAGE 215 OF OFFICIAL RECORDS.
 - AN EASEMENT FOR UTILITIES, INGRESS AND EGRESS AND RIGHTS INCIDENTAL THERETO TO SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION RECORDED JUNE 24, 1965 IN BOOK 7569 PAGE 333 OF OFFICIAL RECORDS.
 - AN EASEMENT FOR OVERHEAD AND UNDERGROUND ELECTRICAL SUPPLY SYSTEMS AND COMMUNICATION SYSTEMS AND RIGHTS INCIDENTAL THERETO TO SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION RECORDED MARCH 06, 1970 IN BOOK 9232 PAGE 696 OF OFFICIAL RECORDS.

BASIS OF BEARING :

THE BEARING OF N 89° 46' 46" E OF THE CENTERLINE OF GARDEN GROOVE BOULEVARD AS SHOWN ON TRACT MAP NO. 11909 M.M. 553/7-10 WAS USED AS THE BASIS OF BEARING FOR THIS SURVEY.

BENCHMARK:

BM NO. GG-130 ELEV = 85.727 NAVD88 YEAR 2012

FOUND 2-1/2" BRONZE CITY OF GARDEN GROVE BENCHMARK DISK WITH PUNCH IN TRIANGLE, SET IN THE SOUTHEAST CORNER OF A 10 FT. BY 4 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE NORTHEAST CORNER OF THE INTERSECTION OF LAMPSON AVE. AND BROOKHURST AVE. 15 FT. EAST OF THE B.C.R. AND 1 FT. NORTH OF THE CURB FACE.

LEGAL DESCRIPTION:

10201 GARDEN GROOVE BLVD., GARDEN GROOVE, CA 92805

PARCEL A:

THAT PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 10 WEST, IN THE RANCHO LAS BOLSAS, CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS THE SOUTH HALF OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SAID SECTION 32 AS SHOWN ON RECORD OF SURVEY MAP FILED IN BOOK 25, PAGE 13 OF RECORDS OF SURVEYS OF SAID COUNTY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHERLY LINE OF SAID SECTION, WEST 175.00 FEET FROM THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER; THENCE NORTH 0° 26' 00" WEST 331.48 FEET PARALLEL WITH THE EAST LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER TO THE SOUTHERLY LINE OF THE LAND DESCRIBED IN DEED TO GARDEN GROVE SANITARIUM, INC., A CORPORATION, RECORDED FEBRUARY 21, 1952 IN BOOK 2291, PAGE 332 OF OFFICIAL RECORDS OF SAID COUNTY; THENCE SOUTH 89° 51' 20" WEST ALONG SAID SOUTHERLY LINE TO THE EASTERLY LINE OF WRIGHT STREET AS DESCRIBED IN DEED TO THE COUNTY OF ORANGE, RECORDED AUGUST 16, 1950 IN BOOK 2057, PAGE 312 OF OFFICIAL RECORDS OF SAID COUNTY; THENCE SOUTHERLY ALONG SAID EASTERLY LINE AND ITS PROLONGATION TO THE SAID SOUTH LINE OF SECTION 32; THENCE NORTH 89° 46' 15" EAST TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THE NORTH THIRTY FEET OF SAID LAND.

ALSO, TOGETHER WITH THAT PORTION OF BROOKHURST STREET AS VACATED BY RESOLUTION NO. 2480 RECORDED FEBRUARY 04, 1971 IN BOOK 9536, PAGE 924 OF OFFICIAL RECORDS, DESCRIBED AS FOLLOWS:

THAT PORTION OF BROOKHURST STREET IN THE CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA, DESCRIBED IN DEED TO CITY OF GARDEN GROVE RECORDED ON FEBRUARY 03, 1970 AS INSTRUMENT NO. 1584, IN BOOK 9208, PAGE 363 OF OFFICIAL RECORDS, IN THE OFFICE OF THE RECORDER OF THE COUNTY OF ORANGE AND IN DEED RECORDED ON FEBRUARY 03, 1970 AS INSTRUMENT NO. 1585, IN BOOK 9208, PAGE 366 OF OFFICIAL RECORDS, WITHIN THE FOLLOWING DESCRIBED BOUNDARIES:

BEGINNING AT THE INTERSECTION OF THAT CERTAIN CURVE HAVING A RADIUS OF 860 FEET IN THE EASTERLY BOUNDARY OF SAID BROOKHURST STREET, WITH THAT CERTAIN COURSE HAVING A BEARING AND LENGTH OF NORTH 89°32'51" WEST 28.46 FEET IN THE NORTHERLY BOUNDARY OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN DEED TO CITY OF GARDEN GROVE FOR BROOKHURST STREET, RECORDED ON JULY 28, 1965 AS INSTRUMENT NO. 22583, IN BOOK 7610, PAGE 20 OF SAID OFFICIAL RECORDS, A RADIAL OF SAID CERTAIN CURVE TO SAID INTERSECTION BEARS SOUTH 80°25'11" WEST; THENCE SOUTH 89°32'51" WEST ALONG SAID CERTAIN CURVE 4.264 FEET; THENCE NORTH 9°58'26" WEST 90.298 FEET TO SAID CERTAIN CURVE; THENCE SOUTHERLY ALONG SAID CERTAIN CURVE TO THE POINT OF BEGINNING.

PARCEL B:

EASEMENTS AND INCIDENTAL PURPOSES IN THAT CERTAIN "RECIPROCAL EASEMENT AGREEMENT" RECORDED APRIL 1, 2015 AS INSTRUMENT NO. 2015000166331 OF OFFICIAL RECORDS OF SAID COUNTY, THE EASEMENT DIMENSIONS OF EXHIBIT "C" OF SAID INSTRUMENT IS NOT LEGIBLE. DIMENSIONS WERE PROVIDED BY SCALING FROM SAID INSTRUMENT AND ARE APPROXIMATE.

APN: 089-072-53

LEGAL DESCRIPTION:

10231 GARDEN GROOVE BLVD., GARDEN GROOVE, CA 92805

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF GARDEN GROVE IN THE COUNTY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

THAT PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 10 WEST, SAN BERNARDINO BASE & MERIDIAN, IN THE RANCHO LAS BOLSAS, IN THE CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS THE SOUTH HALF OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SAID SECTION 32 AS SHOWN ON RECORD OF SURVEY MAP FILED IN BOOK 25, PAGE 13, OF RECORDS OF SURVEYS OF SAID COUNTY, DESCRIBED AS FOLLOWS:

PARCEL 1:

BEGINNING AT THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 32; THENCE NORTH 0° 26' 00" WEST 331.42 FEET TO THE SOUTHEAST CORNER OF THE LAND DESCRIBED IN DEED TO GARDEN GROVE SANITARIUM, INC., A CORPORATION, RECORDED FEBRUARY 21, 1952 IN BOOK 2291, PAGE 332 OF OFFICIAL RECORDS OF SAID COUNTY; THENCE SOUTH 89° 51' 20" WEST 175.00 FEET TO A LINE PARALLEL WITH THE EAST LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER; THENCE SOUTH 0° 26' 00" WEST 331.48 FEET ALONG SAID PARALLEL LINE TO THE SOUTH LINE OF SAID SECTION; THENCE EASTERLY 175.00 FEET TO THE POINT OF BEGINNING.

PARCEL 2:

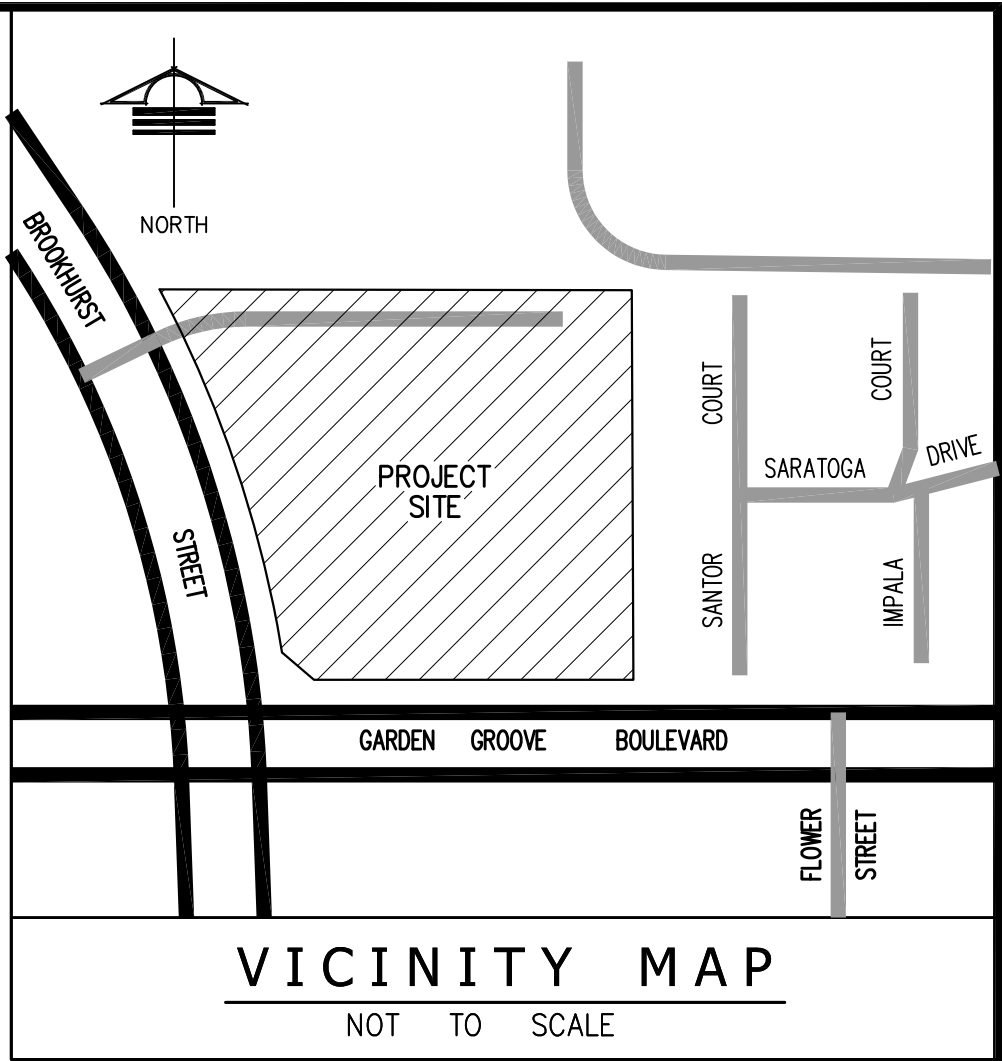
A 30-FOOT EASEMENT FOR ROADWAY PURPOSES OVER THAT PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 10 WEST, SAN BERNARDINO BASE & MERIDIAN, IN THE RANCHO LAS BOLSAS, AS THE SOUTH HALF OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SAID SECTION 32 AS SHOWN ON RECORD OF SURVEY MAP FILED IN BOOK 25, PAGE 13 OF RECORDS OF SURVEY OF SAID COUNTY, LYING EASTERLY OF THE EASTERLY LINE OF THE RIGHT-OF-WAY FOR WRIGHT STREET AS DESCRIBED IN DEED TO THE COUNTY OF ORANGE, RECORDED AUGUST 16, 1950 IN BOOK 2057, PAGE 312 OF OFFICIAL RECORDS OF SAID COUNTY, THE NORTHERLY LINE OF SAID EASEMENT BEING THE SOUTHERLY LINE OF THE LAND DESCRIBED IN DEED TO GARDEN GROVE SANITARIUM, INC., A CORPORATION, RECORDED FEBRUARY 21, 1952 IN BOOK 2291, PAGE 332 OF OFFICIAL RECORDS OF SAID COUNTY.

EXCEPT THEREFROM THE EAST 175.00 FEET.

APN: 089-072-66

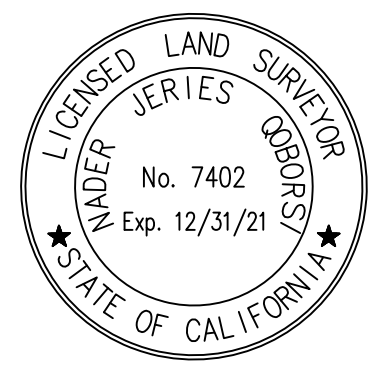
LEGEND

- P.C.C. SLAB
- CHAIN LINK FENCE
- WROUGHT IRON FENCE (WIFC)
- RETAINING WALL
- EDGE OF AC PAVEMENT
- BLOCK WALL
- CORROGATED METAL FENCE
- TREE
- PALM



ABBREVIATIONS :

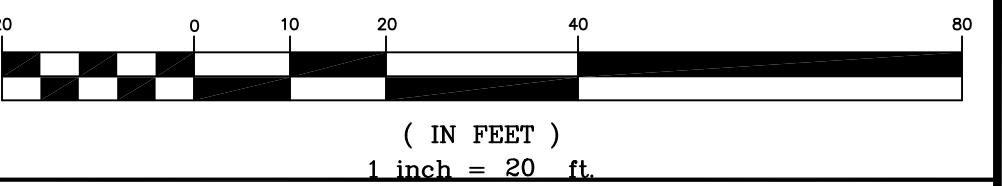
- AB = AGGREGATE BASE
AC = ASPHALT PAVEMENT
AD = AREA DRAIN
BRMP = BOTTOM OF RAMP
CB = CATCH BASIN
CF = CURB FACE
CLF = CHAIN LINK FENCE
DS = DOWN SPOUT/ROOF DRAIN
EG = EDGE OF GUTTER
EMH = ELECTRIC MANHOLE
EP = ELECTRIC PULL BOX
EPB = ELECTRIC VAULT
EV = ELECTRICAL VENTILATION BOX
EVB = FINISH FLOOR
FG = FINISH GRADE
FH = FIRE HYDRANT
FL = FLOW LINE
FS = FINISH SURFACE
GB = GRADE BREAK
GM = GAS METER
GP = GAS PIPE
HP = HIGH POINT
IE = INVERT ELEVATION
LP = LOW POINT
PLT = PARKING LOT LIGHT
MP = METAL POST
NG = NATURAL GROUND ELEVATION
OHW = OVERHEAD WIRE
PM = PARKING METER POST
PP = POWER POLE
PB = PULL BOX
PC = PROPERTY CORNER
PCC = PORTLAND CEMENT CONCRETE
RCE = REGISTERED CIVIL ENGINEER
RW = RETAINING WALL
SB = SPLASH BOX
SDMH = STORM DRAIN MANHOLE
SMH = SEWER MANHOLE
SPB = SIGNAL PULL BOX
STLT = STREET LIGHT
T.B.M. = TEMPORARY BENCHMARK
TC = TOP OF CURB
TG = TOP OF GRATE ELEVATION
TELMH = TELEPHONE MANHOLE
TS = TOP OF WALL
TW = WOOD FENCE
WIFC = WROUGHT IRON FENCE
WM = WATER METER
WV = WATER VALVE
(0.1) = EXISTING ELEVATION
00.00 = PROPOSED ELEVATION
-E- = ELECTRICAL
-G- = GAS
-W- = WATER
-S- = SEWER
-T- = TELEPHONE



PREPARED UNDER THE SUPERVISION OF

NADER J. QOBORS, PLS 7402 EXP. 12/31/21

GRAPHIC SCALE



FORESIGHT ENGINEERING INC.

CIVIL ENGINEERING & LAND SURVEYING
17621 IRVINE BLVD., SUITE 210
TUSTIN, CA 92780
TEL (714)542 1214 • FAX (714)542 0117

TOPOGRAPHIC SURVEY

10201 & 10231 GARDEN GROOVE BLVD.,
GARDEN GROOVE, CA 92805

DRAWING PREPARED FOR:	SCALE: 1" = 20'	10/07/2021
DRAWN BY: JLB	PROJ. NO. 425-102	SHEET 1 OF 1
CHECKED BY: NJQ		


PRELIMINARY GRADING PLAN

10201 & 10231 GARDEN GROOVE BLVD., GARDEN GROOVE, CA 92805

GRADING GENERAL NOTES :

24 HOUR ADVANCE NOTICE IS REQUIRED PRIOR TO THE START OF ANY WORK (714) 741-5887

- ALL WORK SHALL CONFORM TO THE CITY OF GARDEN GROVE LATEST ORDINANCE NO.2835 STANDARD PLANS AND SPECIFICATIONS, THE 2019 STANDARD SPECIFICATIONS OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, THE CITY OF GARDEN GROVE ORDINANCE NO. 2590 THE 2019 CALIFORNIA BUILDING CODE, AND THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK) 2018 EDITION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND NOTIFY THE CITY OF GARDEN GROVE, WATER DEPARTMENT AND ALL OTHER UTILITY COMPANIES A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL PHASES OF CONSTRUCTION WITH THE VARIOUS UTILITY COMPANIES INVOLVED.
- SUBMITTAL DOCUMENT REQUIREMENTS SHALL AT A MINIMUM, CONFORM TO ALL REQUIREMENTS OF SECTIONS 107 AND 110 OF THE CALIFORNIA BUILDING CODE, INCLUDING THE FOLLOWING:
 - GRADING PLAN WITH SITE PLAN SHOWING TO SCALE THE SIZE AND LOCATION OF NEW CONSTRUCTION AND EXISTING STRUCTURES ON THE SITE AND ADJACENT TO THE SITE A MINIMUM OF THIRTY FEET (30') FROM THE PROPERTY BOUNDARY;
 - HORIZONTAL AND VERTICAL DISTANCES AND ELEVATIONS IN RELATION TO THE PROPERTY LOT LINES AND NEAREST CITY BENCHMARKS FOR TOPOGRAPHIC CONTROL. (TEMPORARY BENCH MARKS SHALL NOT BE USED FOR TOPOGRAPHIC CONTROL);
 - EXISTING STREET GRADES AND PROPOSED DESIGN GRADES FOR ALL PROJECT FRONTAGES AND ADJACENT ACCESS IMPROVEMENTS.
 - ALL SITE/GRADING PLANS SHALL BE BASED UPON AN ACCURATE BOUNDARY LINE SURVEY WITH MONUMENT AND HORIZONTAL/VERTICAL CONTROL DISPOSITION SHOWN ON THE PLANS;(SECTION 107.2.5 CALIFORNIA BUILDING CODE);
 - DEMOLITION WORK FOR IMPROVEMENTS TO BE REMOVED AND/OR PROTECTED IN PLACE;
 - ANY PHASING OF IMPROVEMENTS AS ALLOWED BY THE CITY.
- THE CONTRACTOR SHALL OBTAIN A SEPARATE PERMIT FOR ALL WORK WITHIN THE STREET RIGHT-OF-WAY. TEMPORARY A.C. PAVING SHALL BE PLACED WHERE SIDEWALK REMOVALS EXTEND LONGER THAN (24) TWENTY-FOUR HOURS AS DIRECTED BY THE CITY INSPECTOR.
- DUST SHALL BE CONTROLLED BY WATERING AND IF FULL CONFORMANCE WITH THE REQUIREMENTS OF THE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT GUIDELINES.
- SANITARY FACILITIES SHALL BE MAINTAINED ON SITE. FACILITIES SHALL BE LOCATED SUCH THAT SPILLS SHALL BE CONTAINED AND AT NO TIME ENTER A PUBLIC OR PRIVATE STORM DRAIN.
- PRIOR TO THE POURING OF ANY FOUNDATION MATERIALS, THE PAD ELEVATION AND THE BUILDING CORNERS MUST BE VERIFIED IN WRITING TO THE BUILDING SECTION BY THE REGISTERED CIVIL ENGINEER OR THE LICENSED LAND SURVEYOR IN CONFORMANCE WITH SECTION 1612 OF THE CALIFORNIA BUILDING CODE.
- NO FILL SHALL BE PLACED UNTIL THE BUILDING OFFICIAL AND THE SOILS ENGINEER APPROVE PREPARATION OF GROUND.
- FILLS SHALL BE COMPACTED THROUGHOUT TO 90% DENSITY AS DETERMINED BY A.S.T.M. D1557, A.S.T.M. D1556 (SAND CONE), AND/OR A.S.T.M. D2922, (NUCLEAR). SAND CONE METHOD MUST REPRESENT NO MORE THAN 20% OF TESTING. DRIVE TUBE TESTING IS NOT PERMITTED.
- FILL SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL AND SHALL HAVE NOT LESS THAN 90% COMPACTION OUT TO THE FINISH SURFACE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE THE UTILITIES OF NATURE WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR TOTAL COST OF REPAIR OR REPLACEMENT OF SAID UTILITIES DAMAGED BY OPERATIONS.
- A CONSTRUCTION DEMOLITION PLAN AND SCHEDULE SHALL BE PREPARED IN CONFORMANCE WITH CHAPTER 33 OF THE CALIFORNIA BUILDING CODE.
- THE CONTRACTOR SHALL MAKE PROVISIONS TO HAVE ALL EXISTING ON-SITE SEWER, WATER, GAS, ELECTRIC, IRRIGATION OR TELEPHONE LINES REMOVED, ABANDONED, OR RELOCATED IF THEY ARE INTERFERING WITH THE PROPOSED CONSTRUCTION.
- THE CONTRACTOR SHALL REMOVE, CAP, AND ABANDON ALL EXISTING ON-SITE WATER WELLS, CESSPOOLS, OR SEPTIC TANKS ENCOUNTERED DURING GRADING IN ACCORDANCE WITH THE LATEST EDITION OF THE UNIFORM PLUMBING CODE, THE DEPARTMENT OF HEALTH AND THE CITY MUNICIPAL CODE.
- ANY BROKEN OR DAMAGED IMPROVEMENTS ON ADJACENT PRIVATE PROPERTY OR PUBLIC RIGHT-OF-WAY SHALL BE REPLACED OR REPAIRED IN KIND AS DIRECTED BY THE CITY ENGINEER.
- TEMPORARY TRAFFIC CONTROL AND PEDESTRIAN ACCESS AND PROTECTION DURING CONSTRUCTION SHALL CONFORM TO THE DEPARTMENT OF PUBLIC WORKS AND DEVELOPMENT'S LATEST "PUBLIC CONVENIENCE AND TRAFFIC CONTROL SPECIFICATION" SHEET, AND THE "WATCH MANUAL" AS PUBLISHED BY THE APWA, CHAPTER 33 OF THE CALIFORNIA BUILDING CODE AND THE REQUIREMENTS OF THE CITY ENGINEER.
- ALL TRAFFIC CONTROL DEVICES SHALL BE INSTALLED, RELOCATED, OR REMOVED TO THE SATISFACTION OF THE CITY TRAFFIC ENGINEER.
- THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER PRIOR TO THE REMOVAL, PARTIAL REMOVAL OR TRIMMING OF TREES OVERHANGING OR LYING PARTIALLY OR FULLY WITHIN EXISTING RIGHT-OF-WAY.



DIAL TOLL FREE
1-800-422-4133

AT LEAST TWO DAYS
BEFORE YOU DIG

UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA
IMPORTANT NOTICE

Section 4216/4217 of the Government
Code requires a Dig Alert Identification
Number be issued before a
"Permit to Excavate" will be valid.

IMPORTANT NOTICE

Section 4216/4217 of the Government
Code requires a Dig Alert Identification
Number be issued before a
"Permit to Excavate" will be valid.

For your Dig Alert I.D. Number call
Underground Service Alert
TOLL FREE 1-800-422-4133

Two working days before you dig.



LOCATION MAP

EARTHWORK QUANTITIES

CUT	120	CUBIC YARDS
FILL	1100	CUBIC YARDS
OVER-X	721	CUBIC YARDS
SHRINKAGE	273	CUBIC YARDS
IMPORT	1253	CUBIC YARDS

EARTHWORK NOTE :

EARTHWORK QUANTITIES ARE RAW ESTIMATES ONLY, THEY DO NOT REFLECT SUBSIDENCE OR ANY MATERIAL GENERATED BY UTILITY, TRENCHING AND BUILDING FOOTINGS. THE QUANTITIES SHOWN ABOVE ARE INTENDED FOR USE IN ESTABLISHING GOVERNING AGENCY FEES. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE QUANTITIES FOR BID PURPOSES. ANY EXPORT OR IMPORT REQUIRED TO BALANCE THE SITE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

- FOR EXTERIOR WALKWAYS AND PATHS OF TRAVEL, OBJECTS PROJECTING FROM WALLS (FOR EXAMPLE, TELEPHONES) WITH THEIR LEADING EDGES BETWEEN 27 INCHES AND 80 INCHES ABOVE THE FINISHED FLOOR SHALL PROTRUDE NO MORE THAN 4 INCHES INTO WALKS, HALLS, CORRIDORS, PASSAGEWAYS OR AISLES. OBJECTS MOUNTED WITH THEIR LEADING EDGES AT OR BELOW 27 INCHES ABOVE THE FINISHED FLOOR MAY NOT PROTRUDE ANY AMOUNT.
- FREESTANDING OBJECTS MOUNTED ON POSTS OR PYLONS MAY OVERHANG 12 INCHES MAXIMUM FROM 27 INCHES TO 80 INCHES ABOVE THE GROUND OR FINISHED FLOOR. PROTRUDING OBJECTS SHALL NOT REDUCE THE CLEAR WIDTH OF AN ACCESSIBLE ROUTE OR MANEUVERING SPACE. ANY OBSTRUCTION OVERHANGING A PEDESTRIAN WAY SHALL BE A MINIMUM OF 80 INCHES ABOVE THE WALKING SURFACE AS MEASURED TO THE BOTTOM OF THE OBSTRUCTION.
- WALKS, HALLS, CORRIDORS, PASSAGEWAYS, AISLES OR OTHER CIRCULATION SPACES SHALL HAVE 80 INCHES MINIMUM CLEAR HEADROOM. ABRUPT CHANGES IN LEVEL, EXCEPT BETWEEN A WALK OR SIDEWALK AND AN ADJACENT STREET OR DRIVEWAY, EXCEEDING 4 INCHES IN A VERTICAL DIMENSION, SUCH AS AT PLANTERS OR FOUNTAINS LOCATED IN OR ADJACENT TO WALKS, SIDEWALKS, OR OTHER PEDESTRIAN WAYS SHALL BE IDENTIFIED BY CURBS PROJECTING AT LEAST 6 INCHES IN HEIGHT ABOVE THE WALK OR SIDEWALK SURFACE TO WARN THE BLIND OF A POTENTIAL DROP-OFF.
- WHEN A GUARDRAIL OR HANDRAIL IS PROVIDED, NO CURB IS REQUIRED WHEN A GUIDE RAIL IS PROVIDED CENTERED 3 INCHES PLUS OR MINUS ONE INCH ABOVE THE SURFACE OF THE WALK OR SIDEWALK. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF TITLE 24, 2019 CALIFORNIA BUILDING CODE, CHAPTER 11A AND 11B AND THE DEPARTMENT OF JUSTICE STANDARDS, LATEST EDITION.
- ALL HANDICAP PARKING STALLS SHALL CONFORM TO THE DETAIL(S) SHOWN ON THE PLANS, AND TITLE 24, 2019 CALIFORNIA BUILDING CODE CHAPTER 11A AND 11B, AND THE DEPARTMENT OF JUSTICE STANDARDS, LATEST EDITION.
- DRAINAGE SHALL BE CHECKED BY FLOODING OF PAVED AREAS AND CONCRETE GUTTERS. ANY CONCRETE AREAS HOLDING WATER SHALL BE REMOVED AND REPLACED. ANY PAVEMENT AREAS HOLDING WATER SHALL BE REMOVED AND REPLACED OR GROUND TO A UNIFORM DEPTH OF 1" AND CAPPED TO THE SATISFACTION OF THE CITY ENGINEER.
- LANDSCAPE TREATMENT AND GROUND CONTOURING AS PER THE APPROVED LANDSCAPE PLAN, INCLUDING LIGHTING STANDARDS, SHALL BE SHOWN ON THE GRADING PLAN. LOCATION OF TREES SHALL ALSO BE SHOWN.
- THE DEVELOPER SHALL SWEEP ALL STREETS IN THE AREA OF THE CONSTRUCTION SITE ON A DAILY BASIS AS REQUIRED BY THE CITY ENGINEER. WASHING DOWN OF ANY STREET SHALL NOT BE PERMITTED UNLESS SPECIFICALLY APPROVED BY THE CITY ENGINEER AFTER ALL DEBRIS AND SILT HAVE BEEN REMOVED. FAILURE TO COMPLY WITH THIS SECTION SHALL BE CAUSE FOR IMMEDIATE SUSPENSION OF ALL WORK ON THE DEVELOPMENT AS WELL AS SUSPENSION OF ALL PERMITS APPROVED TO DATE.
- ALL WORK SHALL BE IN CONFORMANCE WITH THE LATEST NPDES PERMIT AND CITY OF GARDEN GROVE LOCAL IMPLEMENTATION PLAN (LIP) AND ADOPTED LOW IMPACT DEVELOPMENT (LID) REQUIREMENTS. COPIES OF APPROVED EROSION CONTROL PLANS AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP) WHERE REQUIRED, SHALL BE AT THE CONSTRUCTION SITE AT ALL TIMES AND MADE AVAILABLE UPON REQUEST FOR REVIEW AND IMPLEMENTATION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL IMPORTED AND EXPORTED SOIL IS FREE OF THE RED IMPORTED FIRE ANT (RIFA).
- ALL ON-SITE CATCH BASINS SHALL BE STENCILED NOTIFYING THE PUBLIC THAT NO DUMPING IS PERMITTED AND THAT ALL FLOWS DRAIN TO THE OCEAN. THE CONTRACTOR SHALL OBTAIN THE LATEST STENCIL FROM THE CITY STREETS DIVISION~714.741.5278.

UTILITY PURVEYORS

AT & T
YVETTE MARTINEZ-GARAFANO
MAP REQUEST
1265 N VAN BUREN RM 180
ANAHEIM CA 92807 714.666.5692 714.630.6617
YM7532@ATT.COM
ATISUBSTRUCTUREOCR@ATT.COM
AT & T
(CONSTRUCTION & ENGINEERING) ROBERT FLEISHER
5958 E CORONADO
ANAHEIM CA 92807 714.237.6165 RF3259@ATT.COM

CITY OF GARDEN GROVE
SANITARY DIVISION BRENT HAYES
13802 NEWHOPE STREET
GARDEN GROVE CA 92840 714.741.5976 714-290-9318 714.638.9906 BRENTH@GOCITY.ORG

CITY OF GARDEN GROVE
WATER DIVISION CARINA DAN
13802 NEWHOPE STREET
GARDEN GROVE CA 92840 714.741.5346 714.448-1456 714.638.9906 CARINAD@GOCITY.ORG

CITY OF GARDEN GROVE
TRAFFIC DIVISION DAI VU
11222 ACACIA PARKWAY,
GARDEN GROVE, CA 92840 714.741.5189 714.741.5578 DAIV@GOCITY.ORG
EDISON EDISON MAP REQUEST MUST COMPLETE FORM MAPREQUESTS@SCE.COM

EDISON
UTILITY NOTICES
GAIL GARDNER
ATTN: DESIGN SUPPORT/UND
9901 GEARY AVE, SANTA FE 562.903.3167 UND@SCE.COM
EDISON JODIE REYES
1241 S GRAND AVENUE
SANTA ANA, CA 92705 714973.5406 714.973.5790 JODIE.REYES@SCE.COM

EDISON
ISSAC PUENTE
SCE
RYAN LOPEZ
MAP REQUEST & PRECON
MAP REQUEST
MEETINGS IPUENTE@SEMPRAUTILITIES.COM
RLOPEZ2@SEMPRAUTILITIES.COM
GAS CO DON J. AMADOR
1919 S STATE COLLEGE BLVD
ANAHEIM CA 92806-6114
714.634.3039 714.634.7287 DAMADOR@SEMPRAUTILITIES.COM

GAS CO -TRANSMISSION DEPT.
MAP REQUEST
ROSALYN SQUIRES SOUTHERN REGION
TRANSMISSION
9400 OKDALE AVE 818.701.4546
RSQUIRES@SEMPRAUTILITIES.COM
SOCALGASTRANSMISSIONUTILITYREQUEST@SEMPRAUTILITIES.COM
MAPS OF EDISON
FACILITIES KIM GURULE
BUILDING D P.O. BOX 11982
SANTA ANA CA 92711-1982 714.796.9932
OCSO QUYNH NGUYEN - MAP
10844 ELLIS AVENUE
FOUNTAIN VALLEY CA 92708 ONGUYEN@OCSO.COM
REGIONAL PIPELINE
MANAGER GREG KERN 714.634.5005 714.634.3101

TIME WARNER/JKA
SPECTRUM/CHARTER
COMMUNICATIONS CURTIS VASQUEZ
12051 INDUSTRY AVE
GARDEN GROVE CA 92841 714.719.7880 CURTIS.VASQUEZ@CHARTER.COM

XO COMMUNICATIONS LEE ARNOLD 1924 DEERE AVE (949) 417-7700
(949) 417-7762 LEE.ARNOLD@XO.COM
FRONTIER/VERIZON MIKE MADRID
7352 SLATER
HUNTINGTON BEACH 92647 714.375.6720 MIKE.MADRID@FTR.COM
RED FLEX SYSTEM INC MARC CARROLL
5835 A UPLANDER WAY
OULVER CITY, CA 90230 530.957.2856 M.CARROLL@REDFLEX.COM

CRIMSON PIPELINE LAND DEPT JENNIFER LONGVILLE
3760 KILOURY AIRPORT WY #300
LONG BEACH, CA 90806 562.285.4195 JLONGVILLE@CRIMSONPL.COM
CONFLICT INQUIRY SPECIALIST
CA ASSET MGMT
CHEVRON PIPE LINE COMPANY
DAVE AERLER
PASCUAL ALVAREZ
2600 HOMESTEAD PL
LONG BEACH CA 90806 310.669.4014
DAVEZERLER@CHEVRON.COM

CITY OF GARDEN GROVE

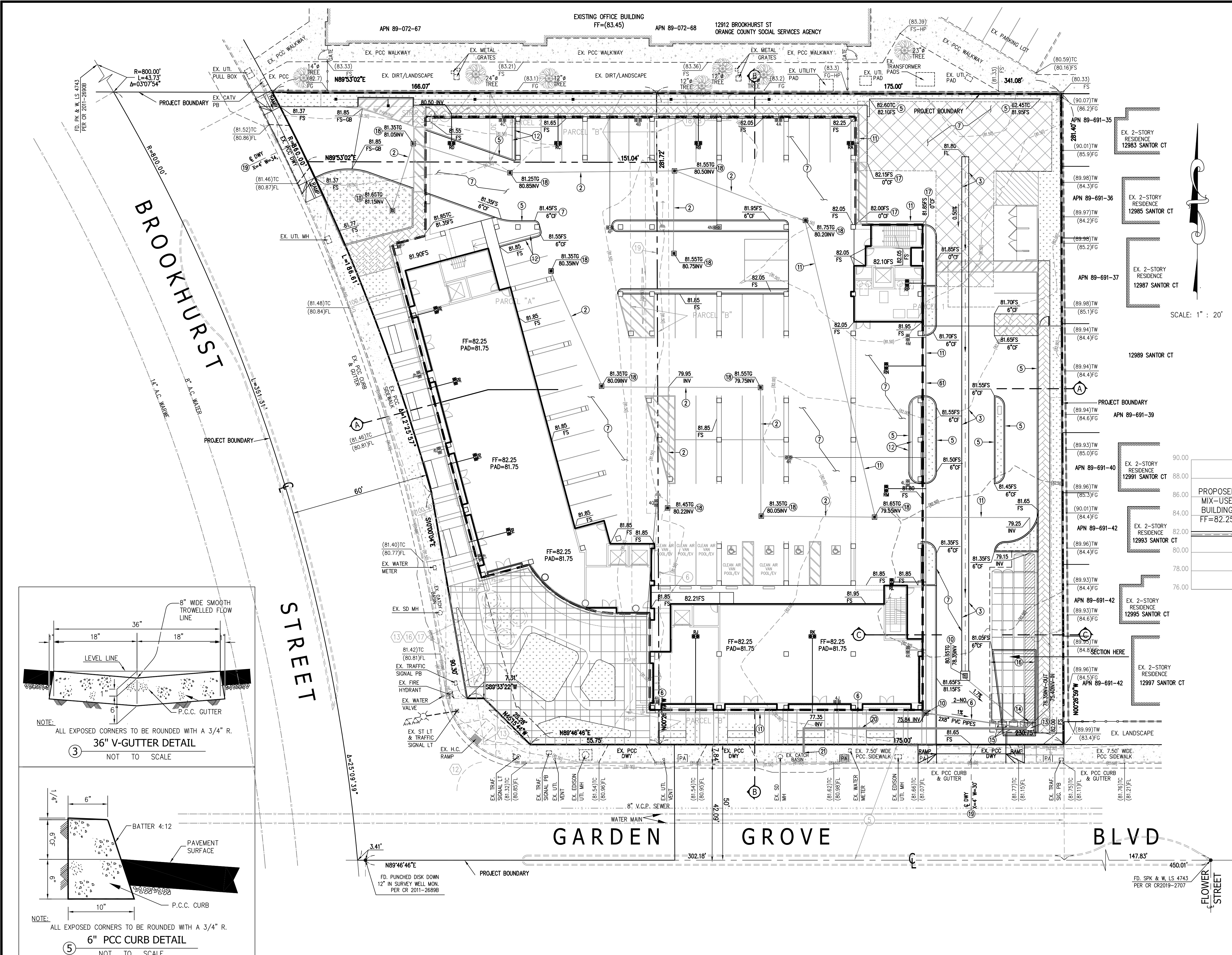
PRELIMINARY GRADING PLAN

TITLE SHEET

10201 & 10231 GARDEN GROOVE BLVD.,
GARDEN GROOVE, CA 92805

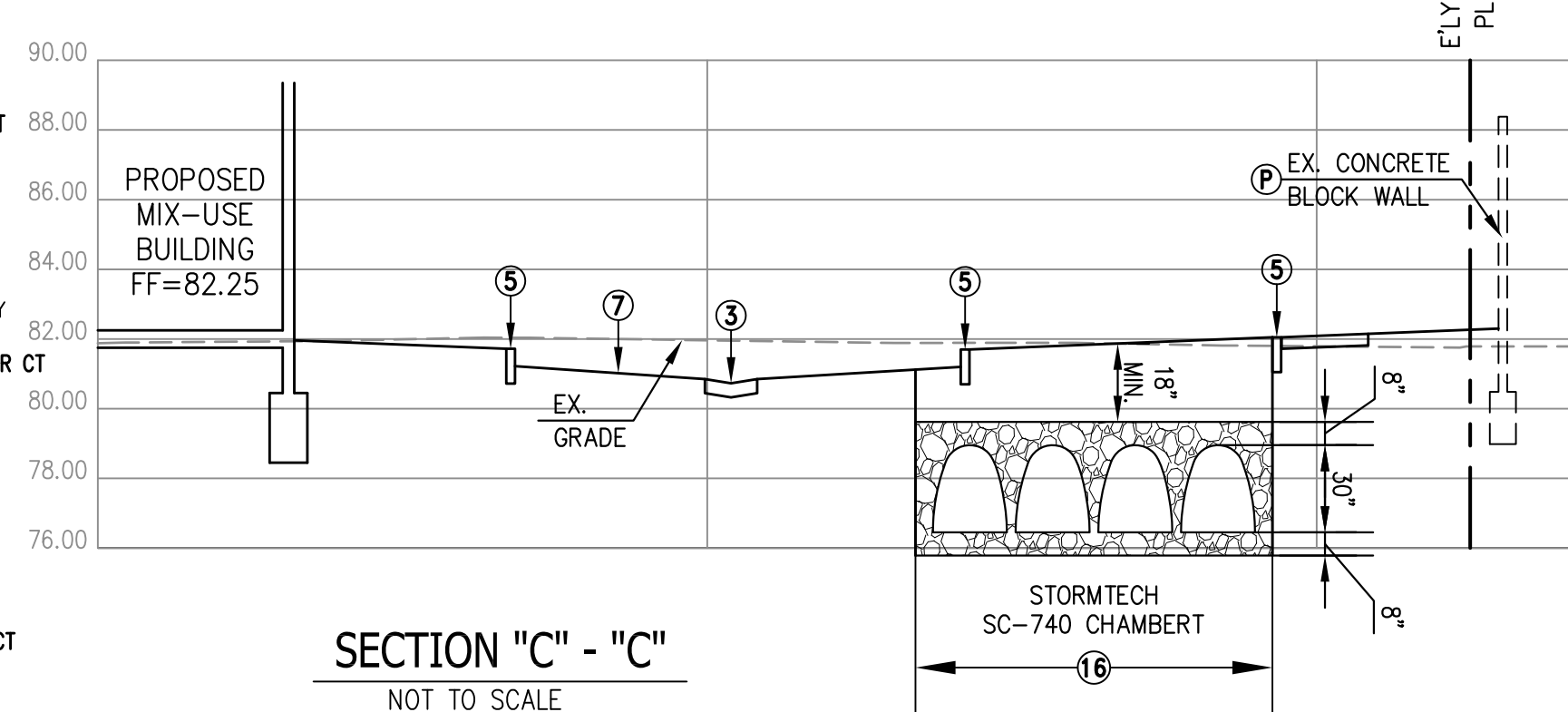
DATE: 05/06/2021

SHEET 1 OF 3

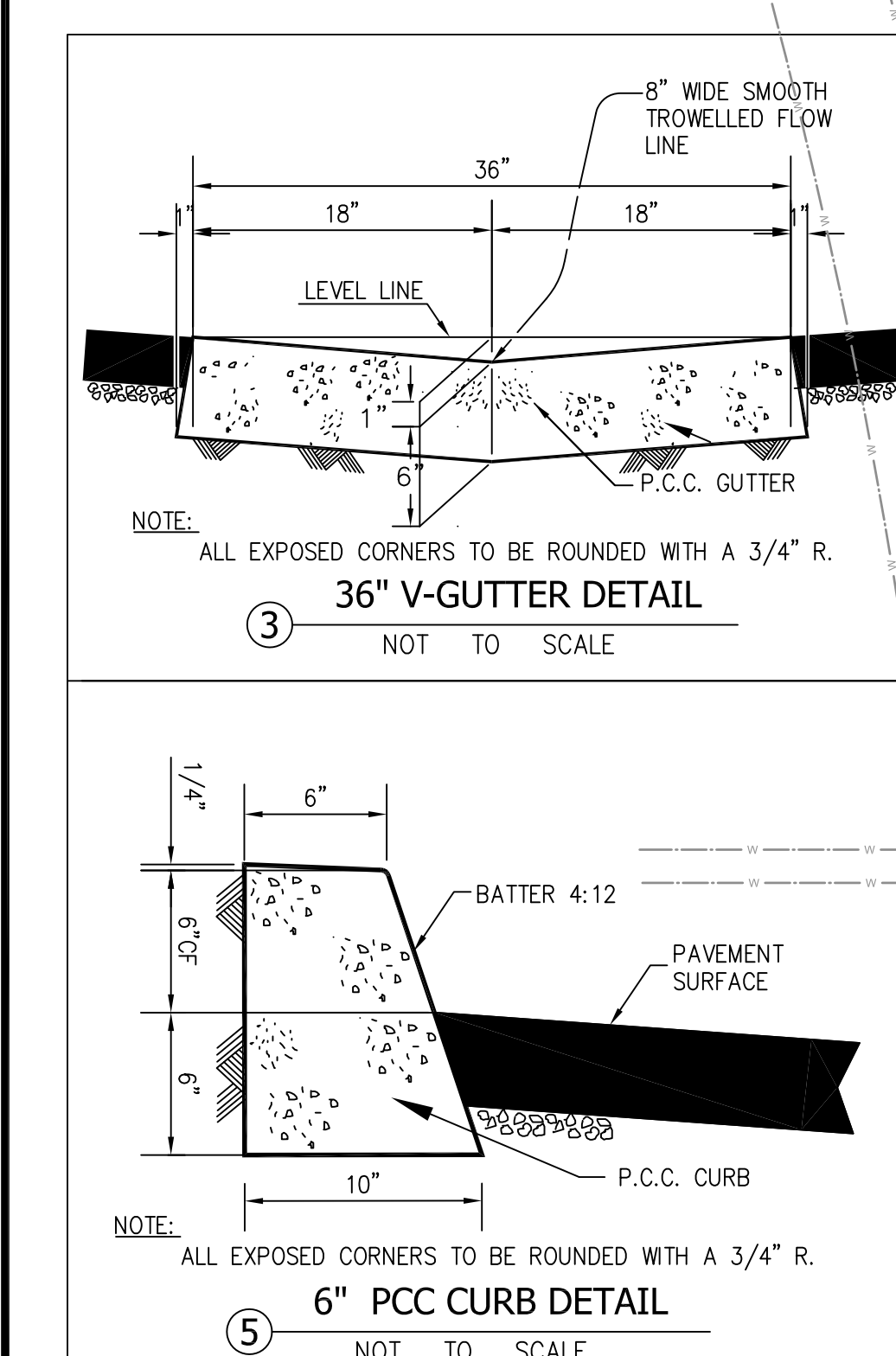


CONSTRUCTION NOTES:	
NO.	DESCRIPTION
1	PROTECT IN PLACE.
2	CONSTRUCT 4" PVC PIPE SCHEDULE 40
3	CONSTRUCT 36" WIDE PCC V-GUTTER PER DETAIL HEREON.
4	ADJUST EXIST. UTILITY BOXES & GRATES TO NEW GRADES
5	CONSTRUCT PCC CURB (6" C.F.) ONLY PER DETAIL HEREON.
6	CONSTRUCT 8" PVC PIPE SCHEDULE 40
7	CONSTRUCT PCC. PAVEMENT THICKNESS AND ROCK BASE PER SOILS REPORT
8	
9	REMOVE (FULL DEPTH) AND RECONSTRUCT EXISTING 24" WIDE AC PAVEMENT.
10	CONSTRUCT 18" X 18" CATCH BASIN, BROOKS PRODUCTS 1818 CB OR EQUAL WITH FLEXSTORM INLET FILTER AND BAG. PAINT STORM DRAIN SYSTEM STENCILING AND SIGNAGE.
11	CONSTRUCT 6" PVC PIPE SCHEDULE 40
12	CONSTRUCT 12" WIDE, 3" THICK CONCRETE STEP-OUT STRIP
13	CONSTRUCT 30" DIA ADS NYOPLAST ROUND CATCH BASIN WITH FRAME, GRATE AND FLEXSTORM INLET FILTER INSERT AND BAG, AND WITH 24" DEEP SUMP. PAINT STORM DRAIN SYSTEM STENCILING AND SIGNAGE.
14	CONSTRUCT 24" HDPE ACCESS PIPE TO STORMTECH UNDERGROUND CHAMBERS (ISOLATOR ROW).
15	CONSTRUCT 12" CORRUGATED HDPE PIPE WITH SMOOTH INTERIOR CONNECTION TO STORMTECH U.G. CHAMBERS.
16	CONSTRUCT 38 STORMTECH SC-740 UNDERGROUND CHAMBERS, WITH 8 END CAPS AND AN INSPECTION PORT PER MANUFACTURER'S DETAILS. BED MAX. WIDTH=20.50', BED MAX. LENGTH=85.49'. STONE LAYER ABOVE CHAMBERS=8" DEEP, STONE LAYER BELOW CHAMBERS=8" DEEP; AVERAGE COVER OVER CHAMBERS = 18". DEPTH PER MANUFACTURER DETAIL ON SHEET 3.
17	CONSTRUCT PCC CURB (0" C.F.) ONLY.
18	CONSTRUCT 12" X 12" CATCH BASIN, BROOKS PRODUCTS 1818 CB OR EQUAL WITH FLEXSTORM INLET FILTER AND BAG. PAINT STORM DRAIN SYSTEM STENCILING AND SIGNAGE.
19	CONSTRUCT ARTERIAL ST. DRIVEWAY CITY STD. B-120 OPTION NO. 2 CASE A, X-4" W PER PLAN
20	CONSTRUCT 12" PVC PIPE SCHEDULE 40
21	BREAK INTO EX. CATCH BASIN AND JOIN

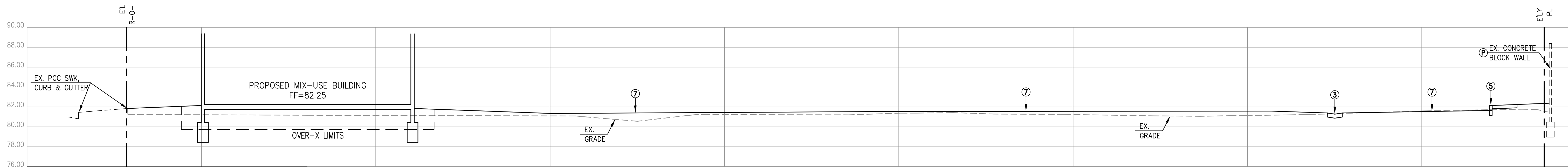
SCALE: 1" = 20'



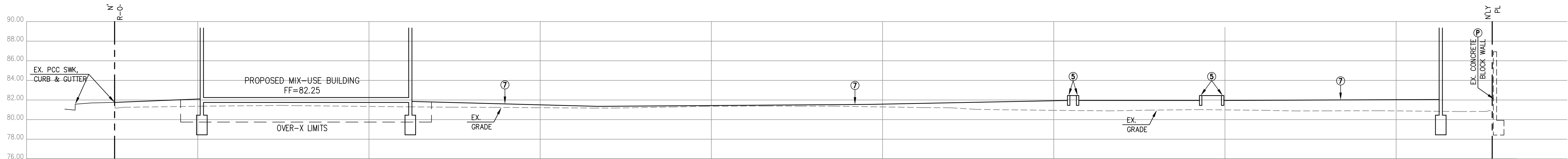
LEGEND :	
	NEW LANDSCAPE AREA (SEE LANDSCAPE PLAN)
	NEW PEDESTRIAN WALKWAY, PAVED & LANDSCAPE
	HAMMER HEAD PER OCFA STANDARD
	CONCRETE PAVEMENT



DRAWN BY: JLB		CHECKED BY: NJQ		LEGAL DESCRIPTION:		BENCHMARK		OWNER:		FORESIGHT ENGINEERING INC.		CITY OF GARDEN GROVE	
PLANS PREPARED UNDER SUPERVISION OF:						BM NO. GG-130		MR. MICHAEL DAO		CIVIL ENGINEERING & LAND SURVEYING		PRELIMINARY GRADING PLAN	
NADER J. QOBORSI						ELEV = 85.727		9191 WESTMINSTER BLVD.,		17621 IRVINE BLVD., SUITE 210		10201 & 10231 GARDEN GROVE BLVD.,	
R.C.E. NO.46119						NAV88		GARDEN GROVE, CA 92644		AUSTIN, CA 92780		GARDEN GROVE, CA 92805	
DATE:		REFERENCE PLANS FOR THIS IMPROVEMENTS		DATE		YEAR 2012		TEL (714) 504-2950		TEL (714)542 1214 * FAX (714)542 0117		DATE: 05/06/2021	
				BY								SHEET 2 OF 3	
				DESCRIPTION									
				REVISIONS									
				APP'D.									



SECTION "A" - "A"
NOT TO SCALE

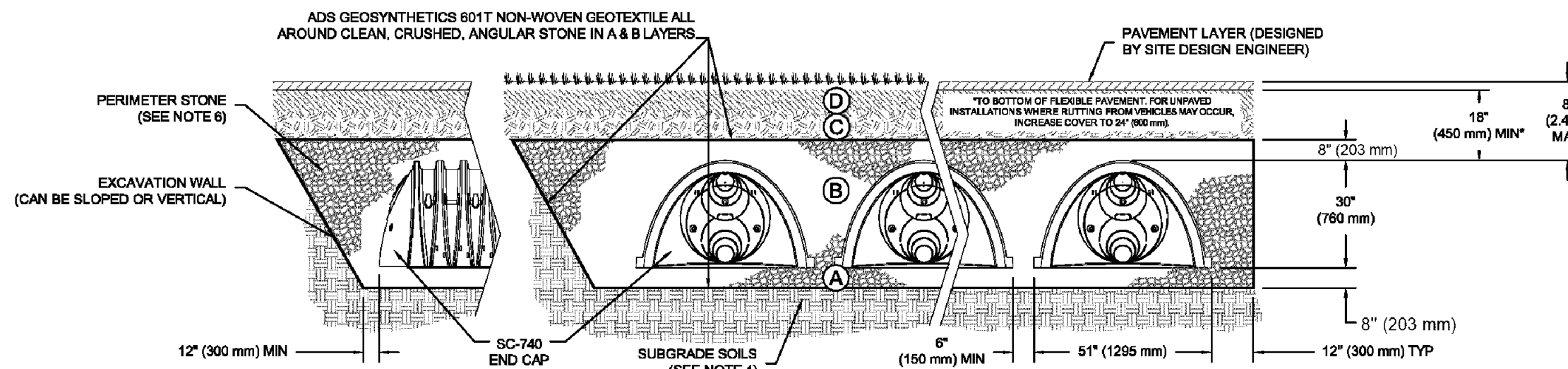


SECTION "B" - "B"
NOT TO SCALE

ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M14S A-1, A-2.4, A-3 OR AASHTO M43 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 96% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 98% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. **

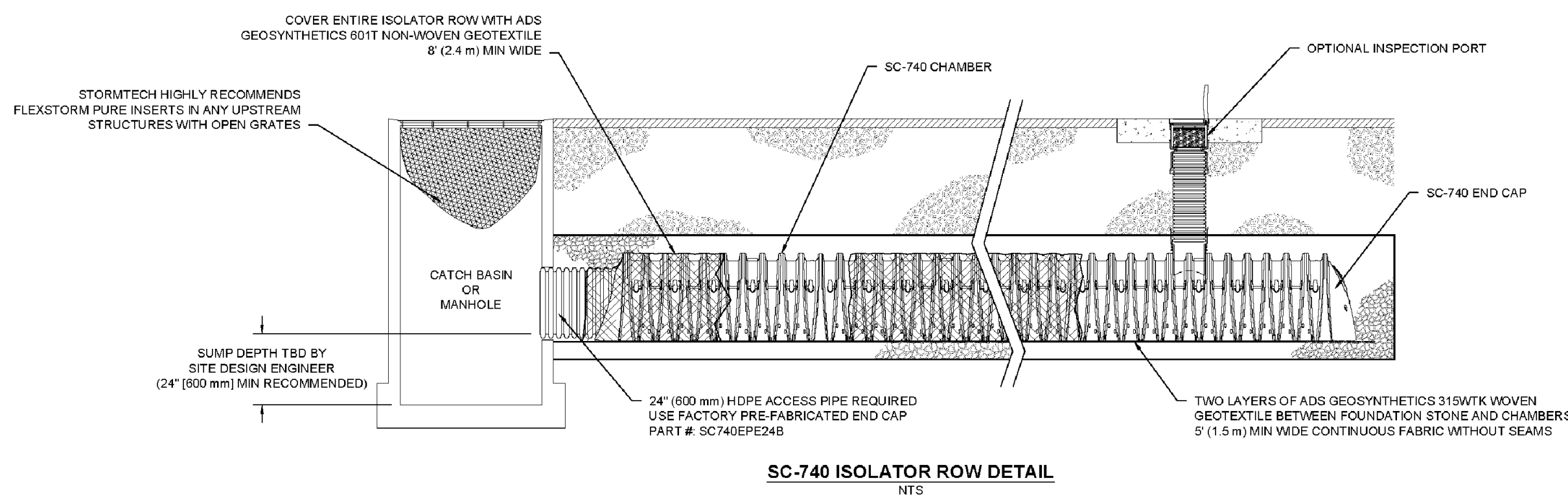
- PLEASE NOTE:
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 - STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERS WITH A VIBRATORY COMPACTOR.
 - WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



NOTES:

- SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2322 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

SC-740 STANDARD CROSS SECTION		DATE	11/18/14	DRAWN	JLM	CHECKED	JLM
REV	DESCRIPTION	DATE	BY	CHK	DATE	BY	CHK
1	UPDATE						
Stormtech 4640 TRUMAN BLVD HILLIARD, OH 43026 614-357-235-4433 1-800-733-1473 WWW.STORMTECH.COM							
SHEET 1 OF 1							

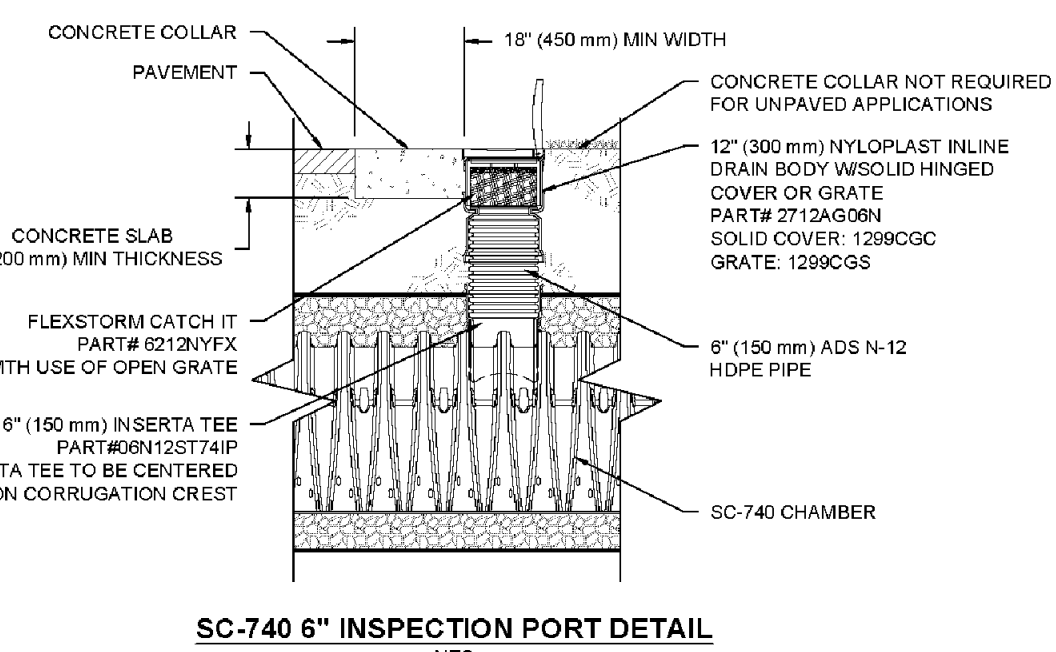


INSPECTION & MAINTENANCE

- STEP 1) INSPECT ISOLATOR ROW FOR SEDIMENT
- INSPECTION PORTS (IF PRESENT)
 - REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
 - REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
 - USING A FLASHLIGHT AND STADIUM ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
 - LOWER A CAMERA INTO ISOLATOR ROW FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
 - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- B. ALL ISOLATOR ROWS
- REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW
 - USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW THROUGH OUTLET PIPE
 - MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
 - FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
 - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW USING THE JETVAC PROCESS
- A FIXED OR VERTICALLY ADJUSTABLE JETVAC NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
 - APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
 - VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS. RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

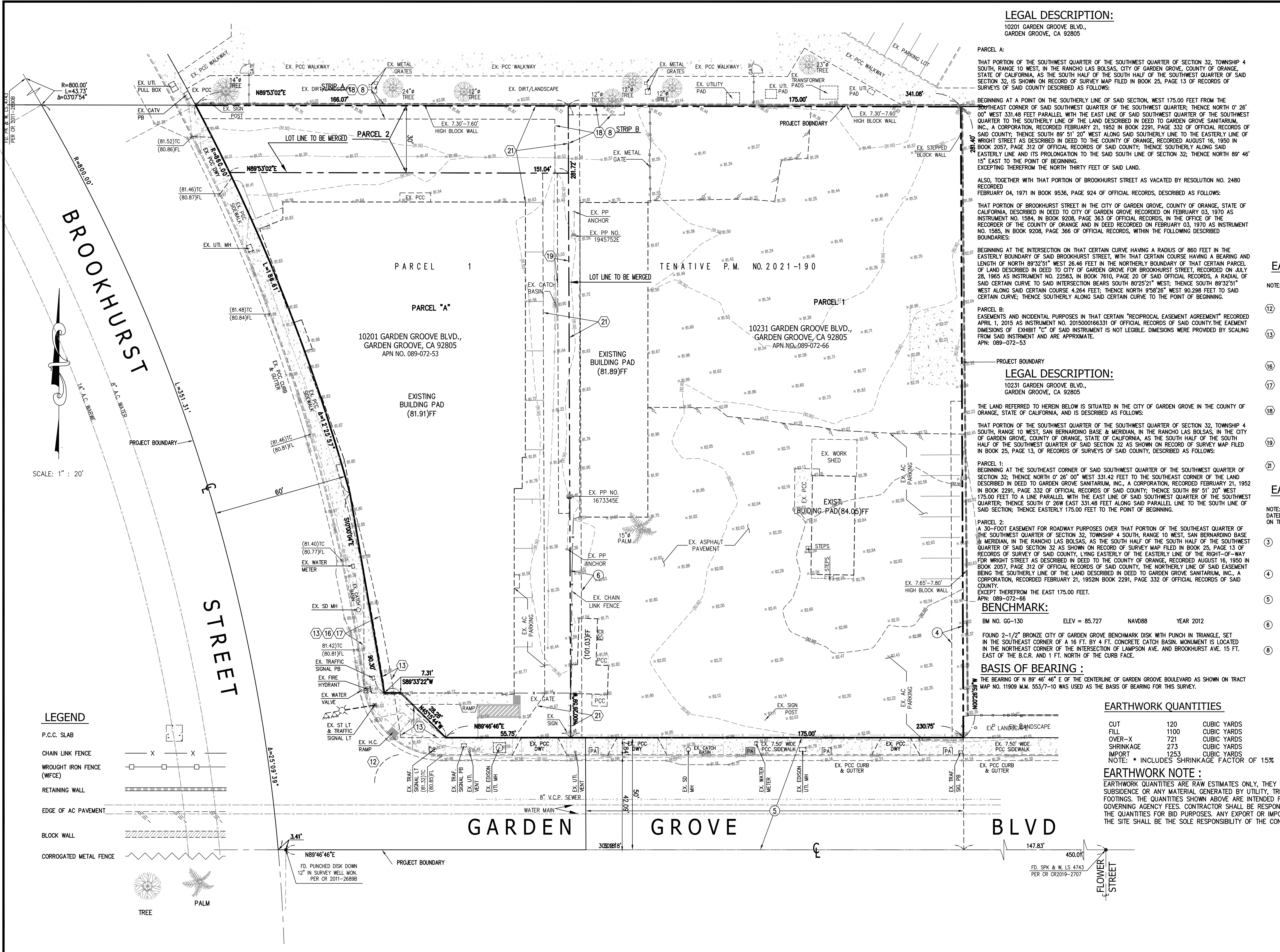
- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.



SC-740 6\"/>		DATE	09/20/19	DRAWN	SO	CHECKED	---
REV	DESCRIPTION	DATE	BY	CHK	DATE	BY	CHK
1	UPDATE						
Stormtech 4640 TRUMAN BLVD HILLIARD, OH 43026 614-357-235-4433 1-800-733-1473 WWW.STORMTECH.COM							
SHEET 4 OF 5							

16 STORMTECH MANUFACTURER'S DETAILS
NOT TO SCALE

DRAWN BY: JLB		CHECKED BY: NJQ		LEGAL DESCRIPTION:		BENCHMARK		OWNER:		FORESIGHT ENGINEERING INC.		CITY OF GARDEN GROVE	
PLANS PREPARED UNDER SUPERVISION OF:						BM NO. GG-130		MR. MICHAEL DAO		CIVIL ENGINEERING & LAND SURVEYING		PRELIMINARY GRADING PLAN	
DATE: NADER J. QOBORSI		R.C.E. NO.46119		REFERENCE PLANS FOR THIS IMPROVEMENTS		ELEV = 85.727		9191 WESTMINSTER BLVD.,		17621 IRVINE BLVD., SUITE 210		SECTION AND DETAILS	
						NAVD88		GARDEN GROOVE, CA 92644		AUSTIN, CA 92780		10201 & 10231 GARDEN GROOVE BLVD.,	
						YEAR 2012		TEL (714) 504-2950		TEL (714) 542 1214 * FAX (714) 542 0117		GARDEN GROOVE, CA 92805	
						FOUND 2-1/2\"/>						DATE: 08/18/2020	



LEGAL DESCRIPTION:

10201 GARDEN GROOVE BLVD.,
GARDEN GROOVE, CA 92805

PARCEL A:
THAT PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 10 WEST, IN THE RANCHO LAS BOSAS, CITY OF GARDEN GROOVE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS THE SOUTH HALF OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SAID SECTION 32, IS SHOWN ON RECORD OF SURVEY MAP FILED IN BOOK 25, PAGE 13 OF RECORDS OF SURVEYS OF SAID COUNTY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHERLY LINE OF SAID SECTION, WEST 175.00 FEET FROM THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER; THENCE NORTH 0° 26' 00" WEST 331.48 FEET PARALLEL WITH THE EAST LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER TO THE SOUTHERLY LINE OF THE LAND DESCRIBED IN DEED TO GARDEN GROOVE SANITARIUM, INC., A CORPORATION, RECORDED FEBRUARY 21, 1952 IN BOOK 2291, PAGE 332 OF OFFICIAL RECORDS OF SAID COUNTY; THENCE SOUTH 89° 51' 20" WEST ALONG SAID SOUTHERLY LINE TO THE EASTERLY LINE OF WRIGHT STREET AS DESCRIBED IN DEED TO THE COUNTY OF ORANGE, RECORDED AUGUST 16, 1950 IN BOOK 2057, PAGE 312 OF OFFICIAL RECORDS OF SAID COUNTY; THENCE SOUTHERLY ALONG SAID EASTERLY LINE AND ITS PROLONGATION TO THE SAID SOUTH LINE OF SECTION 32; THENCE NORTH 89° 46' 15" EAST TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THE NORTH THIRTY FEET OF SAID LAND.

ALSO, TOGETHER WITH THAT PORTION OF BROOKHURST STREET AS VACATED BY RESOLUTION NO. 2480 RECORDED FEBRUARY 04, 1971 IN BOOK 9536, PAGE 924 OF OFFICIAL RECORDS, DESCRIBED AS FOLLOWS:

THAT PORTION OF BROOKHURST STREET IN THE CITY OF GARDEN GROOVE, COUNTY OF ORANGE, STATE OF CALIFORNIA, DESCRIBED IN DEED TO CITY OF GARDEN GROOVE RECORDED ON FEBRUARY 03, 1970 AS INSTRUMENT NO. 1584, IN BOOK 9208, PAGE 363 OF OFFICIAL RECORDS, IN THE OFFICE OF THE RECORDER OF THE COUNTY OF ORANGE AND IN DEED RECORDED ON FEBRUARY 03, 1970 AS INSTRUMENT NO. 1585, IN BOOK 9208, PAGE 366 OF OFFICIAL RECORDS, WITHIN THE FOLLOWING DESCRIBED BOUNDARIES:

BEGINNING AT THE INTERSECTION ON THAT CERTAIN CURVE HAVING A RADIUS OF 860 FEET IN THE EASTERLY BOUNDARY OF SAID BROOKHURST STREET, WITH THAT CERTAIN CURVE HAVING A BEARING AND LENGTH OF NORTH 89°32'51" WEST 26.46 FEET IN THE NORTHERLY BOUNDARY OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN DEED TO CITY OF GARDEN GROOVE FOR BROOKHURST STREET, RECORDED ON JULY 28, 1965 AS INSTRUMENT NO. 22583, IN BOOK 7610, PAGE 20 OF SAID OFFICIAL RECORDS, A RADIAL OF SAID CERTAIN CURVE TO SAID INTERSECTION BEARS SOUTH 80°25'21" WEST; THENCE SOUTH 89°32'51" WEST ALONG SAID CERTAIN CURVE 4.264 FEET; THENCE NORTH 9°58'26" WEST 90.298 FEET TO SAID CERTAIN CURVE; THENCE SOUTHERLY ALONG SAID CERTAIN CURVE TO THE POINT OF BEGINNING.

PARCEL B:
EASEMENTS AND INCIDENTAL PURPOSES IN THAT CERTAIN "RECIPROCAL EASEMENT AGREEMENT" RECORDED APRIL 1, 2015 AS INSTRUMENT NO. 2015000166331 OF OFFICIAL RECORDS OF SAID COUNTY. THE EASEMENT DIMENSIONS OF EXHIBIT A TO SAID INSTRUMENT IS NOT LEGIBLE. DIMENSIONS WERE PROVIDED BY SCALING FROM SAID INSTRUMENT AND ARE APPROXIMATE.
APN: 089-072-53

LEGAL DESCRIPTION:
10231 GARDEN GROOVE BLVD.,
GARDEN GROOVE, CA 92805

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF GARDEN GROOVE IN THE COUNTY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

THAT PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 10 WEST, SAN BERNARDINO BASE & MERIDIAN, IN THE RANCHO LAS BOSAS, IN THE CITY OF GARDEN GROOVE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS THE SOUTH HALF OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SAID SECTION 32 AS SHOWN ON RECORD OF SURVEY MAP FILED IN BOOK 25, PAGE 13, OF RECORDS OF SURVEYS OF SAID COUNTY, DESCRIBED AS FOLLOWS:

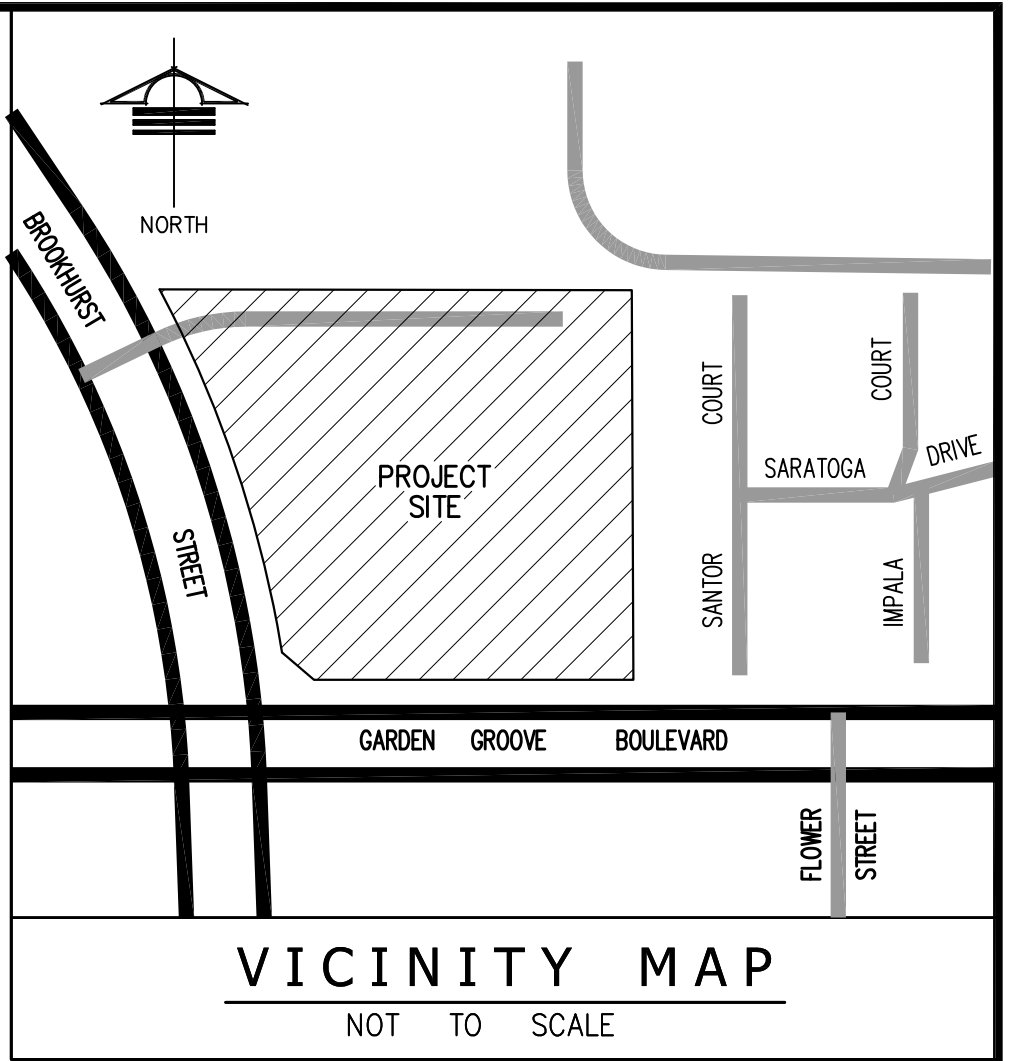
PARCEL 1:
BEGINNING AT THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 32; THENCE NORTH 0° 26' 00" WEST 331.42 FEET TO THE SOUTHEAST CORNER OF THE LAND DESCRIBED IN DEED TO GARDEN GROOVE SANITARIUM, INC., A CORPORATION, RECORDED FEBRUARY 21, 1952 IN BOOK 2291, PAGE 332 OF OFFICIAL RECORDS OF SAID COUNTY; THENCE SOUTH 89° 51' 20" WEST 175.00 FEET TO A LINE PARALLEL WITH THE EAST LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER; THENCE SOUTH 0° 26' 00" WEST 331.48 FEET ALONG SAID PARALLEL LINE TO THE SOUTH LINE OF SAID SECTION; THENCE EASTERLY 175.00 FEET TO THE POINT OF BEGINNING.

PARCEL 2:
A 30-FOOT EASEMENT FOR ROADWAY PURPOSES OVER THAT PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 10 WEST, SAN BERNARDINO BASE & MERIDIAN, IN THE RANCHO LAS BOSAS, AS THE SOUTH HALF OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SAID SECTION 32 AS SHOWN ON RECORD OF SURVEY MAP FILED IN BOOK 25, PAGE 13 OF RECORDS OF SURVEY OF SAID COUNTY, LYING EASTERLY OF THE EASTERLY LINE OF THE RIGHT-OF-WAY FOR WRIGHT STREET AS DESCRIBED IN DEED TO THE COUNTY OF ORANGE, RECORDED AUGUST 16, 1950 IN BOOK 2057, PAGE 312 OF OFFICIAL RECORDS OF SAID COUNTY, THE NORTHERLY LINE OF SAID EASEMENT BEING THE SOUTHERLY LINE OF THE LAND DESCRIBED IN DEED TO GARDEN GROOVE SANITARIUM, INC., A CORPORATION, RECORDED FEBRUARY 21, 1952 IN BOOK 2291, PAGE 332 OF OFFICIAL RECORDS OF SAID COUNTY. EXCEPT THEREFROM THE EAST 175.00 FEET.

BENCHMARK:
BM NO. GG-130 ELEV = 85.727 NAVD88 YEAR 2012

FOUND 2-1/2" BRONZE CITY OF GARDEN GROOVE BENCHMARK DISK WITH PUNCH IN TRIANGLE, SET IN THE SOUTHEAST CORNER OF A 16 FT. BY 4 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE NORTHEAST CORNER OF THE INTERSECTION OF LAMPSON AVE. AND BROOKHURST AVE. 15 FT. EAST OF THE B.C.R. AND 1 FT. NORTH OF THE CURB FACE.

BASIS OF BEARING :
THE BEARING OF N 89° 46' 46" E OF THE CENTERLINE OF GARDEN GROOVE BOULEVARD AS SHOWN ON TRACT MAP NO. 11909 M.M. 553/7-10 WAS USED AS THE BASIS OF BEARING FOR THIS SURVEY.



EASEMENT NOTES: (10201 GARDEN GROOVE BLVD.)

NOTE: TITLE ITEMS PER FIRST AMERICAN TITLE INSURANCE COMPANY REPORT ORDER NO. NCS-923501-SA1 DATED DECEMBER 21, 2018. ITEMS NO. INSIDE HEXAGONAL INDICATES THAT THESE ITEMS ARE PLOTTED ON THE MAP WITH THE SAME SYMBOL AND ITEM NUMBER.

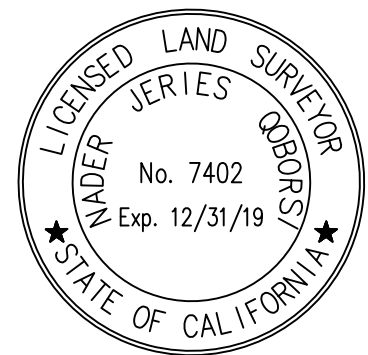
- 12 AN EASEMENT FOR EITHER OR BOTH POLE LINES, CONDUITS AND INCIDENTAL PURPOSES, TO THE PACIFIC TELEPHONE AND TELEGRAPH COMPANY RECORDED APRIL 28, 1960 AS BOOK 5217, PAGE 60 OF OFFICIAL RECORDS. SAID EASEMENT CAN'T BE LOCATED FROM AVAILABLE RECORD
- 13 AN EASEMENT FOR STREET AND HIGHWAY AND INCIDENTAL PURPOSES, TO THE CITY OF GARDEN GROOVE RECORDED AS BOOK 7610, PAGE 20 OF OFFICIAL RECORDS. NOTE: A PORTION OF SAID EASEMENT WAS VACATED BY RESOLUTION NO. 4003-71 AS RECORDED FEBRUARY 4, 1971 IN BOOK 9536, PAGE 924 OF OFFICIAL RECORDS.
- 16 AN EASEMENT FOR STREET AND HIGHWAY AND INCIDENTAL PURPOSES TO THE CITY OF GARDEN GROOVE RECORDED FEBRUARY 03, 1970 AS BOOK 9208, PAGE 363 OF OFFICIAL RECORDS.
- 17 AN EASEMENT FOR STREET AND HIGHWAY AND INCIDENTAL PURPOSES TO THE CITY OF GARDEN GROOVE RECORDED FEBRUARY 03, 1970 AS BOOK 9208, PAGE 366 OF OFFICIAL RECORDS.

- 18 AN EASEMENT FOR EITHER OR BOTH UNDERGROUND LINES, CONDUITS INCLUDING ABOVE-GROUND APPURTENANT FIXTURES AND INCIDENTAL PURPOSES TO SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION RECORDED MARCH 06, 1970 AS BOOK 9232, PAGE 696 OF OFFICIAL RECORDS. THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.
- 19 AN EASEMENT FOR EITHER OR BOTH UNDERGROUND LINES, CONDUITS INCLUDING ABOVE-GROUND APPURTENANT FIXTURES AND INCIDENTAL PURPOSES TO TO SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION RECORDED MARCH 06, 1970 AS BOOK 9232, PAGE 696 OF OFFICIAL RECORDS.
- 21 THE FACT THAT THE LAND LIES WITHIN THE BOUNDARIES OF THE COMMUNITY CENTER REDEVELOPMENT PROJECT AREA, AS DISCLOSED BY THE DOCUMENT RECORDED DECEMBER 06, 1976 AS INSTRUMENT NO. 7160 IN BOOK 11984, PAGE 1027 OF OFFICIAL RECORDS

EASEMENT NOTES: (10231 GARDEN GROOVE BLVD.)

NOTE: TITLE ITEMS PER FIDELITY NATIONAL TITLE COMPANY REPORT ORDER NO. 997-3002217-1MB DATED NOVEMBER 14, 2018. ITEMS NO. INSIDE CIRCLE INDICATES THAT THESE ITEMS ARE PLOTTED ON THE MAP WITH THE SAME SYMBOL AND ITEM NUMBER.

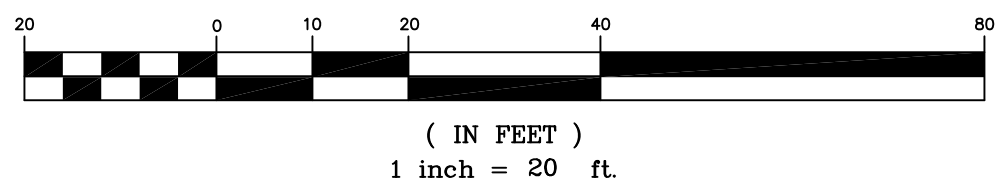
- 3 AN EASEMENT FOR ROADS, RAILROADS AND DITCHES AND RIGHTS INCIDENTAL THERETO AS RESERVED IN A DOCUMENT RESERVED BY ALFRED ROBINSON, TRUSTEE RECORDED AUGUST 11, 1875 IN BOOK 25 PAGE 540 OF DEEDS, LOS ANGELES COUNTY. EASEMENT CANNOT BE PLOTTED FROM AVAILABLE RECORDS.
- 4 AN EASEMENT FOR UTILITIES, INGRESS AND EGRESS AND RIGHTS INCIDENTAL TO SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION RECORDED JULY 14, 1954 IN BOOK 2770 PAGE 285 OF OFFICIAL RECORDS.
- 5 AN EASEMENT FOR STREET AND HIGHWAY AND RIGHTS INCIDENTAL THERETO TO THE CITY OF GARDEN GROOVE, A MUNICIPAL CORPORATION RECORDED JULY 08, 1957 IN BOOK 3967 PAGE 215 OF OFFICIAL RECORDS.
- 6 AN EASEMENT FOR UTILITIES, INGRESS AND EGRESS AND RIGHTS INCIDENTAL THERETO TO SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION RECORDED JUNE 24, 1965 IN BOOK 7569 PAGE 333 OF OFFICIAL.
- 8 AN EASEMENT FOR OVERHEAD AND UNDERGROUND ELECTRICAL SUPPLY SYSTEMS AND COMMUNICATION SYSTEMS AND RIGHTS INCIDENTAL THERETO TO SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION RECORDED MARCH 06, 1970 IN BOOK 9232 PAGE 696 OF OFFICIAL RECORDS.



PREPARED UNDER THE SUPERVISION OF

NADER J. QOBORSKI, PLS 7402 EXP. 12/31/19

GRAPHIC SCALE



CITY OF GARDEN GROVE

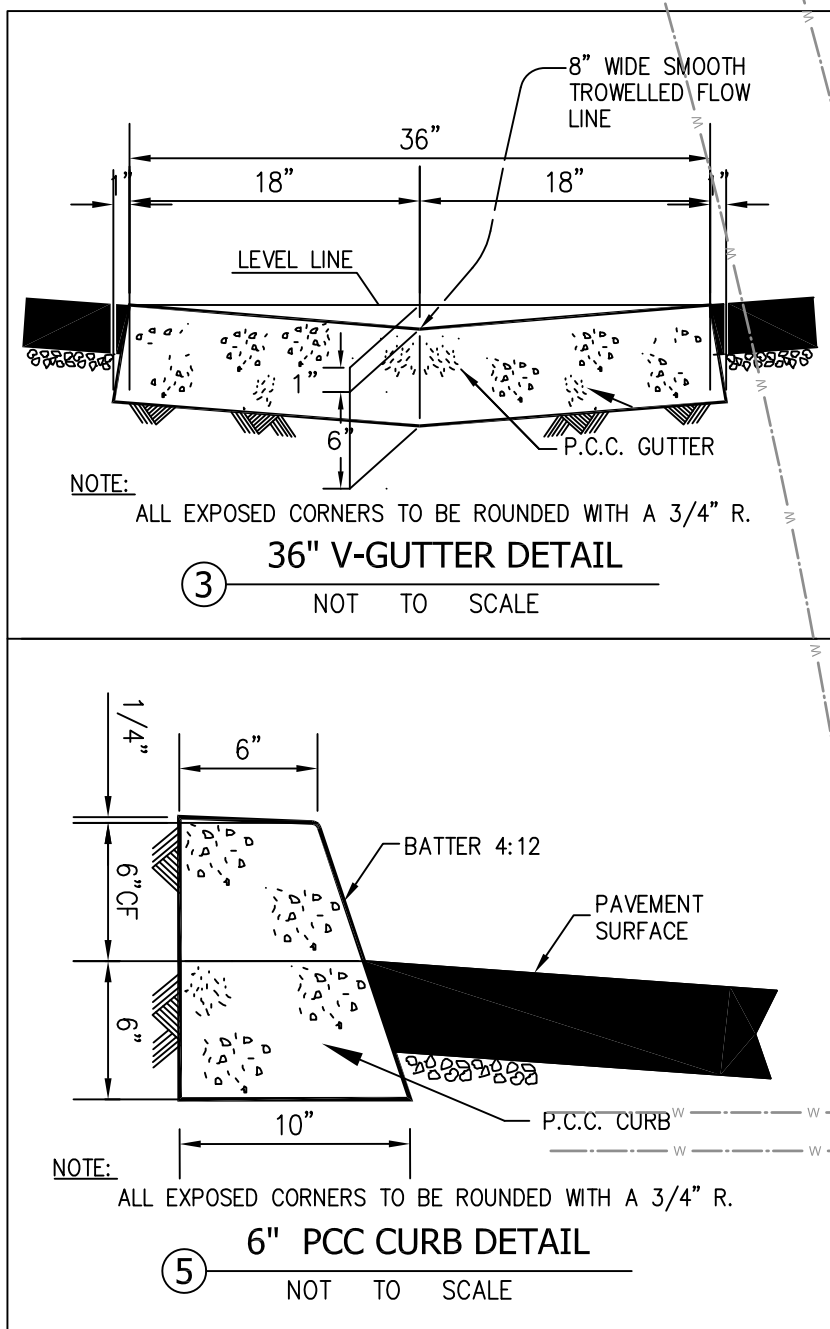
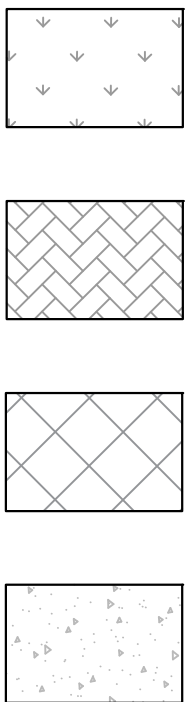
TENTATIVE PARCEL MAP NO. 2021-190

10201 & 10231 GARDEN GROOVE BLVD.,
GARDEN GROOVE, CA 92805

DATE: 01/10/2021

(EXISTING CONDITION)

LEGEND :



CONSTRUCTION NOTES:

NO.	DESCRIPTION
(P)	PROTECT IN PLACE.
(1)	
(2)	CONSTRUCT 4" PVC PIPE SCHEDULE 40
(3)	CONSTRUCT 36" WIDE PCC V-GUTTER PER DETAIL HEREON.
(4)	ADJUST EXIST. UTILITY BOXES & GRATES TO NEW GRADES
(5)	CONSTRUCT PCC CURB (6" C.F.) ONLY PER DETAIL HEREON.
(6)	CONSTRUCT 8" PVC PIPE SCHEDULE 40
(7)	CONSTRUCT PCC. PAVEMENT THICKNESS AND ROCK BASE PER SOILS REPORT
(8)	
(9)	REMOVE (FULL DEPTH) AND RECONSTRUCT EXISTING 24" WIDE AC PAVEMENT.
(10)	CONSTRUCT 18" X 18" CATCH BASIN, BROOKS PRODUCTS 1818 CB OR EQUAL WITH FLEXSTORM INLET FILTER AND BAG. PAINT STORM DRAIN SYSTEM STENCILING AND SIGNAGE.
(11)	CONSTRUCT 6" PVC PIPE SCHEDULE 40
(12)	
(13)	CONSTRUCT 30" DIA ADS NYOPLAST ROUND CATCH BASIN WITH FRAME, GRATE AND FLEXSTORM INLET FILTER INSERT AND BAG, AND WITH 24" DEEP SUMP. PAINT STORM DRAIN SYSTEM STENCILING AND SIGNAGE.
(14)	CONSTRUCT 24" HDPE ACCESS PIPE TO STORMTECH UNDERGROUND CHAMBERS (ISOLATOR ROW).
(15)	CONSTRUCT 12" CORRUGATED HDPE PIPE WITH SMOOTH INTERIOR CONNECTION TO STORMTECH U.G. CHAMBERS.
(16)	CONSTRUCT 38 STORMTECH SC-740 UNDERGROUND CHAMBERS, WITH 8 END CAPS AND AN INSPECTION PORT PER MANUFACTURER'S DETAILS. BED MAX. WIDTH=20.50', BED MAX. LENGTH=85.49'. STONE LAYER ABOVE CHAMBERS=8" DEEP, STONE LAYER BELOW CHAMBERS=8" DEEP; AVERAGE COVER OVER CHAMBERS = 18". DEPTH PER MANUFACTURER DETAIL ON SHEET 3.
(17)	CONSTRUCT PCC CURB (6" C.F.) ONLY.
(18)	CONSTRUCT 12" X 12" CATCH BASIN, BROOKS PRODUCTS 1818 CB OR EQUAL WITH FLEXSTORM INLET FILTER AND BAG. PAINT STORM DRAIN SYSTEM STENCILING AND SIGNAGE.
(19)	CONSTRUCT ARTERIAL ST. DRIVEWAY CITY STD. B-120 OPTION NO. 2 CASE A, X-4" W PER PLAN
(20)	CONSTRUCT 12" PVC PIPE SCHEDULE 40
(21)	BREAK INTO EX. CATCH BASIN AND JOIN

SCALE: 1" = 20'

UTILITY PURVEYORS

AT & T
Yvette Martinez-Carafano
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Garden Grove CA 92840 714.741.5346 714.448-1456 714.638.9906 brenth@ggcity.org

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Water Division Carina Dan
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City of Garden Grove
Traffic Division Dai Vu
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Attn: Design Support/UND
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Santa Ana, CA 92705 714.973.5406 714.973.5790 jodie.reyes@sce.com

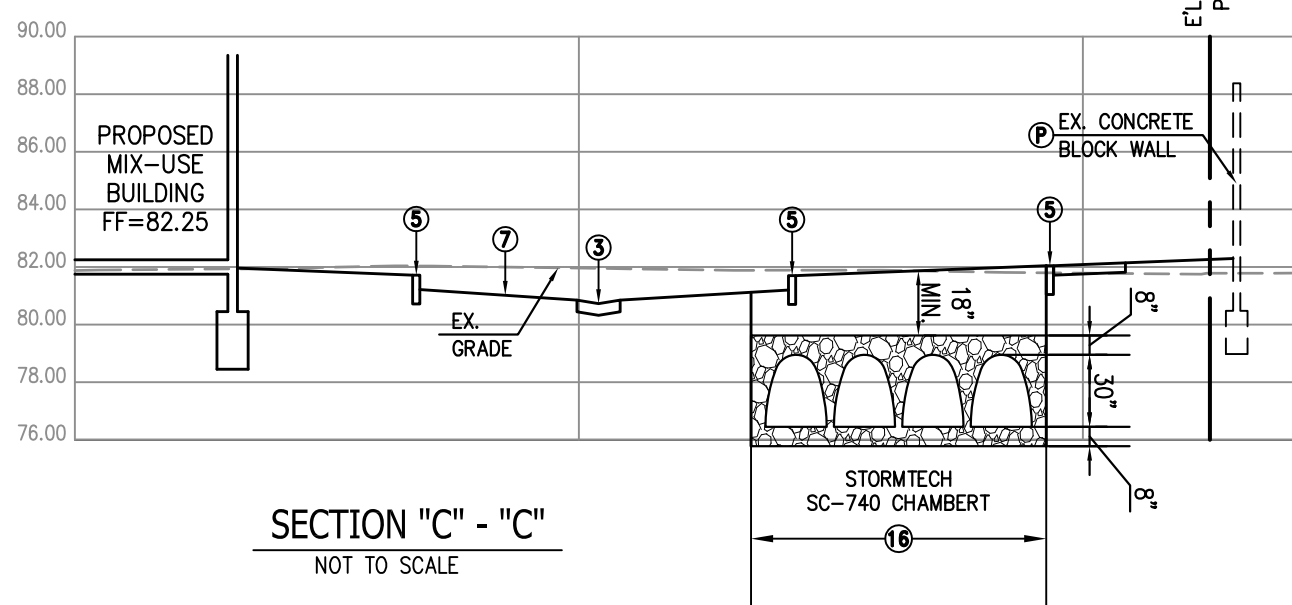
TIME WARNER/aka
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12051 Industry Ave
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Ryan Lopez
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Rsquires@sempuutilities.com
socialgastransmissionutilityrequest@sempuutilities.com

XO Communications Lee Arnold 1924 Deere Ave (949) 417-7700
(949) 417-7762 lee.arnold@xo.com
Frontier/Verizon Mike Madrid
7352 Slater
Huntington Beach 92647 714.375.6720 mike.madrid@ftr.com
Red Flex System INC Marc Carroll
5835 A Uplander Way
Culver City, CA 90230 530.957.2856 mcarroll@redflex.com

Crimson Pipeline Land Dept Jennifer Longville
3760 Kilroy Airport Wy #300
Long Beach, CA 90806 562.285.4195 jlongville@crimsonpl.com
Conflict Inquiry Specialist
CA Asset Mgmt
Chevron Pipe Line Company
Dove Aerler
Pasosud Alvarez
2600 Homestead Pl
Long Beach CA 90806 310.669.4014
dovezerler@chevron.com



SECTION "C" - "C"

NOT TO SCALE

DRAWN BY: JLB	CHECKED BY: NJQ	LEGAL DESCRIPTION:	BENCHMARK BM NO. G0-130 ELEV = 85.727 NAD88 YEAR 2012 FOUND 2-1/2" BRONZE CITY OF GARDEN GROVE BENCHMARK DISK WITH PUNCH IN TRIANGLE, SET IN THE SOUTHEAST CORNER OF A 16 FT. BY 4 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE NORTHEAST CORNER OF THE INTERSECTION OF LAMSON AVE. AND BROOKHURST AVE. 15 FT. EAST OF THE B.C.R. AND 1 FT. NORTH OF THE CURB FACE.	OWNER: MR. MICHAEL DAO 9191 WESTMINSTER BLVD., GARDEN GROVE, CA 92844 TEL (714) 504-2950	FORESIGHT ENGINEERING INC.	CITY OF GARDEN GROVE TENTATIVE PARCEL MAP NO. 2021-190 PRELIMINARY GRADING PLAN 10201 & 10231 GARDEN GROVE BLVD., GARDEN GROOVE, CA 92805
PLANS PREPARED UNDER SUPERVISION OF: NADER J. QOBORSI DATE: R.C.E. NO.46119	REFERENCE PLANS FOR THIS IMPROVEMENTS	DATE	BY	DESCRIPTION	REVISIONS	APP'D.
DATE: R.C.E. NO.46119	REFERENCE PLANS FOR THIS IMPROVEMENTS	DATE	BY	DESCRIPTION	REVISIONS	APP'D.

CONSTRUCTION NOTES:

- 1

INSTALL 6" YELLOW LEFT EDGE LINE AND MARKERS
PER CALTRANS STANDARD PLAN A20B DETAIL 25.
- 2

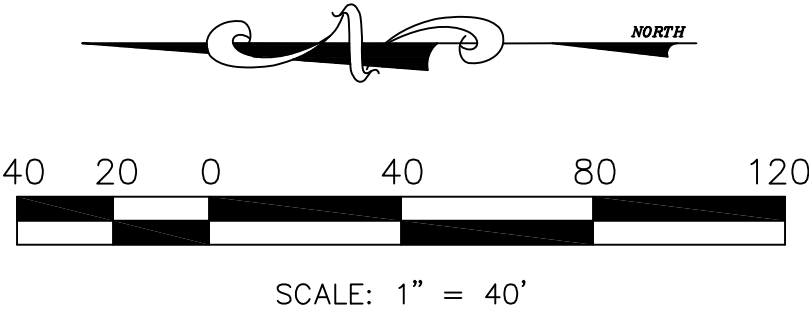
INSTALL 4' YELLOW DIAGONALS AT 20' EACH.
- 3

INSTALL GLUE-DOWN CHANNELIZER AT 4' EACH.
- 4

INSTALL NEW SIGN POST AND PANEL AS SHOWN.
- 5

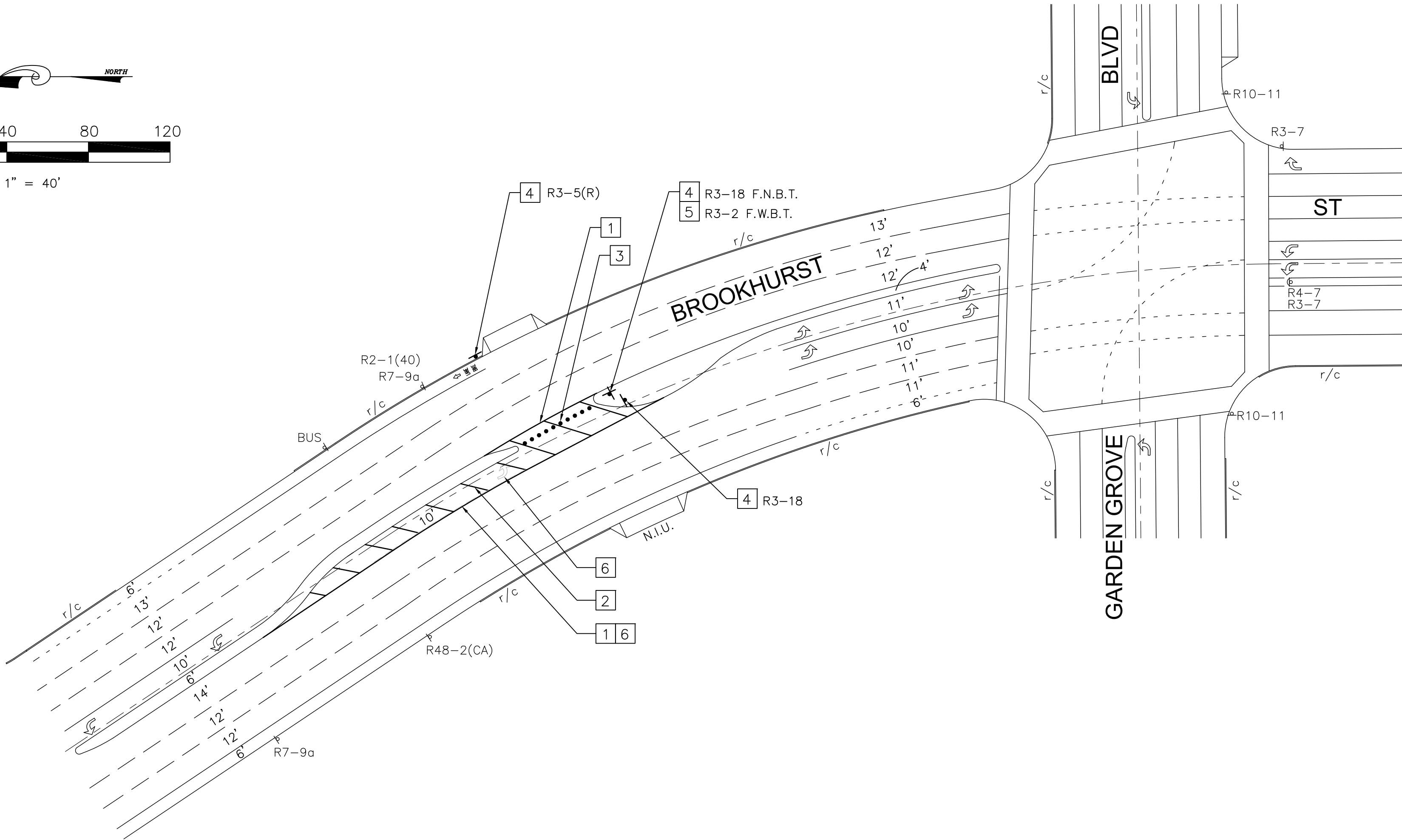
INSTALL NEW SIGN PANEL AS SHOWN.
- 6

REMOVE CONFLICTING PAVEMENT MARKING AND MARKER.



STRIPING GENERAL NOTES:

1. ALL STRIPING AND PAVEMENT MARKINGS SHALL CONFORM TO THE 2014 EDITION OF THE CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (CA-MUTCD).
2. ALL STRIPING ALIGNMENT AND LAYOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND IS SUBJECT TO THE CITY ENGINEER'S APPROVAL.
3. THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER UPON THE COMPLETION OF STRIPING AND SIGNING.
4. ALL CONFLICTING SIGNING AND STRIPING SHALL BE REMOVED BY SANDBLASTING. SALVAGED SIGNS AND POSTS SHALL BE RETURNED TO CITY YARD. COORDINATE WITH THE CITY ENGINEER.
5. ALL STRIPING DETAILS, PAVEMENT MARKINGS SHALL BE TWO-COAT PAINT UNLESS OTHERWISE INDICATED.
6. ALL EXISTING STRIPING AND PAVEMENT MARKINGS SHOWN ON THE PLAN THAT ARE BEING REMOVED, SHALL BE REMOVED BY SANDBLASTING/GRINDING OR OTHER APPROED METHODS PRIOR TO INSTALLATION OF NEW STRIPING AND LEGENDS. NO BLACK-OVER PAINTING OF LINES IS PERMITTED IN THE CITY. ALL CONFLICTING RAISED PAVEMENT MARKERS SHALL BE REMOVED. PAVEMENT THAT IS DAMAGED DUE TO REMOVAL OF MARKERS SHALL BE REPAIRED TO THE SATISFACTION OF THE CITY REPRESENTATIVE.
7. STRIPING SHALL BE CAT-TRACKED AND APPROVED BY THE CITY REPRESENTATIE PRIOR TO FINAL INSTALLATION.



LEGEND:

- EXISTING RED CURB MARKINGS.
- EXISTING DRIVEWAY.
- EXISTING SIGN AND POST.
- PROPOSED SIGN AND POST.
- F.N.B.T.

FACE NORTHBOUND TRAFFIC.
- F.W.B.T.

FACE WESTBOUND TRAFFIC.
- N.I.U.

NOT IN USE.

SIGN LEGEND:

- PROPOSED:

R3-2:

EXISTING:

R2-1(40):

R7-9a:
- R3-5(R):

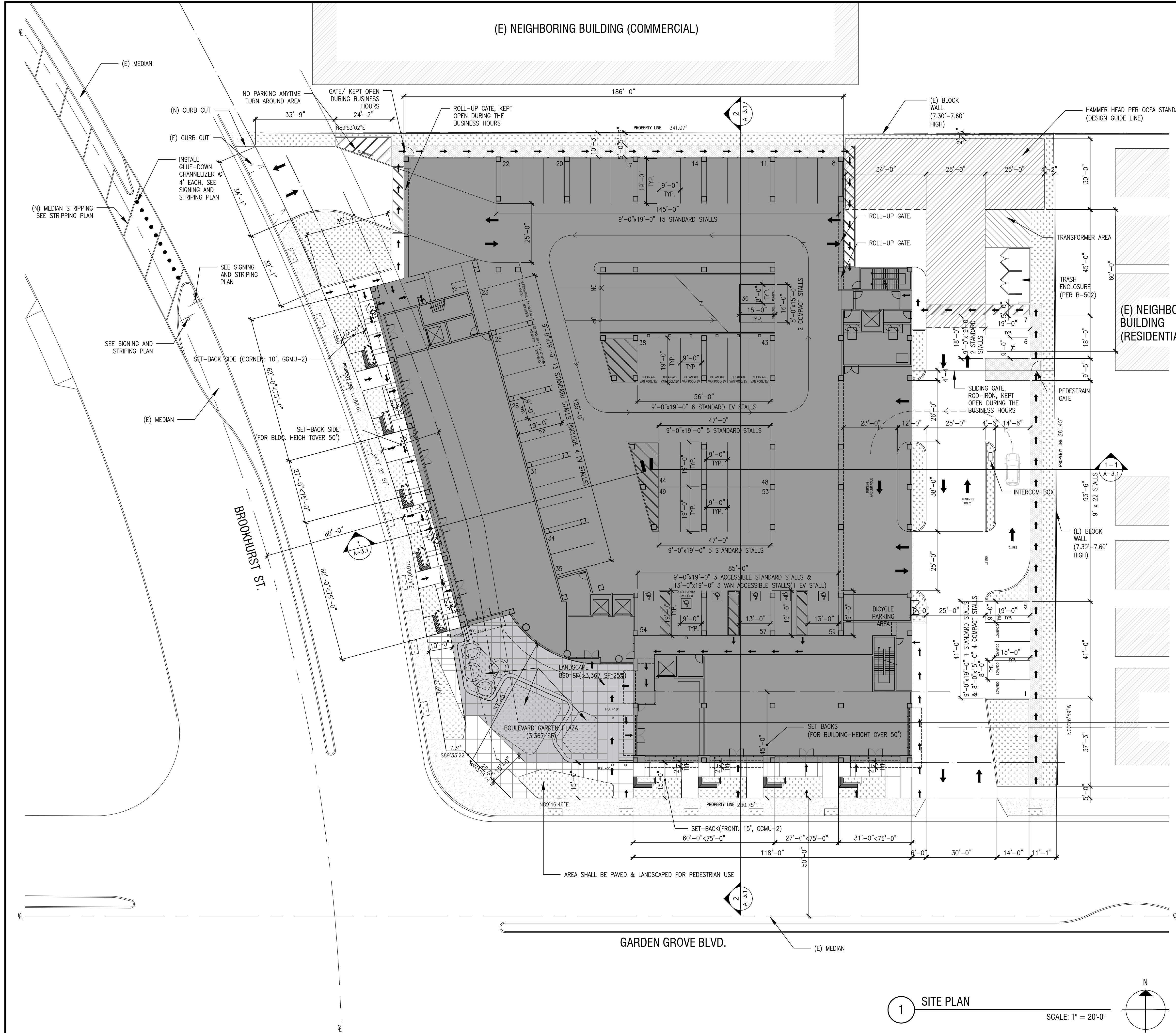
R3-7:

R10-11:
- R3-18:

R4-7:

R48-2(CA):

PREPARED BY: K2 TRAFFIC ENGINEERING, INC. 1442 IRVINE BLVD, SUITE 210 TUSTIN, CA 92780 TEL: (714) 832-2116	REVISIONS NO. DATE DESCRIPTIONS		PREPARED UNDER THE SUPERVISION OF JENDE KAY HSU, RCE 63558, EXP. 9/30/22 07/15/2021 DATE		SIGNING AND STRIPING PLAN BROOKHURST STREET
			RECOMMENDED: TRAFFIC ENGINEER DATE APPROVED: DIRECTOR OF PUBLIC WORKS DATE		CITY OF GARDEN GROVE DEPARTMENT OF PUBLIC WORKS SHEET 1 OF 1



SITE PLAN SYMBOL LEGEND

- PROJECT BUILDING
- HAMMER HEAD PER OCFA STANDARD
- LANDSCAPE AREA, SEE LANDSCAPE
- BOULEVARD PLAZA, 25% OF PLAZA AREA SHALL BE LANDSCAPED
- PEDESTRIAN WALKWAY, PAVED & LANDSCAPED
- (E) BUILDING

- DIRECTIONAL ARROW MARKING, (2)COAT MIN., TRAFFIC WHITE PAINT
- ACCESSIBLE ROUTE PER 11B-206, MIN. 4'-0" CLEAR WIDTH, MIN. 5' x 5" CLEAR SPACE IN FRONT OF THE DOORS SHOULD BE PROVIDED. THE SLOPE IN THE DIRECTION OF TRAVEL SHOULD BE LESS THAN 5% AND THE SLOPE PERPENDICULAR TO THE DIRECTION OF TRAVEL SHOULD BE LESS THAN 2%. CONTRACTOR TO VERIFY THE SLOPE. ANY NECESSARY WORK SHOULD BE DONE TO ENSURE THE SLOPE AS REQUIRED.

- PROPOSED LANDSCAPE AREA
- ON SITE
 - LANDSCAPE AREA WITHIN PARKING AREA: 2,841 SF
 - 2,841 SF / 19,205 SF(PARKING AREA) * 100 = 14.8 % OF THE PARKING AREA
 - SETBACK LANDSCAPE AREA, S.L.D.
 - BROOKHURST ST. FRONTAGE LANDSCAPE PROVIDED : 1,385 SF
 - GARDEN GROVE BLVD. FRONTAGE LANDSCAPE PROVIDED : 1,211 SF
 - EAST SETBACK LANDSCAPE PROVIDED : 1,643 SF
 - BOULEVARD GARDEN PLAZA LANDSCAPE PROVIDED : 890 SF
 - MISCELLANEOUS : 40 SF
 - ON SITE TOTAL : 8,010 SF
 - ON SITE LANDSCAPE RATIO : 8,010 SF / 80,876 SF = 10.22 %
 - OFF SITE(TREE-WELLS) : 252 SF

PARKING, UNCOVERED, ON GROUND		
PARKING STALLS	COMMERCIAL	RESIDENTIAL
STANDARD 9'x19'	3 EA	0 EA
COMPACT 8'x15'	4 EA	0 EA
ACCESSIBLE 9'x19'	0 EA	0 EA
VAN ACCESSIBLE 13'x19'	0 EA	0 EA
EV ACCESSIBLE W/ CHARGING 13'x19' VAN	0 EA	0 EA
EV STALL W/ CHARGING STATION 9'x19'	0 EA	0 EA
EV STALLS W/O CHARGING STATION 9'x19'	0 EA	0 EA
TOTAL	7 TOTAL	

SEAL/SIGNATURE

CONSULTANT

MIXED-USE BUILDING FOR DR. DAO
10201 & 10231 GARDEN GROVE BLVD
GARDEN GROVE, CA 92843-1041

MR. MICHAEL DAO

PROJECT :

OWNER :

TITLE

SITE PLAN

DATE	REVISION	BY

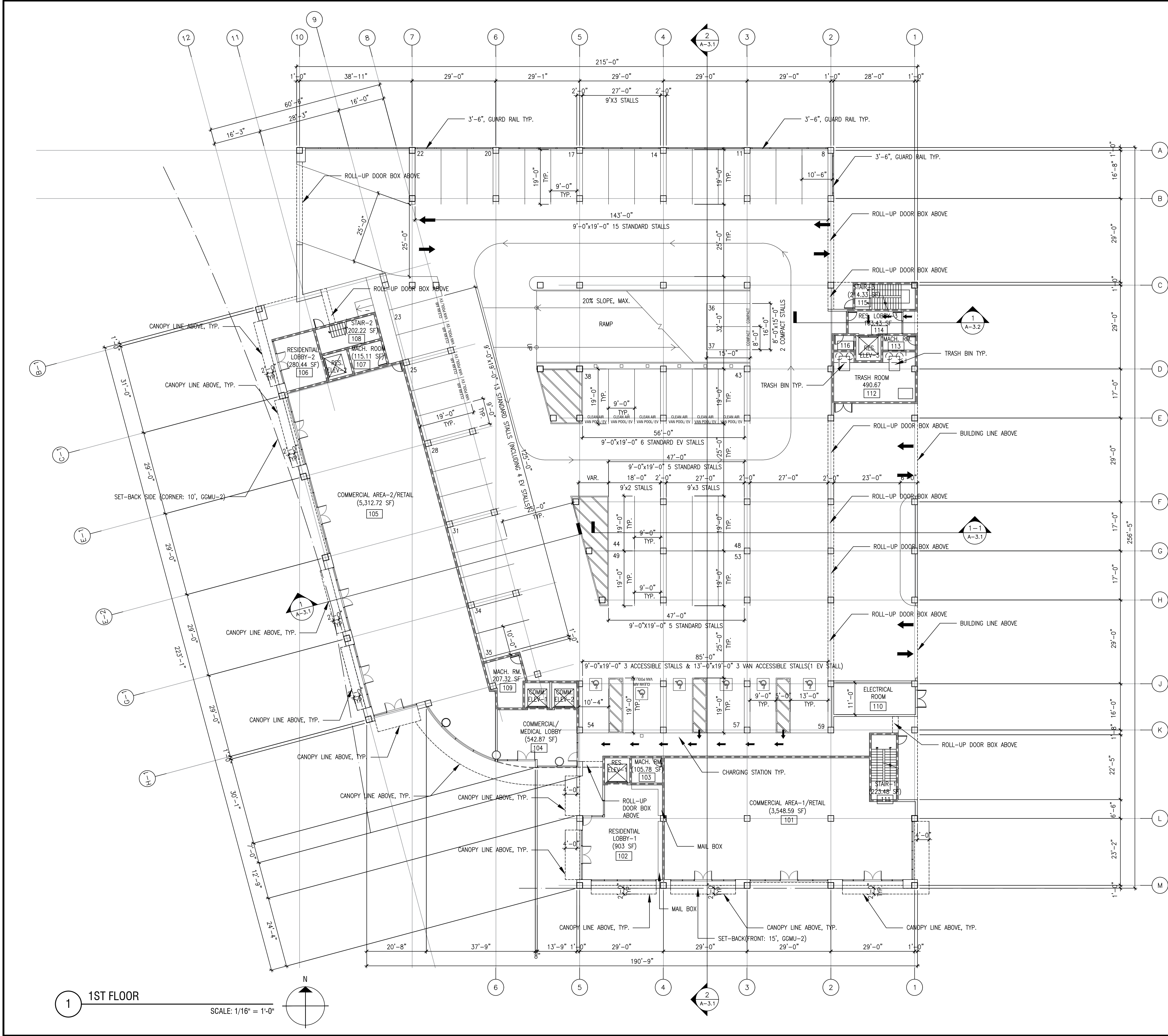
DRAWN BY: APPROVED:

DATE: SCALE:

SHEET:

A-1.1

OF SHEETS



PLAN SYMBOL LEGEND

- EV STALL CHARGING STATION
- ACCESSIBLE ROUTE PER 11B-206, MIN. 4'-0" CLEAR WIDTH, MIN. 5' x 5" CLEAR SPACE IN FRONT OF THE DOORS SHOULD BE PROVIDED. THE SLOPE IN THE DIRECTION OF TRAVEL SHOULD BE LESS THAN 5% AND THE SLOPE PERPENDICULAR TO THE DIRECTION OF TRAVEL SHOULD BE LESS THAN 2%. CONTRACTOR TO VERIFY THE SLOPE. ANY NECESSARY WORK SHOULD BE DONE TO ENSURE THE SLOPE AS REQUIRED.

1ST FLOOR PARKING GARAGE

PARKING STALLS	COMMERCIAL	RESIDENTIAL
STANDARD 9'x19'	34 EA	0 EA
COMPACT 8'x15'	2 EA	0 EA
ACCESSIBLE 9'x19'	3 EA	0 EA
VAN ACCESSIBLE 13'x19'	2 EA	0 EA
EV ACCESSIBLE W/ CHARGING 13'x19' VAN	1 EA	0 EA
EV STALL W/ CHARGING STATION 9'x19'	6 EA	0 EA
EV STALLS W/O CHARGING STATION 9'x19'	4 EA	0 EA
TOTAL	52 TOTAL	

NOTES:

- 1-HR, SEPARATION BETWEEN B.M/R-3/S-2
- STAIRS SHAFT & SHALL BE PROVIDED W/ FIRE RATED ENCLOSURES PER CBC
- ROLL-UP DOORS KEPT OPEN DURING THE BUSINESS HOURS
- ALL PARKING STALLS ARE STANDARD (9'-0" X 19'-0")

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SEAL/SIGNATURE

CONSULTANT

MIXED-USE BUILDING FOR DR. DAO
10201 & 10231 GARDEN GROVE BLVD
GARDEN GROVE, CA 92843-1041

MR. MICHAEL DAO

PROJECT:

OWNER:

TITLE

1ST FLOOR PLAN

DATE	REVISION	BY

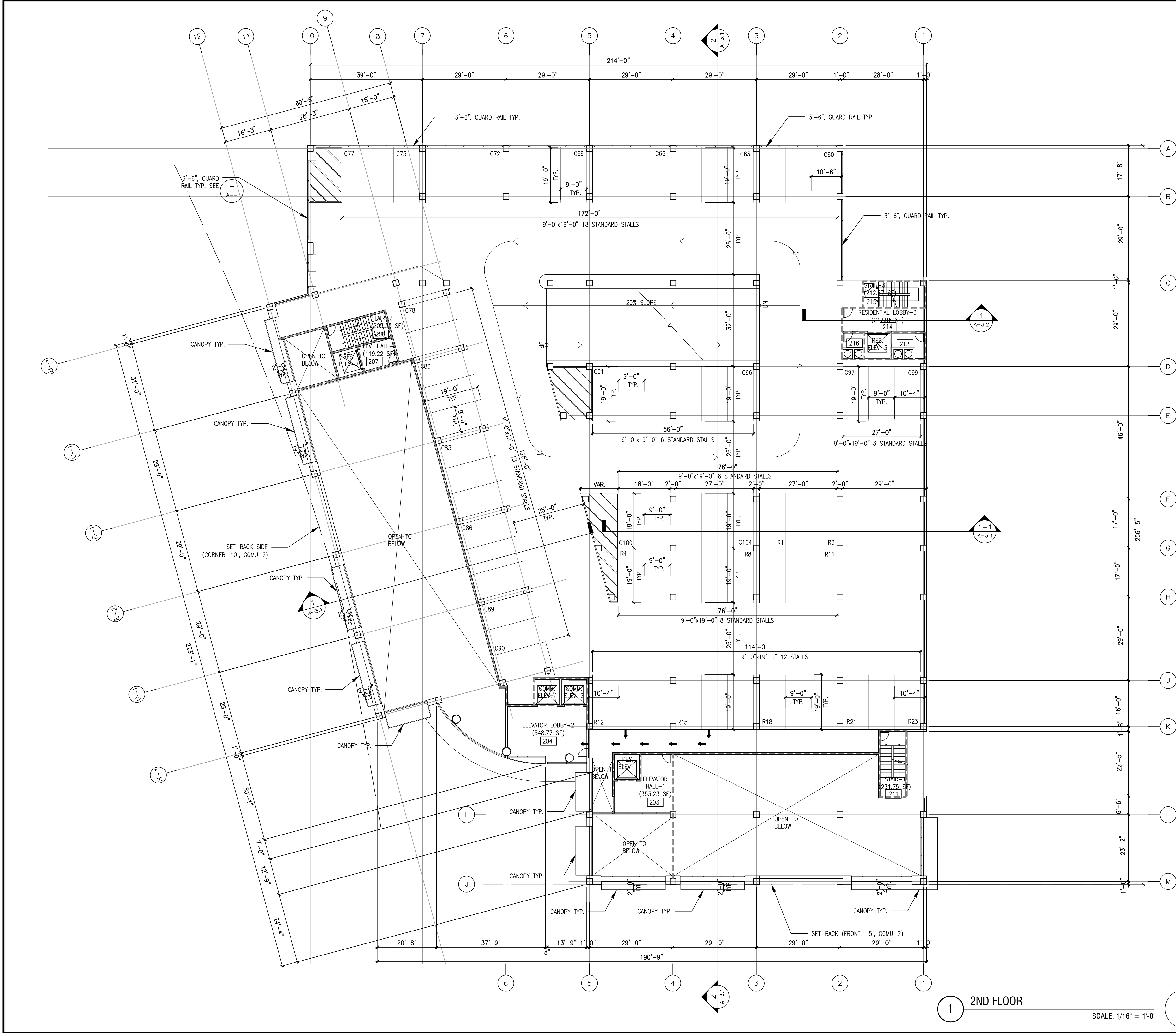
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DATE: SCALE:

SHEET:

A-1.2

OF SHEETS



PLAN SYMBOL LEGEND

→

ACCESSIBLE ROUTE PER 11B-206, MIN. 4'-0" CLEAR WIDTH, MIN. 5' x 5" CLEAR SPACE IN FRONT OF THE DOORS SHOULD BE PROVIDED. THE SLOPE IN THE DIRECTION OF TRAVEL SHOULD BE LESS THAN 5% AND THE SLOPE PERPENDICULAR TO THE DIRECTION OF TRAVEL SHOULD BE LESS THAN 2%. CONTRACTOR TO VERIFY THE SLOPE. ANY NECESSARY WORK SHOULD BE DONE TO ENSURE THE SLOPE AS REQUIRED.

2ND FLOOR PARKING GARAGE		
PARKING STALLS	COMMERCIAL	RESIDENTIAL
STANDARD 9'x19'	58 EA	10 EA
COMPACT 8'x15'	0 EA	0 EA
ACCESSIBLE 9'x19'	0 EA	0 EA
VAN ACCESSIBLE 13'x19'	0 EA	0 EA
EV ACCESSIBLE W/ CHARGING 13'x19' VAN	0 EA	0 EA
EV STALL W/ CHARGING STATION 9'x19'	0 EA	0 EA
EV STALLS W/O CHARGING STATION 9'x19'	0 EA	0 EA
TOTAL	68 TOTAL	

NOTES:

- 1-HR, SEPARATION BETWEEN B,M/R-3/S-2
- STAIRS SHAFT & SHALL BE PROVIDED W/ FIRE RATED ENCLOSURES PER CBC
- ALL PARKING STALLS ARE STANDARD (9'-0" X 19'-0")

1

2ND FLOOR

SCALE: 1/16" = 1'-0"

N

EALCITY
CONSTRUCTION
DESIGN/BUILD

SOURCE
ARCHITECTURE

6101 BALL RD. STE #205, CYPRESS, CA 90630
P: (714) 309-7444
E: pkim@source-architecture.com

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SEAL/SIGNATURE

CONSULTANT

MIXED-USE BUILDING FOR DR. DAO
10201 & 10231 GARDEN GROVE BLVD
GARDEN GROVE, CA 92843-1041

MR. MICHAEL DAO

PROJECT:

OWNER:

TITLE

2ND FLOOR PLAN

DATE	REVISION	BY

DRAWN BY:

APPROVED:

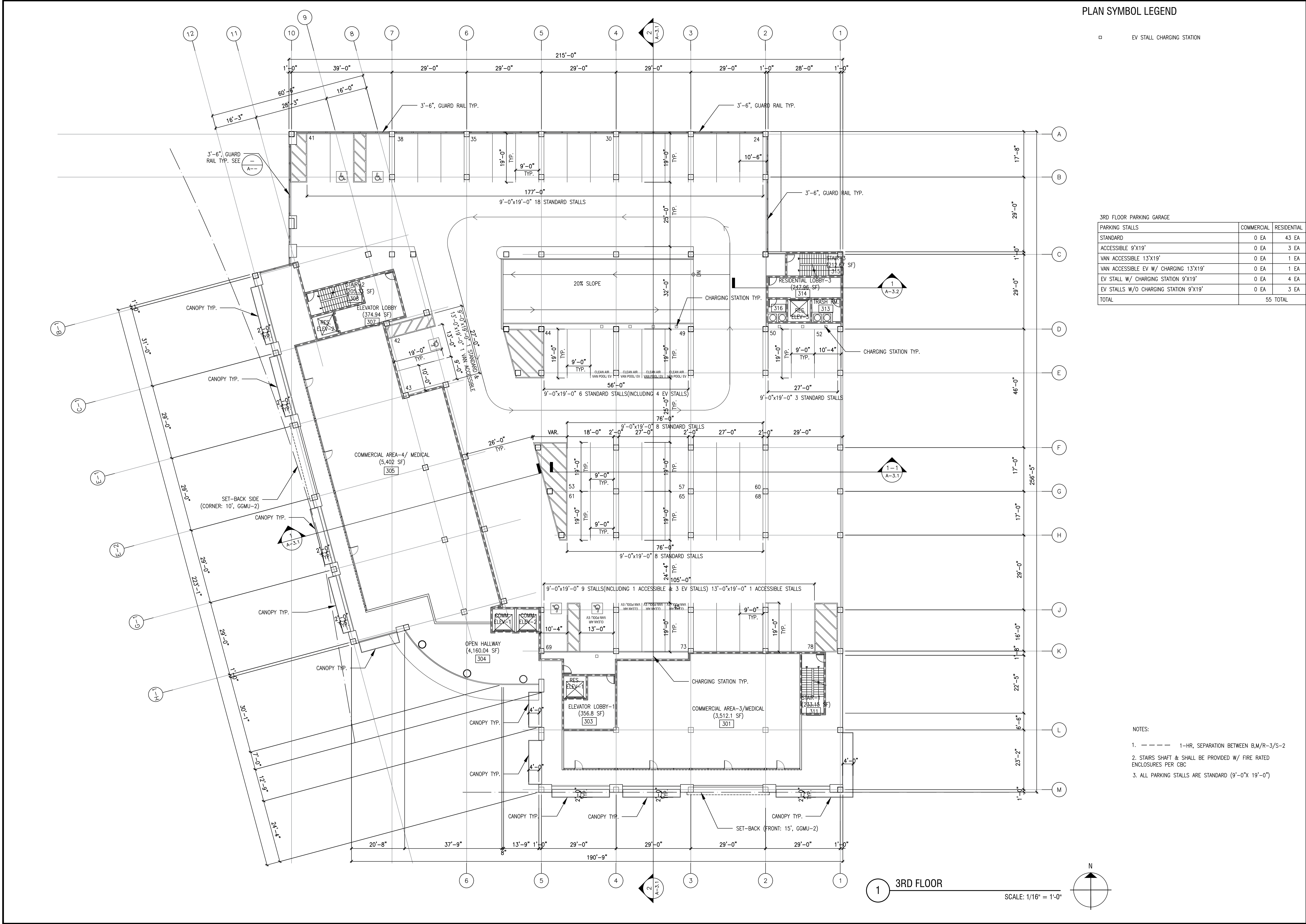
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OF SHEETS



PLAN SYMBOL LEGEND

EV STALL CHARGING STATION

3RD FLOOR PARKING GARAGE

PARKING STALLS	COMMERCIAL	RESIDENTIAL
STANDARD	0 EA	43 EA
ACCESSIBLE 9'X19'	0 EA	3 EA
VAN ACCESSIBLE 13'X19'	0 EA	1 EA
VAN ACCESSIBLE EV W/ CHARGING 13'X19'	0 EA	1 EA
EV STALL W/ CHARGING STATION 9'X19'	0 EA	4 EA
EV STALLS W/O CHARGING STATION 9'X19'	0 EA	3 EA
TOTAL	55 TOTAL	

NOTES:

- 1-HR, SEPARATION BETWEEN B,M/R-3/S-2
- STAIRS SHAFT & SHALL BE PROVIDED W/ FIRE RATED ENCLOSURES PER CBC
- ALL PARKING STALLS ARE STANDARD (9'-0"X 19'-0")

SEAL/SIGNATURE

CONSULTANT

MIXED-USE BUILDING FOR DR. DAO
10201 & 10231 GARDEN GROVE BLVD
GARDEN GROVE, CA 92843-1041

MR. MICHAEL DAO

PROJECT:

OWNER:

TITLE

3RD FLOOR PLAN

DATE REVISION BY

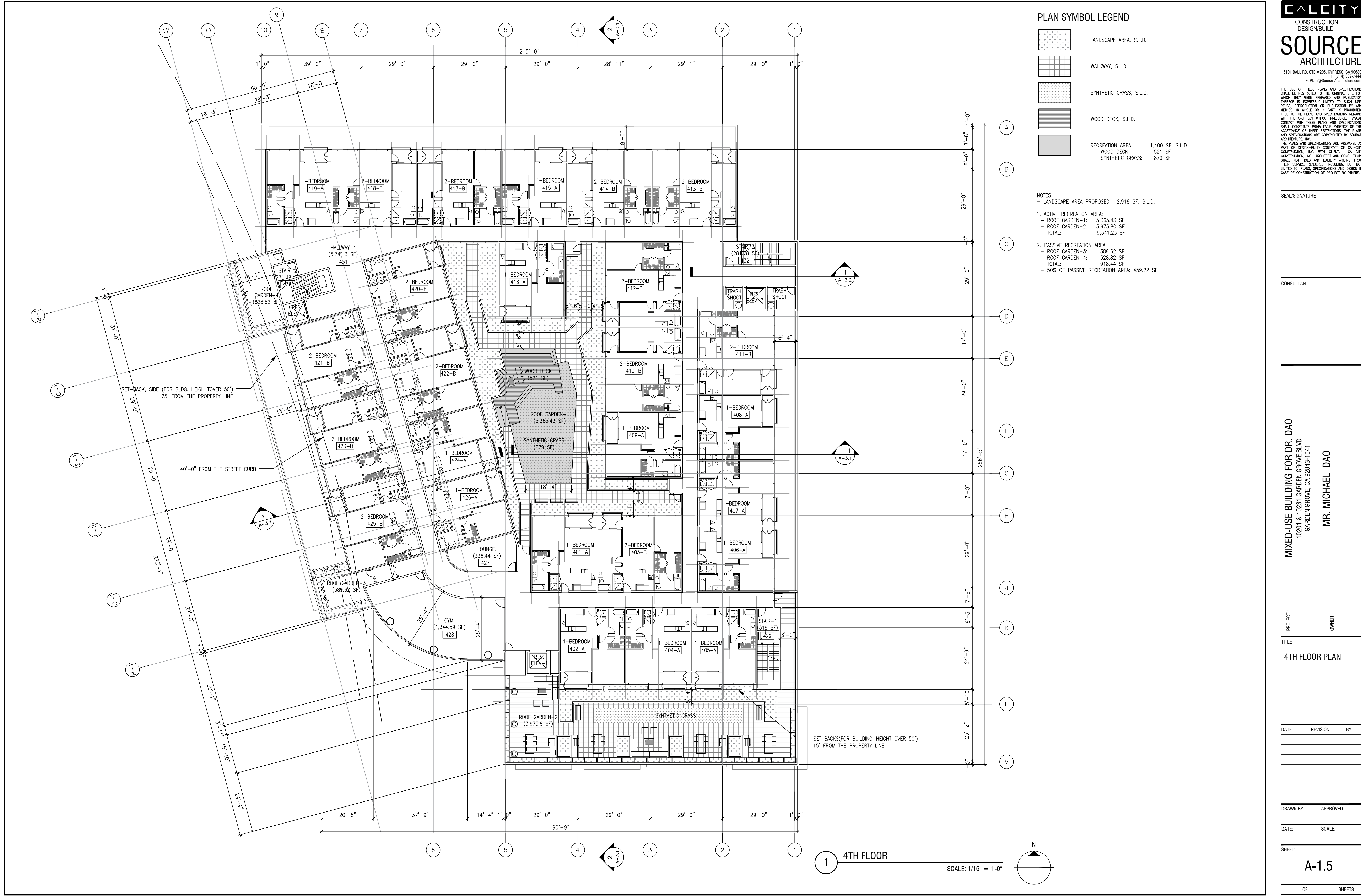
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DATE: SCALE:

SHEET:

A-1.4

OF SHEETS



SEAL/SIGNATURE

CONSULTANT

MIXED-USE BUILDING FOR DR. DAO
10201 & 10231 GARDEN GROVE BLVD
GARDEN GROVE, CA 92843-1041
MR. MICHAEL DAO

PROJECT: OWNER:

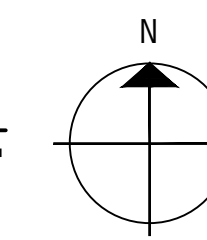
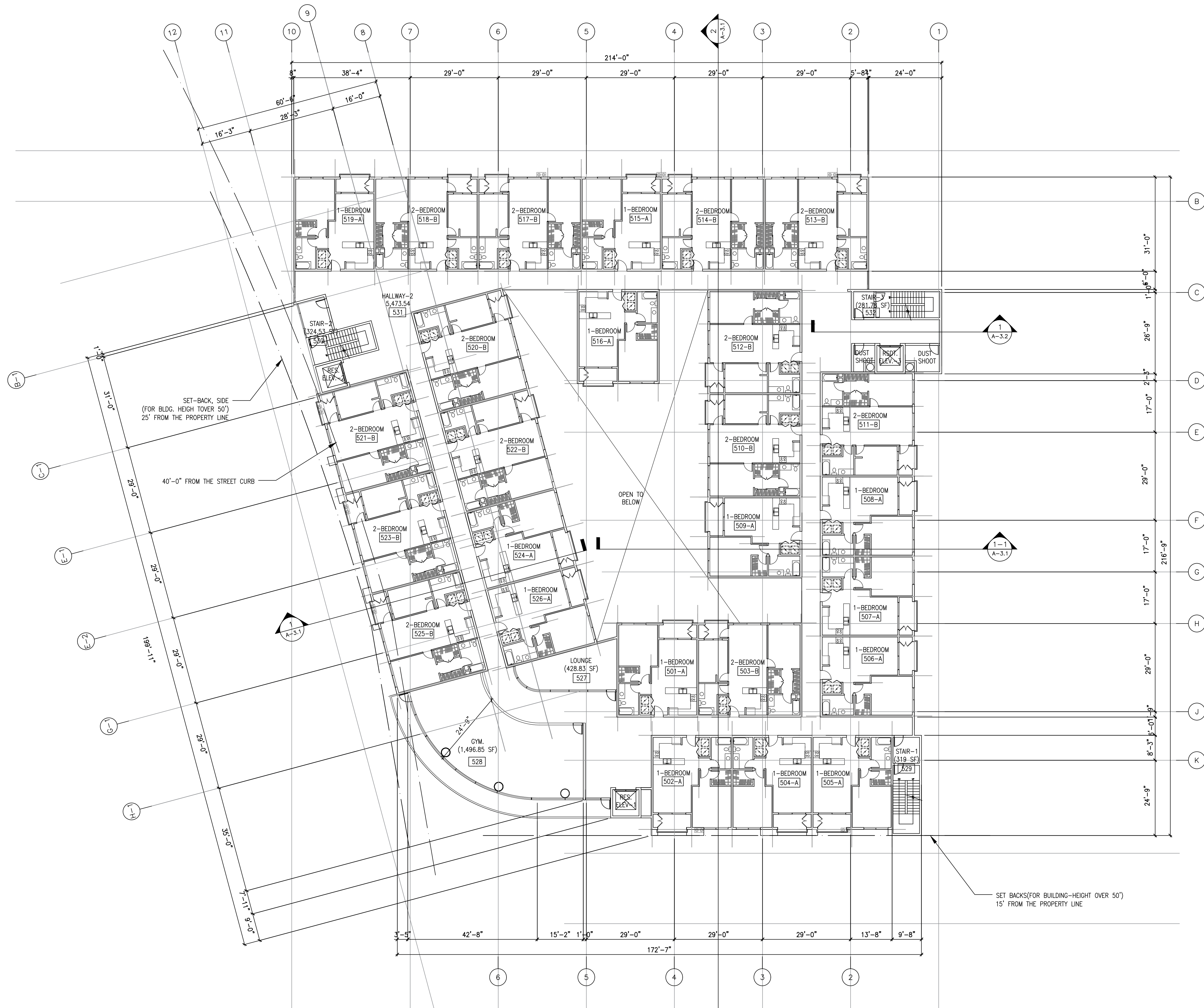
TITLE: 4TH FLOOR PLAN

DATE	REVISION	BY

DRAWN BY: APPROVED:

DATE: SCALE:

SHEET:



SEAL/SIGNATURE

CONSULTANT

MIXED-USE BUILDING FOR DR. DAO
10201 & 10231 GARDEN GROVE BLVD
GARDEN GROVE, CA 92843-1041
MR. MICHAEL DAO

PROJECT :
OWNER :

TITLE
ROOF PLAN

DATE	REVISION	BY
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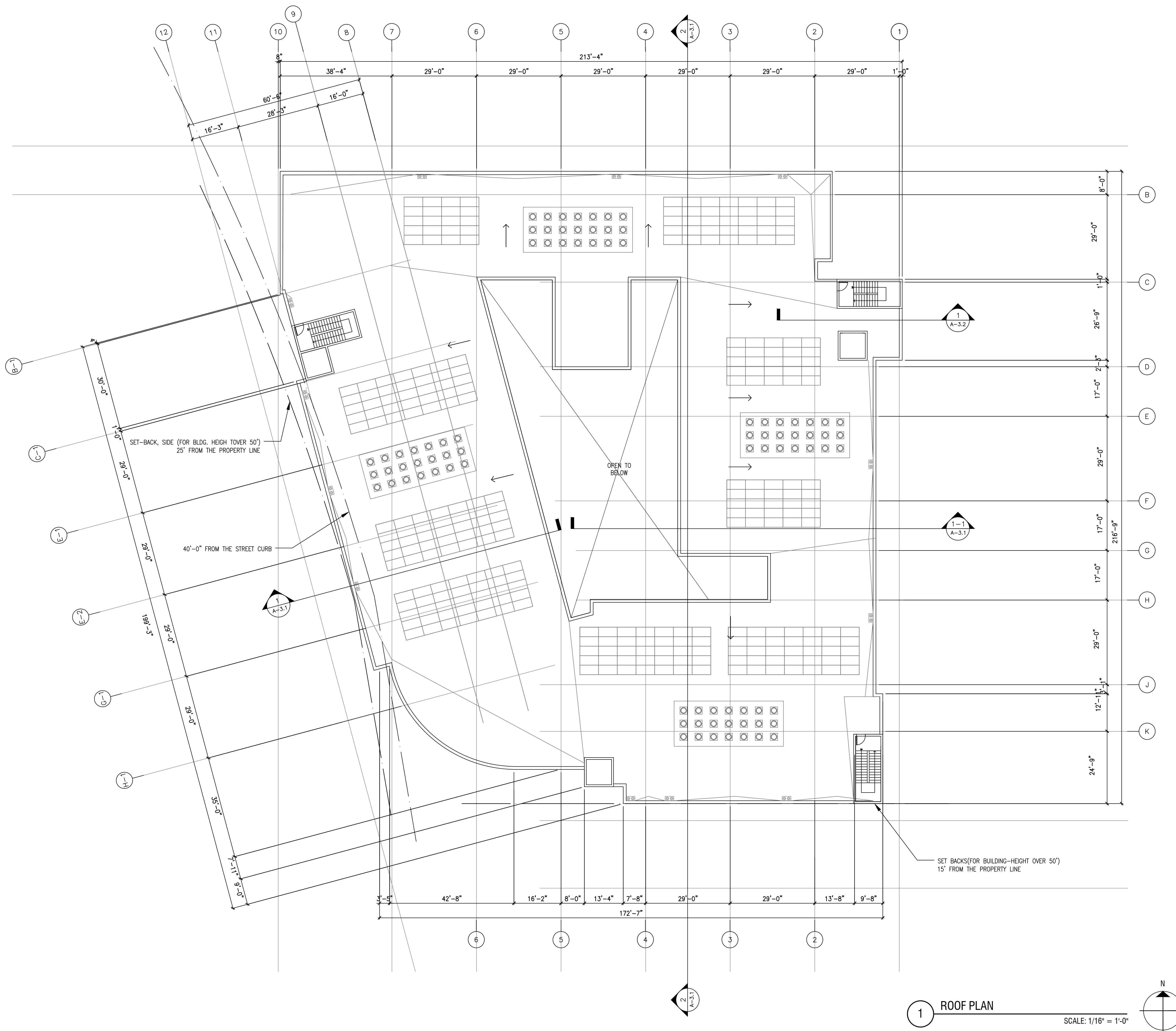
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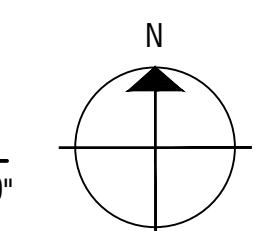
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OF SHEETS



1 ROOF PLAN

SCALE: 1/16" = 1'-0"



- SOLAR PANEL
- ROOF TOP UNITS VENTILATION
- ROOF DRAIN

NOTES:
1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT MUST BE SCREENED FROM VIEW AND OFF-SITE. NOT ONE PLANS.

SEAL/SIGNATURE

CONSULTANT

MIXED-USE BUILDING FOR DR. DAO
10201 & 10231 GARDEN GROVE BLVD
GARDEN GROVE, CA 92843-1041

MR. MICHAEL DAO

PROJECT :

OWNER :

TITLE

ENLARGED
RESIDENTIAL UNIT

DATE	REVISION	BY
------	----------	----

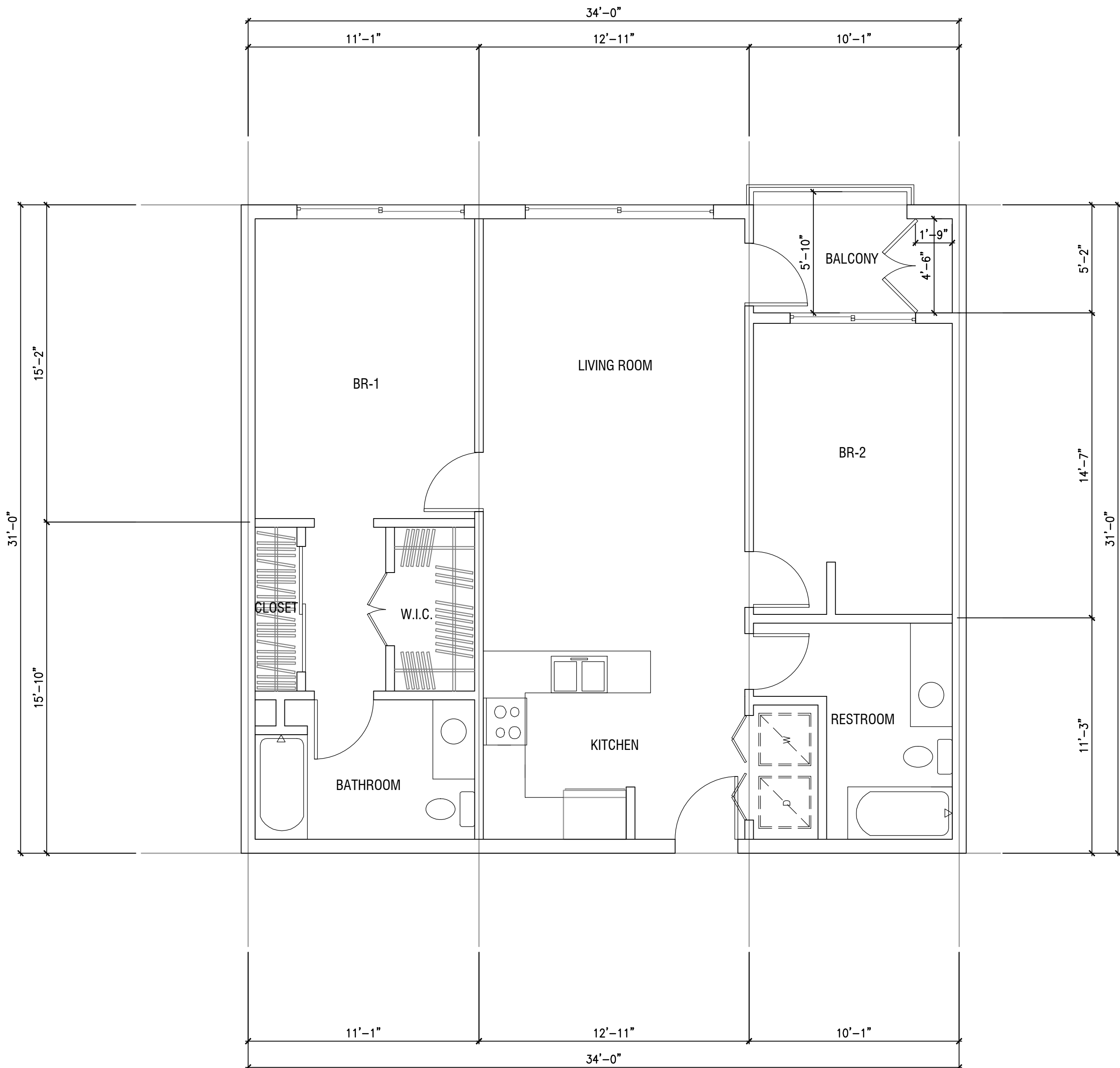
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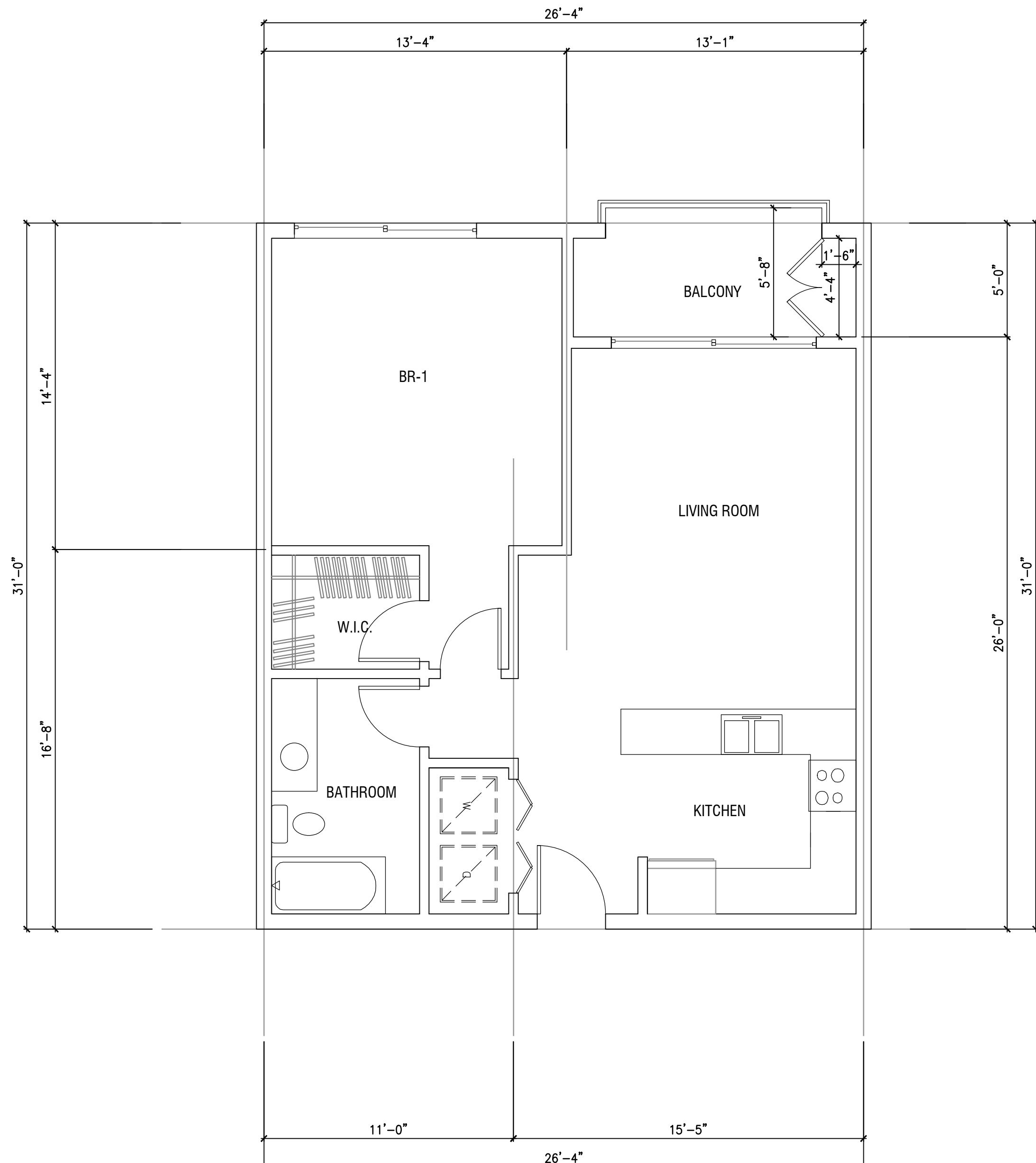
OF	SHEETS
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LIVING AREA: 1006.36 SF
BALCONY AREA: 44.35 SF
CABINET: 7.87 SF (70.83 CBF)
4'-6"(W) x 1'-9"(D) x 9'-0"(H)
TOTAL: 1,058.58 SF

1 2-BEDROOM UNIT, TYP.

SCALE: 1/4" = 1'-0"



LIVING AREA: 756.2 SF
BALCONY AREA: 59.97 SF
CABINET: 6.5 SF (58.5 CBF)
4'-4"(W) x 1'-6"(D) x 9'-0"(H)
TOTAL: 822.67 SF

2 1-BEDROOM UNIT, TYP.

SCALE: 1/4" = 1'-0"

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SEAL/SIGNATURE

CONSULTANT

MIXED-USE BUILDING FOR DR. DAO
10201 & 10231 GARDEN GROVE BLVD
GARDEN GROVE, CA 92843-1041

MR. MICHAEL DAO

PROJECT:

OWNER:

TITLE

FLOOR PLAN DIAGRAM

DATE REVISION BY

DRAWN BY: APPROVED:

DATE: SCALE:

SHEET:

A-1.9

OF

SHEETS

AREA TABULATION

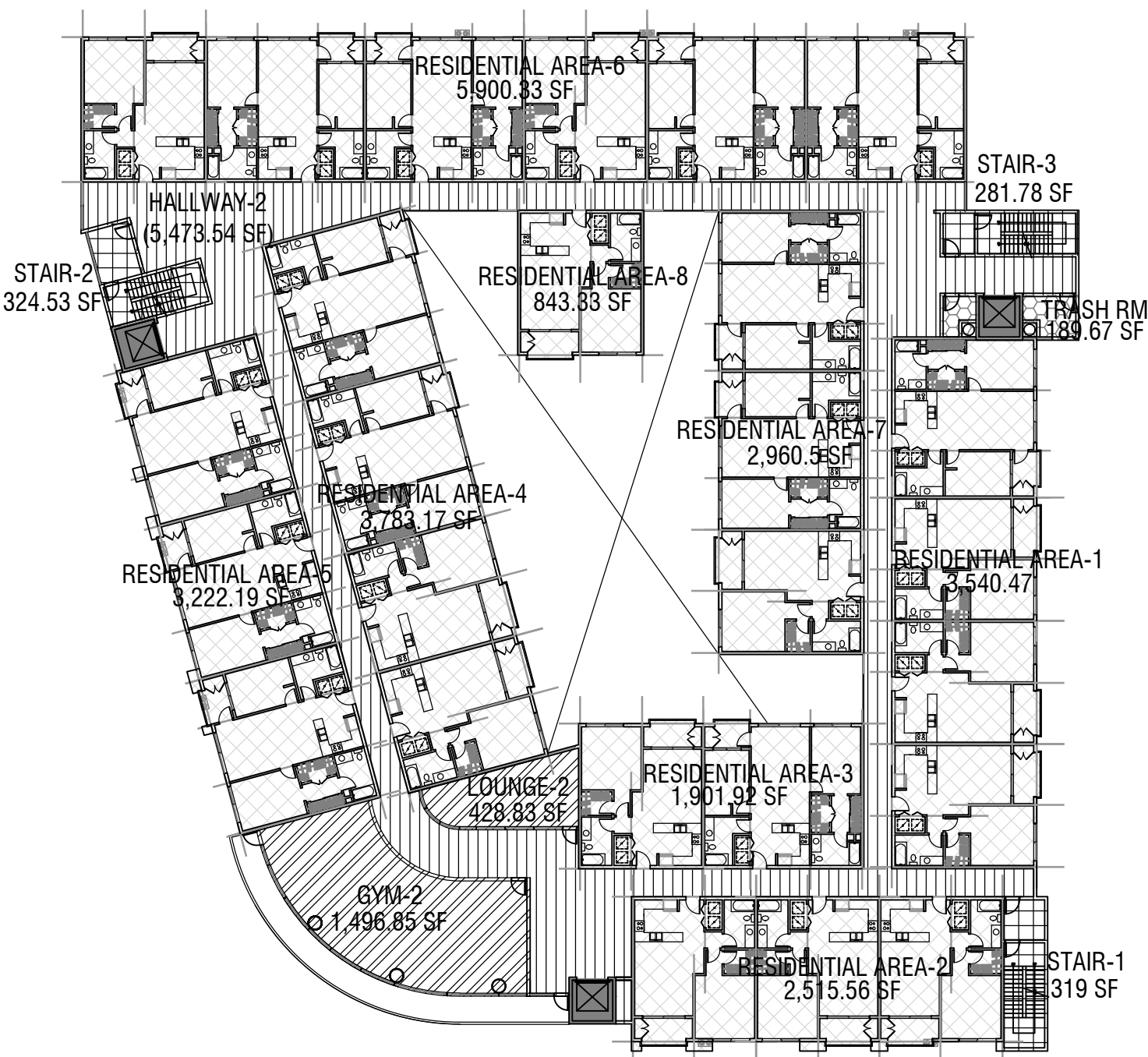
(UNIT: SF)

		1ST FL.	2ND FL.	3RD FL.	4TH FL.	5TH FL.	TOTAL
PARKING STRUCTURE	PARKING	32,345.30	33,016.21	30,358.69	0	0	95,720.20
	RAMP	1,872.49	1,872.49	1,872.49	0	0	5,617.47
	STAIRS	640.04	649.75	651.15	0	0	1,940.94
	TOTAL	34,857.83	35,538.45	32,882.33	0	0	103,278.61
COMMERCIAL (B/M)	TENANT	8,861.31	0	8,914.11	0	0	17,775.42
	LOBBY	542.87	0	0	0	0	542.87
	ELEVATOR	174.22	174.22	181.64	0	0	530.08
	MACHINE	207.32	0	0	0	0	207.32
RESIDENTIAL	OPEN HW*	0	548.77	4,160.04	0	0	4,708.81
	TOTAL	9,785.72	174.22	9,095.75	0	0	19,055.69
	LIVING	0	0	0	23,124.50	23,124.50	46,249.00
	BALCONY	0	0	0	1,356.16	1,356.16	2,712.32
	CABINET	0	0	0	186.81	186.81	373.62
	LOBBY	1,346.87	720.41	979.69	0	0	3,046.97
	GYM/LOUNGE	0	0	0	1,681.03	1,925.68	3,606.71
	CORRIDOR	0	0	0	5,741.30	5,473.54	11,214.84
	STAIRS	0	0	0	872.08	925.31	1,797.39
	ELEVATOR	264.45	270.78	267.56	274.00	274.00	1,350.79
	MACHINE	335.48	0	0	0	0	335.48
	TRASH	490.67	186.67	186.67	189.67	189.67	1,243.35
	GARDEN*	0	0	0	10,259.67	0	10,259.67
	TOTAL	2,437.47	1,177.86	1,433.92	33,425.55	33,455.67	71,930.47
TOTAL		47,081.02	36,890.53	43,412.00	33,425.55	33,455.67	194,264.77

* OPEN HALLWAY AND GARDEN ARE NOT INCLUDED IN TO THE TOTAL AREA.

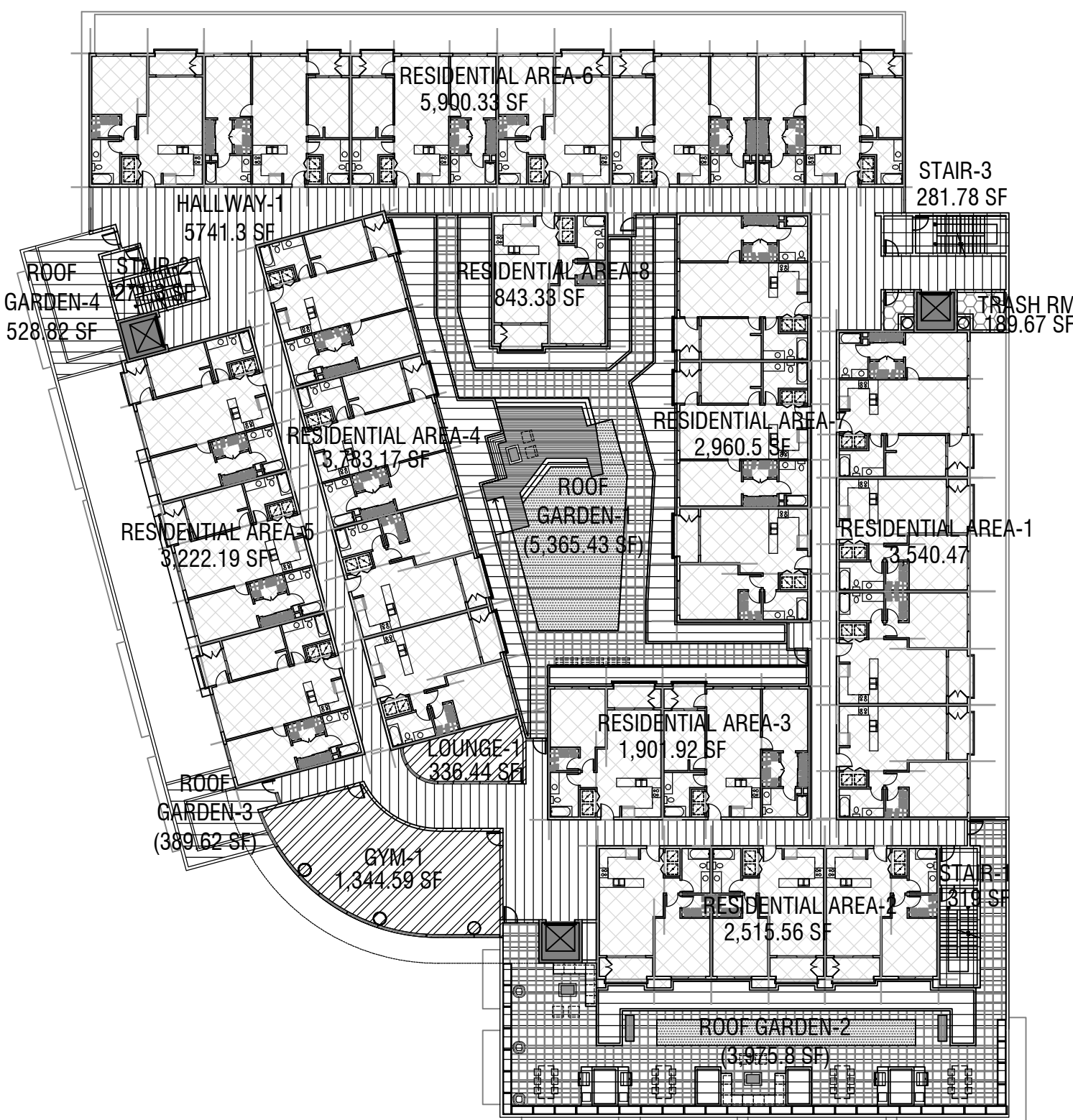
LEGEND

	PARKING AREA		RESIDENTIAL LOBBY
	PARKING STAIRS		COMMON AREA
	COMMERCIAL AREA		CORRIDOR
	COMMERCIAL LOBBY		RESIDENTIAL STAIRS
	COMMERCIAL ELEVATOR		RESIDENTIAL ELEVATOR
	COMMERCIAL MACHINE ROOM		RESIDENTIAL MACHINE ROOM
	OPEN HALLWAY		TRASH ROOM
	LIVING AREA		GARDEN



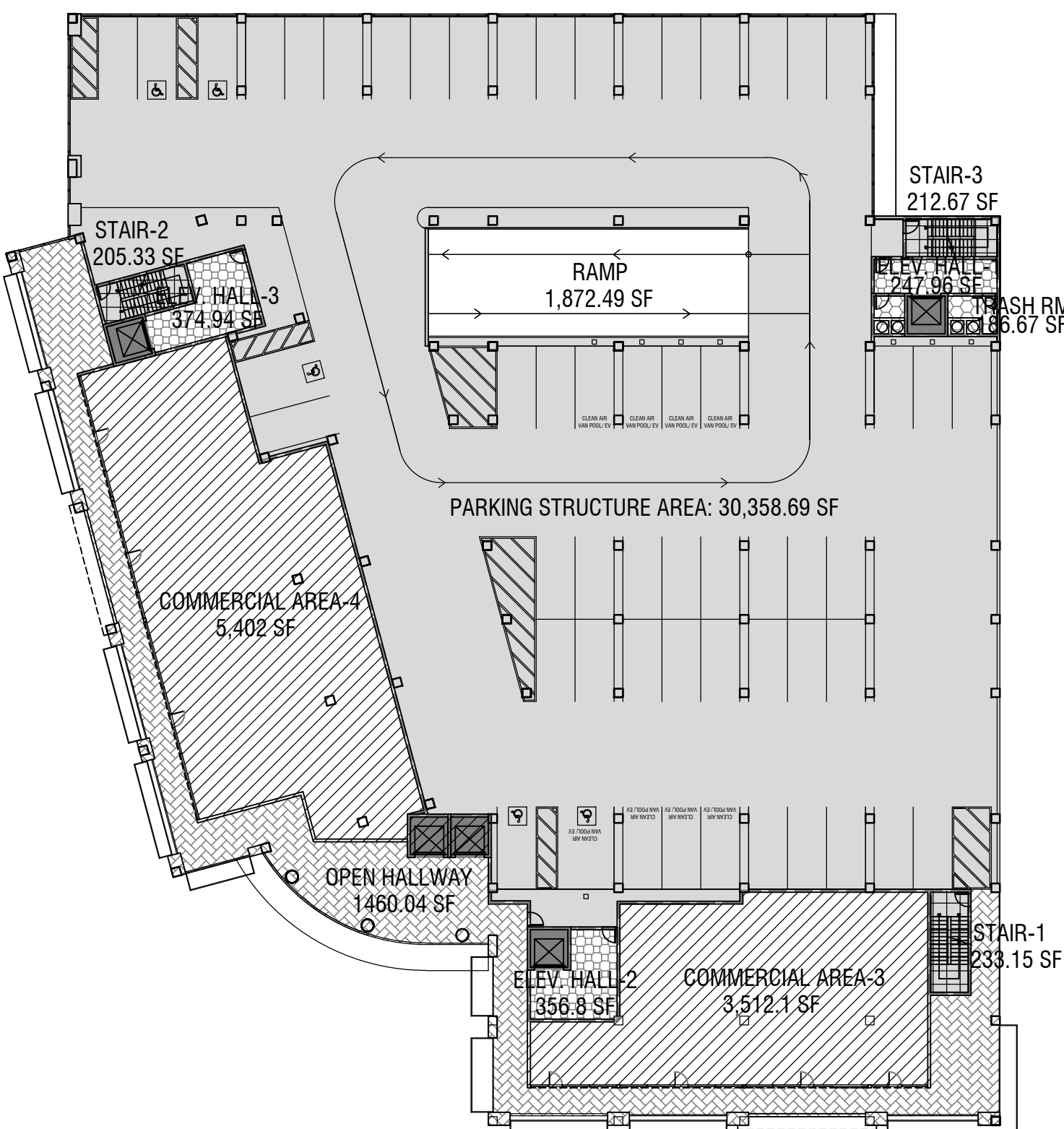
5 FIFTH FLOOR DIAGRAM

SCALE: 1/32"=1'-0"



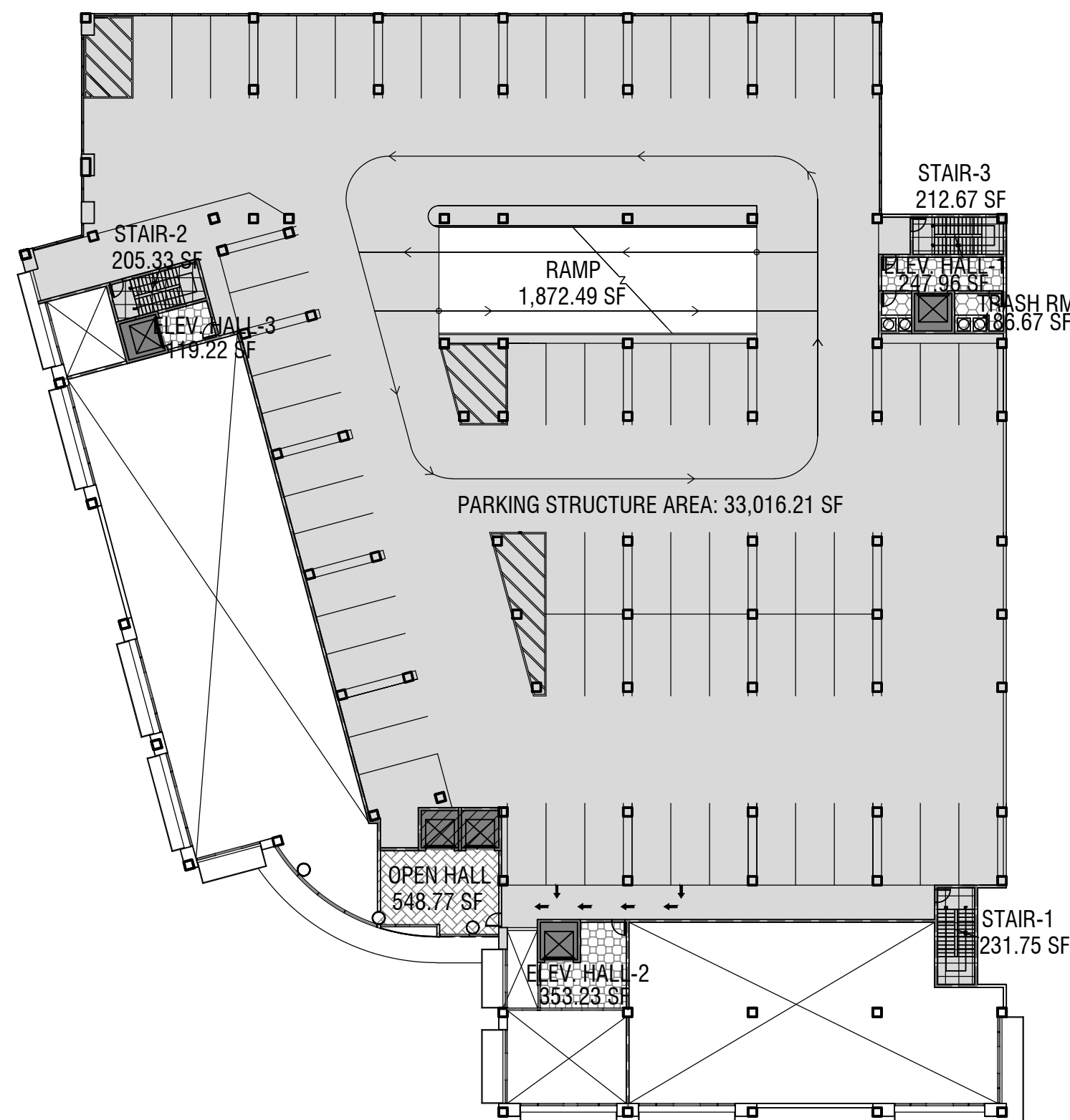
4 FOURTH FLOOR DIAGRAM

SCALE: 1/32"=1'-0"



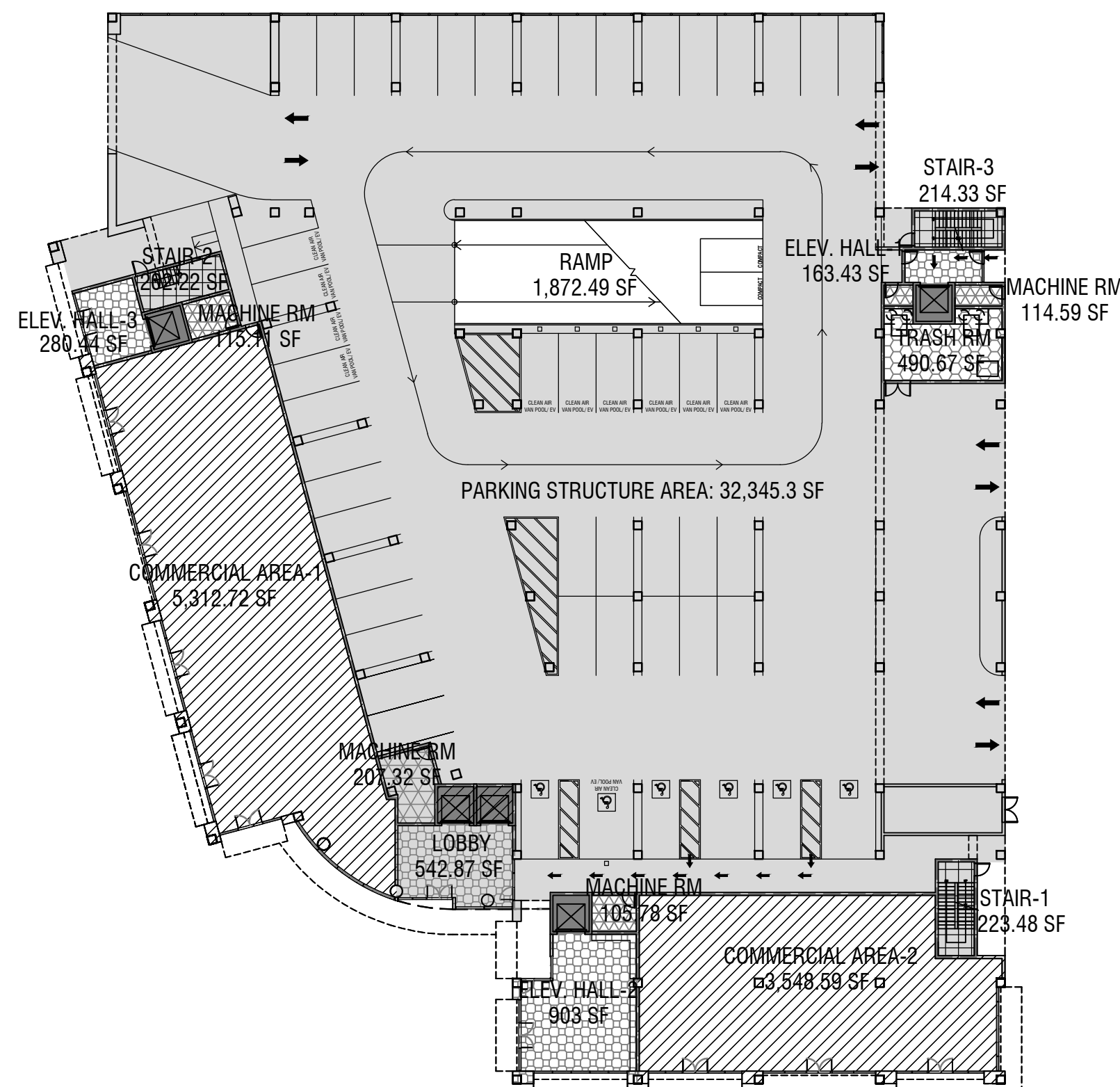
3 THIRD FLOOR DIAGRAM

SCALE: 1/32"=1'-0"



2 SECOND FLOOR DIAGRAM

SCALE: 1/32"=1'-0"



1 FIRST FLOOR DIAGRAM

SCALE: 1/32"=1'-0"

STOREFRONT REQUIREMENT

- REQUIREMENT: 20%
- PROVIDED: 2,163.88 SF/ 4,385.66 SF= 49.34%

LEGEND

----- COMMERCIAL ELEVATION AREA

OPENING AREA

F	DARK ANNOIDIZED
G	NATURAL WOOD, OAK
H	PAVESTONE, SW 7642, SHERWIN-WILLIAMS
J	MODERN GRAY, SW 7632, SHERWIN-WILLIAMS
K	LIGONIER TAN, SW 7717, SHERWIN-WILLIAMS
L	OFF WHITE SY95, SKYBRIDGE

COLOR KEY NOTES

A-1	CHISELED LIMESTONE/ SUNRIVER BLEND/ CORONADO STONE PRODUCTS
A-2	CHISELED LIMESTONE/ BEIGE/ CORONADO STONE PRODUCTS
B	SW 7645, THUNDER GRAY/ SHERWIN-WILLIAMS
C	SW 7567, NATURAL TAN/ SHERWIN-WILLIAMS
D	SW 7566, WESTHIGHLAND WHITE/ SHERWIN-WILLIAMS
E	PAPER LANTERN, SW 7676, SHERWIN-WILLIAMS

7	AL CURTAIN WALL SYSTEM
8	AL WINDOW
9	ROUND COLUMN ENVELOPE, BONDERIZED SHEET METAL, 16 GAUGE, PAINTED
10	STUCCO FINISH, SMOOTH
11	COLORLED CONCRETE
12	(E) STUCCO FINISH TO REMAIN

MATERIAL KEY NOTES

1	STONE VENEER, FACTORY FINISHED
2	METAL LOUVRE, PRIMED & PAINTED
3	BONDERIZED SHEET METAL 16 GAUGE, PAINTED
4	STEEL CANOPY, PRIMED & PAINTED
5	STEEL, GUARD RAIL W/ WIRE-MESH, PRIMED & PAINTED
6	AL. STORE FRONT SYSTEM, FACTORY FINISHED

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SEAL/SIGNATURE

CONSULTANT

MIXED-USE BUILDING FOR DR. DAO
10201 & 10231 GARDEN GROVE BLVD
GARDEN GROVE, CA 92843-1041

MR. MICHAEL DAO

PROJECT:

TITLE:

ELEVATIONS_1

DATE

REVISION

BY

DRAWN BY:

APPROVED:

DATE:

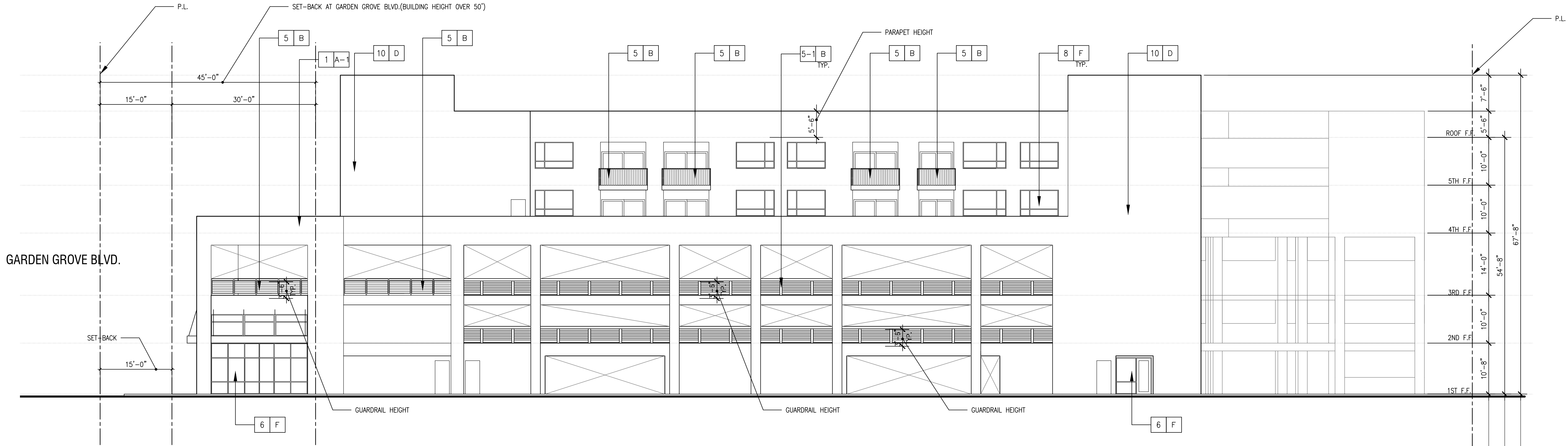
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SHEET:

A-2.1

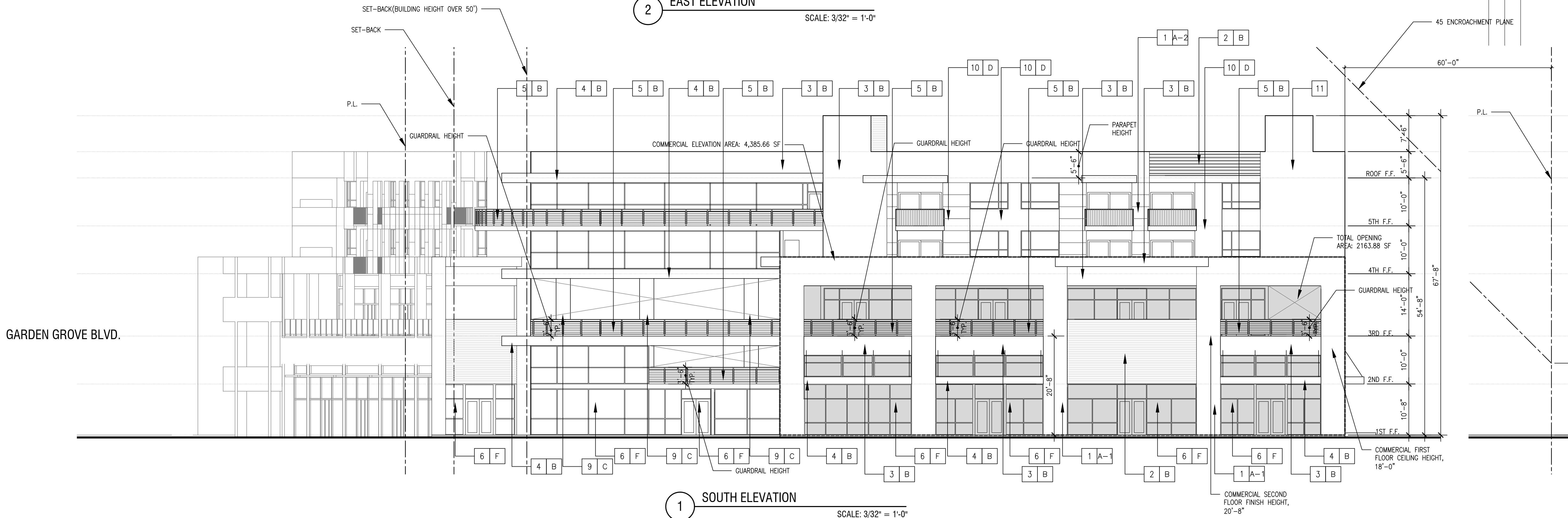
OF

SHEETS



2 EAST ELEVATION

SCALE: 3/32" = 1'-0"



1 SOUTH ELEVATION

SCALE: 3/32" = 1'-0"

STOREFRONT REQUIREMENT

- REQUIREMENT: 40%
- PROVIDED: 2,848.53 SF/ 5,537.28 SF= 51.44%

LEGEND

----- COMMERCIAL ELEVATION AREA

OPENING AREA

F	DARK ANNOIDIZED
G	NATURAL WOOD, OAK
H	PAVESTONE, SW 7642, SHERWIN-WILLIAMS
J	MODERN GRAY, SW 7632, SHERWIN-WILLIAMS
K	LIGONIER TAN, SW 7717, SHERWIN-WILLIAMS
L	OFF WHITE SY95, SKYBRIDGE

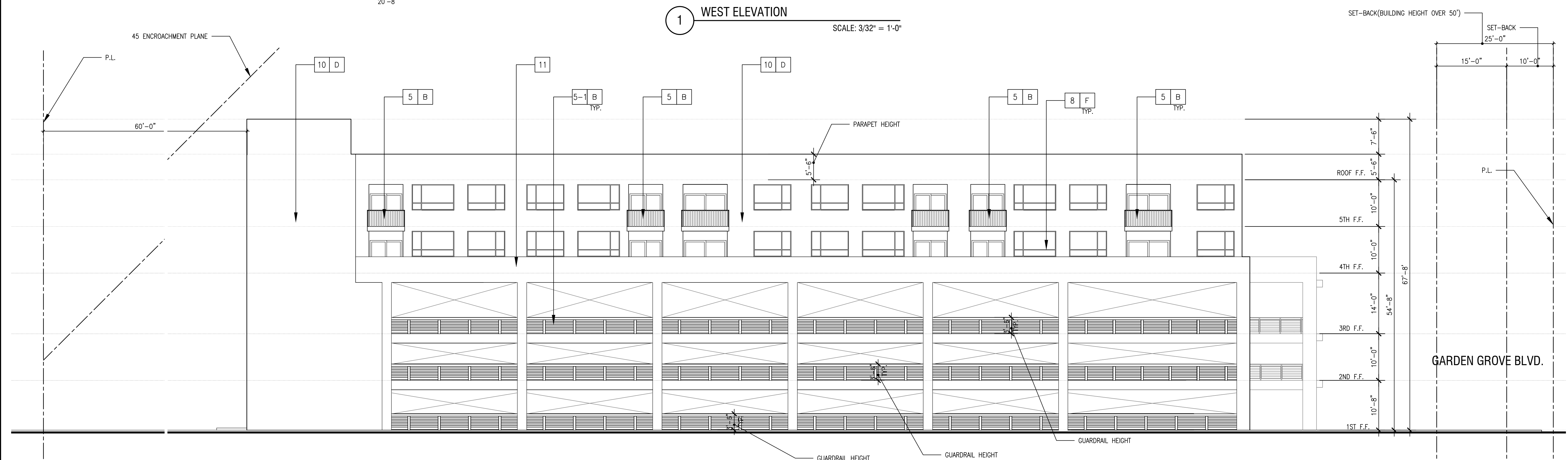
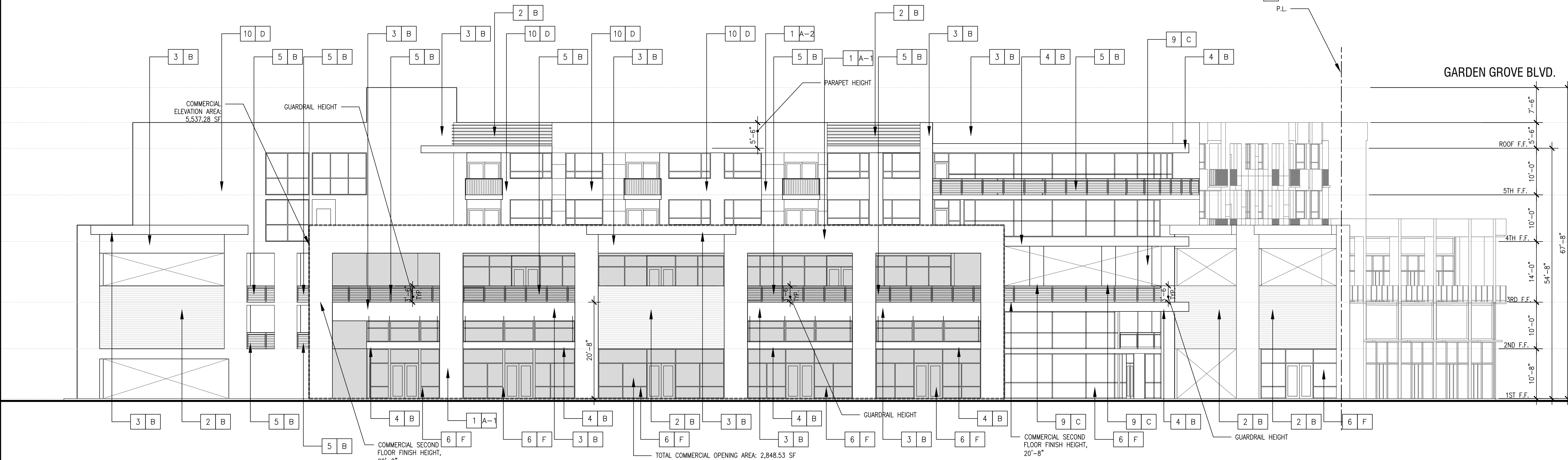
COLOR KEY NOTES

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A-2	CHISELED LIMESTONE/ BEIGE/ CORONADO STONE PRODUCTS
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6	AL. STORE FRONT SYSTEM, FACTORY FINISHED



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SEAL/SIGNATURE

CONSULTANT

MIXED-USE BUILDING FOR DR. DAO
10201 & 10231 GARDEN GROVE BLVD
GARDEN GROVE, CA 92843-1041
MR. MICHAEL DAO

PROJECT :
TITLE
ELEVATIONS_2

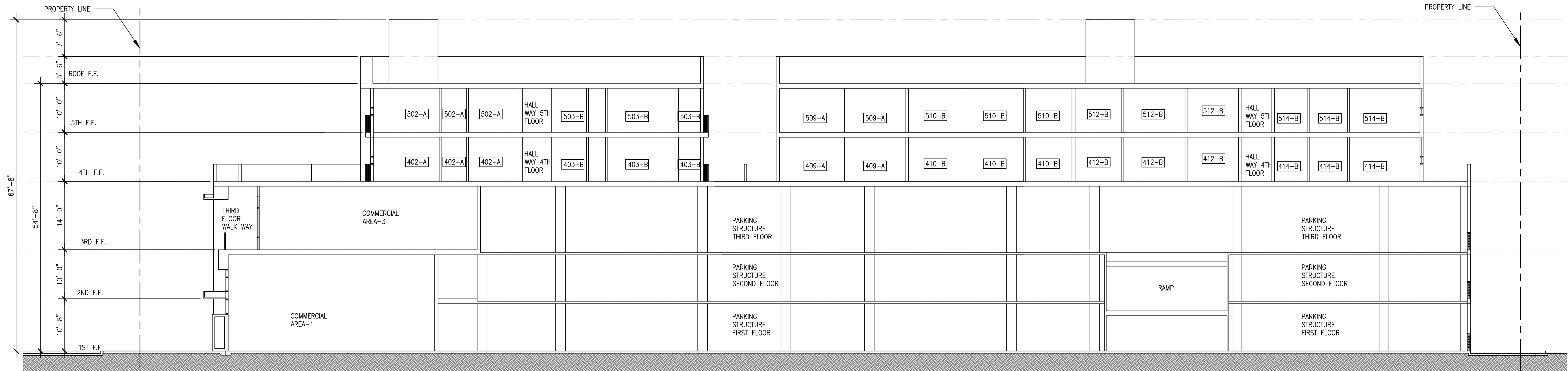
DATE	REVISION	BY

DRAWN BY: APPROVED:

DATE: SCALE:

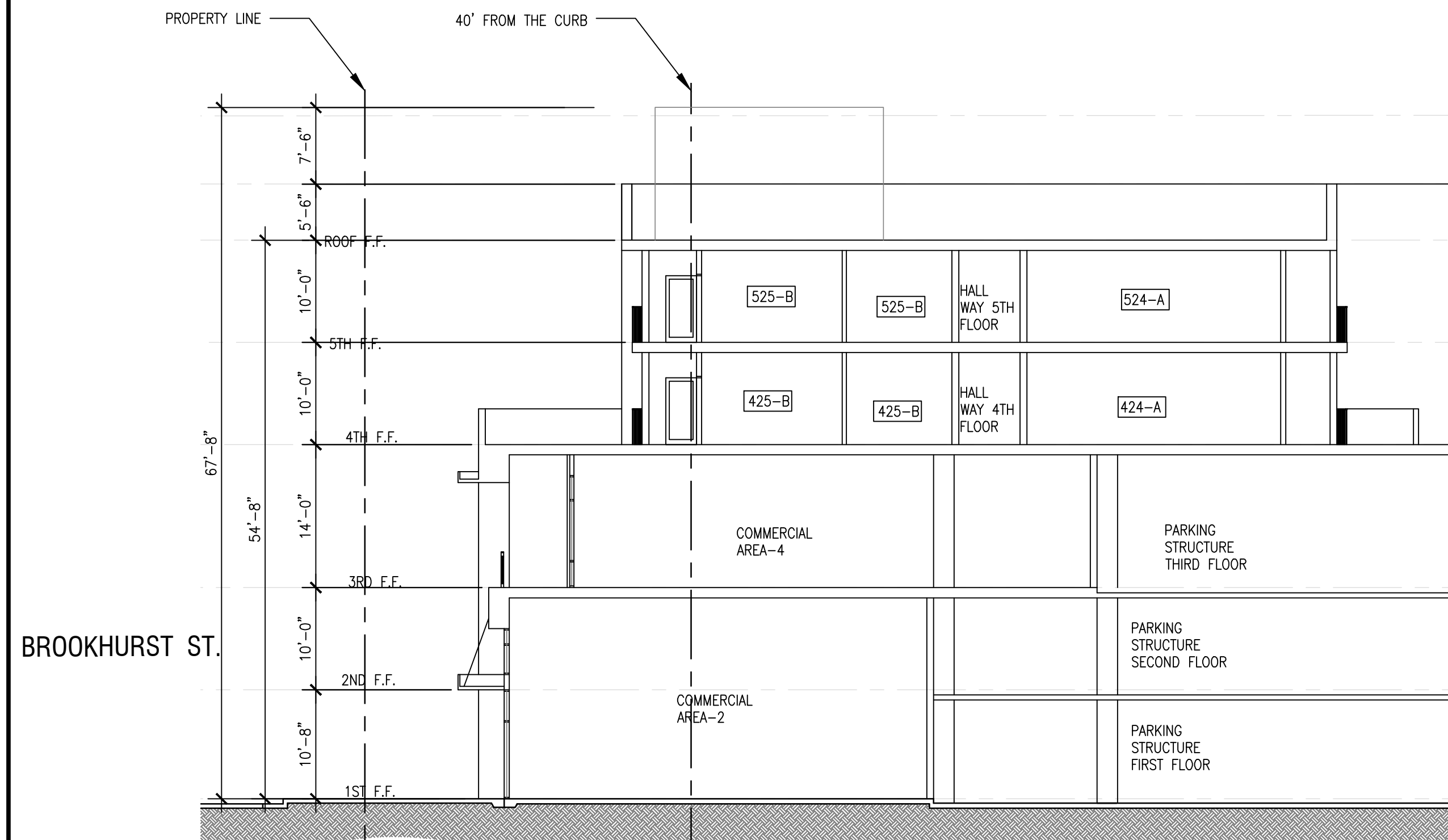
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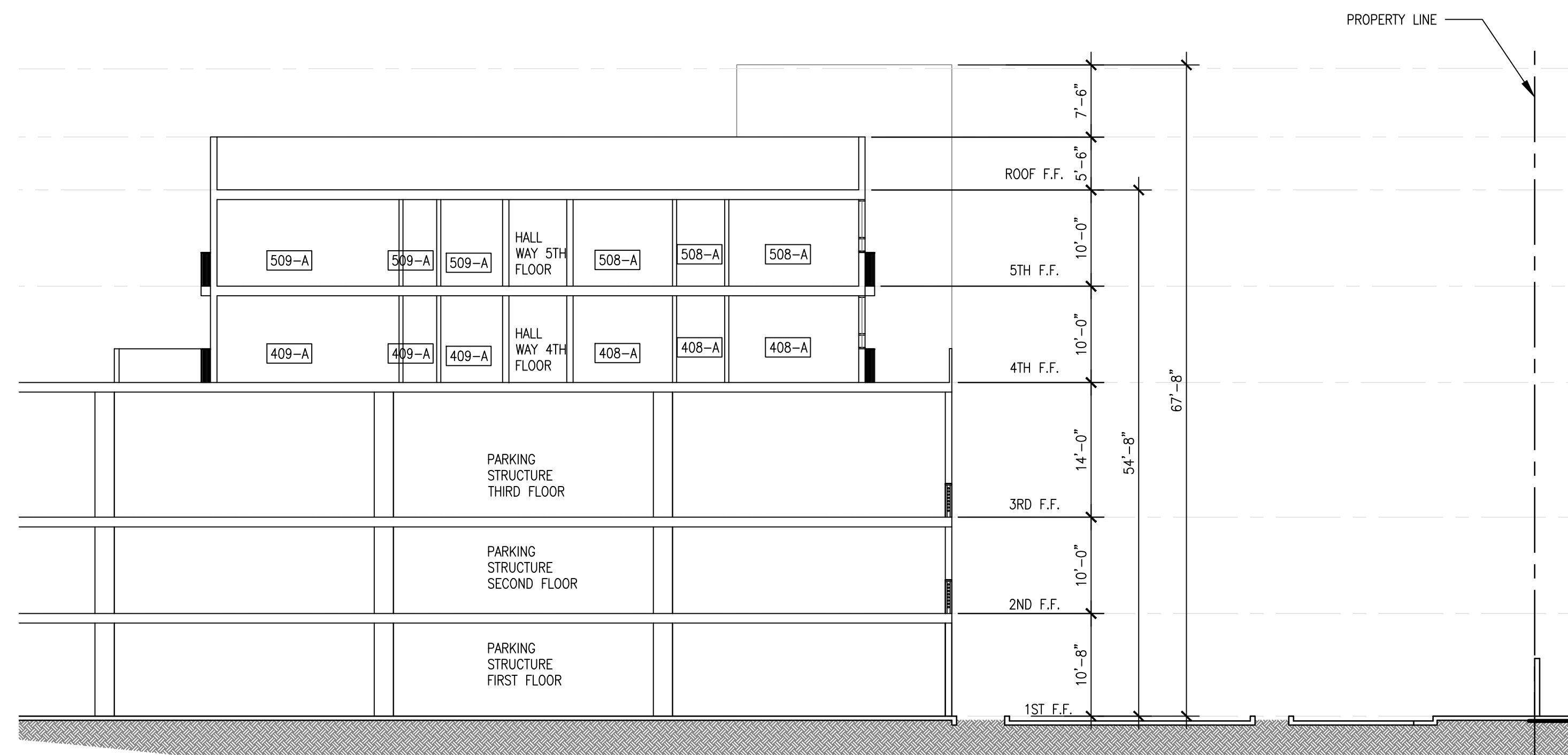
2 SECTION-2

SCALE: 3/32" = 1'-0"



1 SECTION-1

SCALE: 3/32" = 1'-0"



1-1 SECTION-2

SCALE: 3/32" = 1'-0"

SEAL/SIGNATURE

CONSULTANT

MIXED-USE BUILDING FOR DR. DAO
10201 & 10231 GARDEN GROVE BLVD
GARDEN GROVE, CA 92845-1041

MR. MICHAEL DAO

PROJECT :

OWNER :

TITLE

SECTIONS-2

DATE	REVISION	BY

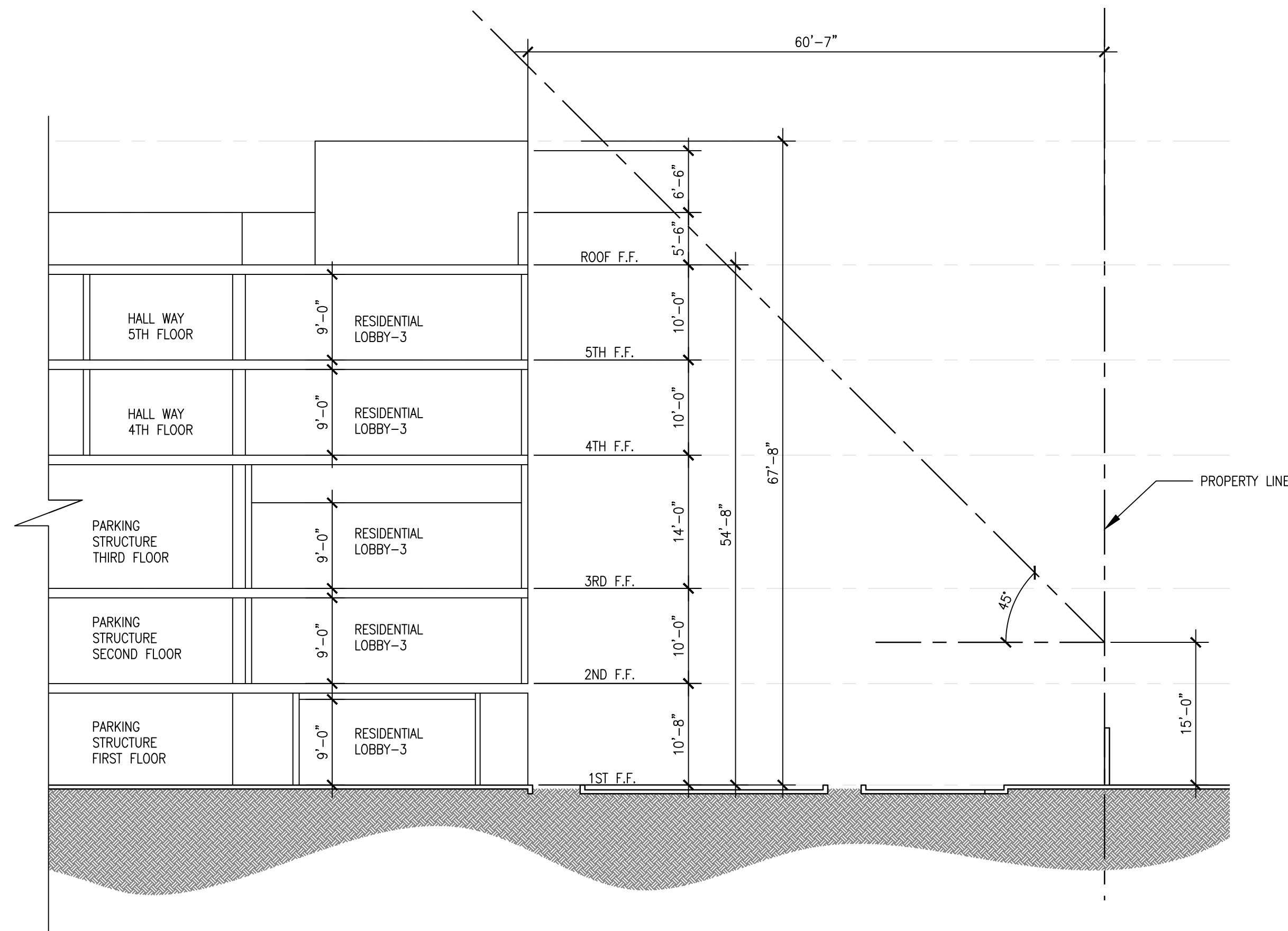
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DATE: SCALE:

SHEET:

A-3.2

OF SHEETS



1 SECTION
SCALE: 3/32" = 1'-0"

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SEAL/SIGNATURE



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MIXED-USE BUILDING FOR DR. DAO
10201 & 10231 GARDEN GROVE BLVD
GARDEN GROVE, CA 92843-1041

MR. MICHAEL DAO

PROJECT :

OWNER :

TITLE

PRELIMINARY
LANDSCAPE PLAN

DATE	REVISION	BY
04/22/21		

DRAWN BY: APPROVED:

DATE: SCALE:

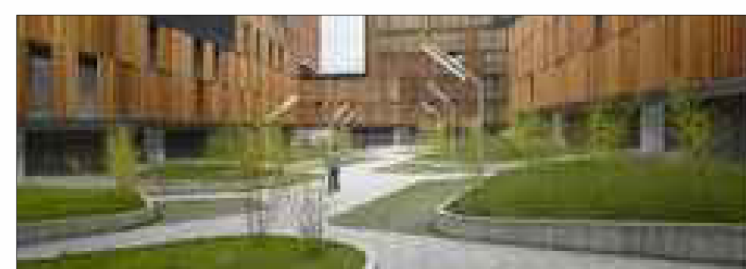
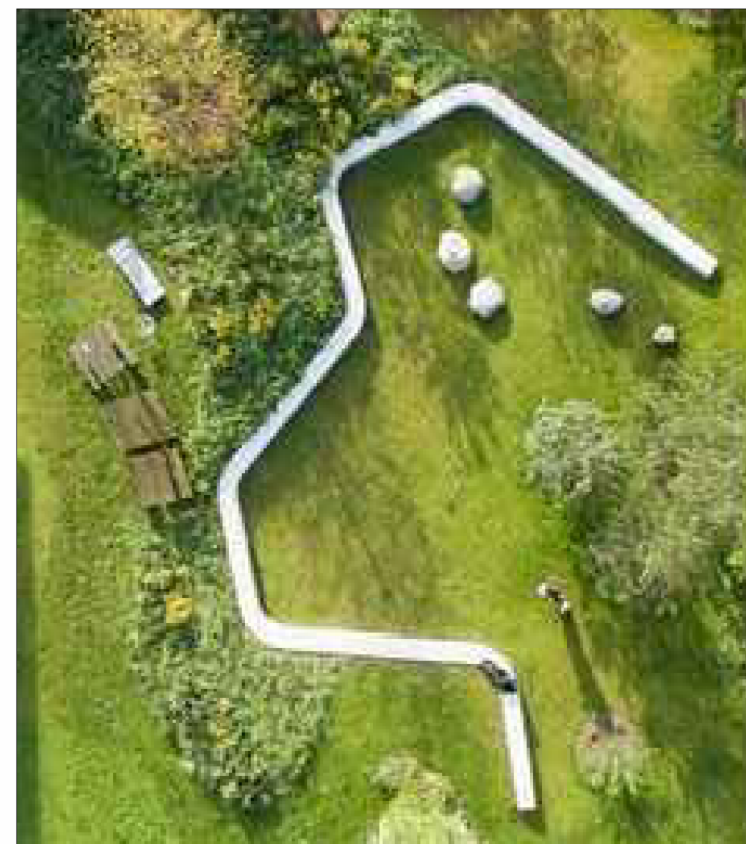
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LP-1

OF SHEETS

KEYNOTES

1. SEATING STEP



2. LED SPACE FRAME W/ SEATING BELOW



3. CENTRAL LAWN AREA
4. 3x6 TREE WELL CUT-OUT
W/ NEW STREET TREE
5. RAMP
6. COLORED CONCRETE PAVING
7. GRASSPAVE W/ NATIVE BENTGRASS
8. BUILT-IN BENCH
9. 30" HT. CONC. PLANTER
10. DECORATIVE TILE PAVING

MAIN PLAZA:	3,367 SF.
LANDSCAPE PROVIDED:	890 SF. (27%)

SETBACKS - LANDSCAPE TABULATIONS

BROOKHURST ST. FRONTAGE:	2,771 SF.
LANDSCAPE PROVIDED:	1,385 SF. (50%)
GARDEN GROVE BLVD. FRONTAGE:	3,860 SF.
LANDSCAPE PROVIDED:	1,211 SF. (31%)
EAST SETBACK:	2,665 SF.
LANDSCAPE PROVIDED:	1,643 SF. (62%)

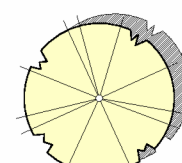


1 PRELIMINARY LANDSCAPE PLAN

SCALE: 1"= 20'-0"

PLANTING LEGEND

TREES



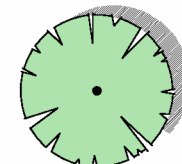
GLEDTISIA TRIACANTHOS
HONEY LOCUST

SIZE & QUAN.

24" BOX/ 10 EA.

WUCOLS

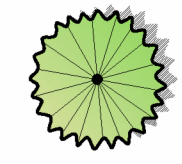
MODERATE



RHUS LANCEA
AFRICAN SUMAC

24" BOX/ 4 EA.

LOW



CERCIDIUM HYBRID
'DESERT MUSEUM'
DESERT MUSEUM PALO VERDE

24" BOX/ 6 EA.

LOW

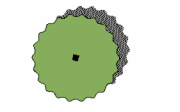


PHOENIX DACTYLIFERA
DATE PALM

20" TRUNK HT./ 10 EA.

LOW

TREES



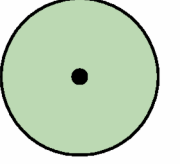
LAURUS NOBILIS
SWEET BAY

SIZE & QUAN.

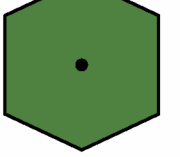
15 GAL/ 113 EA.

WUCOLS

LOW



NEW STREET TREE PER
CITY OF GARDEN GROVE URBAN FORESTRY
STREET TREE DIV.



EXISTING STREET TREE
TO REMAIN

SHRUBS & GROUND COVERS

MUHLENBERGIA CAPILLARIS
'REGAL MIST'
PINK MUHLY

WESTRINGIA FRUTICOSA
COAST ROSEMARY

JUNCUS PATENS
'ELK BLUE'
CALIFORNIA GREY RUSH

LANDSCAPE AREA
HESPERALOE PARVIFLORA
RED YUCCA

AGAVE 'BLUE FLAME'
BLUE FLAME AGAVE

SHRUBS & GROUND COVERS

EUPHORBIA TIRUCALLI
'STICK ON FIRE'
RED PENCIL TREE

AGAVE GEMINIFLORA
TWIN-FLOWERED AGAVE

NASSELLA TENUISSIMMA
MEXICAN FEATHER GRASS

ARMERIA MARITIMA
COMMON SEATHRIFT

SENECIO MANDRALISCAE
KLEINIA

SHRUBS & GROUND COVERS

FESTUCA OVINA
'GLAUCA'
BLUE FESCUE

AGROSTIS PALLENS
WEST COAST NATIVE BENTGRASS
AVAILABLE FROM WEST COAST NATIVE

TOTAL PROPOSED LANDSCAPE AREA: 11,180 SF.

GROUND FLOOR: 8,262 SF.

- ON SITE: 8,010 SF.

- OFF SITE (TREE-VELLS): 252 SF.

4TH. FLOOR: 2,918 SF.



HESPERALOE PARVIFLORA
RED YUCCA

MUHLENBERGIA CAPILLARIS
'REGAL MIST'
PINK MUHLY

WESTRINGIA FRUTICOSA
COAST ROSEMARY



NASSELLA TENUISSIMMA
MEXICAN FEATHER GRASS

AGAVE GEMINIFLORA
TWIN-FLOWERED AGAVE

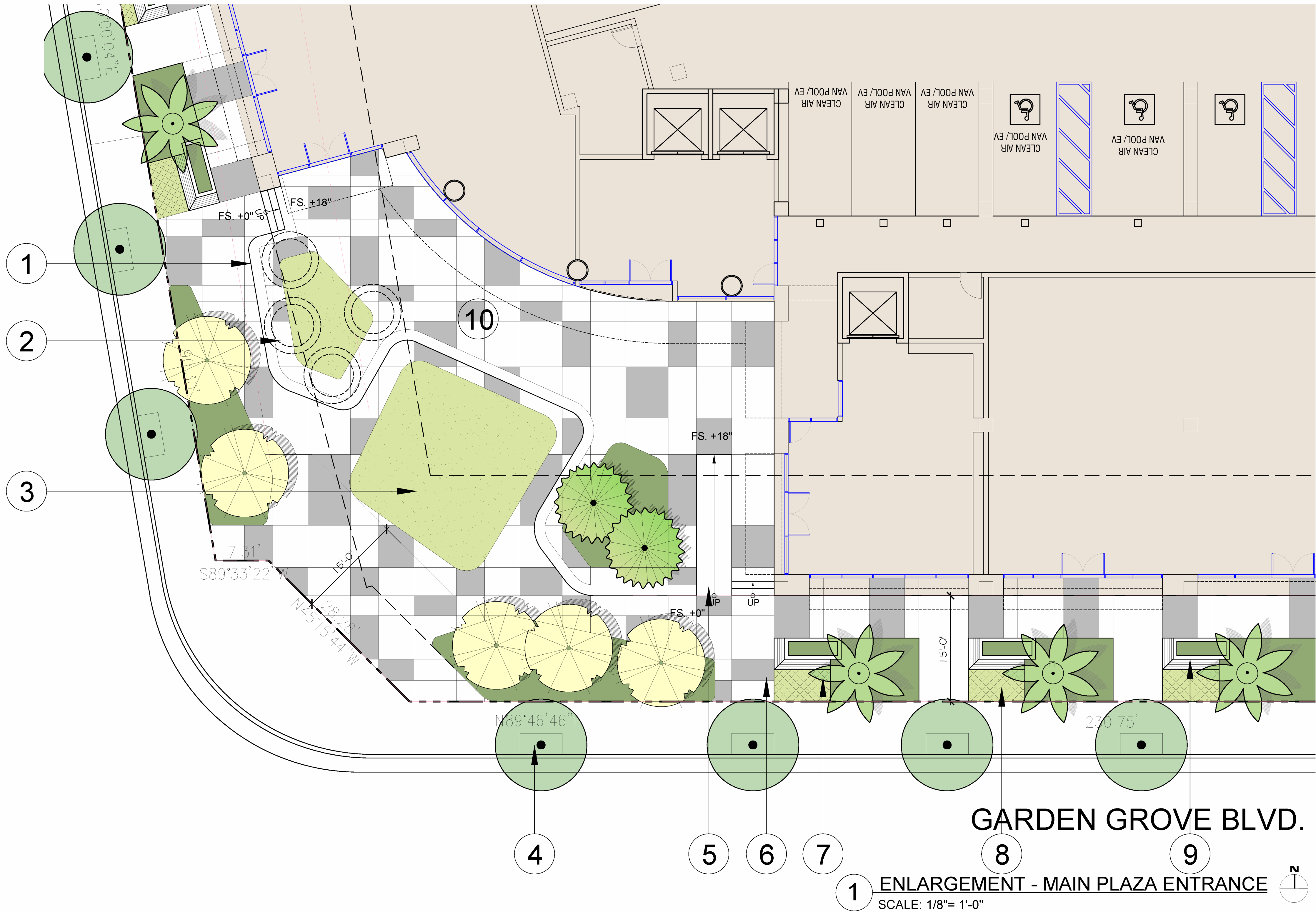
AGAVE 'BLUE FLAME'
BLUE FLAME AGAVE

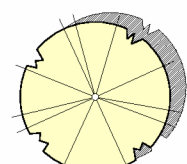


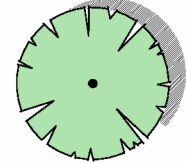
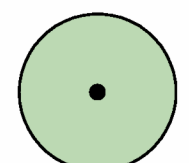
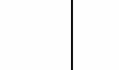
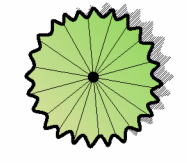
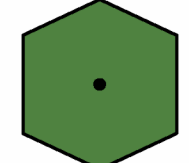
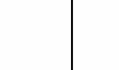

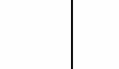
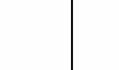
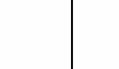









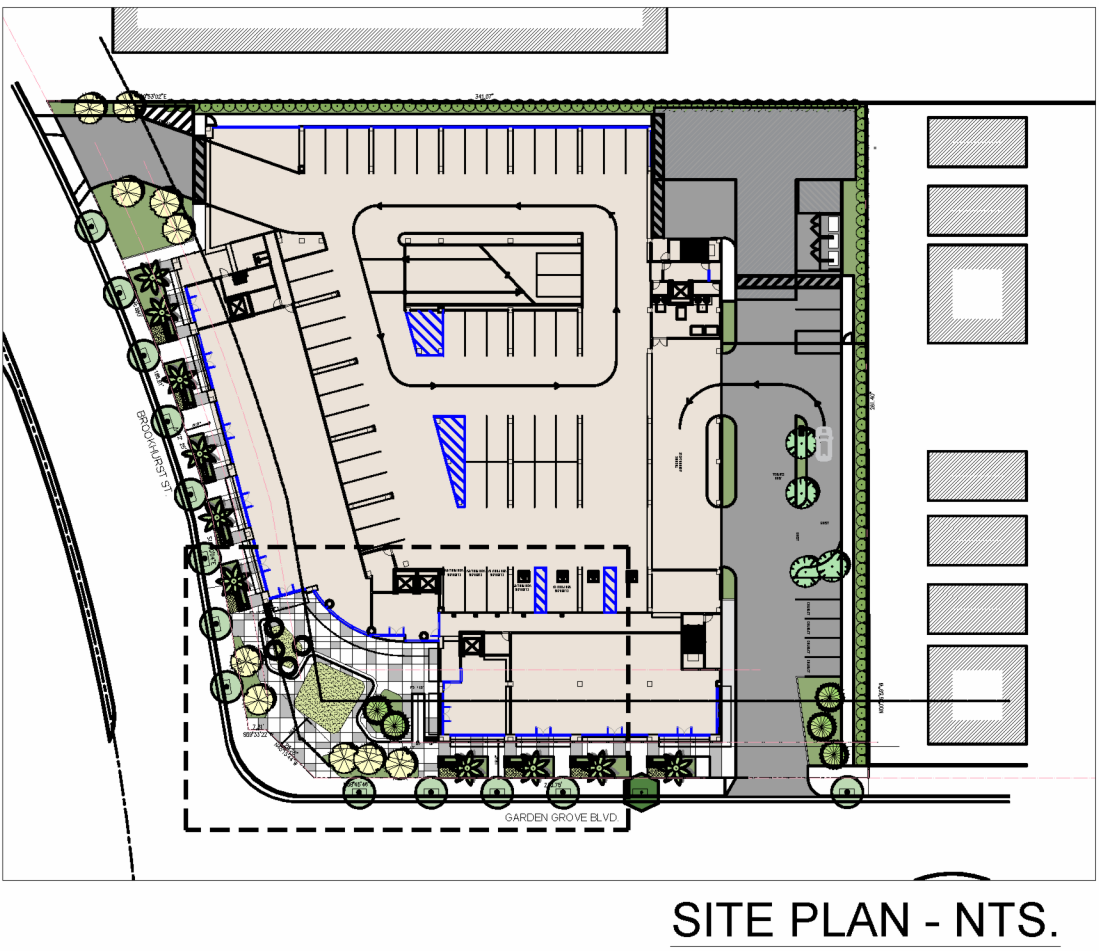
AGROSTIS PALLENS
WEST COAST NATIVE BENTGRASS
CALIFORNIA NATIVE GRASS

FESTUCA OVINA
'GLAUCA'
BLUE FESCUE

SENECIO MANDRALISCAE
KLEINIA



PLANTING LEGEND TREES			TREES			SHRUBS & GROUND COVERS			
	SIZE & QUAN.	WUCOLS		SIZE & QUAN.	WUCOLS				
	GLEDTISIA TRIACANTHOS HONEY LOCUST	24" BOX/ 10 EA.	MODERATE		LAURUS NOBILIS SWEET BAY	15 GAL./ 113 EA.	LOW		MUHLENBERGIA CAPILLARIS 'REGAL MIST' PINK MUHLY
	RHUS LANCEA AFRICAN SUMAC	24" BOX/ 4 EA.	LOW		NEW STREET TREE PER CITY OF GARDEN GROVE URBAN FORESTRY STREET TREE DIV.				WESTRINGIA FRUTICOSA COAST ROSEMARY
	CERCIDIUM HYBRID 'DESERT MUSEUM' DESERT MUSEUM PALO VERDE	24" BOX/ 6 EA.	LOW		EXISTING STREET TREE TO REMAIN				JUNCUS PATENS 'ELK BLUE' CALIFORNIA GREY RUSH
	PHOENIX DACTYLIFERA DATE PALM	20' TRUNK HT./ 10 EA.	LOW						LANDSCAPE AREA HESPERALOE PARVIFLORA RED YUCCA
									AGAVE 'BLUE FLAME' BLUE FLAME AGAVE
									EUPHORBIA TIRUCALLI 'STICK ON FIRE' RED PENCIL TREE
									SHRUBS & GROUND COVERS
									AGAVE GEMINIFLORA TWIN-FLOWERED AGAVE
									NASSELLA TENUISSIMMA MEXICAN FEATHER GRASS
									ARMERIA MARITIMA COMMON SEATHRIFT
									SENECIO MANDRALISCAE KLEINIA
									FESTUCA OVINA 'GLAUCA' BLUE FESCUE
									AGROSTIS PALLENS WEST COAST NATIVE BENTGRASS AVAILABLE FROM WEST COAST NATIVE



KEYNOTES
1. SEATING STEP



2. LED SPACE FRAME
W/ SEATING BELOW



3. CENTRAL LAWN AREA
4. 3x6 TREE WELL CUT-OUT
W/ NEW STREET TREE
5. RAMP
6. COLORED CONCRETE PAVING
7. GRASSPAVE W/ NATIVE BENTGRASS
8. BUILT-IN BENCH
9. 30" HT. CONC. PLANTER
10. DECORATIVE TILE PAVING

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SEAL/SIGNATURE



CONSULTANT

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Landscape Architects
2400 SATURN STREET
BREA, CA 92821
T: 562-955-0880 (Main)
F: 562-955-0880
www.solainc.com T: 213-383-1788 (Studio)

MIXED-USE BUILDING FOR DR. DAO
10201 & 10231 GARDEN GROVE BLVD
GARDEN GROVE, CA 92843-041

MR. MICHAEL DAO

PROJECT :

OWNER :

TITLE

PRELIMINARY
LANDSCAPE PLAN

DATE	REVISION	BY
04/22/21		

DRAWN BY: APPROVED:

DATE: SCALE:

SHEET:

LP-1A

OF SHEETS

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T: 213-383-1788 (Studio)

MIXED-USE BUILDING FOR DR. DAO
10201 & 10231 GARDEN GROVE BLVD
GARDEN GROVE, CA 92843-1041
MR. MICHAEL DAO

PROJECT :
TITLE

PRELIMINARY
LANDSCAPE PLAN
- 4TH FLOOR

DATE	REVISION	BY
04/22/21		

DRAWN BY: APPROVED:

DATE: SCALE:

SHEET:

LP-2

OF SHEETS

KEYNOTES

1. 18" H. RAISED WOOD DECK



2. FIREPIT



3. SYNTHETIC GRASS



4. 30" H. FIBERGLASS PLANTER



5. BBQ



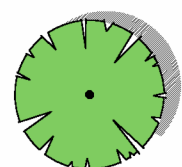
6. BENCH



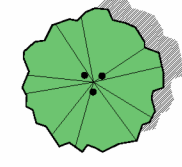
1 PRELIMINARY LANDSCAPE PLAN - 4TH FLOOR

SCALE: 1/16"= 1'-0"

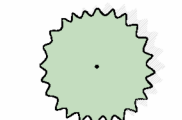
PLANTING LEGEND TREES



GLEDITSIA TRIACANTHOS
HONEY LOCUST



ARBUTUS 'MARINA'
STRAWBERRY TREE



CERCIDIUM HYBRID
'DESERT MUSEUM'
DESERT MUSEUM PALO VERDE

SIZE & QUAN.

24" BOX/ 16 EA.

24" BOX/ 12 EA.

24" BOX/ 33 EA.

WUCOLS

MODERATE

LOW

LOW

SHRUBS & GROUND COVERS

MUHLENBERGIA CAPILLARIS
'REGAL MIST'
PINK MUHLY

WESTRINGIA FRUTICOSA
COAST ROSEMARY

JUNCUS PATENS
'ELK BLUE'
CALIFORNIA GREY RUSH

LANDSCAPE AREA
HESPERALOE PARVIFLORA
RED YUCCA

AGAVE 'BLUE FLAME'
BLUE FLAME AGAVE

SHRUBS & GROUND COVERS

EUPHORBIA TIRUCALLI
'STICK ON FIRE'
RED PENCIL TREE

AGAVE GEMINIFLORA
TWIN-FLOWERED AGAVE

NASSELLA TENUISSIMA
MEXICAN FEATHER GRASS

ARMERIA MARITIMA
COMMON SEATHRIFT

SENECIO MANDRALISCAE
KLEINIA

SHRUBS & GROUND COVERS

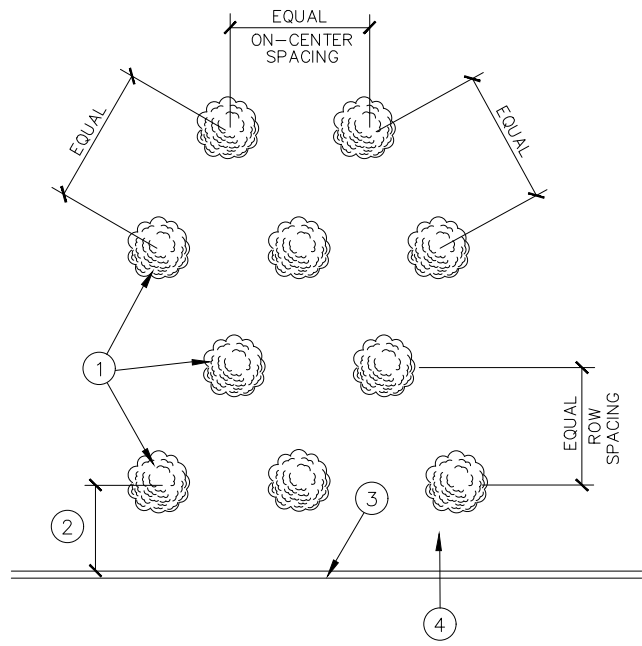
FESTUCA OVINA
'GLAUCA'
BLUE FESCUE

AGROSTIS PALLENS
WEST COAST NATIVE BENTGRASS
AVAILABLE FROM WEST COAST NATIVE

LANDSCAPE AREA PROPOSED/ 4TH. FLOOR: 2,918 SF.

LANDSCAPE PLANTING NOTES

1. THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL LABOR, EQUIPMENT, MATERIALS AND SERVICES FOR THE COMPLETE INSTALLATION AS DESCRIBED BY THE LANDSCAPE DRAWINGS
2. ANY DEVIATION FROM THE PLAN IS TO HAVE PRIOR WRITTEN APPROVAL BY THE OWNER OR HIS REPRESENTATIVE.
3. THE LANDSCAPE CONTRACTOR IS TO REMOVE ALL WEEDS AND OR GRASSES (INCLUDING THE ROOTS) EXISTING IN THE PROPOSED GROUND COVER AREA.
4. THE PROPOSED GROUND COVER AREA SHALL RECEIVE THE PRE-EMERGENT HERBICIDE SURFLAN 75W PER MANUFACTURER'S INSTRUCTIONS. APPLICATION OF THIS HERBICIDE SHALL BE DONE BY PERSONNEL LICENSED TO HANDLE AGRICULTURAL CHEMICALS.
5. ROUGH GRADING OTHER THAN THAT NOTED ON THE LANDSCAPE
FINISH GRADING IS THE RESPONSIBILITY OF THE GENERAL CONTRACOR.
FINISH GRADING WILL CONSIST OF RAKING ALL AREAS TO A SMOOTH GRADE, LOOSENING THE SOIL TO A DEPTH OF 6" AND REMOVING ALL ROCKS OR CLOUDS OF 2" DIAMETER OR LARGER. FINISH GRADE IS TO BE 2" BELOW TOP OF ADJACENT CURBS AND SIDEWALKS.
6. SOIL PREPARATION FOR ALL LANDSCAPE AREAS
PLEASE SEE WALLACE LAB RECOMMENDATION.
7. ALL ROCK OR UNBROKEN SOIL CLOUDS OVER 1" IN DIAMETER BROUGHT TO THE SURFACE ARE TO BE REMOVED FROM THE SITE.
8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE HORTICULTURAL SOILS FERTILITY REPORT PRIOR TO SOIL PREPARATION AND PLANT INSTALLATION. SOIL CONDITIONING AMENDMENTS AND PLANTING BACKFILL MIXES SHALL BE IN ACCORDANCE TO WALLACE LABORATORIES, LLC RECOMMENDATIONS. WALLACE LAB: (310)-615-0116, 365 CORAL CIRCL, EL SEGUNDO, CA 90245
9. GROUNDCOVERS ARE TO BE PLANTED SO THAT AFTER SETTLING, THE CROWN OF THE THE PLANT IS EVEN WITH FINISH GRADE, ROOTS FULLY COVERED WITH SOIL AND FIRMED.
10. WATERING OF PLANTS IS TO TAKE PLACE IMMEDIATELY AFTER PLANTING.
11. MULCH ALL SHRUB AND GROUNDCOVER AREAS WITH A 3" MIN. LAYER OF 1/2" TO 3/4" REDWOOD BARK.
12. AT THE COMPLETION OF ALL PLANTING OPERATIONS, THE PREMISES ARE TO BE LEFT NEAT AND CLEAN. ALL SURPLUS MATERIALS, NURSERY TAGS AND WASTE ARE ARE TO BE REMOVED FROM THE SITE.
13. THE LANDSCAPE CONTRACTOR IS TO MAINTAIN ALL LANDSCAPE AREAS FOR A PERIOD OF THIRTY CALENDAR DAYS FROM THE DATE OF COMPLETION, ESTABLISHED BY THE OWNER OR HIS REPRESENTATIVE. ALL AREAS ARE TO BE KEPT WELL WATERED, FREE OF GRASSES AND TRASH DURING THIS MAINTENANCE PERIOD.
14. SITE MAINTENANCE (PLEASE SEE WALLACE LAB RECOMMENDATION)
IS TO BE MADE JUST PRIOR TO THE COMPLETION OF THE MAINTENANCE PERIOD, OR AT 30 DAYS INTERVALS IF MAINTENANCE PERIOD IS GREATER THAN 30 DAYS.
15. ALL TREES, SHRUBS AND PLANT MATERIAL (OTHER THAN FLATTED MATERIAL) LESS THAN 15 GALLON SIZE SHALL BE GUARANTEED FOR A PERIOD OF 1 MONTH;
15 GALLON SIZE SHALL BE GUARANTEED FOR A PERIOD OF 90 DAYS. ALL MATERIAL LARGER THAN 15 GALLON SIZE SHALL BE GUARANTEED FOR A PERIOD OF 1 YEAR.

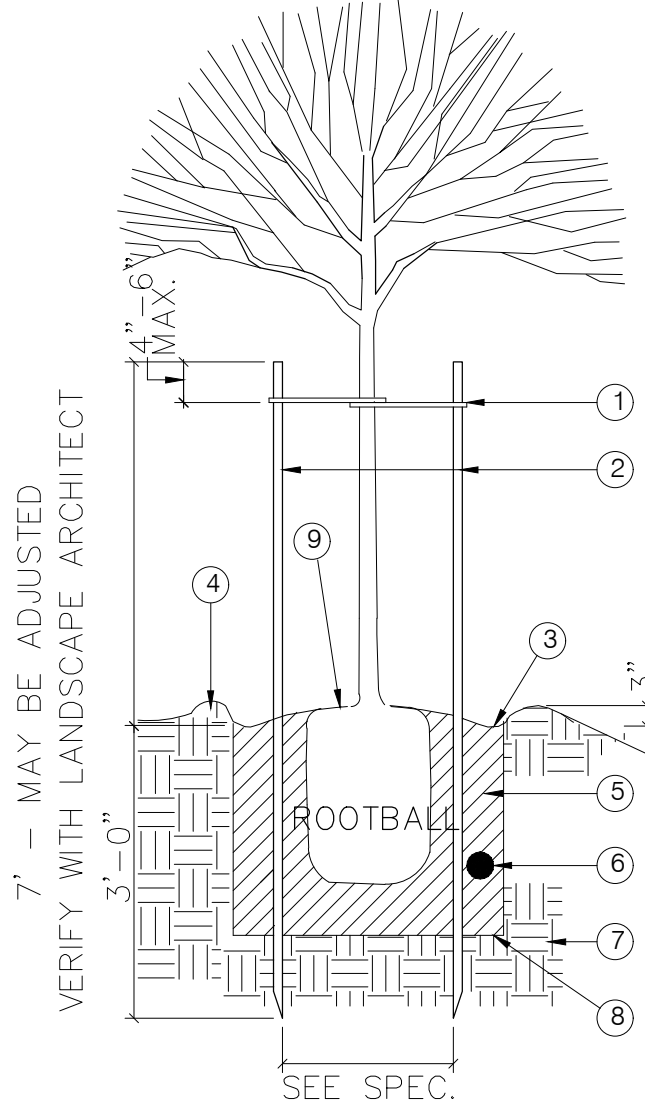


- LEGEND:
- ① LOCATE PLANTS WITH EQUAL SPACING AS INDICATED IN THE PLANTING LEGEND.
 - ② 1/2 ON-CENTER SPACING.
 - ③ PAVING, CURB, BUILDING, OR HEADER - SHOWING PLANTING AREA LIMIT.
 - ④ PROVIDE A MINIMUM OF 3" DEPTH MULCH LAYER IN ALL LANDSCAPE AREAS

SHRUB/GROUNDCOVER SPACING

SCALE: N.T.S.

3

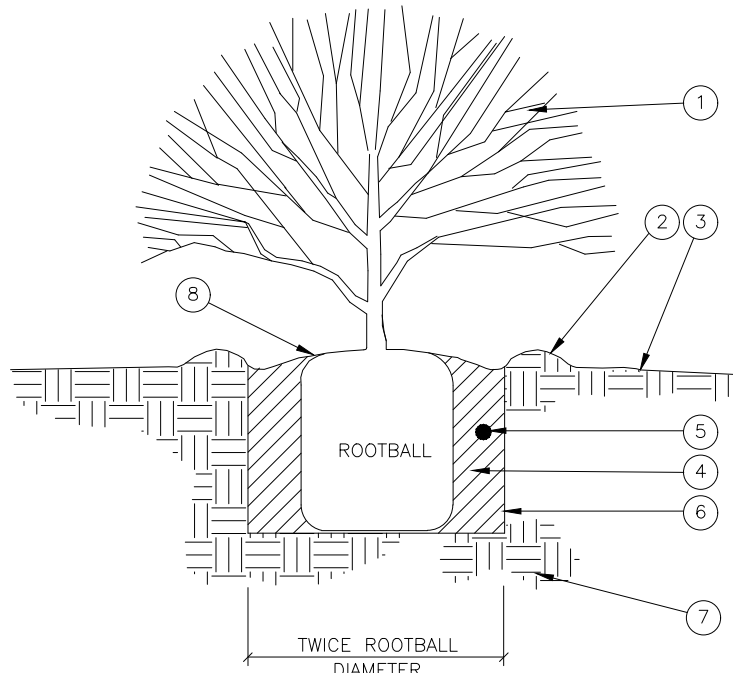


- LEGEND:
- 1 24" CORDED TIE. SEE SPECIFICATIONS. ATTACH WITH ROOFING NAILS (4 TYP.).
 - 2 2" DIA. X 10' LODGE POLE PINE STAKE (2 TYP.) KEEP CLEAR OF ROOTBALL. SEE SPECIFICATIONS.
 - 3 WATER BASIN. 3" MIN. DEPTH AFTER WATERING BY HOSE. REMOVE BASIN IN LAWN AREAS AND AS DIRECTED BY LANDSCAPE ARCHITECT.
 - 4 FINISHED GRADE.
 - 5 AMENDED BACKFILL. SEE SPECIFICATIONS FOR MIX AND PIT SIZE.
 - 6 21 GRAM PLANT TABLET. SEE SPECIFICATIONS.
 - 7 EXISTING SOIL.
 - 8 SCARIFY SIDES AND BOTTOM OF PLANTING PIT.
 - 9 SET TOP OF ROOTBALL 3" ABOVE SURROUNDING GRADE AND SLOPE FOR DRAINAGE.
- NOTE: 1. MAINTAIN TURF 3" CLEAR FROM TREE TRUNK.
2. ALL 24" BOX OR LARGER SHALL BE DOUBLE STAKED

TREE PLANTING-DOUBLE STAKING

SCALE: N.T.S.

1



- LEGEND:
- ① SHRUB - CENTER IN PIT.
 - ② 2" DEEP WATERING BASIN. SEE SPECIFICATIONS.
 - ③ FINISH GRADE.
 - ④ AMENDED BACKFILL. SEE SPECIFICATIONS.
 - ⑤ PLANTING TABLETS. PLACE IN PIT 2/3 UP FROM PIT BOTTOM. SEE SPECIFICATIONS.
 - ⑥ SCARIFY SIDES AND BOTTOM OF PLANTING PIT.
 - ⑦ UNDISTURBED NATIVE SOIL.
 - ⑧ SET TOP OF ROOTBALL 1" ABOVE SURROUNDING GRADE AND SLOPE FOR DRAINAGE.

SHRUB PLANTING

SCALE: N.T.S.

2

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS. THE PLANS AND SPECIFICATIONS ARE COPYRIGHTED BY SOURCE ARCHITECTURE, INC. THE PLANS AND SPECIFICATIONS ARE PREPARED AS PART OF DESIGN-BUILD CONTRACT OF CAL-CITY CONSTRUCTION, INC. WITH CLIENT: CAL-CITY CONSTRUCTION, INC., ARCHITECT AND CONSULTANTS SHALL NOT HOLD ANY LIABILITY ARISING FROM THEIR SERVICE RENDERED, INCLUDING, BUT NOT LIMITED TO, PLANS, SPECIFICATIONS AND DESIGN IN CASE OF CONSTRUCTION OF PROJECT BY OTHERS.

SEAL/SIGNATURE



CONSULTANT

MIXED-USE BUILDING FOR DR. DAO
10201 & 10231 GARDEN GROVE BLVD
GARDEN GROVE, CA 92843-1041

MR. MICHAEL DAO

PROJECT :

OWNER :

TITLE

PLANTING DETAILS

DATE	REVISION	BY
04/22/21		

DRAWN BY: APPROVED:

DATE: SCALE:

SHEET:

LP-3

OF SHEETS

March 10, 2023

Paul Kim
C/O Source Architecture
6101 Ball Road
Cypress, CA 92840

**SUBJECT: MINOR MODIFICATION NO. 1 TO SITE PLAN NO. SP-111-2022
FOR PROJECT LOCATED AT 10201 AND 10231 GARDEN GROVE
BOULEVARD**

Dear Mr. Kim,

The City of Garden Grove has reviewed and hereby approves the request to modify the approved plans associated with Site Plan No. SP-111-2022 for the proposed mixed-use project at 10201 and 10231 Garden Grove Boulevard.

Site Plan No. SP-111-2022 authorizes the construction of a five-story mixed-use development on the 1.86-acre site consisting of 9,786 square feet of retail space, 9,270 square feet of medical office space, and 52 residential apartment units. Pursuant to the State Density Bonus law, in exchange for reserving three (3) of the apartment units for very low-income households, the project was granted concessions and waivers from the GGMU-2 (Garden Grove Boulevard Mixed Use 2) zone development standards. In conjunction with the approval of SP-111-2022, Tentative Parcel Map No. PM-2021-190 was approved concurrently.

You have proposed certain modifications to the design of the Project, which are reflected in the attached hereto as Attachment 1. The Project, with these proposed modifications, is referred to herein as the "2023 Redesign Project." The specific design and configuration changes to the 2023 Redesign Project include:

- (1) A redesign to the northerly residential elevator lobby and enclosed stairwell to comply with the Building Code requirements for egress purposes. This redesign will affect the floor plan of the first to fifth floors.
- (2) Shifting the third floor commercial tenant space to align with the exterior building plane, along the south and west building elevations, and shifting and redesigning the exterior corridor used to access the commercial tenant space into an interior, enclosed corridor. This redesign will also modify the third

floor building elevation by shifting the tenant storefront to be flush with the exterior building plane. The design will continue to follow the same architectural style of the building.

- (3) Increasing the size of a roof garden located on the fourth floor, along the west building elevation, from two (2) smaller passive roof gardens with a combined area of 918 square feet to one (1) passive roof garden (Roof Garden-3) with an area of 2,765 square feet. This passive roof garden will increase the total recreation area of the project from 16,961 square feet to 17,884 square feet.
- (4) Modification to Condition of Approval No. 84 to change the allowable square footages of the retail and medical uses. The SP-111-2022 allowed 19,056 square feet of commercial lease space designated for 9,786 square feet of retail use and 9,270 square feet of medical use. The 2023 Redesign Project proposes up to 5,312 square of retail use, up to 3,548 square feet for an art gallery use, and up to 10,745 square feet of medical use. It should be noted that the enclosed corridors (1,958 square feet) and the enclosed commercial lobby (542 square feet) have been included toward the medical parking requirements. However, the usable medical space tenant space area is limited to 10,745 square feet. The commercial component is required to provide 112 parking spaces, and the project will provide a total of 118 parking spaces.

Condition of Approval No. 4 of SP-111-2022 allows minor modifications to the Site Plan to be approved by the Community and Economic Development Director if the proposed modifications do not materially change the scope or intensity of the project, and which will not result in new significant impacts that have not been previously addressed.

The City has determined that the proposed modifications to the project reflected in the 2023 Redesign Project will not materially change the scope or intensity of the project as approved by SP-111-2022. The project will continue to maintain the same number of residential units; will continue to comply with the required number of parking spaces for the residential and commercial component; will continue to comply with the approved building setbacks; the changes to the building elevation will continue to be consistent and compatible with the building's architecture; and the proposed modifications will remain within the approved building footprint area. Therefore, the proposed modifications are minor and can be approved by the Community and Economic Development Director.

The attached plans reflect the approved modifications to the project. No additional changes to the plans will be permitted without approval of the Community and Economic Department. If other changes to the plans are proposed that would have

Minor Modification No 1. to SP-111-2022
March 10, 2023
Page 3

the effect of expanding or intensifying the use, the appropriate entitlement must be filed. The project is required to continue to comply with the Conditions of Approval of Site Plan No. SP-111-2022.

If you have any questions about this approval, please contact Maria Parra, Planning Manager, at the Planning Services Division at (714) 741-5323.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Craig Beck', with a stylized flourish extending to the right.

Craig Beck
Interim Community and Economic Development Director

Attachment 1: Plans for Minor Modification No. 1 for SP-111-2022

ATTACHMENT 1

**PLANS FOR MINOR MODIFICATION N
SITE PLAN NO. SP-111-2022**

MIXED-USE BUILDING FOR DR. DAO
10201 & 10231 GARDEN GROVE BLVD.,
GARDEN GROVE, CA 92843-1041

PROJECT INFORMATION

15. NUMBER OF EV STALL :
 - COMMERCIAL: REQUIRED: 11 / PROVIDED: 11
 - RESIDENTIAL: REQUIRED: 8 / PROVIDED: 8

16. NUMBER OF CHARGING STATION:
 - COMMERCIAL: REQUIRED: 7 / PROVIDED: 7
 - RESIDENTIAL: REQUIRED: 5 / PROVIDED: 5

17. NUMBER OF ACCESSIBLE PARKING:
 - COMMERCIAL: REQUIRED: 5 / PROVIDED: 5
 - RESIDENTIAL: REQUIRED: 4 / PROVIDED: 4

18. NUMBER OF PARKING
 - REQUIRED:
 - COMMERCIAL UNITS
 - RETAIL: 5,312.72 SF / 200 SF = 26.56
 - ART GALLERY: 3,548.59 SF / 500 SF = 7.10
 - MEDICAL OFFICE: 7,459.12 + 5,246.86 SF + 542.87 SF = 13,248.85 SF / 170 SF = 77.93
 - TOTAL: 111.59 = 112 STALLS
 - RESIDENTIAL UNITS
 - 1 BEDROOMS 26 x 1 = 26 STALLS
 - 2 BEDROOMS 26 x 1.5 = 39 STALLS
 - TOTAL 65 STALLS
 - REQUIRED TOTAL: 112 + 65 = 177 STALLS
 * NOTE: ENCLOSED CORRIDORS AND LOBBY AREA INCLUDED TOWARDS REQUIRED PARKING

- PROPOSED:

	ON-GROUND	1ST FLOOR	2ND FLOOR	3RD FLOOR	TOTAL
NUMBER OF PARKING PROVIDED	COMMERCIAL 7	53	55	3	118
	RESIDENTIAL 0	0	14	51	65
	TOTAL 7	53	69	54	183

19. OPENSAPCE
 - REQUIRED: 52 UNIT * 300 SF = 15,600 SF

- PROPOSED:
 (1) PRIVATE OPEN SPACE:
 - BALCONY OF 1-BEDROOM UNITS: 59.97 SF * 26 = 1,559.22 SF
 - BALCONY OF 2-BEDROOM UNITS: 44.35 SF * 26 = 1,153.1 SF
 - TOTAL: 2,712.32 SF

(2) ACTIVE RECREATION AREA:
 - ROOF GARDEN-1: 5,365.43 SF
 - ROOF GARDEN-2: 3,978.80 SF
 - TOTAL: 9,344.23 SF

(3) PASSIVE RECREATION AREA
 - ROOF GARDEN-3: 2,765.80 SF
 - 50% OF PASSIVE RECREATION AREA: 1,382.9 SF

(4) INDOOR RECREATION AREA
 - GYM 1&2: 2,841.44 SF
 - LOUNGE 1&2: 765.27 SF
 - TOTAL: 3,606.71 SF (< 7,800 SF = 15,600 * 50%)

(5) RESIDENTIAL & COMMERCIAL SHARED RECREATION AREA:
 25% OF GARDEN GROVE PLAZA: 84,75.5 SF (3,367.5 SF * 25%)

- TOTAL PROPOSAL: (1)+(2)+(3)+(4)+(5) = 17,884.82 SF (>15,600 SF)

20. STOREFRONT OPENING REQUIREMENT
 - GARDEN GROVE SIDE:
 - REQUIREMENT: 40%
 - PROVIDED: 2,848.53 SF / 5,537.28 SF = 51.44%
 - BROOKHURST SIDE:
 - REQUIREMENT: 20%
 - PROVIDED: 2,163.88 SF / 4,385.66 SF = 49.34%

21. TOTAL PROPOSED LANDSCAPE AREA ON GROUND:
 - ON SITE: 8,010 SF
 - OFF SITE (TREE-WELLS): 252 SF
 - TOTAL: 8,262 SF

SITE AREA LANDSCAPE RATIO:
 - SITE LANDSCAPE ON GROUND (8,262 SF) / PROPERTY AREA (80,876 SF) = 10.22%

		1ST FL.	2ND FL.	3RD FL.	4TH FL.	5TH FL.	TOTAL
PARKING STRUCTURE	PARKING	32,252.89	32,645.73	29,256.50	0	0	94,155.12
	RAMP	1,872.49	1,872.49	1,872.49	0	0	5,617.47
	STAIRS	640.04	657.70	764.66	0	0	2,062.40
	TOTAL	34,765.42	35,175.92	31,893.65	0	0	101,834.99
COMMERCIAL (B/M)	TENANT	8,861.31	0	12,705.98	0	0	21,567.29
	LOBBY	542.87	0	0	0	0	542.87
	ELEVATOR	174.22	174.22	181.64	0	0	530.08
	MACHINE	207.32	0	0	0	0	207.32
RESIDENTIAL	OPEN HW*	0	548.77	1,360.19	0	0	1,908.96
	TOTAL	9,785.72	174.22	12,887.62	0	0	22,847.56
	LIVING	0	0	0	23,124.50	23,124.50	46,249.00
	BALCONY	0	0	0	1,356.16	1,356.16	2,712.32
	CABINET	0	0	0	186.81	186.81	373.62
	LOBBY	1,517.30	867.06	1,171.44	0	0	3,555.80
	GYM/LOUNGE	0	0	0	1,681.03	1,925.68	3,606.71
	CORRIDOR	0	0	0	5,849.12	5,448.36	11,297.48
	STAIRS	0	0	0	736.87	736.87	1,473.74
	ELEVATOR	264.45	270.78	267.56	263.59	267.25	1,333.63
	MACHINE	264.73	0	0	0	0	264.73
	TRASH	490.67	186.67	186.67	118.11	118.11	1,100.23
GARDEN*	0	0	0	10,259.67	0	10,259.67	
TOTAL	2,537.15	1,324.51	1,625.67	33,316.19	33,163.74	71,967.26	
TOTAL		47,088.29	36,674.65	46,406.94	33,316.19	33,163.74	196,649.81

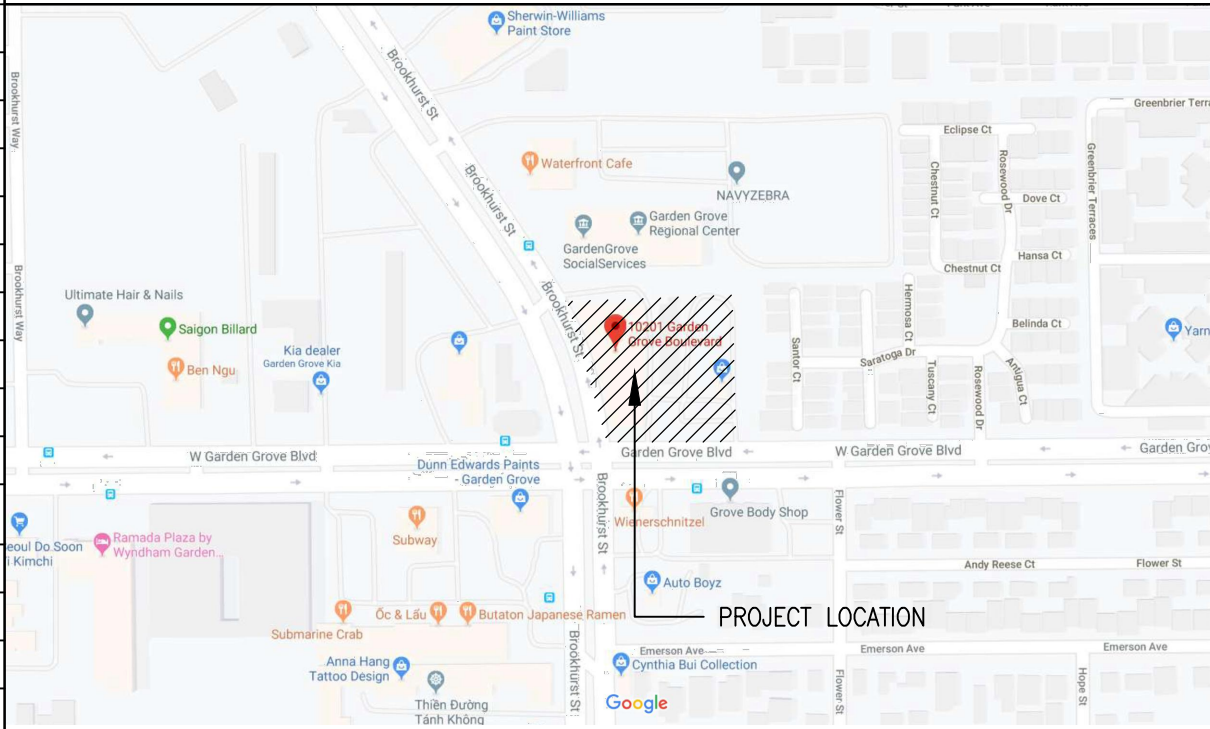
13. FAR
COMMERCIAL: 22,847.56 SF / 81,110 SF = 0.282
RESIDENTIAL: 71,967.26 SF / 81,110 SF = 0.887
NOTE:
1. PARKING STRUCTURE AREA NOT COUNTED
2. ENCLOSED CORRIDORS AND LOBBY AREAS WILL BE INCLUDED IN THE FAR

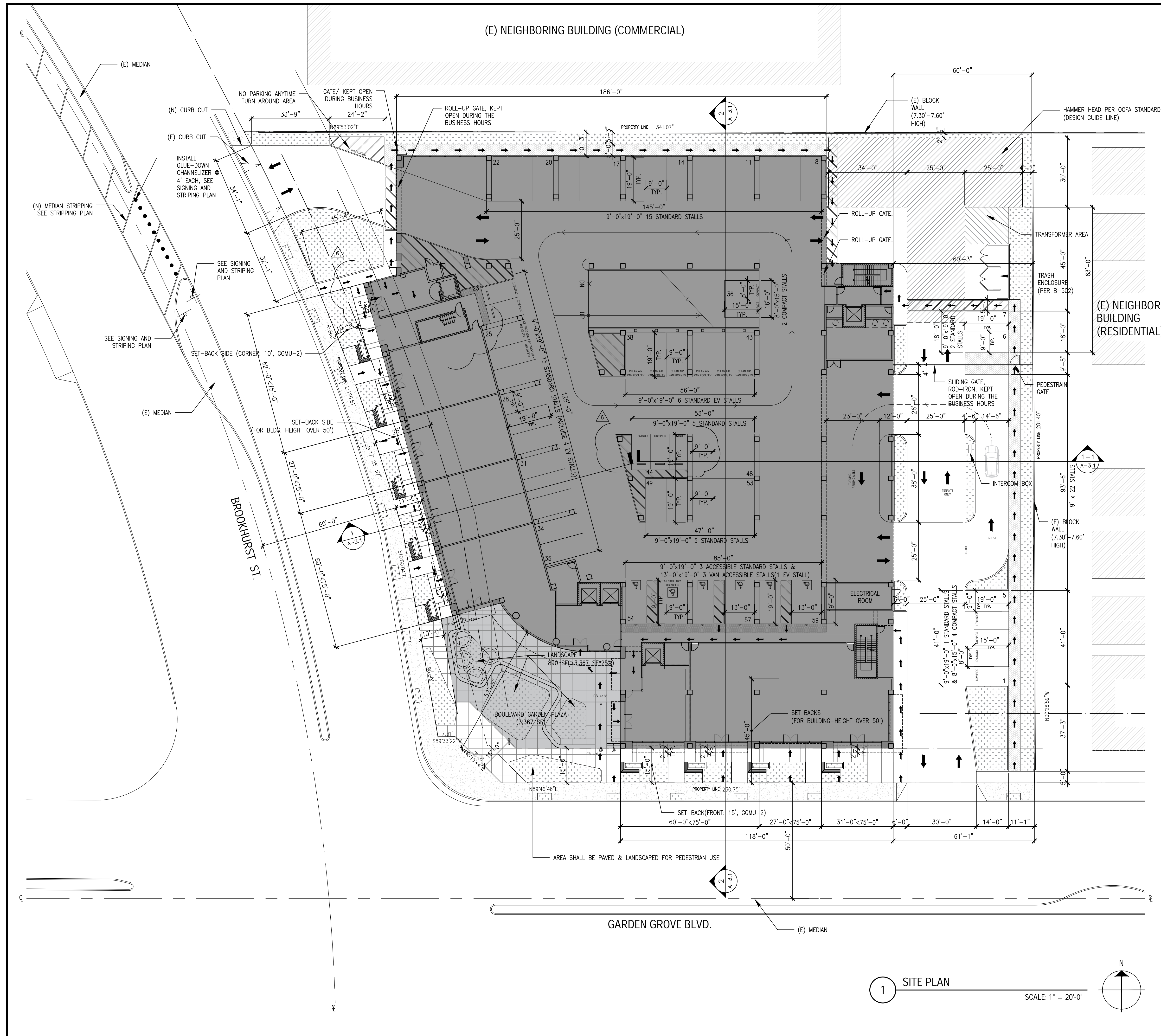
14. NUMBER OF RESIDENTIAL UNITS
ALLOWED:
- NUMBER OF RESIDENTIAL UNITS ALLOWED PER GGMU-2: 1.86 ACRE X 24 = 44.64 = 45 UNITS
- AFFORDABLE UNIT PERCENTAGE = 3 UNITS (VERY LOW INCOME)/45 UNITS X 100 = 6.67%
- DENSITY BONUS APPLIED: 22.50%
- NUMBER OF UNITS ALLOWED W/ DENSITY BONUS (22.50%) APPLIED: 45 UNITS X 1.225 = 55.125
= 56 UNITS

PROPOSED:
- NUMBER OF 1 BEDROOM UNITS PROPOSED (756.2 SF): 13 UNITS X 2 STORIES = 26 UNITS
- NUMBER OF 2 BEDROOM UNITS PROPOSED (1,006.36 SF): 13 UNITS X 2 STORIES = 26 UNITS
TOTAL NUMBER OF UNITS PROPOSED: 52 UNITS

DRAWING INDEX		
SEQ.	SHT.	DESCRIPTION
GENERAL		
1	G 1.1	PROJECT DESCRIPTION, VICINITY MAP, DIRECTORY
2		TOPOGRAPHIC SURVEY
CIVIL		
1		TITLE SHEET
2		GRADING PLAN
3		SECTIONS AND DETAILS
4		TENTATIVE MAP (EXISTING CONDITION)
5		TENTATIVE MAP (PRELIMINARY GRADING PLAN)
TRAFFIC		
1		SIGNING AND STRIPING PLAN
ARCHITECTURAL		
1	A 1.1	SITE PLAN
2	A 1.2	FIRST FLOOR PLAN
3	A 1.3	SECOND FLOOR PLAN
4	A 1.4	THIRD FLOOR PLAN
5	A 1.5	FOURTH FLOOR PLAN
6	A 1.6	FIFTH FLOOR PLAN
7	A 1.7	ROOF PLAN
8	A 1.8	RESIDENTIAL UNIT PLAN
9	A 1.9	FLOOR PLAN DIAGRAMS
10	A 2.1	ELEVATION-1
11	A 2.2	ELEVATION-2
12	A 3.1	SECTION-1
13	A 3.2	SECTION-2
LANDSCAPE		
1	LP-1	PRELIMINARY LANDSCAPE PLAN
2	LP-1A	PRELIMINARY LANDSCAPE PLAN
3	LP-2	PRELIMINARY LANDSCAPE PLAN-4TH FLOOR
4	LP-3	PLANTING DETAILS

<h1>PROJECT DIRECTORY</h1>		
<p>OWNER</p> <p>MR. MICHAEL DAO 9191 WESTMINSTER BLVD. GARDEN GROVE, CA 714) 504-2950</p>	<p>APPLICANT/ ARCHITECT</p> <p>CAL-CITY CONSTRUCTION, INC./ SOURCE ARCHITECTURE, INC. CONTACT: PAUL KIM 6101 BALL RD. STE #205 CYPRESS, CA 90630 Pkim@source-architecture.com 714) 309-7444</p>	<p>TRAFFIC ENGINEER</p> <p>K2 TRAFFIC ENGINEERING, INC CONTACT: KAY HSU 1442 IRVINE BLVD., SUITE 210 TUSTIN, CA 92780 khsu@k2traffic.com 714) 832-2116</p>
<p>SURVEYOR/CIVIL</p> <p>FORESIGHT ENGINEERING, INC CONTACT: NADER QOBORSI 17621 IRVINE BLVD., SUITE 210 TUSTIN, CA 92780 nader@foresight-eng.com 714) 542-1214</p>	<p>LANDSCAPE</p> <p>SOLA, INC CONTACT: SAMUEL K. KIM, ASLA 2669 SATURN STREET BREA, CA 92821 lo@slainc.com 562) 905-0800</p>	<p>ENVIRONMENTAL CONSULTANT</p> <p>GIRLOUX & ASSOCIATES CONTACT: SARAH FRIEDMAN GERRICK 5319 UNIVERSITY DRIVE., #26 IRVINE, CA 92612 hgiroux@att.net 949) 5387-5477</p>
<h2>VICINITY MAP</h2>		
<p>The vicinity map shows the project location at the intersection of Garden Grove Blvd and W Garden Grove Blvd. The map includes various landmarks, streets, and a red pin indicating the project location. The map is labeled with 'PROJECT LOCATION' and includes a Google logo.</p>		





PLAN SYMBOL LEGEND

EV STALL CHARGING STATION

ACCESSIBLE ROUTE PER 11B-206, MIN. 4'-0" CLEAR WIDTH, MIN. 5' x 5" CLEAR SPACE IN FRONT OF THE DOORS SHOULD BE PROVIDED. THE SLOPE IN THE DIRECTION OF TRAVEL SHOULD BE LESS THAN 5% AND THE SLOPE PERPENDICULAR TO THE DIRECTION OF TRAVEL SHOULD BE LESS THAN 2%. CONTRACTOR TO VERIFY THE SLOPE. ANY NECESSARY WORK SHOULD BE DONE TO ENSURE THE SLOPE AS REQUIRED.

1ST FLOOR PARKING GARAGE

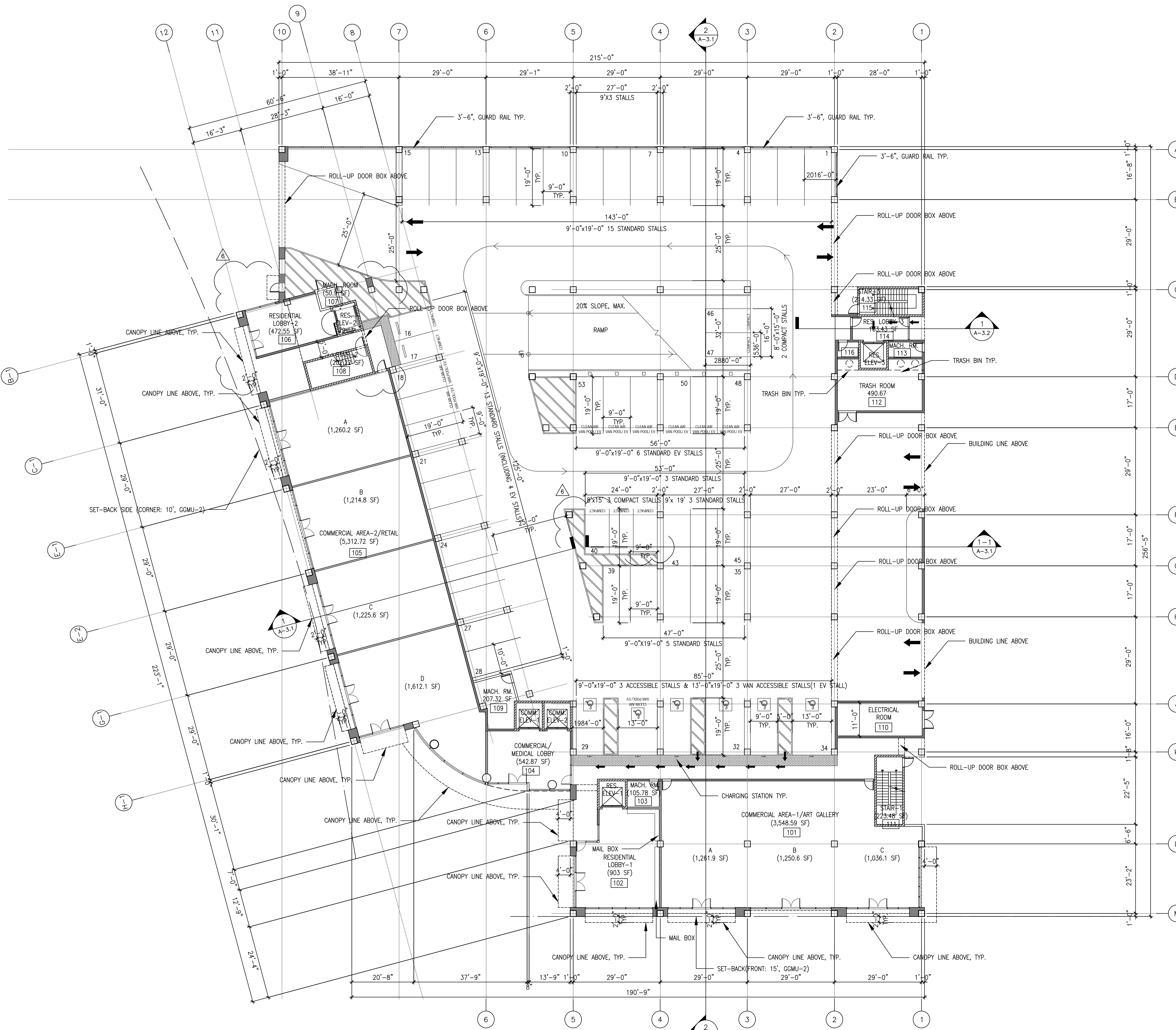
PARKING STALLS	COMMERCIAL	RESIDENTIAL
STANDARD 9'x19'	32 EA	0 EA
COMPACT 8'x15'	5 EA	0 EA
ACCESSIBLE 9'x19'	3 EA	0 EA
VAN ACCESSIBLE 13'x19'	2 EA	0 EA
EV ACCESSIBLE W/ CHARGING 13'x19' VAN	1 EA	0 EA
EV STALL W/ CHARGING STATION 9'x19'	6 EA	0 EA
EV STALLS W/O CHARGING STATION 9'x19'	4 EA	0 EA
TOTAL	53 TOTAL	

TENANT AREA BREAKDOWN (GROSS)

COMMERCIAL TENANT	AREA-1	AREA-2
TENANT A	1,261.9 SF	1,260.2 SF
TENANT B	1,250.6 SF	1,214.8 SF
TENANT C	1,036.1 SF	1,225.6 SF
TENANT D	-	1,612.1 SF
HALLWAY	-	-
TOTAL TENANTS	3,548.6 SF	5,312.7SF
TOTAL COMMERCIAL	8,861.3 SF	

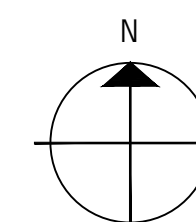
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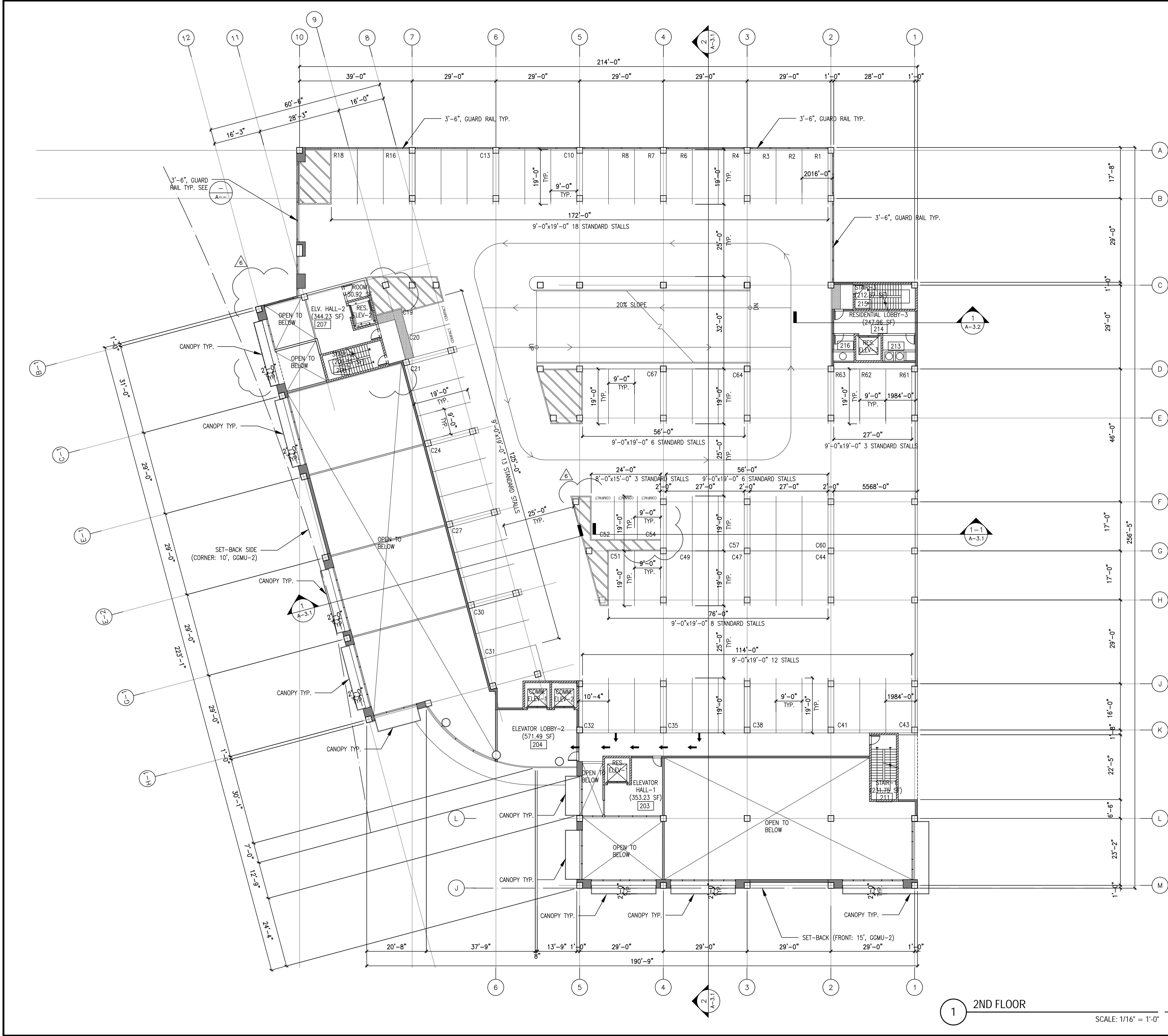
- 1-HR, SEPARATION BETWEEN B.M/R-3/S-2
- STAIRS SHAFT & SHALL BE PROVIDED W/ FIRE RATED ENCLOSURES PER CBC
- ROLL-UP DOORS KEPT OPEN DURING THE BUSINESS HOURS
- ALL PARKING STALLS ARE STANDARD (9'-0" X 19'-0")



1 1ST FLOOR

SCALE: 1/16" = 1'-0"





PLAN SYMBOL LEGEND

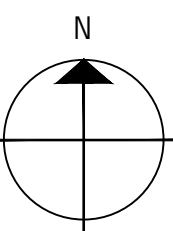
ACCESSIBLE ROUTE PER 11B-206, MIN. 4'-0" CLEAR WIDTH, MIN. 5' x 5" CLEAR SPACE IN FRONT OF THE DOORS SHOULD BE PROVIDED. THE SLOPE IN THE DIRECTION OF TRAVEL SHOULD BE LESS THAN 5% AND THE SLOPE PERPENDICULAR TO THE DIRECTION OF TRAVEL SHOULD BE LESS THAN 2%. CONTRACTOR TO VERIFY THE SLOPE. ANY NECESSARY WORK SHOULD BE DONE TO ENSURE THE SLOPE AS REQUIRED.

2ND FLOOR PARKING GARAGE		
PARKING STALLS	COMMERCIAL	RESIDENTIAL
STANDARD 9'x19'	50 EA	14 EA
COMPACT 8'x15'	5 EA	0 EA
ACCESSIBLE 9'x19'	0 EA	0 EA
VAN ACCESSIBLE 13'x19'	0 EA	0 EA
EV ACCESSIBLE W/ CHARGING 13'x19' VAN	0 EA	0 EA
EV STALL W/ CHARGING STATION 9'x19'	0 EA	0 EA
EV STALLS W/O CHARGING STATION 9'x19'	0 EA	0 EA
TOTAL	69 TOTAL	

- NOTES:
- 1-HR, SEPARATION BETWEEN B,M/R-3/S-2
 - STAIRS SHAFT & SHALL BE PROVIDED W/ FIRE RATED ENCLOSURES PER CBC
 - ALL PARKING STALLS ARE STANDARD (9'-0" X 19'-0")

1 2ND FLOOR

SCALE: 1/16" = 1'-0"



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SEAL/SIGNATURE

CONSULTANT

MIXED-USE BUILDING FOR DR. DAO

10201 & 10231 GARDEN GROVE BLVD
GARDEN GROVE, CA 92843-1041

MR. MICHAEL DAO

PROJECT :

OWNER :

TITLE

2ND FLOOR PLAN

DATE REVISION BY

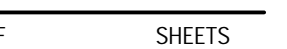
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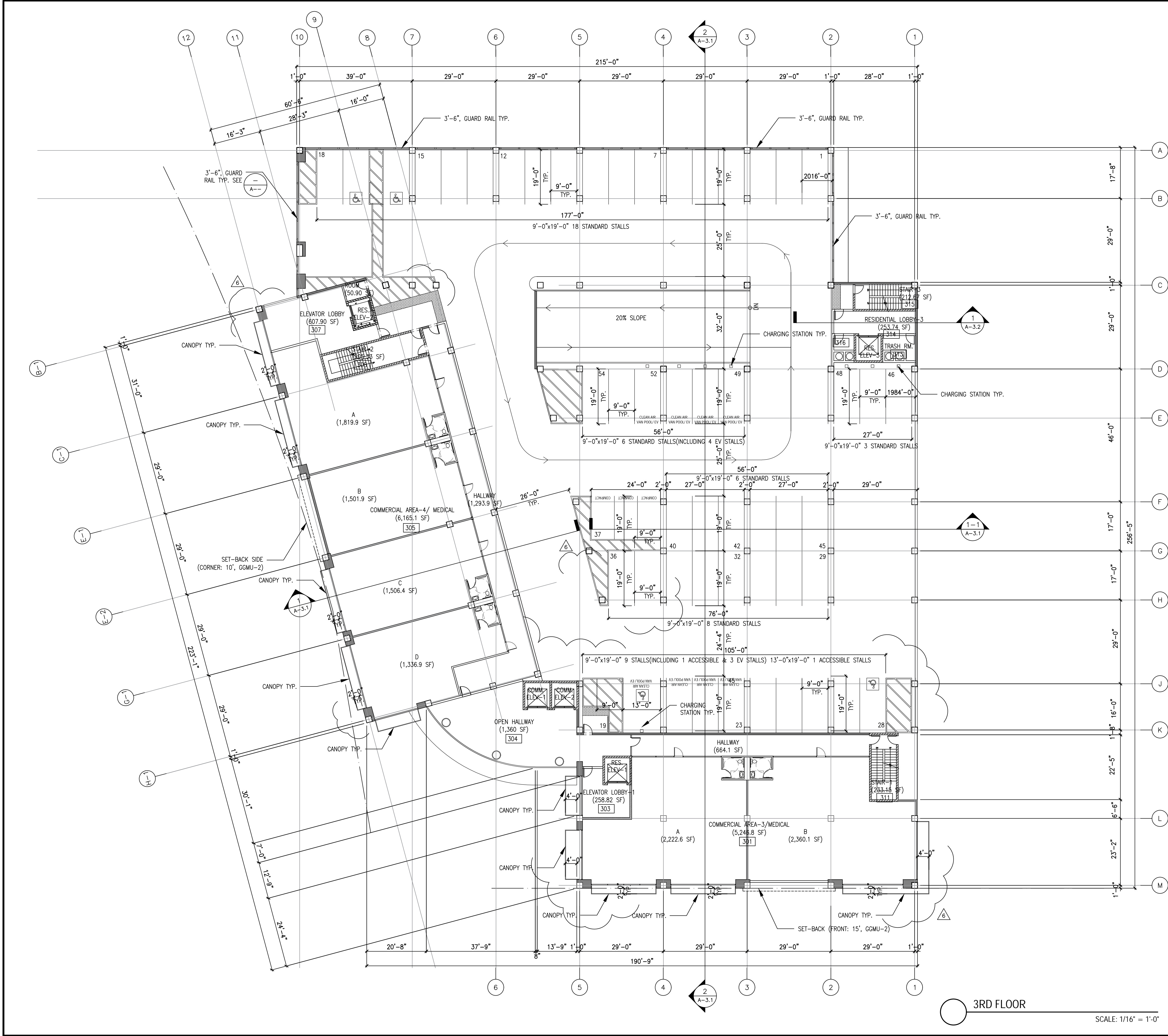
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A-1.3

OF SHEETS





PLAN SYMBOL LEGEND

EV STALL CHARGING STATION

3RD FLOOR PARKING GARAGE

PARKING STALLS	COMMERCIAL	RESIDENTIAL
STANDARD 9'X19'	0 EA	39 EA
COMPACT 8'X15'	0 EA	3 EA
ACCESSIBLE 9'X19'	0 EA	3 EA
VAN ACCESSIBLE 13'X19'	0 EA	1 EA
VAN ACCESSIBLE EV W/ CHARGING 13'X19'	0 EA	1 EA
EV STALL W/ CHARGING STATION 9'X19'	0 EA	4 EA
EV STALLS W/O CHARGING STATION 9'X19'	0 EA	3 EA
TOTAL		54 TOTAL

TENANT AREA BREAKDOWN (GROSS)

COMMERCIAL TENANT	AREA-3	AREA-4
TENANT A	2,222.6 SF	1819.9 SF
TENANT B	2,360.1 SF	1,501.9 SF
TENANT C	-	1,506.4 SF
TENANT D	-	1,336.9 SF
HALLWAY	664.1 SF	1,293.9 SF
TOTAL TENANTS	5,246.8 SF	7,459 SF
TOTAL COMMERCIAL	12,705.8 SF	

NOTES:

- 1-HR. SEPARATION BETWEEN B,M/R-3/S-2
- STAIRS SHAFT & SHALL BE PROVIDED W/ FIRE RATED ENCLOSURES PER CBC
- ALL PARKING STALLS ARE STANDARD (9'-0"X 19'-0")

3RD FLOOR

SCALE: 1/16" = 1'-0"

SEAL/SIGNATURE

CONSULTANT

MIXED-USE BUILDING FOR DR. DAO

10201 & 10231 GARDEN GROVE BLVD
GARDEN GROVE, CA 92843-1041

MR. MICHAEL DAO

PROJECT :

TITLE

3RD FLOOR PLAN

DATE REVISION BY

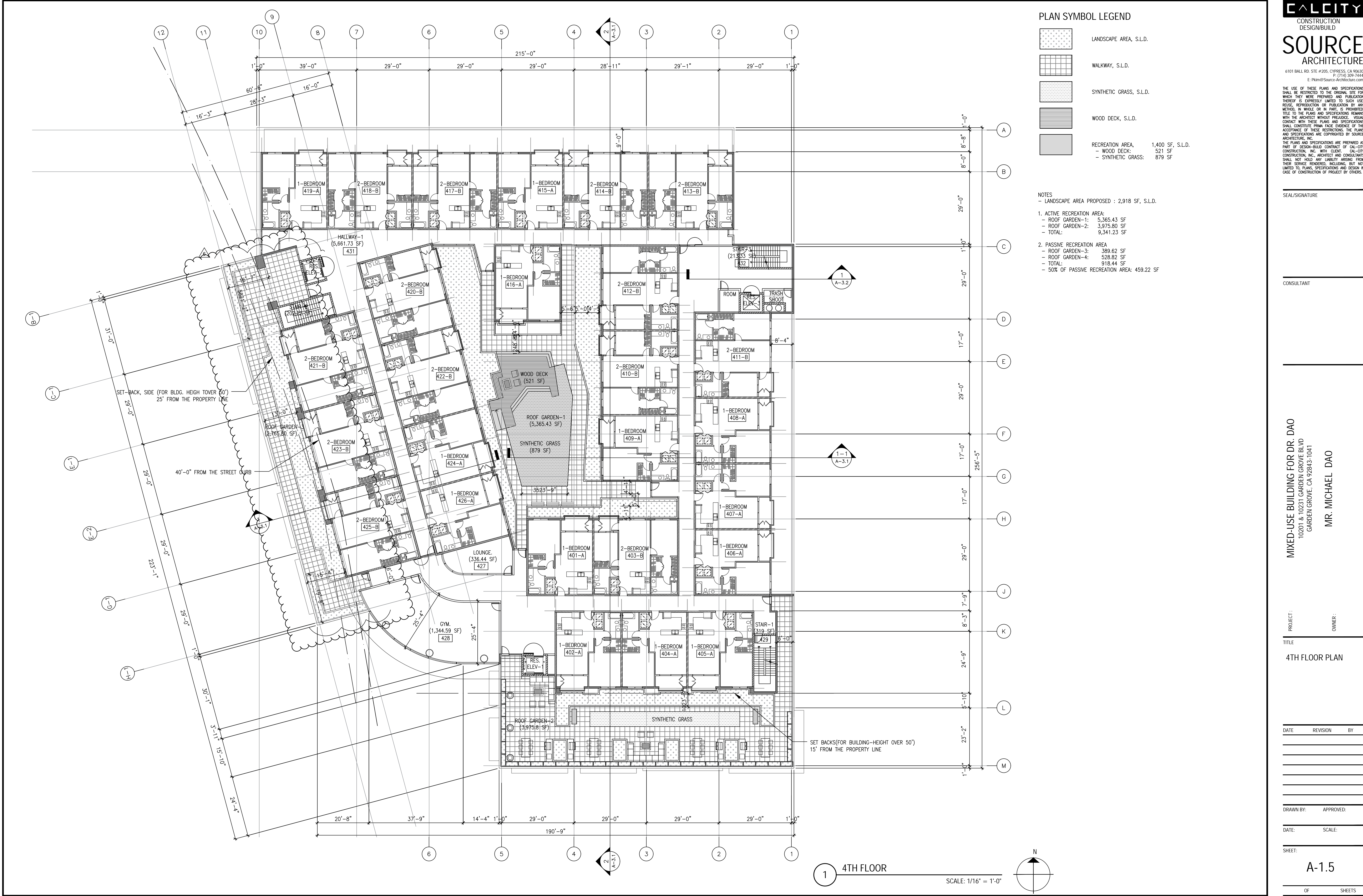
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OF SHEETS



E^LEITY
CONSTRUCTION
DESIGN/BUILD

SOURCE
ARCHITECTURE

6101 BALL RD. STE #205, CYPRESS, CA 90630
P. (714) 309-7444
E. Pkum@Source-Architect.com

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SEAL/SIGNATURE

CONSULTANT

MIXED-USE BUILDING FOR DR. DAO
10201 & 10231 GARDEN GROVE BLVD
GARDEN GROVE, CA 92843-1041

MR. MICHAEL DAO

PROJECT :

OWNER :

TITLE

4TH FLOOR PLAN

DATE	REVISION	BY

DRAWN BY: APPROVED:

DATE: SCALE:

SHEET:

A-1.5

OF SHEETS



SEAL/SIGNATURE

CONSULTANT

MIXED-USE BUILDING FOR DR. DAO

10201 & 10231 GARDEN GROVE BLVD
GARDEN GROVE, CA 92843-1041

MR. MICHAEL DAO

PROJECT :

OWNER :

TITLE

ROOF PLAN

DATE	REVISION	BY
------	----------	----

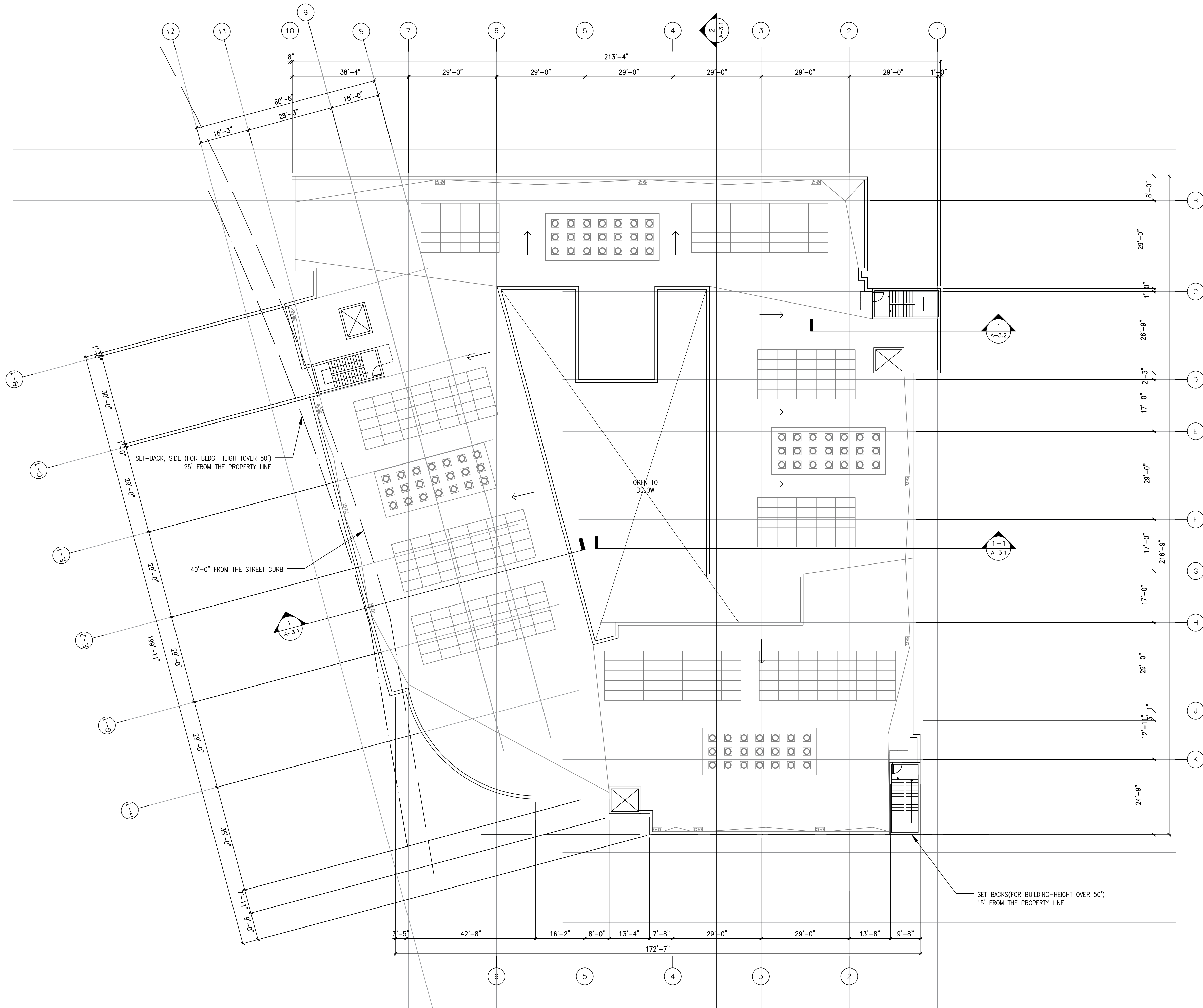
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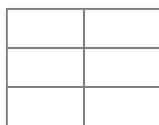
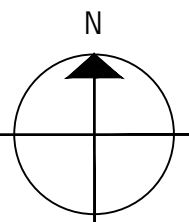
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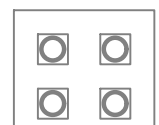


1 ROOF PLAN

SCALE: 1/16" = 1'-0"



SOLAR PANEL



ROOF TOP UNITS VENTILATION



ROOF DRAIN

NOTES:

1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT MUST BE SCREENED FROM VIEW AND OFF-SITE, NOT ONE PLANS.

AREA TABULATION

		(UNIT: SF)					
		1ST FL.	2ND FL.	3RD FL.	4TH FL.	5TH FL.	TOTAL
PARKING STRUCTURE	PARKING	32,252.89	32,645.73	29,256.50	0	0	94,155.12
	RAMP	1,872.49	1,872.49	1,872.49	0	0	5,617.47
	STAIRS	640.04	657.70	764.66	0	0	2,062.40
	TOTAL	34,765.42	35,175.92	31,893.65	0	0	101,834.99
COMMERCIAL (B/M)	TENANT	8,861.31	0	12,705.98	0	0	21,567.29
	LOBBY	542.87	0	0	0	0	542.87
	ELEVATOR	174.22	174.22	181.64	0	0	530.08
	MACHINE	207.32	0	0	0	0	207.32
RESIDENTIAL	OPEN HW*	0	548.77	1,360.19	0	0	1,908.96
	TOTAL	9,785.72	174.22	12,887.62	0	0	22,847.56
RESIDENTIAL	LIVING	0	0	0	23,124.50	23,124.50	46,249.00
	BALCONY	0	0	0	1,356.16	1,356.16	2,712.32
	CABINET	0	0	0	186.81	186.81	373.62
	LOBBY	1,517.30	867.06	1,171.44	0	0	3,555.80
	GYM/LOUNGE	0	0	0	1,681.03	1,925.68	3,606.71
	CORRIDOR	0	0	0	5,849.12	5,448.36	11,297.48
	STAIRS	0	0	0	736.87	736.87	1,473.74
	ELEVATOR	264.45	270.78	267.56	263.59	267.25	1,333.63
	MACHINE	264.73	0	0	0	0	264.73
	TRASH	490.67	186.67	186.67	118.11	118.11	1,100.23
	GARDEN*	0	0	10,259.67	0	0	10,259.67
	TOTAL	2,537.15	1,324.51	1,625.67	33,316.19	33,163.74	71,967.26
TOTAL		47,088.29	36,674.65	46,406.94	33,316.19	33,163.74	196,649.81

* OPEN HALLWAY AND GARDEN ARE NOT INCLUDED IN TO THE TOTAL AREA.

LEGEND

	PARKING AREA		RESIDENTIAL LOBBY
	PARKING STAIRS		COMMON AREA
	COMMERCIAL AREA		CORRIDOR
	COMMERCIAL LOBBY		RESIDENTIAL STAIRS
	COMMERCIAL ELEVATOR		RESIDENTIAL ELEVATOR
	COMMERCIAL MACHINE ROOM		RESIDENTIAL MACHINE ROOM
	OPEN HALLWAY		TRASH ROOM
	LIVING AREA		GARDEN

5 FIFTH FLOOR DIAGRAM

SCALE: 1/32" = 1'-0"

4 FOURTH FLOOR DIAGRAM

SCALE: 1/32" = 1'-0"

3 THIRD FLOOR DIAGRAM

SCALE: 1/32" = 1'-0"

2 SECOND FLOOR DIAGRAM

SCALE: 1/32" = 1'-0"

1 FIRST FLOOR DIAGRAM

SCALE: 1/32" = 1'-0"

STOREFRONT REQUIREMENT

- REQUIREMENT: 20%
- PROVIDED: 2,163.88 SF/ 4,385.66 SF= 49.34%

LEGEND

----- COMMERCIAL ELEVATION AREA
OPENING AREA

F	DARK ANNOIDIZED
G	NATURAL WOOD, OAK
H	PAVESTONE, SW 7642, SHERWIN-WILLIAMS
J	MODERN GRAY, SW 7632, SHERWIN-WILLIAMS
K	LIGONIER TAN, SW 7717, SHERWIN-WILLIAMS
L	OFF WHITE SY95, SKYBRIDGE

COLOR KEY NOTES

A-1	CHISELED LIMESTONE/ SUNRIVER BLEND/ CORONADO STONE PRODUCTS
A-2	CHISELED LIMESTONE/ BEIGE/ CORONADO STONE PRODUCTS
B	SW 7645, THUNDER GRAY/ SHERWIN-WILLIAMS
C	SW 7567, NATURAL TAN/ SHERWIN-WILLIAMS
D	SW 7566, WESTHIGHLAND WHITE/ SHERWIN-WILLIAMS
E	PAPER LANTERN, SW 7676, SHERWIN-WILLIAMS

7	AL CURTAIN WALL SYSTEM
8	AL WINDOW
9	ROUND COLUMN ENVELOPE, BONDERIZED SHEET METAL, 16 GAUGE, PAINTED
10	STUCCO FINISH, SMOOTH
11	COLORLED CONCRETE
12	(E) STUCCO FINISH TO REMAIN

MATERIAL KEY NOTES

1	STONE VENEER, FACTORY FINISHED
2	METAL LOUVRE, PRIMED &PAINTED
3	BONDERIZED SHEET METAL 16 GAUGE, PAINTED
4	STEEL CANOPY, PRIMED & PAINTED
5	STEEL, GUARD RAIL W/ WIRE-MESH, PRIMED & PAINTED
6	AL. STORE FRONT SYSTEM, FACTORY FINISHED

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CONSULTANT

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10201 & 10231 GARDEN GROVE BLVD
GARDEN GROVE, CA 92843-1041

MR. MICHAEL DAO

PROJECT :

TITLE

ELEVATIONS_1

DATE

REVISION

BY

DRAWN BY:

APPROVED:

DATE:

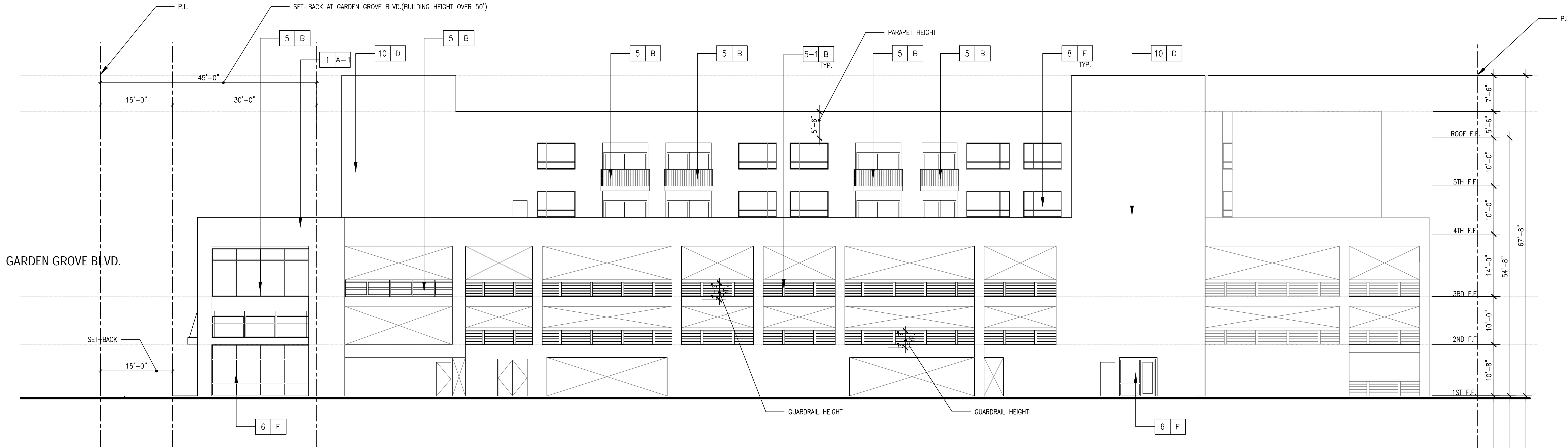
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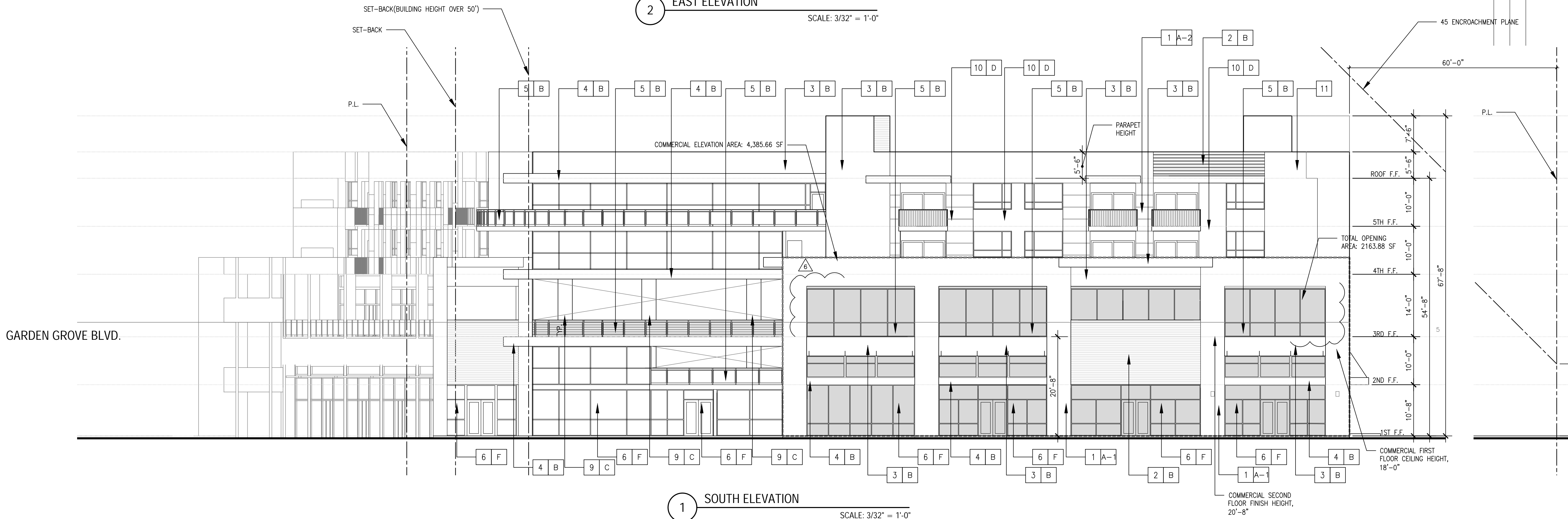
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SHEETS



2 EAST ELEVATION

SCALE: 3/32" = 1'-0"



1 SOUTH ELEVATION

SCALE: 3/32" = 1'-0"

STOREFRONT REQUIREMENT

- REQUIREMENT: 40%
- PROVIDED: 2,848.53 SF/ 5,537.28 SF= 51.44%

LEGEND

----- COMMERCIAL ELEVATION AREA

OPENING AREA

F	DARK ANNOXIDIZED
G	NATURAL WOOD, OAK
H	PAVESTONE, SW 7642, SHERWIN-WILLIAMS
J	MODERN GRAY, SW 7632, SHERWIN-WILLIAMS
K	LIGONIER TAN, SW 7717, SHERWIN-WILLIAMS
L	OFF WHITE SY95, SKYBRIDGE

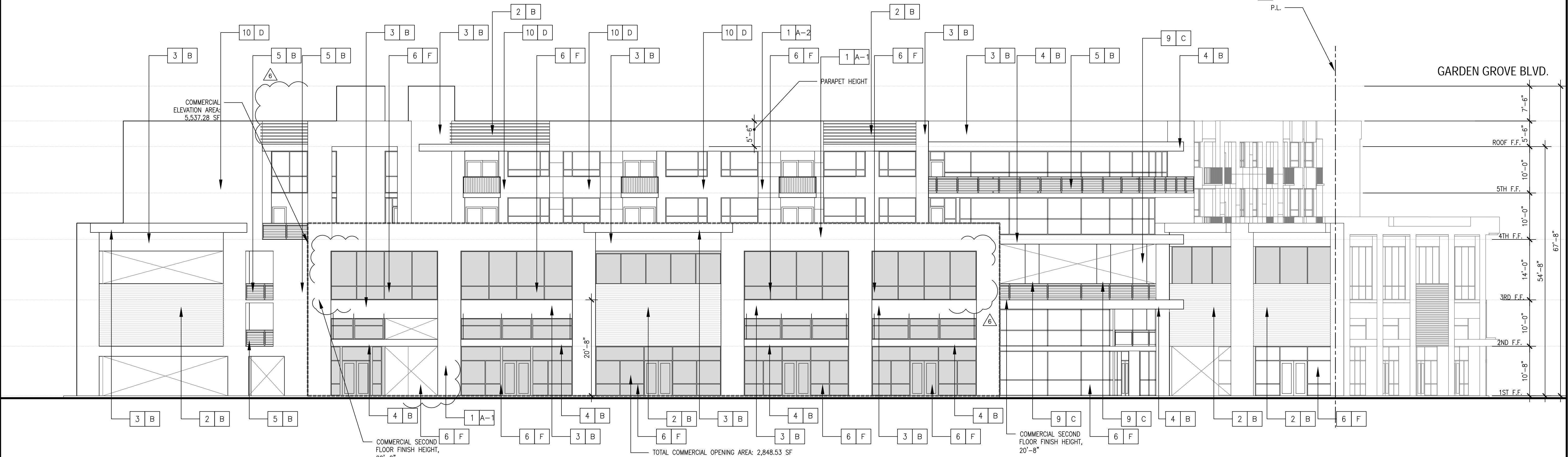
COLOR KEY NOTES

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A-2	CHISELED LIMESTONE/ BEIGE/ CORONADO STONE PRODUCTS
B	SW 7645, THUNDER GRAY/ SHERWIN-WILLIAMS
C	SW 7567, NATURAL TAN/ SHERWIN-WILLIAMS
D	SW 7566, WESTHIGHLAND WHITE/ SHERWIN-WILLIAMS
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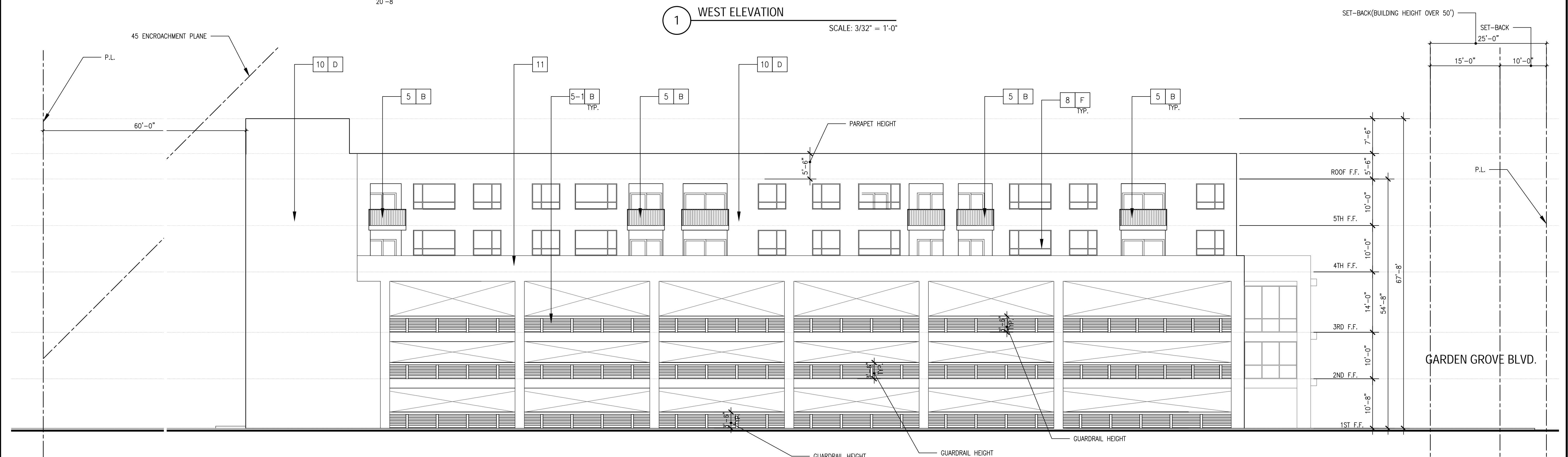
7	AL CURTAIN WALL SYSTEM
8	AL WINDOW
9	ROUND COLUMN ENVELOPE, BONDERIZED SHEET METAL, 16 GAUGE, PAINTED
10	STUCCO FINISH, SMOOTH
11	COLORLED CONCRETE
12	(E) STUCCO FINISH TO REMAIN

MATERIAL KEY NOTES

1	STONE VENEER, FACTORY FINISHED
2	METAL LOUVRE, PRIMED & PAINTED
3	BONDERIZED SHEET METAL 16 GAUGE, PAINTED
4	STEEL CANOPY, PRIMED & PAINTED
5	STEEL, GUARD RAIL W/ WIRE-MESH, PRIMED & PAINTED
6	AL. STORE FRONT SYSTEM, FACTORY FINISHED



1 WEST ELEVATION
SCALE: 3/32" = 1'-0"



1 NORTH ELEVATION
SCALE: 3/32" = 1'-0"

COMMUNITY DEVELOPMENT DEPARTMENT PLANNING STAFF REPORT

AGENDA ITEM NO.: C.3	SITE LOCATION: Northeast corner of Garden Grove Boulevard and Brookhurst Street at 10201 and 10231 Garden Grove Boulevard
HEARING DATE: June 20, 2024	GENERAL PLAN: Residential/Commercial Mixed Use 2
CASE NOS.: Site Plan No. SP-111-2022(TE 1) and Tentative Parcel Map No. PM-2021-190(TE1)	ZONE: GGMU-2 (Garden Grove Boulevard Mixed Use 2)
APPLICANT: Dr. Michael Dao	APN: 089-072-53, 089-072-66
PROPERTY OWNER: Same as applicant	CEQA DETERMINATION: Previously Exempt- Section 15332 "In-Fill Development Projects"

REQUEST:

The applicant is requesting approval of a one-year time extension for the approved entitlements under Site Plan No. SP-111-2022 and Tentative Parcel Map No. PM-2021-190, as modified by Minor Modification No. 1, which allow the consolidation of two (2) existing parcels into a single 1.86 acre parcel, and the construction of a five-story mixed-use development on the 1.86-acre site consisting of 5,312 square feet of retail space, 3,548 square feet for an art gallery use, 10,745 square feet of medical space, and 52 apartment units.

BACKGROUND:

The project site is comprised of two (2) parcels with a combined land area of 1.86-acres located on the northeast corner of Garden Grove Boulevard and Brookhurst Street. The subject site has a General Plan Land Use designation of Residential/Commercial Mixed Use 2, and is zoned GGMU-2 (Garden Grove Boulevard Mixed Use 2).

The project site is located in an area developed with commercial and residential developments. The project site abuts a GGMU-2 zoned property to the north developed with a four-story office professional building and a one-story restaurant building; a Planned Unit Development (PUD-101-95) zoned residential development to the east developed with 104 detached, three-story, residential homes; GGMU-3 zoned properties to the south, across Garden Grove Boulevard, developed with a Wienerschnitzel restaurant and an auto body shop; and PUD-123-09 zoned parcels to the west, across Brookhurst Street, entitled for the Brookhurst Triangle Project.

On May 19, 2022, the Planning Commission approved Site Plan No. SP-111-2022 and Tentative Parcel Map No. PM-2021-190. The approval allowed the consolidation two (2)

existing parcels into a single 1.86 acre parcel and the construction of a five-story mixed-use development on the 1.86-acre site consisting of 9,786 square feet of retail space, 9,270 square feet of medical office space, and 52 apartment units. Pursuant to the State Density Bonus law, in exchange for reserving three (3) of the apartment units for very low-income households, the applicant qualified for density bonus, concessions, and waivers and reduced parking.

On March 10, 2023, the Community and Economic Development Director approved Minor Modification No. 1 to Site Plan No. SP-111-2022 to authorize (1) a redesign to the elevator lobbies and enclosed stairwells to comply with the Building Code requirements for egress; (2) shifting the third floor commercial tenant space to align with the exterior building plane, along the south and west building elevations, and shifting and redesigning the exterior corridor used to access the commercial tenant space into an interior, enclosed corridor; (3) increasing the size of a roof garden located on the fourth floor, along the west building elevation, from two smaller passive roof gardens with a combined area of 918 square feet to one passive roof garden with an area of 2,765 square feet; and (4) a modification to Condition of Approval No. 84 to change the allowable square footages of the retail and medical uses while continuing to provide the required number of parking spaces.

Under the State Subdivision Map Act, tentative maps expire two-years from the date the land use approval becomes effective. Condition of Approval No. 110 of SP-111-2022 and PM-2021-190 allowed the Site Plan to expire two years from the date the approval became effective to be consistent with the two-year expiration date of the Tentative Parcel Map. For this approval, the land use entitlements became effective on June 9, 2022, with a two-year expiration date of June 9, 2024.

On May 14, 2024, prior to the expiration of the subject entitlements, the applicant filed a land use application with the City requesting a one-year time extension of Site Plan No. SP-111-2022 and Tentative Parcel Map No. PM-2021-190.

In accordance with the Municipal Code, and because the approved entitlements were not yet exercised, the applicant is now requesting a one-year time extension for the previously approved entitlements. No changes are proposed to the previously approved project.

DISCUSSION:

TIME EXTENSION

Site Plan No. SP-111-2022 and Tentative Parcel Map No. PM-2021-190 went into effect on June 9, 2022, with a two-year expiration date of June 9, 2024. The applicant filed an application with the City of Garden Grove requesting a time extension (Time Extension #1) on May 14, 2024, prior to the entitlements expiring.

Project plans have been submitted to the City's Engineering Division and the Building and Safety Division for grading and building plan check review, and to the County Surveyor's Office for parcel map review. The applicant submitted the project for plan

check review in December 2022, with revised plans resubmitted in February 2024. The applicant has indicated that delays to the project construction have occurred due to the redesign of the project to address the building code requirements, in addition to residual impacts from the COVID pandemic. The applicant anticipates that permits for the project will be obtained within the next six (6) months. The applicant is requesting the time extension to finalize all plans and receive permits to commence with the project construction.

Title 9 of the Municipal Code allows for a one (1) year time extension for approved entitlements, provided that the Planning Commission finds that: (a) the request for the time extension was submitted prior to the permit expiration date, (b) there has been no change in the general plan designation or zoning of the site, and (c) there is no land use action or study currently underway that would have the potential to render the development nonconforming.

The applicant submitted the time extension application on May 14, 2024, prior to the expiration of the entitlements. In addition, the General Plan Land Use Designation of Residential/Commercial Mixed Use 2 and the GGMU-2 (Garden Grove Boulevard Mixed Use 2) zoning of the property have remained the same, and there are no pending land use actions or studies that would have the potential to render the approved development nonconforming. As such, the proposed project is conforming to the General Plan and zoning designations of the property. The subject request is in compliance with Municipal Code standards for time extensions.

RECOMMENDATION:

Staff recommends that the Planning Commission take the following action:

1. Adopt Resolution No. 6092-24 approving Site Plan No. SP-111-2022(TE1) and Tentative Parcel Map No. PM-2021-190(TE1), subject to the original Conditions of Approval for Site Plan No. SP-111-2022 and Tentative Parcel Map No. PM-2021-190.



Maria Parra
Planning Services Manager

- Attachment 1: Vicinity Map
Attachment 2: Revised Plans Approved Under Minor Modification No. 1
Attachment 3: Resolution No. 6092-24
Attachment 4: Planning Staff Report dated May 19, 2022 with Resolution No. 6041-22 and Conditions of Approval for SP-111-2022 and PM-2021-190
Attachment 5: Minor Modification No. 1 for SP-111-2022 Approval

RESOLUTION NO. 6092-24

A RESOLUTION BY THE PLANNING COMMISSION OF THE CITY OF GARDEN GROVE APPROVING A ONE-YEAR TIME EXTENSION FOR SITE PLAN NO. SP-111-2022 AND TENTATIVE PARCEL MAP NO. PM-2021-190 [REFERRED TO AS SP-111-2022(TE1) AND PM-2021-190 (TE1)].

BE IT RESOLVED that the Planning Commission of the City of Garden Grove, in regular session assembled on June 20, 2024, does hereby approve a one (1) year time extension for the entitlements approved under Site Plan No. SP-111-2022 and Tentative Parcel Map No. PM-2021-190, as modified by Minor Modification No. 1, for a property located on the northeast corner of Garden Grove Boulevard and Brookhurst Street, at 10201 and 10231 Garden Grove Boulevard, Assessor's Parcel Nos. 089-072-53 and 089-072-66.

BE IT FURTHER RESOLVED in the matter of the time extension for Site Plan No. SP-111-2022 and Tentative Parcel Map No. PM-2021-190, the Planning Commission of the City of Garden Grove does hereby report as follows:

1. The subject case was initiated by Dr. Michael Dao.
2. The applicant is requesting approval of a one-year time extension for the approved entitlements under Site Plan No. SP-111-2022 and Tentative Parcel Map No. PM-2021-190, as modified by Minor Modification No. 1, which allow the consolidation of two (2) existing parcels into a single 1.86 acre parcel and the construction of a five-story mixed-use development on the 1.86-acre site consisting of 5,312 square feet of retail space, 3,548 square feet for an art gallery use, 10,745 square feet of medical space, and 52 apartment units.
3. On May 19, 2022, the Planning Commission adopted Resolution No. 6041-22 approving Site Plan No. SP-111-2022 and Tentative Parcel Map No. PM-2021-190 to allow the consolidation of two (2) existing parcels into a single 1.86 acre parcel, and the construction of a five-story mixed-use development on the 1.86-acre site consisting of 9,786 square feet of retail space, 9,270 square feet of medical space, and 52 apartment units. Pursuant to the state density bonus law, in exchange for reserving three (3) units for very-low income, the project qualifies for a density bonus, concessions, waivers, and reduced parking. On March 10, 2023, the Community and Economic Development Director approved Minor Modification No. 1 to Site Plan No. SP-111-2022 to authorize (1) a redesign to the elevator lobbies and enclosed stairwells to comply with the Building Code requirements for egress; (2) shifting the third floor commercial tenant space to align with the exterior building plane, along the south and west building elevations, and shifting and redesigning the exterior corridor used to access the commercial tenant space into an interior, enclosed corridor; (3) increasing the size of a roof garden located on the fourth floor, along the west building elevation, from two smaller passive roof gardens with a combined area of 918 square feet to one

passive roof garden with an area of 2,765 square feet; and (4) a modification to Condition of Approval No. 84 to change the allowable square footages of the retail and medical uses while continuing to provide the required number of parking spaces.

4. Pursuant to the California Environmental Quality Act ("CEQA"), the City of Garden Grove previously determined that the proposed project was categorically exempt from the CEQA pursuant to Section 15332 (In-Fill Development Projects) of the CEQA Guidelines (14 Cal. Code Regs., Section 15303). As set forth in the Class 32 exemption, the proposed project is: (1) consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations; (2) the proposed development occurs within City limits on a project site of no more than five acres substantially surrounded by urban uses; (3) the project site has no value as habitat for endangered, rare or threatened species; (4) approval of the project would not result in any significant effects relating to traffic, noise, air quality or water quality; and (5) the site can be adequately served by all required utilities and public services.
5. The property has a General Plan Land Use designation of Residential/Commercial Mixed Use 2 and is zoned GGMU-2 (Garden Grove Boulevard Mixed Use 2). The site is currently vacant. The property was previously occupied by a furniture store and a used car dealership business. The building structures associated with these uses were demolished in 2019.
6. Existing land use, zoning, and General Plan designation of property in the vicinity of the subject property have been reviewed.
7. Report submitted by City staff was reviewed.
8. Pursuant to a legal notice, a public hearing was held on June 20, 2024, and all interested persons were given an opportunity to be heard.
9. The Planning Commission gave due and careful consideration to the matter during its meeting of June 20, 2024; and

BE IT FURTHER RESOLVED, FOUND AND DETERMINED that the facts and reasons supporting the conclusion of the Planning Commission, as required under Municipal Code Section 9.32.030.D.9, are as follows:

FACTS:

The project site is comprised of two (2) parcels, with a combined land area of 1.86 acres, located on the northeast corner of Garden Grove Boulevard and Brookhurst

Street. The subject site has a General Plan Land Use designation of Residential/Commercial Mixed Use 2, and is zoned GGMU-2 (Garden Grove Boulevard Mixed Use 2). The Residential/Commercial Mixed Use 2 land use designation is intended to allow a mix of residential and commercial uses around older and underutilized commercial development, while the GGMU-2 zone allows for mixed-use developments.

The project site is located in an area developed with commercial and residential developments. The project site abuts a GGMU-2 zoned property to the north developed with a four-story office professional building and a one-story restaurant building; a Planned Unit Development (PUD-101-95) zoned residential development to the east, developed with 104 detached, three-story, residential homes; GGMU-3 zoned properties to the south, across Garden Grove Boulevard, developed with a Wienerschnitzel restaurant and an auto body shop; and PUD-123-09 zoned parcels to the west, across Brookhurst Street, entitled for the Brookhurst Triangle Project. The project site is also located in close proximity to two mixed-use projects: the Brookhurst Triangle Project and the Garden Brook Senior Village Project (10032 Garden Grove Boulevard).

On May 19, 2022, the Planning Commission approved Site Plan No. SP-111-2022 and Tentative Parcel Map No. PM-2021-190. The approval allowed the consolidation two (2) existing parcels into a single 1.86 acre parcel and the construction of a five-story mixed-use development on the 1.86-acre site consisting of 9,786 square feet of retail space, 9,270 square feet of medical office space, and 52 apartment units. Pursuant to the State Density Bonus law, in exchange for reserving three (3) of the apartment units for very low-income households, the applicant qualified for density bonus, concessions, and waivers and reduced parking.

On March 10, 2023, the Community and Economic Development Director approved Minor Modification No. 1 to Site Plan No. SP-111-2022 to redesign elevator lobbies and enclosed stairwells to comply with the Building Code requirements for egress; to shift the third floor commercial tenant space to align with the exterior building plane, along the south and west building elevations, and to shift and redesign the exterior corridor used to access the commercial tenant space into an interior, enclosed corridor; increasing the size of a roof garden located on the fourth floor, along the west building elevation, from two (2) smaller passive roof gardens; and to modify Condition of Approval No. 84 to change the allowable square footages of the retail and medical uses while continuing to comply with the required parking.

Under the State Subdivision Map Act, tentative maps expire two-years from the date the land use approval becomes effective. Condition of Approval No. 110 of SP-111-2022 and PM-2021-190 allowed the Site Plan to expire two years from the date the approval became effective to be consistent with the two-year expiration date of the Tentative Parcel Map. For this approval, the land use entitlements became effective on June 9, 2022 with a two-year expiration date of June 9, 2024.

On May 14, 2024, prior to the expiration of the subject entitlements, the applicant filed a land use application with the City requesting a one-year time extension of Site Plan No. SP-111-2022 and Tentative Parcel Map No. PM-2021-190.

In accordance with the Municipal Code, and because the approved entitlements were not yet exercised, the applicant is now requesting a one-year time extension for the previously approved entitlements.

FINDINGS AND REASONS:

Time Extension:

1. A request for a time extension, including the reasons therefore, has been submitted prior to the permit expiration date, or the hearing body finds that due to special circumstances demonstrated by the property owner or the applicant, a late-filed request should be considered.

The applicant submitted a timely request to extend the Site Plan and Tentative Parcel Map approvals of the subject project for one (1) year, prior to the entitlement expiration date of June 9, 2024. Project plans have been submitted to the City's Engineering Division and Building and Safety Division for review. The applicant has indicated that delays to the project construction have occurred due to the redesign of the project to address the building code requirements, in addition to residual impacts from the COVID pandemic. The applicant is requesting the time extension to finalize all plans and receive permits to commence with the project construction.

2. There has been no change in the General Plan designation or Zoning of the site that would render the development or use nonconforming.

The subject site's General Plan Land Use Designation of Residential/Commercial Mixed Use 2 and zoning of GGMU-2 (Garden Grove Boulevard Mixed Use 2) have not changed since the original approval May 19, 2022. Therefore, the development will not be rendered nonconforming.

3. There are no land use actions or studies currently underway that would have the potential to render the development or use nonconforming.

There are no known studies or actions that would affect the site or proposed development that would possibly render the development nonconforming.

INCORPORATION OF FACTS AND FINDINGS SET FORTH IN STAFF REPORT

In addition to the foregoing, the Planning Commission incorporates herein by this reference, the facts and findings set forth in the staff report.

BE IT FURTHER RESOLVED that the Planning Commission does conclude:

1. The Time Extensions for the approved Site Plan and Tentative Parcel Map do possess characteristics that would indicate justification of the request in accordance with Municipal Code Sections 9.32.030.D.9 (Time Extension).
2. In order to fulfill the purpose and intent of the Municipal Code, and, thereby, promote the health, safety, and general welfare, the originally approved conditions of approval for Site Plan No. SP-111-2022 and Tentative Parcel Map No. PM-2021-190, as modified pursuant to Minor Modification No. 1, shall remain in effect.

Adopted this 20th day of June 2024

ATTEST:

/s/ JOSH LINDSAY
CHAIR

/s/ JUDY MOORE
RECORDING SECRETARY

STATE OF CALIFORNIA)
COUNTY OF ORANGE) SS:
CITY OF GARDEN GROVE)

I, JUDY MOORE, Secretary of the City of Garden Grove Planning Commission, do hereby certify that the foregoing Resolution was duly adopted by the Planning Commission of the City of Garden Grove, California, at a meeting held on June 20, 2024, by the following vote:

AYES: COMMISSIONERS: (5) CUEVA, CUNNINGHAM, LARICCHIA,
LINDSAY, RAMIREZ

NOES: COMMISSIONERS: (0) NONE

ABSENT: COMMISSIONERS: (1) PAREDES

/s/ JUDY MOORE
RECORDING SECRETARY

PLEASE NOTE: Any request for court review of this decision must be filed within 90 days of the date this decision was final (See Code of Civil Procedure Section 1094.6).

A decision becomes final if it is not timely appealed to the City Council. Appeal deadline is July 11, 2024.

COMMUNITY DEVELOPMENT DEPARTMENT PLANNING STAFF REPORT

AGENDA ITEM NO.: C.2.	SITE LOCATION: Southwest corner of Katella Avenue and Euclid Street, at 10912 Katella Avenue
HEARING DATE: June 19, 2025	GENERAL PLAN: Residential / Commercial Mixed Use 2 (RC2)
CASE NO.: Conditional Use Permit No. CUP-259-2024 (TE1) (Time Extension No. 1)	ZONE: Neighborhood Mixed Use (NMU)
APPLICANT: Freedomhouse OC	APN: 089-010-34
PROPERTY OWNER(S): Same as applicant	CEQA DETERMINATION: N/A

REQUEST:

A request for a one-year time extension for the entitlements approved under Conditional Use Permit No. CUP-259-2024, to operate a new religious facility, including, church services, an accredited Bible college, and a child day care within an existing 46,287 square-foot tenant space.

BACKGROUND:

The subject property is located within a commercial shopping center on the southwest corner of Katella Avenue and Euclid Street, at 10912 Katella Avenue. The shopping center is comprised of multiple properties, totaling approximately 16 acres, with reciprocal access across the properties. The property under consideration is approximately 4.99 acres at the southeast corner of the shopping center, and is currently improved with an approximately 46,287 square-foot building, 344 parking spaces, trash enclosures, landscaping, and other site features. The subject tenant space occupies the entirety of the 46,287 square-foot building.

The site has a General Plan Land Use Designation of RC2 (Residential/Commercial Mixed-Use 2) and is zoned NMU (Neighborhood Mixed Use). The subject site abuts R-3 (Multiple-Family Residential) zoned properties to the south, and NMU zoned properties to the west. To the north, across Katella Avenue, and to the east, across Euclid Street, the subject site is adjacent to commercial and residential properties located in the City of Anaheim.

On April 18, 2024, the Planning Commission approved Conditional Use Permit No. CUP-159-2024. The approval allowed the religious facility with church services, an accredited Bible college, a child day care, a café, and a bookstore, and also revoked Conditional Use Permit Nos. CUP-120-83, CUP-422-98, and CUP-367-13, which previously governed the use of the property.

In accordance with the Municipal Code, and Condition of Approval No. 62, Conditional Use Permit No. CUP-259-2024 was to expire one (1) year from the date the land use approval became effective. The land use entitlements became effective on May 10, 2024, with a one-year expiration date of May 10, 2025.

On April 24, 2025, prior to the expiration of the subject Conditional Use Permit entitlement on May 10, 2025, the applicant filed a land use permit application with the City, requesting a one-year time extension of Conditional Use Permit No. CUP-159-2024.

In accordance with the Municipal Code, and because the approved Conditional Use Permit land use entitlement was not yet exercised, the applicant is now requesting a one-year time extension for the previously approved Conditional Use Permit entitlement. No changes are proposed to the previously approved project.

TIME EXTENSION:

Conditional Use Permit No. CUP-259-2024 went into effect on May 10, 2024 with an expiration date of May 10, 2025. The applicant filed an application with the City for a time extension request (Time Extension No. 1) on April 24, 2025, prior to the entitlements expiring.

The applicant has made a concerted effort to obtain building permits for the proposed tenant improvements. Building plans have been submitted to the City for plan check review, and are currently progressing through the plan check process. Permits have yet to be issued, and construction has not commenced. Therefore, the Conditional Use Permit approval has not yet been exercised. The requested time extension would give the applicant adequate time to work through their design and construction delays. It is anticipated that the plans would be approved, and the permits would be issued within the next year.

Title 9 of the Municipal Code allows for a one (1) year time extension for approved entitlements, provided that the Planning Commission finds that: (a) the request for the time extension was submitted prior to the permit expiration date, (b) there has been no change in the general plan designation or zoning of the site, and (c) there is no land use action or study currently underway that would have the potential to render the development nonconforming.

The applicant submitted the time extension application prior to the expiration of the Conditional Use Permit entitlement. In addition, the General Plan Land Use Designation and the zoning of the property have remained the same, and there are no pending land use actions or studies that would have the potential to render the approved development nonconforming. As such, the proposed project use still conforms to the General Plan and zoning designations of the property. No changes are proposed to the previously approved project. Therefore, the subject request is in compliance with Municipal Code standards for time extensions.

Approval of the subject one-year time extension would establish a new expiration date of May 10, 2026.

CEQA:

As a part of their approval in 2024, the Planning Commission determined that the project was categorically exempt from the California Environmental Quality Act, pursuant to CEQA Guidelines Section 15301 (Existing Facilities). No changes are proposed to the project that was previously approved, and no further environmental review is required.

RECOMMENDATION:

Staff recommends that the Planning Commission take the following action:

1. Adopt Resolution No. 6122-25 approving a one-year time extension for Conditional Use Permit No. CUP-259-2024 (referred to as CUP-259-2025 (TE1)).



Maria Parra
Planning Services Manager



By: Priit Kaskla, AICP
Associate Planner

- Attachment 1: Vicinity Map
Attachment 2: Planning Commission Staff Report dated April 18, 2024
Attachment 3: Planning Commission Resolution of Approval dated April 18, 2024 with Exhibit "A" Final Conditions of Approval
Attachment 4: Planning Commission Resolution No. 6122-25

10912 Katella Avenue
Freedomhouse OC Church

CUP-259-2024 (TE1)
CITY OF GARDEN GROVE, CA

ATTACHMENT 1

Dino Cir

NMU

Euclid St

Dudley Ave

W Dudley Ave

Palma Vista Ave

Palma Vista Ave

Euclid St

R-1-7

R-1-7

Fostoria St

R-1-7

R-1-7

Lida St

R-3

R-3

0 50 100 200 300 400 Feet

N

R-1-7

COMMUNITY DEVELOPMENT DEPARTMENT PLANNING STAFF REPORT

AGENDA ITEM NO.: C.1	SITE LOCATION: Southwest corner of Katella Avenue and Euclid Street, at 10912 Katella Avenue
HEARING DATE: April 18, 2024	GENERAL PLAN: Residential / Commercial Mixed Use 2 (RC2)
CASE NOS.: Conditional Use Permit No. CUP-259-2024	ZONE: Neighborhood Mixed Use (NMU)
APPLICANT: Freedomhouse OC	APN: 089-010-34
PROPERTY OWNER: GL Katella, LLC	CEQA DETERMINATION: Exempt – Existing Facilities – 15301

REQUEST:

A request for Conditional Use Permit Approval to operate a new religious facility, including, church services, an accredited bible college, and a child day care within an existing 46,287 square-foot tenant space, located at 10912 Katella Avenue. In conjunction with this request, City staff recommends the Planning Commission revoke all previous Conditional Use Permits governing the site.

BACKGROUND:

The subject property is located within a commercial shopping center on the southwest corner of Katella Avenue and Euclid Street, at 10912 Katella Avenue. The shopping center is comprised of multiple properties, totaling approximately 16 acres, with reciprocal access across the properties. The shopping center currently includes Gold's Gym, Auto Zone, McDonald's, Carl's Junior, Dollar Tree, and a variety of smaller, inline tenants. The property under consideration is approximately 4.99 acres at the southeast corner of the shopping center, and is currently improved with an approximately 46,287 square-foot building, 344 parking spaces, trash enclosures, landscaping, and other site features. The subject tenant space occupies the entirety of the 46,287 square-foot building.

The site has a General Plan Land Use Designation of RC2 (Residential/Commercial Mixed-Use 2) and is zoned NMU (Neighborhood Mixed Use). The subject site abuts R-3 (Multiple-Family Residential) zoned properties to the south, and NMU zoned properties to the west. To the north, across Katella Avenue, and to the east, across Euclid Street, the subject site is adjacent to commercial and residential properties located in the City of Anaheim.

The subject building was originally constructed in 1957, as a Food Giant supermarket. The building was subsequently occupied by a variety of grocery stores until 1979. In 1980, the building was remodeled to accommodate a Pep Boys auto service business on the eastern half of the building (Unit A). The western half of the building was subdivided into two (2) additional tenant spaces. Initially, one space was occupied by Leo's Stereo retail store (Unit C), and Peter Piper Pizza restaurant (Unit B).

In 1983, Conditional Use Permit No. CUP-120-83 was approved to allow for Peter Piper Pizza to operate as a restaurant/arcade.

In 1992, the City approved Conditional Use Permit No. CUP-128-92, to allow the operation of a new restaurant/arcade, PizzaCade, and to operate with an Alcoholic Beverage Control Type "41" (On-Sale, Beer and Wine) License in Unit B. Later, in 1993, the City approved Conditional Use Permit No. CUP-128-92, Revised 93 to expand the maximum allowable of video arcade games within the restaurant.

PizzaCade operated until 1997. In 1998, the City revoked Conditional Use Permit No. CUP-128-92, Revised 93.

Later in 1998, Conditional Use Permit No. CUP-422-98 was approved to allow the operation of a new family entertainment center, Nickel Nickel 5 Cent Games, in Unit B. Following a six-month trial period, the conditions of approval for CUP-422-98 were modified to allow for expanded operating hours.

In 2012, tenant improvement permits were issued to convert the entirety of the building into a Walmart Neighborhood Market grocery store. In 2013, Conditional Use Permit No. CUP-367-13 was approved to allow the existing grocery store to operate with a new original ABC Type "21" (Off-Sale, General) License. The grocery store operated until 2022. The building has since remained vacant.

The applicant is now requesting a new Conditional Use Permit to operate a religious facility with church services, within the subject building. In addition to church services, incidental activities and functions of the facility will include an accredited bible college, a child day care, a café, and a bookstore. Section 9.18.020.030 of the Municipal Code requires newly established religious facilities, daycares, and educational institutions to operate with a Conditional Use Permit in the NMU zone. Additionally, Conditional Use Permit Nos. CUP-120-83, CUP-422-98, and CUP-367-13, which previously governed the site, will be revoked, and become null and void.

CONDITIONAL USE PERMIT

"Church and Other Religious Centers," daycares, and educational institutions are conditionally permitted in the NMU zone. Additionally, "Church and Other Religious

Centers” are subject to Special Operating Conditions and Development Standards listed within Section 9.18.030.120 of the Municipal Code, which include: required setbacks, lighting, and lot frontage requirements. The existing building and subject site meet these requirements of the Municipal Code. A summary of these standards is provided in the table below.

Municipal Code Section 9.18.030.120 (Churches and Other Religious Centers)			
Standard	Required	Provided	Meets Code?
Front Yard Setback - Building	15'-0"	123'-6"	Yes
Front Yard Setback - Parking	15'-0"	15'-4"	Yes
Proximity to "R" Zoned Property	25'-0"	70'-0"	Yes
Site Frontage	120'-0"	App. 608'-6"	Yes
Lighting	Shield lighting from adjoining premises	All lighting shielded	Yes

There are no modifications to the overall footprint of the existing building as a part of this request. The project scope includes tenant improvements to convert the interior of the existing building from a retail use to the requested religious facility, and the conversion of existing outdoor storage space into an outdoor playground area. Included in the proposed floor plan is a lobby, a main auditorium, classrooms, daycare rooms, a kitchen, a dining hall, restrooms, and ancillary storage and office spaces.

The religious facility will feature a variety of activities, all operating as Freedomhouse OC. Freedomhouse OC currently operates two other religious facilities, one in Fullerton, and one in Irvine. The proposed facility will operate as a third location. A traditional church service function will occur at multiple times on Sundays, at 8:30 a.m. and 10:00 a.m. Services will be held in the main auditorium, which seats 1,032 attendees, toward the west side of the building. A bible study will occur on Wednesday nights from 7:00 p.m. to 9:00 p.m.

Also included in the operation of the facility, is the Freedomhouse Bible College. The bible college is an accredited three-year in-person and online program, offering Associates Degrees in Biblical Studies. The bible college will operate from Tuesday to Friday, between the hours of 6:30 p.m. and 9:00 p.m. Classes will be held in four (4) classrooms, toward the center of the building. Concurrent with the operating hours of the bible college is the café and bookstore in the main lobby, closest to the main entrance of the building. This space will operate from 5:00 p.m. to 9:30 p.m., Tuesday to Friday.

Freedomhouse OC will also operate a State-licensed daycare facility for children between the ages of 9 months and 5 years old. The daycare will operate between 7:00 a.m. to 5:30 p.m. Monday to Friday. The daycare features a lobby area for drop-off/pick-up, five (5) daycare rooms, restrooms, and associated storage areas,

all on the eastern side of the building. An outdoor playground area is adjacent to the daycare and features shade areas and play areas for children.

State laws applicable to child care centers, administered and regulated by the California Department of Social Services (CDSS), require a minimum amount of indoor and outdoor activity space. For indoor activity space, a minimum of 35 square foot per child is required. For outdoor activity space, a minimum of 75 square feet per child is required.

The applicant has proposed to operate the daycare with a maximum capacity of 75 children at any one time. Therefore, the minimum amount of indoor activity space is 2,625 square feet (35 square feet per child). The daycare will provide a total of 2,625 square feet of indoor activity space, meeting the minimum required by CDSS.

The minimum outdoor activity space required is 5,625 square feet (75 square feet per child). The daycare will provide a total of 2,364 square feet of outdoor activity space in an existing outdoor space that was previously used for storage, on the east side of the building. The outdoor space provided is less than the minimum required by CDSS. The applicant has coordinated with CDSS to obtain a waiver of the minimum outdoor activity space requirement. To allow the waiver, no more than thirty-one (31) children occupy the outdoor playground at any one time. The daycare will establish a staggered schedule of outdoor play times for all classrooms to comply with this requirement.

As part of the approval of Conditional Use Permit No. CUP-259-2024, a Condition of Approval (Condition No. 35) has been included to specify that the maximum enrollment capacity of 75 children, contemplated and approved under CUP-259-2024, is contingent upon the applicant obtaining final approval and acknowledgement in writing of a waiver from the California Department of Social Services (CDSS) for any indoor or outdoor activity space(s), including any other applicable requirements by CDSS, prior to commencement of operation of the daycare. Provided the applicant has successfully obtained the necessary waiver for indoor and/or outdoor activity space, along with the State license for the daycare facility, the facility is permitted a maximum enrollment capacity of 75 children, as proposed.

In the event that the applicant is unable to obtain approval of a waiver from CDSS from any applicable State law requirements, including those related to minimum indoor and/or outdoor activity spaces, that would preclude the proposed maximum enrollment capacity of 75 children, the applicant shall limit the maximum number of children for the daycare, as required and stipulated by the approved State license for the facility. At no time, nor under any circumstance, shall the facility exceed a maximum capacity of 75 children, unless the applicant has obtained necessary approval to modify the existing Conditional Use Permit or obtain approval of a new Conditional Use Permit, as determined by the Community Development Department and approved by the appropriate hearing body.

All of the proposed activities on-site will be incidental to the use of the property for "Church and Other Religious Centers," as classified by the Municipal Code. Should Freedomhouse OC ever cease church services, the associated activities, including the bible college, daycare, and bookstore/café shall also cease operations. The project has been conditioned as such. A weekly schedule of all Freedomhouse OC activities is provided below.

Freedomhouse OC Proposed Daily Operation		
Day	Time	Activity
Monday	7:00 a.m. to 5:30 p.m.	Daycare
Tuesday	7:00 a.m. to 5:30 p.m.	Daycare
	6:30 p.m. to 9:00 p.m.	Bible College
	5:00 p.m. to 9:30 p.m.	Café/Bookstore
Wednesday	7:00 a.m. to 5:30 p.m.	Daycare
	6:30 p.m. to 9:00 p.m.	Bible College
	7:00 p.m. to 9:00 p.m.	Bible Study
	5:00 p.m. to 9:30 p.m.	Café/Bookstore
Thursday	7:00 a.m. to 5:30 p.m.	Daycare
	6:30 p.m. to 9:00 p.m.	Bible College
	5:00 p.m. to 9:30 p.m.	Café/Bookstore
Friday	7:00 a.m. to 5:30 p.m.	Daycare
	6:30 p.m. to 9:00 p.m.	Bible College
	5:00 p.m. to 9:30 p.m.	Café/Bookstore
Saturday	N/A	N/A
Sunday	8:30 a.m.	Church Service
	10:00 a.m.	Church Service

California State Assembly Bill 2097 (AB 2097) became effective on January 1, 2023, and prohibits cities from imposing minimum parking requirements for commercial uses that are located within one-half ($\frac{1}{2}$) mile of a major transit stop. The subject project site is located within one-half ($\frac{1}{2}$) mile of the major transit stop at the intersection of Katella Avenue and Euclid Street. While the project proposes to maintain and utilize the existing 344 parking spaces for use by its patrons and to support its operation, the applicant is invoking the provisions of AB 2097, exempting the proposed facility from the minimum parking requirements of the City's Municipal Code. Therefore, the parking requirements of the State law are met.

Per Garden Grove Municipal Code Section 9.18.140.030, minimum parking requirements for religious facilities are based on a standard of one (1) parking space per three (3) fixed seats in sanctuary/assembly areas, plus one (1) space per 250 square feet of ancillary use areas. Based on these standards, the fixed seating area requires 344 parking spaces, and the ancillary use areas require 145 parking spaces, for a total of 489 parking spaces. The property currently provides 344 parking spaces, a 145 parking space (29.6%) deficiency.

As a goodwill gesture, the applicant hired KOA, a licensed traffic engineering firm, to conduct a parking demand study for the shopping center that includes the subject property. The subject property does feature reciprocal access to the parking lots on the adjacent properties to the west and the north. Based on the findings of the study, there is an anticipated surplus of 186 spaces on Sunday mornings, during church

service times. During weekdays, there is an anticipated 485-space surplus during the morning and afternoon hours, and 196-space surplus in the evening. While ineligible for a parking management plan by Municipal Code standards, and the project being exempt from the City's minimum parking requirements pursuant to AB 2097, the site is expected to have surplus parking available during all operating hours.

Based on City standards, a Transportation Study was also prepared by KOA. Based on the results of their findings, the project is not expected to have any significant impacts on traffic and/or adjacent roadways. The City's Engineering Division has also reviewed the report, and concurred with its findings.

CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)

CEQA's Class 1 exemption applies to the operation, repair, maintenance, permitting, leasing, licensing, and minor alterations of existing facilities, with negligible or no expansion of use (CEQA Guidelines §15301.). The subject request for the operation of the religious facility does not involve any physical expansion of the existing building. The subject request does not involve any new building square footage, and the proposed construction involves only alterations to the interior of the existing building, and the creation of an exterior playground. Therefore, the proposed project is exempt from CEQA.

RECOMMENDATION:

Staff recommends that the Planning Commission take the following action:

1. Adopt Resolution No. 6085-24 approving Conditional Use Permit No. CUP-259-2024, subject to the recommended Conditions of Approval, and revoking all previous Conditional Use Permits Governing use of the subject site.

Maria Parra
Planning Services Manager

By: Priit Kaskla, AICP
Associate Planner

Attachment 1: Vicinity Map
Attachment 2: Plans
Attachment 3: Traffic and Parking Memo
Attachment 4: Transportation Study
Attachment 5: Resolution No. 6085-24 with Exhibit "A" – Conditions of Approval

RESOLUTION NO. 6085-24

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF GARDEN GROVE APPROVING CONDITIONAL USE PERMIT NO. CUP-259-2024, FOR A PROPERTY LOCATED ON THE SOUTHWEST CORNER OF KATELLA AVENUE AND EUCLID STREET, AT 10912 KATELLA AVENUE, ASSESSOR'S PARCEL NO. 089-010-34, AND REVOKING ALL PREVIOUS CONDITIONAL USE PERMITS GOVERNING USE OF THE SITE.

BE IT RESOLVED that the Planning Commission of the City of Garden Grove, in a regular session assembled on April 18, 2024, hereby approves Conditional Use Permit No. CUP-259-2024, and revokes Conditional Use Permit Nos. CUP-120-83, CUP-422-98 and CUP-367-13, for a property located on the southwest corner of Katella Avenue and Euclid Street, at 10912 Katella Avenue, Assessor's Parcel No. 089-010-34, subject to the conditions of approval attached hereto as Exhibit "A".

BE IT FURTHER RESOLVED in the matter Conditional Use Permit No. CUP-259-2024, the Planning Commission of the City of Garden Grove does hereby report as follows:

1. The subject case was initiated by Freedomhouse OC with authorization from the property owner, GL Katella, LLC.
2. The applicant requests Conditional Use Permit approval to operate a new religious facility, including, church services, an accredited bible college, and a child day care, all within an existing 46,287 square-foot tenant space. In conjunction with this request, the City recommends that the Planning Commission revoke Conditional Use Permit Nos. CUP-120-83, CUP-422-98 and CUP-367-13, which previously governed the use of the property.
3. The City of Garden Grove Planning Commission hereby determines that the proposed project is categorically exempt from review under the California Environmental Quality Act ("CEQA") pursuant to Section 15301 (Existing Facilities) of the State CEQA Guidelines (14 Cal. Code Regs., Section 15301).
4. The property has a General Plan Land Use Designation of Residential/Commercial Mixed Use 2 (RC2) and is zoned Neighborhood Mixed Use (NMU). The site is currently improved with a 46,287 square-foot commercial building, parking lot, landscaping, and associated site improvements.
5. Existing land use, zoning, and General Plan designation of property in the vicinity of the subject property have been reviewed.
6. Report submitted by the City staff was reviewed.
7. Pursuant to a legal notice, a public hearing was held on April 18, 2024, and all interested persons were given an opportunity to be heard.

8. The Planning Commission gave due and careful consideration to the matter during its meeting on April 18, 2024.

BE IT FURTHER RESOLVED, FOUND AND DETERMINED that the facts and reasons supporting the conclusion of the Planning Commission, as required under Municipal Code Section 9.04.030 are as follows:

FACTS:

The subject property is located within a commercial shopping center on the southwest corner of Katella Avenue and Euclid Street, at 10912 Katella Avenue. The shopping center is comprised of multiple properties, each with reciprocal access. The property under consideration is an approximately 4.99-acre site, at the southeast corner of the shopping center. The property is currently improved with an approximately 46,287 square-foot building, a parking lot, trash enclosures, landscaping, and other site features.

The site has a General Plan Land Use Designation of RC2 (Residential/Commercial Mixed-Use 2) and is zoned NMU (Neighborhood Mixed Use). The subject site abuts R-3 (Multiple-Family Residential) zoned properties to the south, and NMU zoned properties to the west. To the north, across Katella Avenue, and to the east, across Euclid Street, the subject site is adjacent to commercial and residential uses in the City of Anaheim.

The subject building was originally constructed in 1957, and has been used by a variety of retail and restaurant uses in the subsequent years. Most recently, the building was occupied by the Walmart Neighborhood Market, which ceased operations in 2022.

“Church and Other Religious Centers” are conditionally permitted in the NMU zone, and are subject to Special Operating Conditions and Development Standards listed within Section 9.18.030.120 of the Municipal Code, which include: required setbacks, lighting, and lot frontage requirements. The existing building and subject site meet these requirements of the Municipal Code. Child day care centers and educational institutions are also conditionally permitted uses in the NMU zone.

There are no modifications to the overall footprint of the existing building as a part of this request. The project scope includes tenant improvements to convert the existing building to the requested religious facility, and the conversion of outdoor storage space into an outdoor playground area. Included in the proposed floor plan is a lobby, a main auditorium, classrooms, daycare rooms, a kitchen, a dining hall, restrooms, and ancillary storage and office spaces.

The religious facility will feature a variety of activities, all operating as Freedomhouse OC. A traditional church service will occur on Sundays, at 8:30 a.m. and 10:00 a.m.

Services will be held in the main auditorium, which seats 1,032 attendees. A bible study will occur on Wednesday nights from 7:00 p.m. to 9:00 p.m.

Also included in the operation of the facility is an accredited bible college, which will operate from Tuesday to Friday, between the hours of 6:30 p.m. and 9:00 p.m. Classes will be held in four (4) classrooms. Concurrent with the operating hours of the bible college is the café and bookstore in the main lobby. This space will operate from 5:00 p.m. to 9:30 p.m., Tuesday to Friday.

Freedomhouse OC will also operate a State-licensed daycare facility for children between the ages of 9 months and 5 years old. The daycare will operate between 7:00 a.m. to 5:30 p.m. Monday to Friday. The daycare will be limited to a maximum enrollment of 75 children at any one time. The daycare features a lobby area for pick-up/drop-off, five (5) daycare rooms, restrooms, and associated storage areas. Adjacent to the daycare area is an approximately 2,364 square-foot outdoor playground area, featuring shade and play areas.

Per Garden Grove Municipal Code Section 9.18.140.030, minimum parking requirements for religious facilities are based on a standard of one (1) parking space per three (3) fixed seats in sanctuary/assembly areas, plus one (1) space per 250 square feet of ancillary use areas. Based on these standards, the fixed seating area requires 344 parking spaces, and ancillary use areas require 145 parking spaces, for a total of 489 parking spaces. The property currently provides 344 parking spaces, a 145 parking space (29.6%) deficiency.

California State Assembly Bill 2097 (AB 2097) became effective on January 1, 2023, and prohibits cities from imposing minimum parking requirements for commercial uses that are located within one-half (½) mile of a major transit stop. The subject project site is located within one-half (½) mile of the major transit stop at the intersection of Katella Avenue and Euclid Street. While the project proposes to maintain and utilize the existing 344 parking spaces for use by its patrons and to support its operation, the applicant is invoking the provisions of AB 2097, exempting the proposed facility from the minimum parking requirements of the City's Municipal Code.

A parking demand study for the shopping center was prepared for the project. Based on the findings of the study, there is an anticipated surplus of 186 spaces on Sunday mornings, during church service times. During weekdays, there is an anticipated 485-space surplus during the morning and afternoon hours, and 196-space surplus in the evening. While the project is exempt from the City's minimum parking requirements pursuant to AB 2097, the site is expected to have surplus parking available during all operating hours.

FINDINGS AND REASONS:

1. The proposed use will be consistent with the City's adopted General Plan.

The property has a General Plan Land Use designation of RC2 (Residential/Commercial Mixed Use 2), and is zoned NMU (Neighborhood Mixed Use). The RC2 designation is intended to provide for a mix of residential and commercial uses mostly around older underutilized, multi-tenant commercial developments. The purpose of the NMU zone is to enhance, revitalize, and provide opportunities for new development in neighborhood commercial centers. Church and Other Religious Center, Daycare, and Educational Institution uses are conditionally permitted uses in the NMU zone. As a religious use with ancillary activities, the proposed use serves both a local and regional need. Further, the proposed Project is consistent with several General Plan goals, policies, and implementation programs, including specifically:

Goal LU-1 The City of Garden Grove is a well-planned community with sufficient land uses and intensities to meet the needs of anticipated growth and achieve the community's vision. The subject site was originally developed in 1957, and has been used by a variety of commercial retail uses since. As of 2022, the building has sat vacant. The proposed use will fill a vacancy at a prominent location, and help serve the anticipated growth of the community. The project complies with the Special Operating Conditions and Development Standards of the Municipal Code for Churches and Other Religious Centers. Additionally, the project will meet all applicable Municipal Code and state regulations pertaining to daycares and educational institutions. Therefore, the proposed use contributes to its surroundings, and can help the City meet the needs of the growing community.

Policy LU-2.1 Protect residential areas from the effects of potentially incompatible uses. Where new commercial or industrial development is allowed adjacent to residentially zoned districts, maintain standards for circulation, noise, setbacks, buffer areas, landscaping, and architecture which ensure compatibility between the uses. The existing development shares a property line with R-3 (Multiple-Family Residential) zoned properties to the south. The building is separated from the residential properties by a 70'-0" setback. From the southerly property line of the subject site, there is an additional approximately 25'-0" setback to the nearest residential housing units to the south. The existing site designs will provide an adequate buffering area, of approximately ninety-five feet (95'-0"), between the religious facility and any existing residential units. Landscaped setback areas, drive aisles, trash enclosures, and other equipment provide separation from the proposed religious facility use to the residential units. These separations help maintain compatibility between the two uses.

Policy LU-2.4 Assure that the type and intensity of land use shall be consistent with that of the immediate neighborhood. The site is located within a neighborhood that has a mix of different uses and development patterns, including residential, retail, restaurant, service station, and personal service

businesses. The proposed new use will not change the existing character of the subject site, or the larger commercial center of which it is a part of. Religious center, daycare, and educational institution uses are compatible with these adjacent uses. Furthermore, provided the conditions of approval are adhered to for the life of the project, the use will be compatible with other adjacent uses.

Goal LU-4 Uses compatible with one another. The proposed use is a new religious center, which allows for church services, a bible college, a child daycare, and a café/bookstore. Adjacent to the property are a variety of residential, retail, restaurant, service station, and personal service businesses. Religious facility, daycare, and educational institution uses are compatible with these other uses. Furthermore, provided the conditions of approval are adhered to for the life of the project, the use will be compatible with other adjacent uses.

Goal LU-5 Economically viable, vital, and attractive commercial centers throughout the City that serve the needs of the community. Church and Other Religious facility, daycare, and educational institution uses can enhance the vitality of the City's commercial centers. The proposed Conditional Use Permit would allow for the establishment of a new religious facility in an otherwise vacant tenant space. The proposed use can enrich the community by providing a new service for residents in a currently vacant building.

Goal LU-6.2 Encourage a mix of retail and commercial services along major corridors and in centers to meet the community's needs. The subject site is located on the southwest corner of Katella Avenue and Euclid Street. Both streets are classified as primary arterials. The subject request for a Conditional Use Permit would allow for the establishment of a new religious facility, with an associated daycare and educational institution. With the subject request, the proposed use will further enhance the variety of commercial and personal services already in the area. By approving the subject request, the commercial facilities centered at the intersection of Katella Avenue and Euclid Street, would provide a variety of commercial services to meet the community's needs.

Goal ED-2 The City must attract new businesses, while supporting and assisting those already located with Garden Grove. The proposed Conditional Use Permit will allow for a new religious center, which allows for church services, a bible college, a child daycare, and a café/bookstore. The Conditional Use Permit would allow for the establishment of a new religious facility, with an associated daycare and educational institution, in Garden Grove, providing additional capacity and services to residents. Should the Conditional Use Permit be approved, the City is providing a business the opportunities they need to be successful.

2. The requested use at the location proposed will not: adversely affect the health, peace, comfort, or welfare of the persons residing or working in the surrounding area, or unreasonably interfere with the use, enjoyment, or valuation of the property of other persons located in the vicinity of the site, or jeopardize, endanger, or otherwise constitute a menace to public health, safety, or general welfare.

The proposed religious facility, with the associated daycare and educational institution, use will not adversely affect the health, peace, comfort or welfare of persons residing or working in the surrounding area. Nor will the project interfere with the use, enjoyment, or valuation of the nearby properties, or constitute a menace to public health, safety, or general welfare. The proposed use will establish a new religious center, which will include church services, an accredited bible college, a child day care, and a café/bookstore. The proposed Conditions of Approval will help ensure the use does not adversely affect the adjacent neighborhood. In the event problems arise concerning the operation of this facility, the hours of operation may be reduced by order of the Police Department.

3. The proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in this title or as is otherwise required in order to integrate such use with the uses in the surrounding area.

There are no proposed alterations to the overall function of the site, with changes only proposed to the interior of the buildings, and the conversion of an existing outdoor storage space into a playground. The existing building has previously been developed as a part of an integrated shopping center, which integrated well into the surrounding community. There have not been any issues regarding the site's landscaping, walls, parking, or other development features.

Furthermore, a parking demand study and a transportation study, prepared by a licensed traffic engineering firm, evaluated the existing parking demand of the shopping center and project's potential impacts to traffic and adjacent roadways. The studies concluded that the site is expected to have a surplus of 186 spaces on Sunday mornings, during church service times, a 485-space surplus during weekday morning and afternoon hours, and a 196-space surplus during weekday evenings. Provided the proposed use operates per the conditions of approval, then the site, with the existing site improvements, is adequate to accommodate the proposed use within the surrounding area.

4. The proposed site is adequately served: by highways or streets or sufficient width and improved as necessary to carry the kind and quantity of traffic such as to be generated, and by other public or private service facilities as required.

The subject site is located on the southwest corner of Katella Avenue and Euclid Street. The site is adequately served by Euclid Street with three (3) driveway approaches. The site also features reciprocal access to the adjacent shopping center properties, also connecting to Katella Avenue. The site is also adequately served by the public service facilities required, such as: gas, electric, water, and sewer facilities. As a part of this request, only conversions of existing building and outdoor storage space are proposed. Therefore, the site will continue to be adequately served by all existing highways, streets, and other public and private service facilities.

INCORPORATION OF FACTS AND FINDINGS SET FORTH IN STAFF REPORT

In addition to the foregoing, the Planning Commission incorporates herein by this reference, the facts and findings set forth in the staff report.

BE IT FURTHER RESOLVED that the Planning Commission does conclude:

1. The Conditional Use Permit possesses characteristics that would justify the request in accordance with Municipal Code Section No. 9.32.030 (Conditional Use Permit).
2. In order to fulfill the purpose and intent of the Municipal Code and thereby promote the health, safety, and general welfare, the attached Conditions of Approval (Exhibit "A") shall apply to Conditional Use Permit No. CUP-259-2024.

Adopted this 18th day of April 2024

ATTEST:

/s/ JOSH LINDSAY
CHAIR

/s/ JUDITH MOORE
RECORDING SECRETARY

STATE OF CALIFORNIA)
COUNTY OF ORANGE) SS:
CITY OF GARDEN GROVE)

I, JUDITH MOORE, Secretary of the City of Garden Grove Planning Commission, do hereby certify that the foregoing Resolution was duly adopted by the Planning Commission of the City of Garden Grove, California, at a meeting held on April 18, 2024, by the following vote:

Resolution No. 6085-24

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AYES: COMMISSIONERS: (5) CUNNINGHAM, LARICCHIA, LINDSAY,
PAREDES, RAMIREZ
NOES: COMMISSIONERS: (0) NONE
ABSENT: COMMISSIONERS: (2) ARBGAST, CUEVA

/s/ JUDITH MOORE _____
RECORDING SECRETARY

PLEASE NOTE: Any request for court review of this decision must be filed within 90 days of the date this decision was final (See Code of Civil Procedure Section 1094.6).

A decision becomes final if it is not timely appealed to the City Council. Appeal deadline is May 9, 2024.

EXHIBIT "A"**Conditional Use Permit No. CUP-259-2024**

10912 Katella Avenue

CONDITIONS OF APPROVAL**GENERAL CONDITIONS**

1. The applicant and each owner of the property shall execute, and the applicant shall record a "Notice of Agreement with Conditions of Approval and Discretionary Permit of Approval," as prepared by the City Attorney's Office, on the property. Proof of such recordation is required within 30 days of the approval.
2. All Conditions of Approval set forth herein shall be binding on and enforceable against each of the following, and whenever used herein, the term "applicant" shall mean and refer to the project applicant, the owner(s) and tenant(s) of the property, and each of their respective successors and assigns, including all subsequent purchasers and/or tenants. The applicant and subsequent owner/operators of such business shall adhere to the conditions of approval for the life of the project, regardless of property ownership. Any changes of the conditions of approval require approval by the applicable City hearing body, except as otherwise provided herein.
3. Conditional Use Permit No. CUP-259-2024 only authorizes the operation of a "Church and Other Religious Center," with an associated daycare and bible college, on a property located at 10912 Katella Ave, as depicted on the plans submitted by the applicant and made part of the record on the April 18, 2024, Planning Commission proceedings, and operation of the following incidental uses in conjunction with the Church and Other Religious Center: (i) a child day care center; (ii) an accredited bible college; and (iii) a café and bookstore. This Conditional Use Permit does not authorize the independent operation of any of the foregoing incidental uses on the property separate from the primary use of the property as a Church or Religious Center; in the event operation of the religious facility on the property ceases, operation of the approved incidental uses shall also cease. Approval of this Conditional Use Permit shall not be construed to mean any waiver of applicable and appropriate zoning and other regulations; and wherein not otherwise specified, all requirements of the City of Garden Grove Municipal Code shall apply.
4. Minor modifications to the approved site plan, floor plan, and/or these Conditions of Approval may be approved by the Community Development Department Director, in his or her discretion. Proposed modifications to the approved site plan, floor plan, or Conditions of Approval that would result in the intensification of the project, or create impacts that have not been previously addressed and which are determined by the Community

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Development Department Director not to be minor in nature shall be subject to approval of new and/or amended land use entitlements by the applicable City hearing body.

5. All conditions of approval shall be implemented at the applicant's expense, except where specified in the individual condition.

Orange County Fire Authority

6. The applicant shall comply with all applicable Orange County Fire Authority (OCFA) requirements, including, but not limited to, the Fire Master Plan.

Engineering Division

7. To the extent applicable, the applicant shall be subject to Traffic Mitigation Fees, identified in Chapter 9.44 of the Garden Grove Municipal Code, if any. The amount of said fees shall be calculated based on the City's current fee schedule at the time of permit issuance.

Building and Safety Division

8. All work shall comply with the latest edition of the California (CA) Building Standards Code (CBC) at time of permit application.
9. A fire sprinkler system shall be provided per the latest edition of CBC Chapter 9.
10. The applicant shall provide a Code Analysis to determine that the proposed Construction Type will accommodate the intended Occupancy Groups in the proposed area. Also, the plans shall indicate occupant loads and show sufficient exits per CBC Chapter 10.
11. The applicant shall provide sufficient documentation allowing for any new or existing door opening(s) along the west property line. Alternatively, the applicant shall show compliance with exiting requirements of the CBC with the elimination of any new or existing door opening(s) along the west property line.
12. The applicant shall indicate on the plans that the scope of work will include a seismic upgrade to Occupancy Category Code III per CBC 1604, or an analysis showing existing compliance with the increased requirements.
13. The applicant shall comply with all applicable accessible vehicle parking and CALGreen EV parking stall requirements.

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Police Department

14. Any violations or noncompliance with the conditions of approval may result in the issuance of an Administrative Citation of up to \$1,000 pursuant to GGMC 1.22.010 (a).

Environmental Services

15. If applicable, commercial food use of any type shall require the installation of an approved grease interceptor prior to obtaining a business tax certificate or permit. A plumbing plan for the grease interceptor shall be routed to the Environmental Services Division for review. Any existing units shall be evaluated for adequate capacity.
16. If necessary, a properly sized grease interceptor shall be installed on the sewer lateral and maintained by the property owner. There shall be a separate sanitary waste line that will connect to the sewer lateral downstream of the grease interceptor. All other waste lines shall be drained through the grease interceptor. The grease interceptor shall be located outside of the building, and accessible for routine maintenance. The applicant shall maintain comprehensive grease interceptor maintenance records, and shall make them available to the City of Garden Grove upon request.

Water Services Division

17. The existing building is tied to a private sewer system on-site through a sewer lift station. The applicant shall hire a design engineer to determine whether the existing lift station and private sewer system on-site has sufficient capacity for the proposed use. All on-site connections are under permitted under the City's Building and Safety Division jurisdiction.
18. New water service installations two inches (0'-2") and smaller, may be installed by the City of Garden Grove at owner's/developer's expense. Installation shall be scheduled upon payment of applicable fees, unless otherwise noted. Fire services and larger water services three inches (0'-3") and larger, shall be installed by developer/owner's contractor per City Standards.
19. Water meters shall be located within the City right-of-way or within dedicated waterline easement. Fire services and large water services three inches (0'-3") and larger, shall be installed by a contractor with a Class A or C-34 license, per City water standards, and inspected by approved Public Works inspection.
20. A Reduced Pressure Principle Device (RPPD) backflow prevention device shall be installed for meter protection. The landscape system shall also have RPPD device. Any carbonation dispensing equipment shall have a RPPD device. Installation shall be per City Standards and shall be tested by a certified backflow device tester immediately after installation. Cross-connection

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inspector shall be notified for inspection after the installation is completed. Owner shall have RPPD device tested once a year thereafter by a certified backflow device tester and the test results to be submitted to Public Works, Water Services Division. Property owner must open a water account upon installation of RPPD device.

21. It shall be the responsibility of applicant to abandon any existing private water well(s) per Orange County Health Department requirements. Abandonment(s) shall be inspected by Orange County Health Department inspector after permits have been obtained.
22. A composite utility site plan shall be part of the water plan approval.
23. There is an existing six-inch (0'-6") City water main located on the subject property, for which the City of Garden Grove possesses either a recorded or prescriptive easement right to maintain, repair, install, and/or reinstall water lines and appurtenant facilities. Applicant shall provide evidence to the City of a recorded easement in favor of the City of Garden Grove covering the existing water main. If no recorded easement is found, prior to commencing use of the property pursuant to this Conditional Use Permit, the property owner(s) shall execute and record an easement deed in favor of the City of Garden Grove, in a form approved by the City, granting the City of Garden Grove a nonexclusive easement over, under, and in the subject property to maintain, repair, install, and reinstall a water main and related appurtenances, consistent with City's existing prescriptive easement rights. Unless otherwise approved by the City, consistent with the City's existing prescriptive easement rights, the width of said easement shall be sufficient to permit the safe excavation of a trench sufficient to access and repair or replace the water main, using modern mechanized excavation equipment, as reasonably determined by the City. There shall be a minimum fifteen-foot (15'-0") clearance of building footings from the water main, unless otherwise expressly approved by the City's Water Services Division. In addition, the easement shall prohibit the planting of trees and deep-rooted plants within the easement area, and the erection or installation of new permanent structures or utilities within or crossing the easement. The applicant is required to pothole and confirm the location of the existing water main in the proximity of the existing building pylon sign structure. Should the main be found to cross under the planter, between the pylon and columns, the applicant maybe required to off-set the existing water main around the structure.
24. New utilities shall have a minimum five-foot (5'-0") horizontal, and a minimum one-foot (1'-0") vertical clearance from water main and appurtenances.
25. There shall be a minimum clearance from sewer main and water main of ten feet (10'-0") from outside of pipe to outside of pipe.

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26. Any new or existing water valve located within new concrete driveway or sidewalk construction shall be reconstructed per City Standard B-753.
27. The City shall determine if existing water services(s) is/are usable, and meets current City Standards. Any existing meter and service located within any new driveway(s) shall be relocated at owner's expense.
28. Fire service shall have above-ground backflow device with a double-check valve assembly. Device shall be tested immediately after installation and once a year thereafter by a certified backflow device tester, and the results to be submitted to Public Works, Water Services Division. The device shall be on private property, and is the responsibility of the property owner. The above-ground assembly shall be screened from public view, as required by the Planning Services Division.
29. The location and number of fire hydrants shall be as required by Water Services Division and the Orange County Fire Authority (OCFA).
30. If needed, owner shall install a new sewer lateral with clean out connecting to existing private sewer system on-site. It is the responsibility of the owner to install an appropriately sized sewer lateral.
31. The contractor shall abandon any existing unused sewer lateral(s) on the property owner's side in accordance with California Plumbing Code.
32. All perpendicular crossings of the sewer, including laterals, shall maintain a minimum vertical separation of one-foot (1'-0") below the water main, outer diameter to outer diameter. All exceptions to the above require a variance from the State Water Resources Control Board.
33. If water main is exposed during installation of sewer lateral, a twenty-foot (20'-0") section of the water main shall be replaced with twenty feet (20'-0") PVC C-900 DR-14 Class 305 water pipe, size in kind and centered at the crossing.

Community Development Department

34. The hours of operation for the daycare use shall be permitted from 7:00 a.m. to 5:30 p.m., Monday to Friday. The hours of operation for the bible college use shall be permitted from 6:30 p.m. to 9:00 p.m., Tuesday to Friday.
35. The maximum enrollment capacity of the child daycare of seventy-five (75) children, contemplated and approved under CUP-259-2024, is contingent upon the applicant obtaining final approval and acknowledgement in writing of a waiver from the California Department of Social Services (CDSS) for any indoor or outdoor activity space(s), including any other applicable requirements by CDSS, prior to commencement of operation of the preschool. Provided the

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applicant has successfully obtained the necessary waiver for indoor and/or outdoor activity space, along with the State license for the preschool facility, the facility is permitted a maximum enrollment capacity of seventy-five (75) children, as proposed. In the event that the applicant is unable to obtain approval of a waiver from CDSS from any applicable State law requirements, including those related to minimum indoor and/or outdoor activity spaces, that would preclude the proposed maximum enrollment capacity of seventy-five (75) children, the applicant shall limit the maximum number of children for the preschool, as required and stipulated by the approved State license for the facility. At no time, nor under any circumstance, shall the facility exceed a maximum capacity of seventy-five (75) children, unless the applicant has obtained necessary approval to modify the existing Conditional Use Permit or obtain approval of a new Conditional Use Permit, as determined by the Community Development Department and approved by the appropriate hearing body.

36. All of the proposed activities shall fall under the singular umbrella of "Church and Other Religious Centers," as classified by the Municipal Code. Should Freedomhouse OC ever cease church services, the associated activities, including the bible college, daycare, and bookstore/café shall also cease operations.
37. The site is intended to be used as a religious facility, as indicated by the applicant. The facility is to be used for religious activities open to the public, which would include prayer or worship services, bible study, bible college, café, bookstore, and/or child daycare. This facility shall not be used as a boarding house or serve as temporary housing/living quarters. Should any change in the approved uses occur, the filing of a new Conditional Use Permit and/or other proper entitlement(s) shall be required.
38. Activities occurring on the site such as special events, carnivals, and similar activities, will require City approval of a special event permit. Application for the event permit shall be made a minimum of 30 days prior to the event. If the event creates a parking demand exceeding the number of spaces provided on-site, the representatives of the event/proposed assembly use, shall ensure, through written verification, that arrangements are made to address the overflow parking at least twenty-one (21) days prior to the event. This includes providing evidence of other secured parking facilities as well as type (secured) shuttle service between the site and secured parking lot(s).
39. In order to minimize any potential impacts to neighboring properties, the applicant shall implement best practices to manage on-site circulation during daycare drop-off and pick-up times, but not limited to, delineated areas for drop-off and pick-up, established times for drop-off and pick-up windows, and dissemination of drop-off and pick-up instructions to patrons.

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40. Except for the playground associated with the daycare, all activities associated with the proposed use shall be conducted within a fully enclosed building.
41. No amplification systems shall be permitted outside of a fully enclosed building.
42. The sound emitted from any loud speakers shall not extend beyond the walls of the building. Except for the playground associated with the daycare, all activities associated with the proposed uses shall take place within the building and such activities shall not create a nuisance to surrounding properties.
43. No outside storage or displays shall be permitted at any time.
44. The applicant/property owner shall maintain all existing landscaped areas in a neat and healthy condition. Landscaping maintenance shall include pruning or removal of overgrown weeds and vegetation.
45. A prominent, permanent sign stating "NO LOITERING IS ALLOWED ON OR IN FRONT OF THE PREMISES" shall be posted in a place that is clearly visible to patrons of the licensee. The sign lettering shall be four (4) to six (6) inches high with black letters on a white background. The sign shall be displayed near or at the entrance, and shall also be visible to the public.
46. There shall be no deliveries to, or from, the premises before 7:00 a.m. and after 10:00 p.m., seven (7) days a week.
47. All rear doors shall be kept closed at all times, except to permit employee ingress and egress, and in emergencies.
48. All trash bins shall be kept inside the trash enclosure, and gates closed at all times, except during disposal and pick-up. Trash pick-up shall be at least once per week, however, if additional pick-ups are needed to accommodate the uses on the site, the property owner shall increase the number of pick-ups as required.
49. There shall be no uses or activities of an adult-oriented nature permitted on the premises as outlined in City Code Section 9.18.050.
50. Litter shall be removed daily from the premises, including adjacent public sidewalks and from all parking areas under the control of the licensee. These areas shall be swept or cleaned, either mechanically or manually, on a weekly basis, to control debris.
51. The applicant/property owner shall abate all graffiti vandalism within the premises. The applicant/property owner shall implement best management practices to prevent and abate graffiti vandalism within the premises throughout the life of the project, including, but not limited to, timely removal of all graffiti, the use of graffiti resistant coatings and surfaces, the installation

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Conditional Use Permit No. CUP-259-2024

Conditions of Approval

- of vegetation screening of frequent graffiti sites, and the installation of signage, lighting, and/or security cameras, as necessary. Graffiti shall be removed/eliminated by the applicant/property owner as soon as reasonably possible after it is discovered, but not later than 72 hours after discovery.
52. The applicant is advised that the establishment is subject to the provisions of State Labor Code Section 6404.5 (ref: State Law AB 13), which prohibits smoking inside the establishment as of January 1, 1995.
 53. No roof-mounted mechanical equipment shall be permitted unless a method of screening complementary to the architecture of the building is approved by the Community Development Department, Planning Services Division. Said screening shall block visibility of any roof-mounted mechanical equipment from view of public streets and surrounding properties.
 54. The applicant shall be responsible for providing adequate parking area lighting in compliance with City regulations. Lighting in the parking area shall be directed, positioned, or shielded in such a manner so as not to unreasonably illuminate adjacent properties.
 55. No satellite dish antennas shall be installed on said premises unless, and until, plans have been submitted to and approved by the Community Development Department, Planning Services Division. No advertising material shall be placed thereon.
 56. Permits from the City of Garden Grove shall be obtained prior to displaying any temporary advertising (i.e., banners).
 57. Signs shall comply with the City of Garden Grove sign requirements. No more than 15% of the total window area and clear doors shall bear advertising or signs of any sort.
 58. Any modifications to existing signs or the installation of new signs shall require approval by the Community Development Department, Planning Services Division prior to issuance of a building permit.
 59. The applicant/property owner shall submit signed letters acknowledging receipt of the decision approving Conditional Use Permit No. CUP-259-2024, and his/her agreement with all conditions of approval within 30-days from the date of this approval.
 60. A copy of the resolution approving Conditional Use Permit No. CUP-259-2024, including the conditions of approval, shall be kept on the premises at all times.
 61. Conditional Use Permit Nos. CUP-120-83, CUP-411-98, and CUP-367-13 previously governing this tenant space shall become null and void, and superseded in its entirety, by approval of CUP-259-2024.

Exhibit "A"

Conditional Use Permit No. CUP-259-2024

Conditions of Approval

62. Unless a time extension is granted pursuant to Section 9.32.030.D.9 of Title 9 of the Municipal Code, the uses authorized by this approval of Conditional Use Permit No. CUP-259-2024 shall become null and void if the subject use or construction necessary and incidental thereto is not commenced within one (1) years of the expiration of the appeal period and thereafter diligently advanced until completion of the project.
63. The applicant shall, as a condition of project approval, at its sole expense, defend, indemnify and hold harmless the City, its officers, employees, agents and consultants from any claim, action, or proceeding against the City, its officers, agents, employees and/or consultants, which action seeks to set aside, void, annul or otherwise challenge any approval by the City Council, Planning Commission, or other City decision-making body, or City staff action concerning Conditional Use Permit No. CUP-259-2024. The applicant shall pay the City's defense costs, including attorney fees and all other litigation related expenses, and shall reimburse the City for court costs, which the City may be required to pay as a result of such defense. The applicant shall further pay any adverse financial award, which may issue against the City including but not limited to any award of attorney fees to a party challenging such project approval. The City shall retain the right to select its counsel of choice in any action referred to herein.
64. If deemed necessary by the Community Development Director, the Conditional Use Permit may be reviewed at any time, in order to determine if the business is operating in compliance.
65. The Conditional Use Permit may be called for review by City staff, the City Council, or Planning Commission, if noise or other complaints are filed and verified as valid by the Code Enforcement office or other City department concerning the violation of approved conditions, the Garden Grove Municipal Code, or any other applicable provisions of law.

RESOLUTION NO. 6122-25

A RESOLUTION BY THE PLANNING COMMISSION OF THE CITY OF GARDEN GROVE APPROVING A ONE-YEAR TIME EXTENSION FOR CONDITIONAL USE PERMIT NO. CUP-259-2024, (REFERRED TO AS CUP-259-2024 (TE1)).

BE IT RESOLVED that the Planning Commission of the City of Garden Grove, in regular session assembled on June 19, 2025, does hereby approve a one (1) year time extension for the entitlement approved under Conditional Use Permit No. CUP-259-2024, for land located on the southwest corner of Katella Avenue and Euclid Street, at 10912 Katella Avenue, Assessor's Parcel No. 089-010-34.

BE IT FURTHER RESOLVED in the matter of the time extension for Conditional Use Permit No. CUP-259-2024, the Planning Commission of the City of Garden Grove does hereby report as follows:

1. The subject case was initiated by Freedomhouse OC Church.
2. The applicant is requesting approval of a one (1) year time extension for the approved entitlement under Conditional Use Permit No. CUP-259-2024, which allowed the operation of a new religious facility, including, church services, an accredited Bible college, and a child day care, all within an existing 46,287 square-foot tenant space, and revoked Conditional Use Permit Nos. CUP-120-83, CUP-422-98 and CUP-367-13, which previously governed the use of the property.
3. On April 18, 2024, the Planning Commission adopted Resolution No. 6085-24 approving Conditional Use Permit No. CUP-259-2024 to allow the operation of a new religious facility.
4. Pursuant to the California Environmental Quality Act ("CEQA"), the City of Garden Grove previously determined that the proposed project was categorically exempt from the CEQA pursuant to Section 15301 (Existing Facilities) of the CEQA Guidelines (14 Cal. Code Regs., Section 15301). As set forth in the Class 1 exemption, the proposed project consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use.
5. The property currently has a General Plan Land Use Designation of Residential/Commercial Mixed Use 2 (RC2) and is zoned Neighborhood Mixed Use (NMU). The site is currently improved with a 46,287 square-foot commercial building and associated site improvements.
6. Existing land use, zoning, and General Plan designation of property in the vicinity of the subject property have been reviewed.

7. Report submitted by City staff was reviewed.
8. Pursuant to a legal notice, a public hearing was held on June 19, 2025, and all interested persons were given an opportunity to be heard.
9. The Planning Commission gave due and careful consideration to the matter during its meeting of June 19, 2025; and

BE IT FURTHER RESOLVED, FOUND AND DETERMINED that the facts and reasons supporting the conclusion of the Planning Commission, as required under Municipal Code Section 9.32.030.D.9 (Time Extensions), are as follows:

FACTS:

The property is an approximately 4.99-acre property located on the southwest corner of Katella Avenue and Euclid Street, at 10912 Katella Avenue. The site has a General Plan Land Use Designation of RC2 (Residential/Commercial Mixed-Use 2) and is zoned NMU (Neighborhood Mixed Use). The subject site abuts R-3 (Multiple-Family Residential) zoned properties to the south, and NMU zoned properties to the west. To the north, across Katella Avenue, and to the east, across Euclid Street, the subject site is adjacent to commercial and residential properties located in the City of Anaheim.

On April 18, 2024, the Planning Commission approved Conditional Use Permit No. CUP-159-2024. The approval allowed the religious facility with church services, an accredited Bible college, a child day care, a café, and a bookstore, and also revoked Conditional Use Permit Nos. CUP-120-83, CUP-422-98, and CUP-367-13, which previously governed the use of the property.

Conditional Use Permit No. CUP-259-2024 went into effect on May 10, 2024, with a one-year expiration date of May 10, 2025. In accordance with the Municipal Code, and because the approved Conditional Use Permit entitlement has yet to be exercised, the applicant is now requesting a one-year time extension for the previously approved entitlement. No changes are proposed to the previously approved project. Approval of the subject one-year time extension would establish a new expiration date of May 10, 2026.

FINDINGS AND REASONS:

Time Extension:

1. A request for a time extension, including the reasons, therefore, has been submitted prior to the permit expiration date, or the hearing body finds that due to special circumstances demonstrated by the property owner or the applicant, a late-filed request should be considered.

The applicant submitted a timely request to extend the Site Plan approvals of the subject project for one (1) year, prior to the entitlement expiration date of May 10, 2025. The applicant has indicated that additional time will be necessary to finalize building plans, prior to permit issuance. Approval of the subject one-year time extension would establish a new expiration date of May 10, 2026. The applicant expects to have all permits obtained within the next year.

2. There has been no change in the General Plan designation or Zoning of the site that would render the development or use nonconforming.

The subject site's General Plan Land Use Designation, RC2 (Residential / Commercial Mixed Use 2), and the zone, NMU (Neighborhood Mixed Use), have not changed since the effective date of the original approval on May 10, 2024. Therefore, the development will not be rendered nonconforming.

3. There are no land use actions or studies currently underway that would have the potential to render the development or use nonconforming.

There are no known studies or actions that would affect the site or proposed development that would possibly render the development nonconforming.

INCORPORATION OF FACTS AND FINDINGS SET FORTH IN STAFF REPORT

In addition to the foregoing, the Planning Commission incorporates herein by this reference, the facts and findings set forth in the staff report.

BE IT FURTHER RESOLVED that the Planning Commission does conclude:

1. The Time Extensions for the approved Site Plan possesses characteristics that would indicate justification of the request in accordance with Municipal Code Sections 9.32.030.D.9 (Time Extensions).
2. In order to fulfill the purpose and intent of the Municipal Code, and, thereby, promote the health, safety, and general welfare, the originally approved conditions of approval for Conditional Use Permit No. CUP-259-2024 shall remain in effect.

COMMUNITY DEVELOPMENT DEPARTMENT PLANNING STAFF REPORT

AGENDA ITEM NO.: C.3.	SITE LOCATION: Southeast corner of Trask Avenue and Brookhurst Street, at 10150 Trask Avenue
HEARING DATE: June 19, 2025	GENERAL PLAN: Heavy Commercial (HC)
CASE NO.: Site Plan No. SP-160-2025	ZONE: Planned Unit Development No. PUD-110-96
APPLICANT: Ernest De Leon	CEQA DETERMINATION: Exempt – Section 15303 - New Construction or Conversion of Small Structures
PROPERTY OWNER(S): David Simpson	APN: 099-682-02

REQUEST:

A request for Site Plan approval to construct a one-story 3,625 square foot freestanding steel structure for vehicle maintenance on an existing car dealership lot.

BACKGROUND:

The subject site is five acres, and is currently improved with the Simpson Chevrolet automobile dealership for motor vehicle sales. The site is located at the southeast corner of Trask Avenue and Brookhurst Street, and is a part of the "Garden Grove Auto Center". The property has a General Plan Land Use Designation of Heavy Commercial (HC) and is zoned Planned Unit Development No. PUD-110-96. The existing surrounding uses include single- and multi-family residential developments and a service (gas) station, across Trask Avenue, to the north; a Hyundai auto dealership, across Brookhurst Street, to the west; industrial buildings to the east; and the State Route 22 (SR 22) freeway to the south.

The "Garden Grove Auto Center" comprises several long and narrow properties along the south side of Trask Avenue. In 1995, the City approved Planned Unit Development No. PUD-103-95, allowing the subject property to be improved with a new two-level automotive sales and service facility. In 1996, the City rezoned the subject site, along with another property within the Garden Grove Auto Center, to Planned Unit Development No. PUD-110-96. The purpose of the rezoning was to modify the development standards for the Garden Grove Auto Center related to signage and employee parking.

In 2012, the City approved a revision to PUD-110-96, which amended the Sign and Graphic Standards section of the PUD. In 2019, the City approved Site Plan No. SP-066-2019 to allow the construction of a 3,567-square-foot, one-story auto

repair building/addition attached to an existing 846-square-foot, one-story car wash building on the Chevrolet site.

In 2024, a 3,625-square-foot freestanding steel structure was erected on the property without a valid building permit. The structure was open on one side and was used to store auto parts and equipment. A Notice of Violation was issued by the City on July 30, 2024, requiring the dealership to remove the unpermitted structure from the site.

The applicant is now requesting to convert the unpermitted structure into an auto maintenance area to support the expansion of their services. Section 9.32.030.D.3.a.ii of Title 9 of the Municipal Code ("Code") requires Site Plan approval for any new building or structure, or any addition to an existing structure, that exceeds ten percent (10%) of the existing floor area or 1,000 square feet, whichever is less. Therefore, Site Plan approval is required to construct the proposed 3,625-square-feet of building to the site.

PROJECT STATISTICS:

	Provided	Required	Meet Code
Lot Area:	5 acres	Min. 1 acre	Yes
Existing Building Area:	41,754 square feet		-
Proposed Structure	3,625 square feet		-
Total Building Area	45,379 square feet		-
Lot coverage	20%	50%	Yes
Proposed Building Height:	20'-0"	60'-0"	Yes
Floor Area Ratio (F.A.R.)	0.20	0.55	Yes
Proposed Building Setbacks¹:			
Setback from the street (Trask Avenue) (south)	141'-0"	10'-0"	Yes
Interior side (east)	985'-0"	0'-0"	Yes
Interior side (west)	305'-0"	0'-0"	Yes
Rear (north)	0'-0"	0'-0"	Yes
Parking			Yes
Total	176 spaces	103 spaces	Yes

DISCUSSION:

SITE PLAN:

Site Design, Circulation, and Building Design

The proposed 3,625 square foot building would be a freestanding structure located behind the existing vehicle maintenance building, along the southerly property line. The steel structure satisfies the development standards of the PUD-110-96 zone, including but not limited to lot coverage, F.A.R., and set back requirements.

¹ Measured from the new building to the property lines, excluding existing structures.

The proposed structure is one-story, twenty feet (20'-0") in height, which complies with the PUD's maximum height requirement of sixty feet (60'-0"). The interior of the structure would include a total of ten (10) service bay areas. Each area would be provided with a vehicle lift and associated equipment that would be used for car repair and maintenance services. The structure would be enclosed on all sides. A total of ten (10) garage doors would be installed in front of each bay service station on the northerly façade of the building to ensure that the equipment would be properly stored and screened from the public's view. The structure would consist of prefinished metal siding painted to match the existing buildings' colors.

Vehicular and pedestrian access throughout the site and from the public right-of-way would remain unchanged. Vehicles would continue to access the site using the three (3) existing driveway approaches off Trask Avenue. The site includes an existing trash enclosure that would remain unchanged. The proposed building would not interfere with the trash collection route.

Vehicular and pedestrian access, and on-site circulation were reviewed by the Public Works Department, Engineering Division, and the Orange County Fire Authority (OCFA) and were deemed to meet applicable standards and requirements.

To accommodate the structure, twenty-two (22) parking spaces located to the rear of the property would be removed. Since the proposed structure would be constructed on an existing paved parking lot area, existing landscaped areas within the site would not be impacted by the project. Since the structure would be situated adjacent to State Route 22 (SR-22), the design includes landscaping treatments along the chain-link fence behind the structure to deter graffiti. Conditions of Approval would require that all landscaped areas continue to be properly maintained.

Parking

With the addition of the proposed freestanding steel structure, a total of 103 parking spaces would be required to accommodate the full operation of the dealership. Table 1 below provides a breakdown of the parking calculations for the site.

Table 1 - Parking calculation breakdown

	Area	Ratio	Required
Outside Display area	1,620 sf	1 space per 2,000 sf	0.81
Inside display area	12,307 sf	1 space per 400 sf	30.77
Existing Repair Area	25,547 sf	1 space per 500 sf	51.09
Parts /Sales	3,900 sf	1 space per 300 sf	13
Proposed Repair Area	3,625 sf	1 space per 500 sf	7.25
Total			103

Currently, the site has a total of 463 parking spaces. With the construction of the proposed structure, twenty-two (22) spaces would be removed from the site, resulting in a remaining total of 441 spaces. Despite this reduction, the site would still have a parking surplus of 338 spaces. Thus, the project exceeds the minimum parking requirement set by the Code.

California Environmental Quality Act (CEQA)

CEQA's Class 3 exemption applies to the construction of small facilities or structures. In urbanized areas, the exemption also applies to up to four such commercial buildings not exceeding 10,000 square feet in floor area on sites zoned for such use if not involving the use of significant amounts of hazardous substances where all necessary public services and facilities are available and the surrounding area is not environmentally sensitive. The subject site is currently improved with approximately 41,751 square foot auto dealership. The applicant is proposing to construct a detached 3,625 square feet of steel structure for vehicle maintenance, which is less than 10,000 square feet. The site is properly served by all public services and facilities to allow for maximum development, and the site is not in an environmentally sensitive area. Therefore, the proposed project is exempt from CEQA.

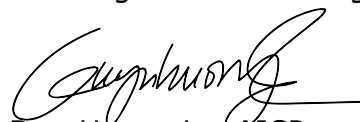
RECOMMENDATION:

Staff recommends that the Planning Commission take the following action:

- Adopt Resolution No. 6120-25 approving Site Plan No. SP-160-2025, subject to the recommended Conditions of Approval.



MARIA PARRA
Planning Services Manager

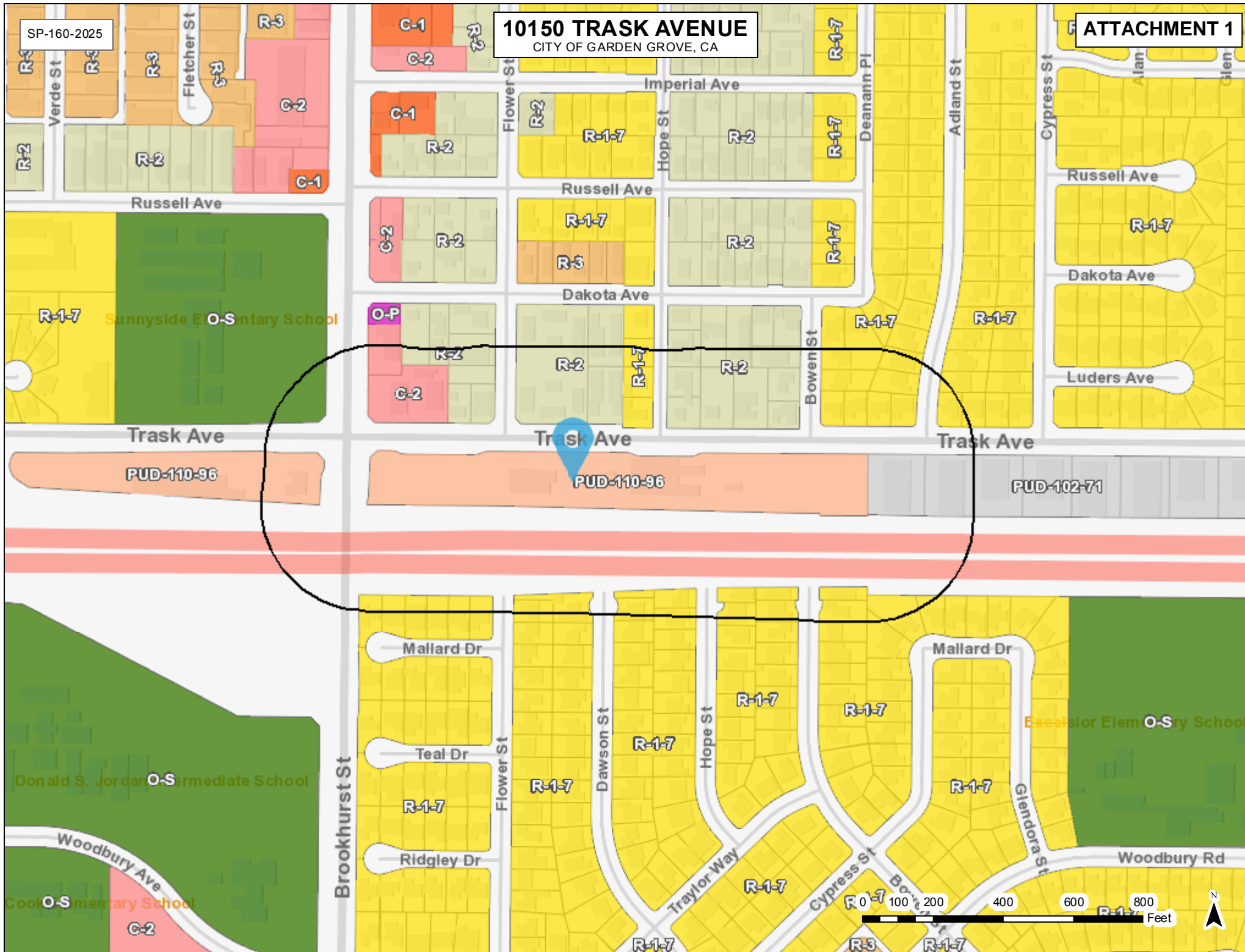


By: Huong Ly, AICP
Associate Planner

Attachment 1: Vicinity Map

Attachment 2: Plans

Attachment 3: Resolution No. 6120-25 for Site Plan No. SP-160-2025 with Exhibit "A"- Conditions of Approval



ATTACHMENT 2

SIMPSON CHEVROLET

10150 TRASK AVE

GARDEN GROVE, CA 92844

DESIGN & PROFESSIONAL ENGINEERING SERVICES:

EJDEngineering INC.

Ernest J. De Leon, P.E.

5847 Pine Ave (Suite A)

Chino Hills, CA 91709

Office: 909.517.2451

Ernest@EJDEngineering.com

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SHEET DESCRIPTION:

GENERAL NOTES

OWNER:

DAVID SIMPSON

10150 TRASK AVENUE

GARDEN GROVE, CA 92844

CONTACT: SCOTT OLSON

PH: (562) 895-2134

PROFESSIONAL ENGINEER

ERNEST J. DE LEON

NO. 67755

EXP. 6/2027

CIVIL

STATE OF CALIFORNIA

APRIL 22, 2025

REVISION STATUS:

2	01/20/25	LAND USE PERMIT SUBMITTAL
1	12/10/24	PLANNING & ENGINEERING COMMENTS
REV.	DATE	DESCRIPTION

PROJECT NO: 24-177

DRAWN BY: BG

ENG. MGR.: EJD

DATE: 01/20/2025

PROJECT DESCRIPTION & ADDRESS:

METAL STRUCTURE

10150 TRASK AVE

GARDEN GROVE, CA 92843

T1

SHEET

GENERAL NOTES

GENERAL:

1. DESIGN CRITERIA:

ROOF LIVE 20 PSF

ROOF DEAD 15 PSF

FLOOR LIVE NA PSF

FLOOR DEAD NA PSF

WIND 110 MPH

EXPOSURE C

IMPORTANCY FACTOR 1.0

INTERNAL PRESSURE COEF. +/- 0.18

COMPONENT AND CLADDING 21.1 PSF

SEISMIC DESIGN CATEGORY D

SITE CLASS D

IMPORTANCY FACTOR 1.0

MAPPED ACCELERATION Ss=1.5, Si=0.6

SITE COEFFICIENT Fp=1.0 Fv=1.5

SPECTRAL RESPONSE Sds=1.0, Sdi=0.6

SEISMIC RESPONSE Cs=0.44

RESPONSE MODIFICATION R=6.5

REDUNDANCY FACTOR ϕ=1.3

2. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, ELEVATIONS, AND SITE CONDITIONS AND CONTACT EJD ENGINEERING, INC. IMMEDIATELY WITH ANY DISCREPANCIES PRIOR TO STARTING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION AND TAKE ALL MEASURES TO PROTECT THE STRUCTURE DURING CONSTRUCTION.

3. ONCE DEMOLITION HAS OCCURED EJD ENGINEERING, INC. SHALL BE RETAINED TO INSPECT AND APPROVE THE EXISTING CONDITIONS ARE AS PREDICTED TO ASSURE THE PROPOSED DESIGN WILL AND CAN BE CONSTRUCTED TO THE PREDICTED EXISTING CONDITIONS OF THE DESIGN.

CODE REQUIREMENT:

1. ALL CONSTRUCTION, INSTALLATION, AND MATERIAL SHALL CONFORM TO THE 2022 CBC, CRC, CMC, CPC, CEC, CAL. ENERGY CODE AND ALL OTHER LOCAL ORDINANCES.

LUMBER:

1. ALL STRUCTURAL SAWN LUMBER SHALL BE DOUGLAS FIR-LARCH OF THE FOLLOWING GRADES, UNLESS NOTED OTHERWISE:

2x STUDSSTUD GRADE (MIN), Fb = 700 PSI

1x4, 1x6, 2x4, 2x6ND, 2, Fb = 900 PSI

2x8, 2x10,ND, 1, Fb = 1000 PSI

2x12, 2X14ND, 1, Fb = 1000 PSI

4xND, 1, Fb = 1000 PSI

6xND, 1, Fb = 1350 PSI

2. 2" SOLID BLOCKING SHALL BE PLACED BETWEEN JOISTS OR RAFTERS AT ALL SUPPORTS.

3. HOLES FOR BOLTS SHALL BE BORED 1/32" TO 1/16" LARGER THAN THE NOMINAL BOLT DIAMETER. ALL BOLTS THROUGH WOOD SHALL USE STANDARD CUT WASHERS.

4. DOUBLE TOP PLATES SHALL LAP 4'-0" AT SPLICE WITH (12) 16d NAILS MINIMUM LOCATED ON EACH SIDE OF SPLICE.

5. ALL VISUALLY GRADED FRAMING LUMBER SHALL BEAR THE GRADE STAMP AND THE APPROVED GRADING AGENCY, EXCEPT EXPOSED LUMBER SHALL BEAR NO MARKINGS WHICH WILL BE VISIBLE AFTER INSTALLATION.

6. 2x AND 4x SAWN LUMBER SHALL NOT HAVE A MOISTURE CONTENT MORE THAN 19% AT TIME OF FABRICATION AND NOT MORE THAN 16% AT TIME OF INSTALLATION.

7. SILL PLATES IN CONTACT WITH CONCRETE OR MASONRY 4'-0" OR LESS IN HEIGHT TO FOUNDATION SHALL BE PRESSURE/PRESERVATIVE TREATED DOUGLAS FIR.

8. FRAMING HARDWARE SHALL BE "SIMPSON STRONG-TIE" OR APPROVED EQUAL. USE ALL MANUFACTURER RECOMMENDED NAILING.

9. STRUCTURAL PLYWOOD SHALL CONFORM TO U.S. PRODUCTS STANDARD PS 1-95. APA GRADE STAMP SHALL BE PROVIDED ON ALL SHEATHING. INSTALL WITH FACE GRAIN ACROSS SUPPORTS EXCEPT WHERE NOTED.

10. DO NOT NOTCH JOISTS, RAFTERS, OR BEAMS EXCEPT WHERE SHOWN ON THE DETAILS. BEARING WALL STUDS CAN NOT BE NOTCHED MORE THAN 25% OF THEIR WIDTH. BORED HOLES CANNOT HAVE A DIAMETER GREATER THAN 40% OF THE STUD WIDTH.

11. ALL WALLS NOT SOLIDLY SHEATHED SHALL HAVE A 1x6 DIAGONAL LET-IN OR APPROVED STEEL CROSS BRACE AT THE ENDS AND AT 25 FEET ON CENTER. BRACE SHALL EXTEND FROM BOTTOM OF LOWEST PLATE TO TOP OF UPPER PLATE.

12. USE COMMON NAILS FOR ALL NAILING REQUIREMENTS.

13. GLUED LAMINATED TIMBER SHALL BE VISUALLY GRADED WESTERN SPECIES WITH THE ALLOWABLE BENDING STRESS AS SPECIFIED PER PLAN.

14. HOLD-DOWN CONNECTOR BOLTS INTO WOOD FRAMING REQ. APPVD. PLATE WASHERS. HOLD-DOWNS SHALL BE TIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING.

15. PROVIDE LEAD HOLES 40% TO 70% OF THREADED SHANK DIAMETER AND FULL DIAMETER FOR SMOOTH SHANK PORTION.

SOILS:

1. ALLOWABLE SOIL BEARING PRESSURE USED IN DESIGN WAS 1500 PSF PER TABLE 1806.2 CLASS 5.

2. SOIL SITE CLASS "D" PER 1613.3.2.

3. COMPLIANCE WITH ALL CORRECTIONS AND NOTIFICATIONS WITH GRADING PRE-INSPECTION REPORT (GPI), IF PROVIDED.

INTERIOR FRAMING:

1. ALL INTERIOR PARTITIONS TO BE 2 X 4 STUDS @ 24" O/C MIN.

2. ALL INTERIOR HEADERS TO BE 4 X 6 U.N.D.

ENGINEERED LUMBER:

1. ALL LAMINATED LUMBER SHALL BE DOUGLAS FIR-LARCH OF THE FOLLOWING GRADES, UNLESS NOTED OTHERWISE:

GLU-LAMDF/DF 24F-V8 Fb=2400 PSI Fv=265 PSI

PARALLAM2.0E PSL (MIN.) Fb=2900 PSI Fv=290 PSI

2. LICENSED FABRICATOR IS REQUIRED FOR ALL GLU-LAM BEAMS. IDENTIFY GRADE SYMBOL AND LAMINATION SPECIES PER TABLE 5-A-2018 NDS.

DEFERRED SUBMITTAL:

1. NONE REQ'D.

REINFORCED CONCRETE:

1. CEMENT TO BE TYPE-II CONFORMING TO ASTM C150.

2. AGGREGATES SHALL CONFORM TO ASTM C-33 FOR STRUCTURAL NORMAL WEIGHT CONCRETE (3/4" MAX. SIZE) AND ASTM C-330 FOR STRUCTURAL LIGHTWEIGHT CONCRETE.

3. READY-MIX CONCRETE SHALL BE MIXED AND DELIVERED IN ACCORDANCE WITH ASTM C-94.

4. REINFORCING STEEL SHALL BE MINIMUM GRADE 40 FOR SIZES #3 AND #4 AND GRADE 60 FOR SIZES #5 AND LARGER.

5. THE FOLLOWING MINIMUM CLEAR DISTANCES BETWEEN REINFORCING STEEL AND FACE OF CONCRETE SHALL BE MAINTAINED U.N.D.:

SLABS ON GRADE - MIDDLE OF SLAB

CONCRETE EXPOSED TO SOIL - 3 INCHES

CONCRETE EXPOSED TO WEATHER - 1 1/2 INCHES

6. ALL CONCRETE SHALL SATISFY THE MINIMUM STRENGTH REQUIREMENTS. THE MINIMUM ULTIMATE COMPRESSIVE STRENGTH (F'c) AT 28 DAYS SHALL BE AS FOLLOWS:

3000 PSI - PADS AND CONTINUOUS FOOTINGS

3000 PSI - SLABS ON GRADE

3000 PSI - GRADEBEAMS

CONTINUOUS INSPECTION BY A DEPUTY INSPECTOR IS REQUIRED FOR ALL CONCRETE DESIGNED WITH F'C GREATER THAN 3000psi.

7. THE MINIMUM CEMENT CONTENT PER CUBIC YARD OF CONCRETE SHALL BE AS FOLLOWS:

5 1/4 SACKS - 2500 PSI STRENGTH

5 1/2 SACKS - 3000 PSI STRENGTH

WATER/CEMENT RATIO NOT TO EXCEED 0.45

8. THE MAXIMUM CONCRETE SLUMP SHALL BE AS FOLLOWS:

SLABS ON GRADE - 3 INCHES +/- 1 INCH

ALL OTHER WORK - 4 INCHES +/- 1 INCH

9. LEVEL CONCRETE FLOOR SLABS VARIATION SHALL NOT BE MORE THAN 1/8 INCH IN TEN FEET.

10. DRY PACK MIX PROPORTIONS BY VOLUME SHALL BE ONE PART CEMENT TO TWO-AND-ONE-HALF PARTS FINE AGGREGATES (PASSING THE NO. 4 SIEVE), MIX WITH WATER TO CONSISTENCY SUCH THAT, WHEN BALL OF MIXTURE IS COMPRESSED IN HAND, BALL WILL MAINTAIN SHAPE, SHOWING FINGER MARKS, BUT NOT SHOWING SURFACE WATER.

CONCRETE MASONRY UNITS:

1. CONCRETE MASONRY UNITS SHALL BE GRADE "N" MEDIUM WEIGHT UNITS IN ACCORDANCE WITH ASTM C-90 (F'n = 1500 PSI FOR MASONRY UNITS) U.L. APPROVED.

2. MORTAR SHALL BE TYPE "S" OR "M" CONFORMING TO THE UNIFORM BUILDING CODE (F'c = 2000 PSI AT 28 DAYS) AND ASTM C-144.

3. GROUT SHALL BE COMPOSED OF THE FOLLOWING RATIO BY VOLUME: 1-PART PORTLAND CEMENT, 3-PARTS SAND, 2-PARTS PEA GRAVEL AND SUFFICIENT WATER FOR POURING WITH SEGREGATION OF GROUT CONSTITUENTS (MINIMUM COMPRESSIVE STRENGTH F'c = 2000 PSI AT 28 DAYS)

4. ALL CELLS IN WALLS SHALL BE GROUTED UNLESS NOTED OTHERWISE.

5. WHEN GROUTING IS STOPPED FOR ONE HOUR OR LONGER, HORIZONTAL CONSTRUCTION JOINTS SHALL BE FORMED BY STOPPING THE GROUT POUR 1 1/2 INCHES BELOW THE UPPERMOST UNIT.

6. ALL BOND BEAM BLOCK SHALL BE DEEP CUT UNITS.

7. PROVIDE CLEANOUTS AT THE BOTTOM COURSE OF MASONRY FOR EACH GROUT POUR THAT EXCEEDS 5 FT IN HEIGHT.

8. ALL ISOLATED BOLTS EMBEDDED IN MASONRY SHALL BE GROUTED SOLIDLY IN PLACE WITH NOT LESS THAN 2 INCHES OF GROUT SURROUNDING THE BOLT.

9. CONTRACTOR TO PROVIDE FOOTING DOWELS TO MATCH ALL VERTICAL REINFORCING SIZE AND SPACING, LAP BARS 48 BAR DIAMETER MINIMUM.

10. PROVIDE A MINIMUM OF 1/2 INCH GROUT BETWEEN MAIN REINFORCING BARS AND MASONRY UNITS.

LIGHT GAGE STEEL:

1. MATERIALS: ALL MEMBERS SHALL BE COLD FORMED FROM GALVANIZED STRUCTURAL QUALITY SHEET STEEL MEETING THE REQUIREMENTS OF ASTM A-446 GRADE A, MINIMUM YIELD OF 33 KSI FOR 18 GAGE AND LIGHTER, AND MEETING THE REQUIREMENTS OF ASTM A-446 GRADE D, MINIMUM YIELD OF 50 KSI FOR 16 GAGE AND HEAVIER. ALL MEMBERS SHALL BE MARKED SD THAT SUPPLIED MATERIALS CAN BE FIELD VERIFIED.

2. INSTALL WALL STUDS IN CONTINUOUS TOP AND BOTTOM TRACKS. SECURE THE STUDS TO THE TRACKS WITH (1) #12 TEK SCRE MINIMUM.

3. SCREWS SHALL BE SELF DRILLING AND SELF TAPPING. CADMIUM PLATED FOR ALL EXTERIOR USES.

MINIMUM SIZE AS FOLLOWS:

MEMBER TO MEMBER CONNECTIONS: #12

FASTEN PLYWOOD OR SHEATHING: #8

PREMANUFACTURED TRUSSES:

1. THE TRUSS COMPANY SHALL PROVIDE TRUSS LAYOUT PLAN, PROFILES, AND CALCULATIONS VET SEAILED AND SIGNED BY A LICENSED ENGINEER/ARCHITECT IN THE STATE OF CALIFORNIA.

2. THE TRUSS LAYOUT PLAN, PROFILES, AND CALCULATIONS SHALL BE APPROVED BY THE ENGINEER OF RECORD AND A LETTER OF ACCEPTANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT.

3. THE TRUSS LAYOUT PLAN, PROFILES, AND CALCULATIONS SHALL BE A DEFERRED SUBMITTAL TO THE BUILDING DEPARTMENT.

4. PREFABRICATED TRUSSES SHALL NOT BE CUT

DIMENSIONS:

1. REFER TO ARCHITECTURAL PLANS FOR ALL DIMENSIONS. DIMENSIONS PROVIDED HEREIN ON THE STRUCTURAL PLANS ARE FOR REFERENCE ONLY. WHERE DIMENSIONS DIFFER BETWEEN THE ARCHITECTURAL PLANS AND THE STRUCTURAL PLANS, THE ARCHITECTURAL DIMENSIONS SHALL GOVERN.

ABBREVIATIONS

A.F.F. ABOVE FINISH FLOOR

PCF POUNDS PER CUBIC FOOT

A.L.F.F. ABOVE LOWEST FINISH FLOOR

PCI POUNDS PER CUBIC INCH

CLR CENTER LINE

PLF POUNDS PER LINEAR FOOT

CLR CLEAR

PSF POUNDS PER SQUARE FOOT

CONT. CONTINUOUS

PSI POUNDS PER SQUARE INCH

E.W. EACH WAY

T&B TOP AND BOTTOM

F.F. FINISHED FLOOR

T.O.M. TOP OF MASONRY

GA GAUGE OR GAGE

T.O.P. TOP OF PARAPET

HOR. HORIZONTAL

T.O.S. TOP OF STEEL

IBC INTERNATIONAL BUILDING CODE

TRANS. TRANSVERSE

KSI KIPS PER SQUARE INCH

TYP. TYPICAL

LONG. LONGITUDINAL

UBC UNIFORM BUILDING CODE

MAX. MAXIMUM

U.N.O. UNLESS NOTED OTHERWISE

MIL MIL THICKNESS (.001 IN.)

VERT. VERTICAL

MIN. MINIMUM

W/ WITH

MFR MANUFACTURER

WMM WELDED WIRE MESH

N.T.S. NOT TO SCALE

O.C. ON CENTER

OWNER

DAVID SIMPSON

10150 TRASK AVE

GARDEN GROVE, CA 92844

CONTACT: SCOTT OLSEN

PHONE: 562-895-2134

STRUCTURAL STEEL

TITAN STEEL

STRUCTURES

1280 SW 36TH AVE, SUITE 102

POMPANO BEACH, FL 33069

PH: 855-904-0090

STRUCTURAL FDN

EJD ENGINEERING, INC

5847 PINE AVE. SUITE A

CHINO HILLS, CA 91709

PH: 909-517-2451

MEP

SPIRIT ENGINEERING

1215 WEST IMPERIAL HIGHWAY

(SUITE 223) BREA, CA 92821

PH: 949.232.5286

-(MECHANICAL AND PLUMBING)

PERFECT DESIGN

2416 W VALLEY BLVD

ALHAMBRA, CA 91803

PH: 626.289.8808

-(ELECTRICAL)

PROJECT SCOPE:

1. BUILD 3,625 SQ.FT. STEEL STRUCTURE TO BE USED AS VEHICLE MAINTENANCE.

2. STEEL STRUCTURE TO HAVE (10) 12K OR 16K VEHICLE LIFTS, FIVE RETRACTABLE HOSE REELS FOR OIL DISPENSING. ELECTRICAL OUTLETS AND LIGHTING. 125 AMP ELECTRIC PANEL. 4" ABS SEWER DRAIN CONNECTED TO EXISTING CLARIFIERS.

SHEET INDEX

T1 TITLE SHEET AND GENERAL NOTES

ARCHITECTURAL:

C0 AREA MAP

C1 EXISTING FACILITIES

C2 SITE PLAN

C3 AREA OF WORK

A1 FLOOR PLAN,

A2 ELEVATIONS AND ROOF

STRUCTURAL:

S1 FOUNDATION PLAN

S2 TUBE STEEL COLUMNS FOUNDATION & ELEVATION

DETAILS:

D1 DETAILS

D2 DETAILS

D3 DETAILS

MEP:

PLUMBING AND MECHANICAL DONE BY:

SPIRIT ENGINEERING

P1 PLUMBING NOTES, SCHEDULE AND DETAILS

P2 PLUMBING PLAN

P3 PLUMBING ROOF PLAN

P4 PLUMBING PARTIAL PLAN

M1 MECHANICAL NOTES

M2 MECHANICAL SCHEDULES AND DETAILS

M3 MECHANICAL PLAN

ELECTRICAL DONE BY:

PERFECT DESIGN

E1 ELECTRICAL NOTES

E2 LIGHTING REQUIREMENTS

E3 POWER PLAN

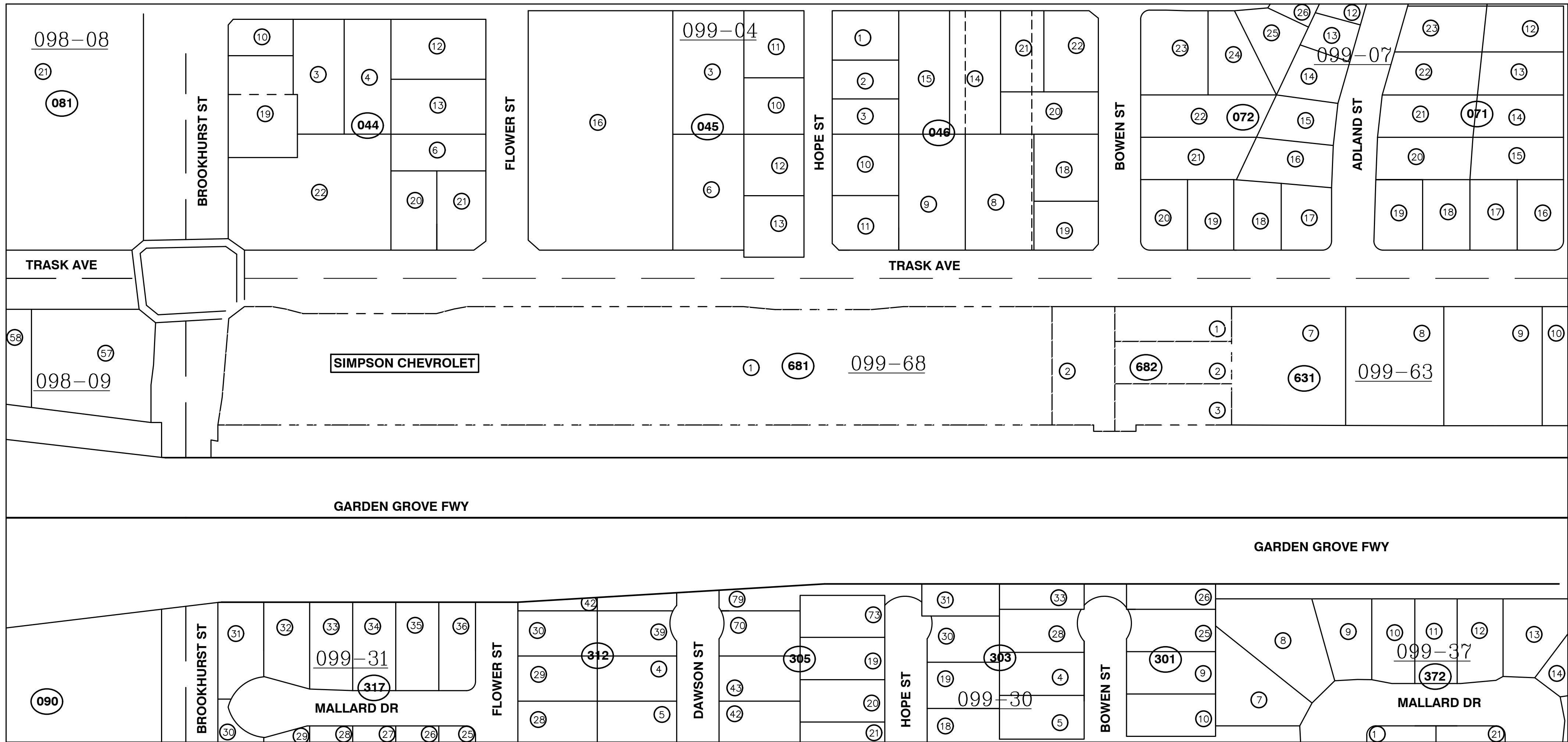
E4 LIGHTING PLAN

E5 NON RESIDENTIAL COMPLIANCE

STEEL BUILDING STRUCTURAL PLANS DONE BY:

TITAN STEEL STRUCTURES

VICINITY MAP



NOTES AND SCHEDULES

LEGEND

BOOK & PAGE: 099-30

BLOCK: 305

PARCEL NUMBER: 20

DESIGN & PROFESSIONAL ENGINEERING SERVICES:

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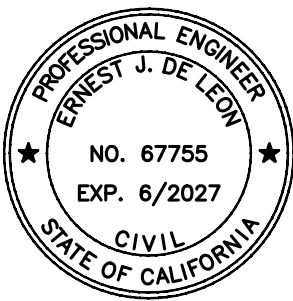
SHEET DESCRIPTION:

AREA MAP

OWNER:

DAVID SIMPSON

10150 TRASK AVENUE
GARDEN GROVE, CA 92844
CONTACT: SCOTT OLSON
PH: (562) 895-2134



APRIL 22, 2025

REVISION STATUS:		
2	01/20/25	LAND USE PERMIT SUBMITTAL
1	12/10/24	PLANNING & ENGINEERING COMMENTS
REV.	DATE	DESCRIPTION

PROJECT NO: 24-177

DRAWN BY: BG

ENG. MGR.: EJD

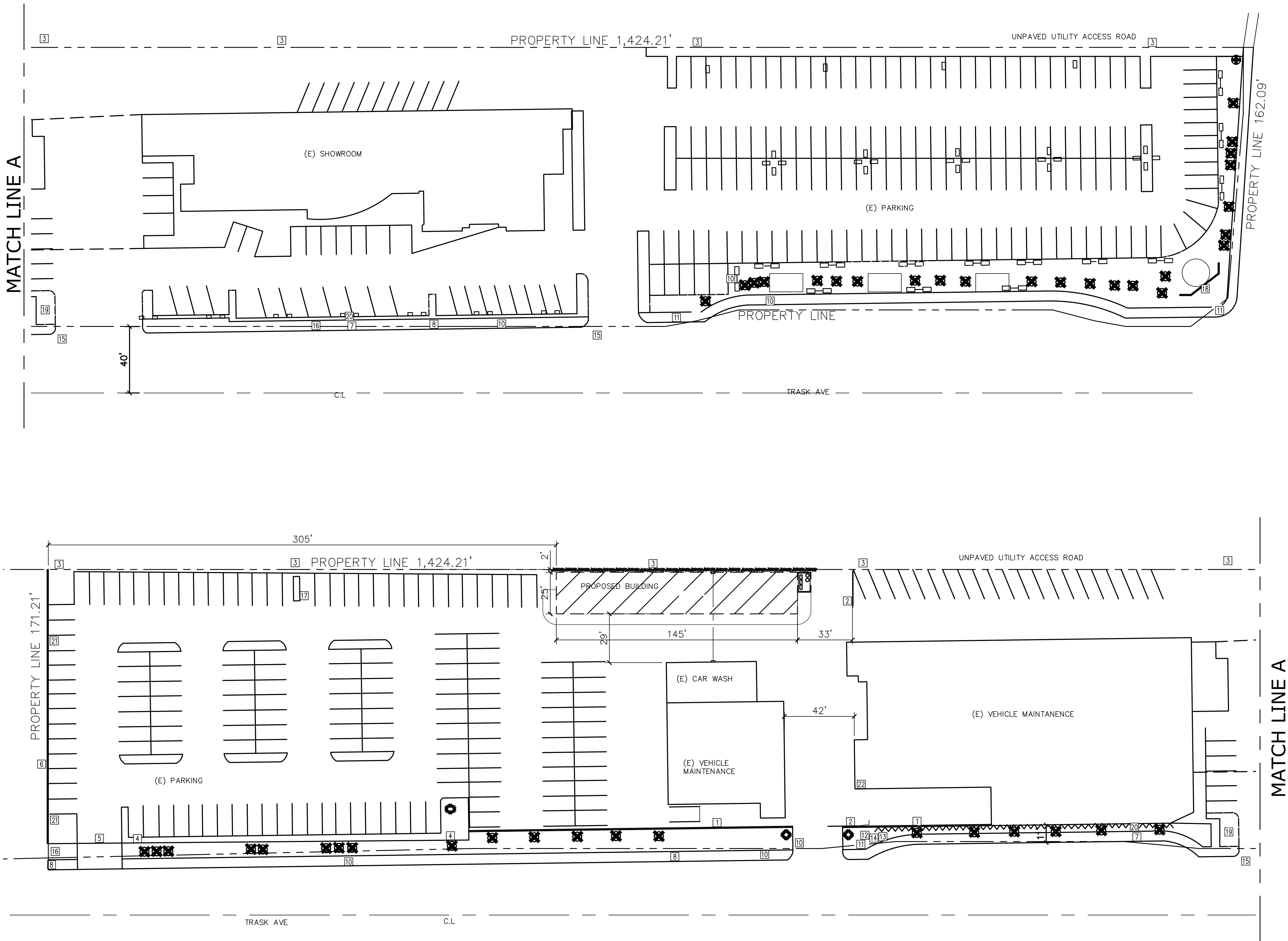
DATE: 01/20/2025

PROJECT DESCRIPTION & ADDRESS:

METAL STRUCTURE
10150 TRASK AVE
GARDEN GROVE, CA 92843

C0

SHEET



NOTES AND SCHEDULES

SITE PLAN NOTES	
SYMBOL	DESCRIPTION (ALL ITEMS LISTED BELOW ARE EXISTING)
[1]	8' HIGH CMU WALL
[2]	8' HIGH ACCESS GATE (AUTOMATIC)
[3]	8' HIGH CHAIN-LINK FENCE
[4]	6' STEEL GATE W/ 6' CMU PILASTERS @ 30'
[5]	6' HIGH ACCESS GATE
[6]	6' HIGH CMU WALL W/ ANTI CLIMB WALL SPIKES
[7]	WATER METER
[8]	EDISON UG
[9]	GAS METER
[10]	SEWER
[11]	FIRE HYDRANT
[12]	DCDA FIRE
[13]	FDC FIRE
[14]	PIV FIRE
[15]	MANHOLE
[16]	SPECTRUM UG
[17]	± 30' HIGH ELECTRONIC SIGN (VISIBLE FROM FWY)
[18]	3' HIGH RETAINING WALL SIGN "GARDEN GROVE AUTO CENTER"
[19]	4' HIGH ENTRANCE SIGN "CERTIFIED SERVICE"
[20]	BACK FLOW PREVENTER
[21]	ELECTRIC POLE
[22]	ELECTRICAL MAIN SWITCH

LANDSCAPING	
SYMBOL	DESCRIPTION
[Symbol]	± 25' MEXICAN FAN PALM TREES (WASHINGTONIA ROBUSTA)
[Symbol]	BERMUDA GRASS (CYNODAON DACTYLON)
[Symbol]	PUNK TREE, TEA TREE (MELALEUCA QUINQUENRIVIA)
[Symbol]	CARROTWOOD CUPANIOPSIS (ANACARDIODES CUPANIOPSIS)
[Symbol]	INDIAN HAWTHORNE (RHAPHIOLEPIS INDICA)
[Symbol]	VINEGARTREE (LOPHOSTEMON CONFERTUS)



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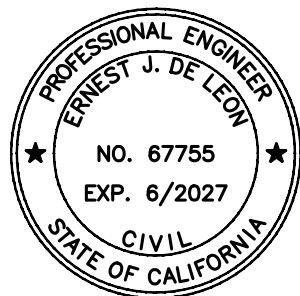
SHEET DESCRIPTION:

EXISTING FACILITIES PLAN

OWNER:

DAVID SIMPSON

10150 TRASK AVENUE
GARDEN GROVE, CA 92844
CONTACT: SCOTT OLSON
PH: (562) 895-2134



APRIL 22, 2025

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PROJECT NO: **24-177**
DRAWN BY: **BG**
ENG. MGR.: **EJD**
DATE: **01/20/2025**

PROJECT DESCRIPTION & ADDRESS:

METAL STRUCTURE
10150 TRASK AVE
GARDEN GROVE, CA 92843

C1

SHEET

EXISTING FACILITIES PLAN

SCALE : 1/32"=1'-0"

A

EQUIPMENT LIST:

LIFTS:

1. CHALLENGER CL12A --MADE IN THE USA --ADJUSTABLE WIDTH /HEIGHT NOW INCLUDED IN DESIGN--13'8" STANDARD HEIGHT--3 STAGE FRONT AND REAR ARMS--1'-2" (EXTENSIONS AVAILABLE)
2. CHALLENGER CL16--0--3S--MADE IN THE USA--ADJUSTABLE WIDTH /HEIGHT NOW INCLUDED IN DESIGN--14'6" STANDARD HEIGHT--3 STAGE FRONT AND REAR ARMS--2" (EXTENSIONS AVAILABLE)
3. HYDRAULIC OIL AW-32 -- 5 GALLONS PER CL12 / 10 GALLONS PER CL16

REELS:

- (5) BANKS OF REELS --
- (1) WATER /
- (2) AIR /
- (4) OIL PRODUCTS
- LOW PRESSURE BAL CRANK EVOLUTION HOSE REEL--50' x 3/8"--USED FOR AIR OR WATER
- 2140--014MEDIUM PRESSURE BAL CRANK EVOLUTION HOSE REEL--50' x 1/2"--USED FOR OIL / ATF
- 3330--159NBALCRANK METER HANDLE, DR--2, FLEX--M, 1/4 TURN MANUAL FOR OIL
- 3330--172BALCRANK METER HANDLE, DR--2, FLEX--M, 1/4 TURN MANUAL FOR ATF
- 3340--014RADIATOR WATER BIBB THUMB VALVE, RUBBER SPOUT. MAXIMUM PRESSURE 145 PSI (10BAR)

OIL TANKS:

- (4) OIL PRODUCTS FOOT PRINT OF TANKS INSTALLED SIDE BY SIDE IS 29" x 124" CONNECTING HOSE KIT FOR LYNX® AND PANTHER®
- 8132--005 LP HOSE 5' x 3/8"
- 8249--005 MP HOSE 5' x 1/2"
- 3270--003 COUPLER 1/4"
- 3270--004 NIPPLE 1/4"
- 3270--053 BUSHING 3/4" x 1/2"
- 3260--033 FILTER REGULATOR, MINI, AUTO DRAIN 1/4"
- 1110--012 PUMP, LYNX HD 5:1,W/ PRESSURE RELIEF, W/BUNG ADAPTER
- 1136--001 KIT, ANCHOR, TIE DOWN, ROTH 165/275G -- ONE KIT PER TANK
- LUBE TANK INSTALL KIT -- 620L/1000L
- LUBE INSTALLATION KIT FOR BASIC PLUS (USE WITH 620L AND 1000L)--(INCLUDES STANDARD METAL MUSHROOM VENT CAP WITH NIPPLE, HINGED LOCKABLE FILL CAP AND STANDARD GAUGE)
- ROTH 620L -- 165 GALLON
- LUBE DWT 620L -- 165 GALLON
- INCLUDES BASE

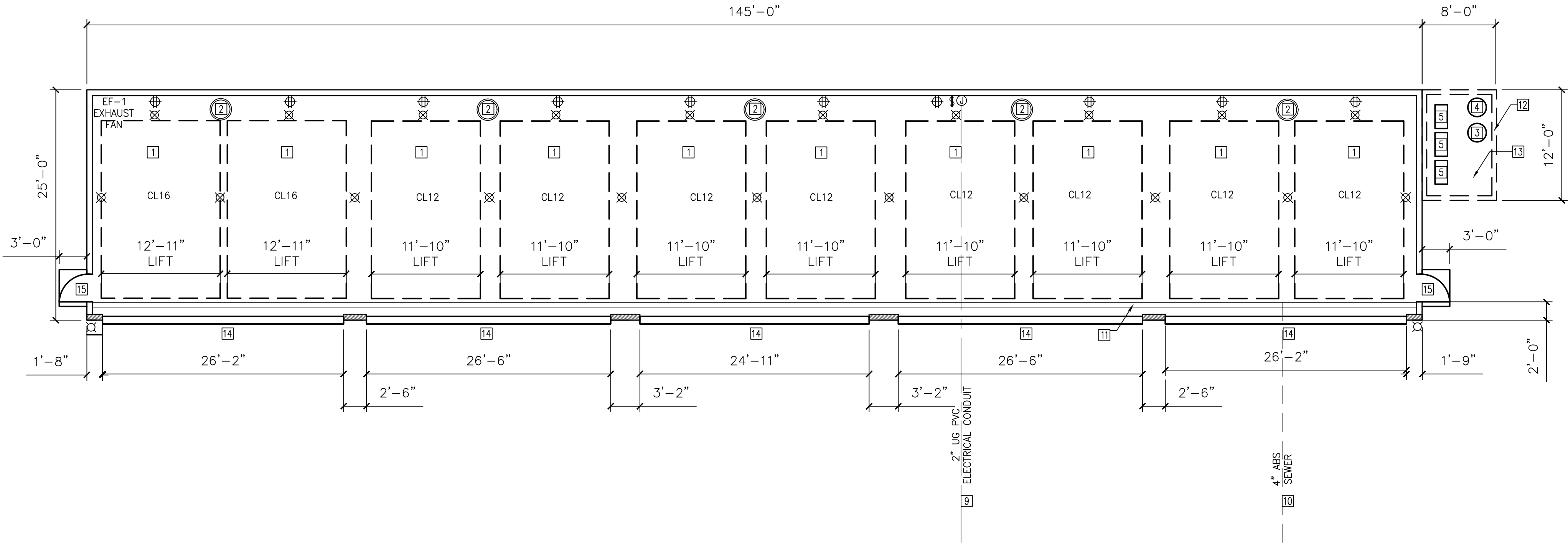
COMPRESSOR:

- FOOTPRINT IS 37"x25"
- FCA07E57H8S--A3L1XXFS CURTIS -- CA7.5 HP,80 GALLON TANK
- STANDARD FEATURES
- SPLASH LUBRICATED
 - ASME AIR RECEIVER (VERTICAL OR HORIZONTAL)
 - UL APPROVED PRESSURE SWITCH
 - OSHA APPROVED TOTALLY ENCLOSED BELT GUARD
 - ASME APPROVED SAFETY RELIEF VALVE
 - ASME APPROVED DISCHARGE AIR SERVICE VALVE
 - SLOW V-BELT DRIVE
 - FACTORY FILLED LUBRICANT
 - MAGNETIC MOTOR STARTER (60HZ)
 - AUTOMATIC START--STOP CONTROL
 - PREMIUM EFFICIENCY MOTORS (3-PHASE ONLY)
 - LARGE METAL INTAKE FILTER--SILENCERS
 - TANK SHUT OFF VALVE
 - MANUAL CONDENSATE TANK DRAIN VALVE
 - DIAL READ--OUT PRESSURE GAUGE INDICATOR
 - OIL LEVEL SIGHT INDICATOR

NOTES AND SCHEDULES

FLOOR PLAN NOTES	
SYMBOL	DESCRIPTION
1	12K OR 16K VEHICLE LIFT
2	RETRACTABLE HOSE REELS
3	AIR COMPRESSOR
4	TANK AIR STORAGE
5	VEHICLE OIL DISPENSER TANKS
9	UNDERGROUND PVC 2" CONDUIT
10	UNDERGROUND 4" ABS SEWER
11	TRENCH DRAIN
12	6" CURB
13	CONTAINMENT AREA
14	STEEL ROLL UP DOOR (27' x 20' APPROX.)
15	3'-0" x 6'-8" EGRESS DOOR W/ LANDING

LEGEND:	
SYMBOL	DESCRIPTION
⊕	QUADPLEX
§	DOUBLE SWITCH W/ DIMMER
⊗	LED LIGHT
⊗	EXTERIOR LIGHT
Ⓢ	125 AMP ELECTRICAL PANEL
2	RETRACTABLE HOSE REELS



FLOOR PLAN

SCALE : 1/8"=1'-0"

A

DESIGN & PROFESSIONAL ENGINEERING SERVICES:

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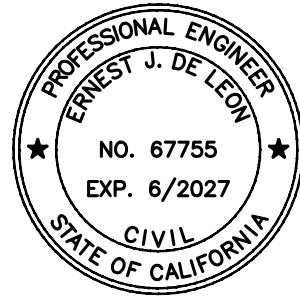
SHEET DESCRIPTION:

FLOOR PLAN

OWNER:

DAVID SIMPSON

10150 TRASK AVENUE
GARDEN GROVE, CA 92844
CONTACT: SCOTT OLSON
PH: (562) 895-2134



APRIL 22, 2025

REVISION STATUS:

2	01/20/25	LAND USE PERMIT SUBMITTAL
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REV.	DATE	DESCRIPTION

PROJECT NO: **24-177**

DRAWN BY: **BG**

ENG. MGR.: **EJD**

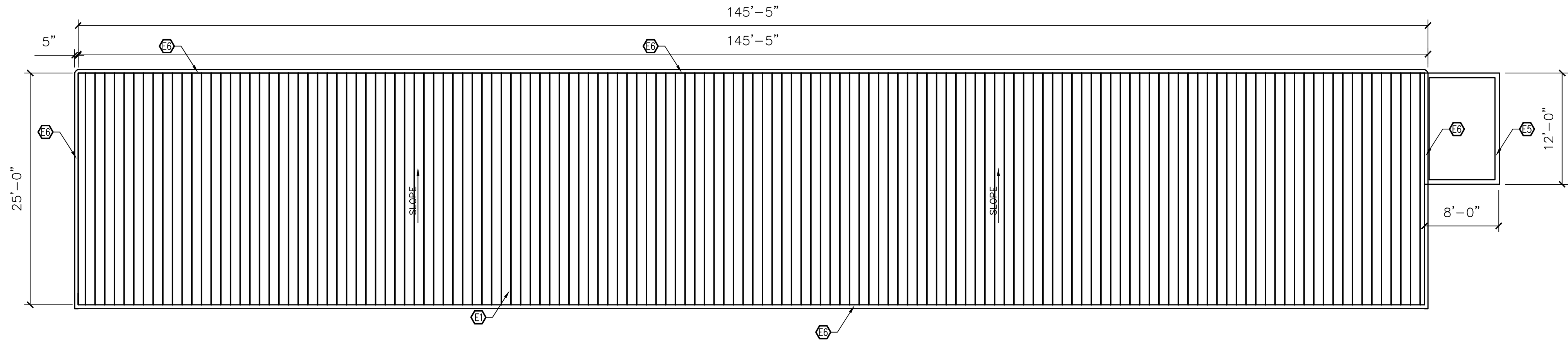
DATE: **01/20/2025**

PROJECT DESCRIPTION & ADDRESS:

METAL STRUCTURE
10150 TRASK AVE
GARDEN GROVE, CA 92843

A1

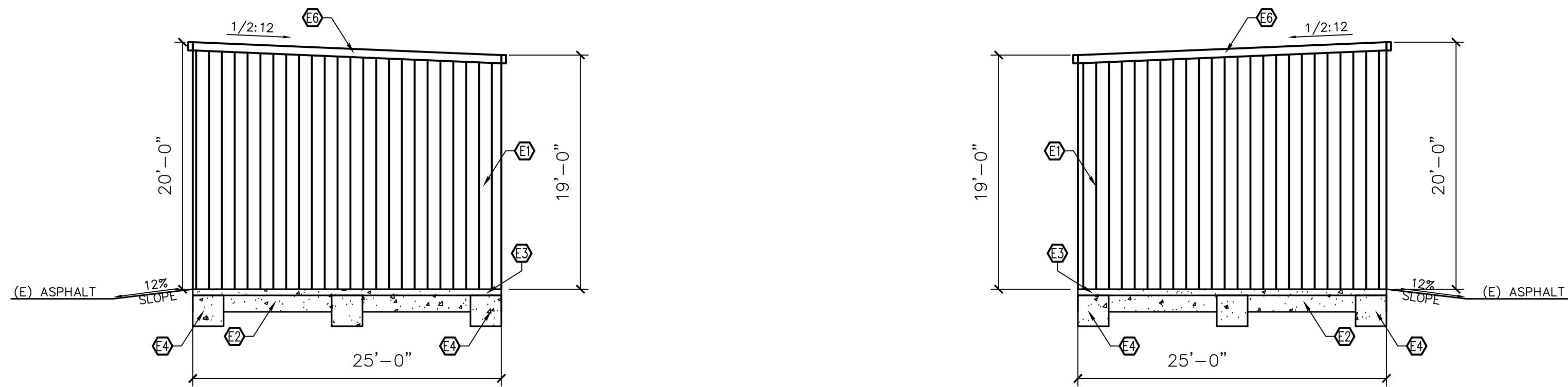
SHEET



ROOFING

SCALE : 1/8"=1'-0"

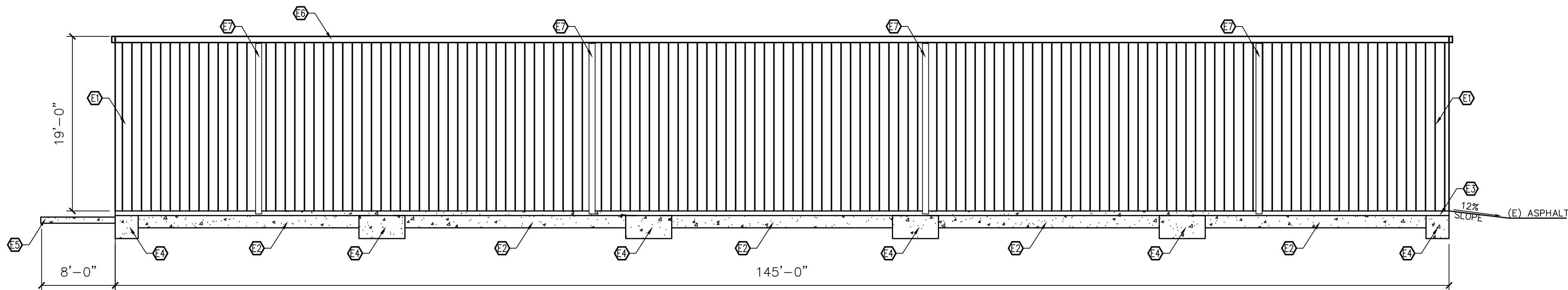
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WEST & EAST ELEVATIONS

SCALE : 1/8"=1'-0"

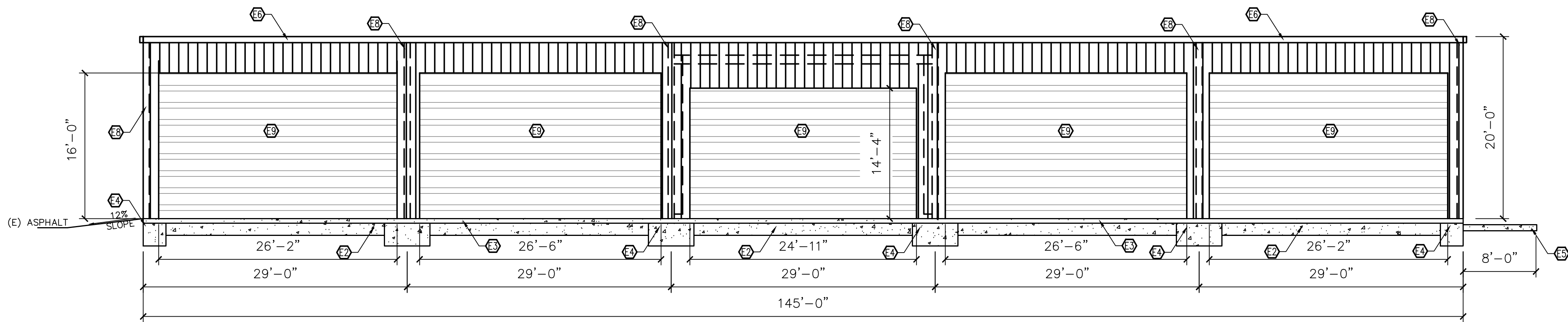
C



SOUTH ELEVATION

SCALE : 1/8"=1'-0"

B



NORTH ELEVATION

SCALE : 1/8"=1'-0"

A

NOTES AND SCHEDULES

EXTERIOR MATERIALS

SYMBOL	DESCRIPTION
E1	26 GA. PBR GALVALUME (POLAR WHITE)
E2	NEW CONCRETE FOUNDATION
E3	NEW 6" CONCRETE SLAB
E4	NEW PAD FOOTING (PER FOUNDATION SCHEDULE)
E5	6" CONTAINMENT STEM WALL
E6	GUTTER
E7	GUTTER DOWNSPOUT
E8	STEEL COLUMN BEYOND (PER STRUCTURE PLAN)
E9	STEEL ROLL UP DOOR (MANUAL OPERATION) 27' x 20' APPROX.

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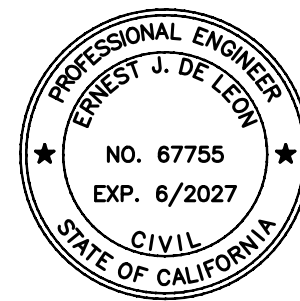
SHEET DESCRIPTION:

ELEVATIONS

OWNER:

DAVID SIMPSON

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PH: (562) 895-2134



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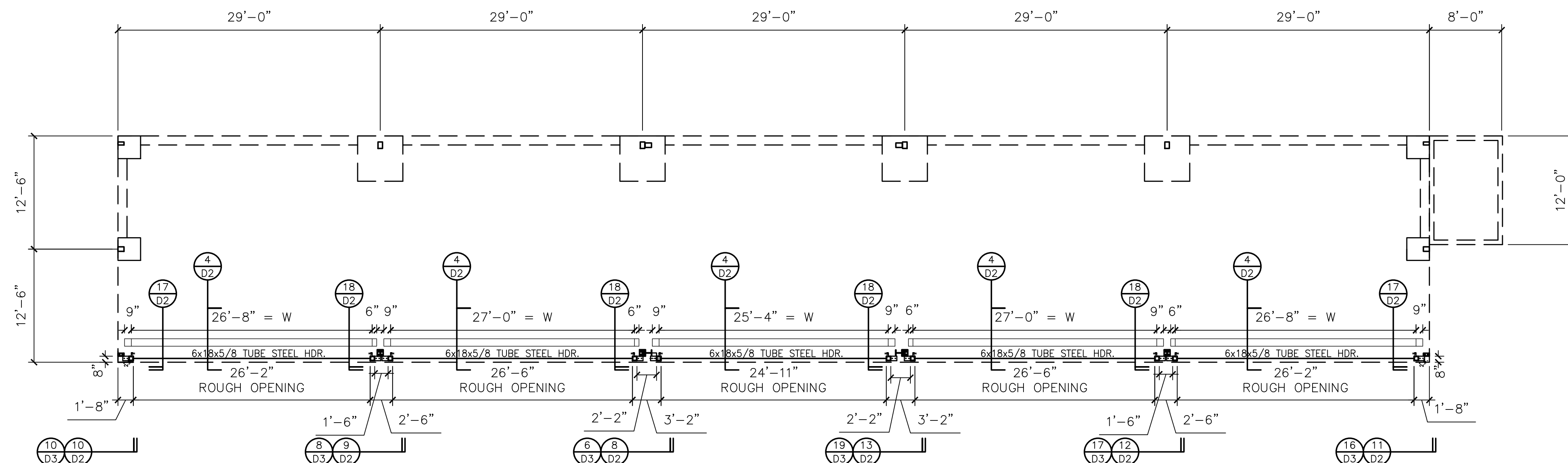
PROJECT NO: 24-177
DRAWN BY: BG
ENG. MGR.: EJD
DATE: 01/20/2025

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METAL STRUCTURE
10150 TRASK AVE
GARDEN GROVE, CA 92843

A2

SHEET

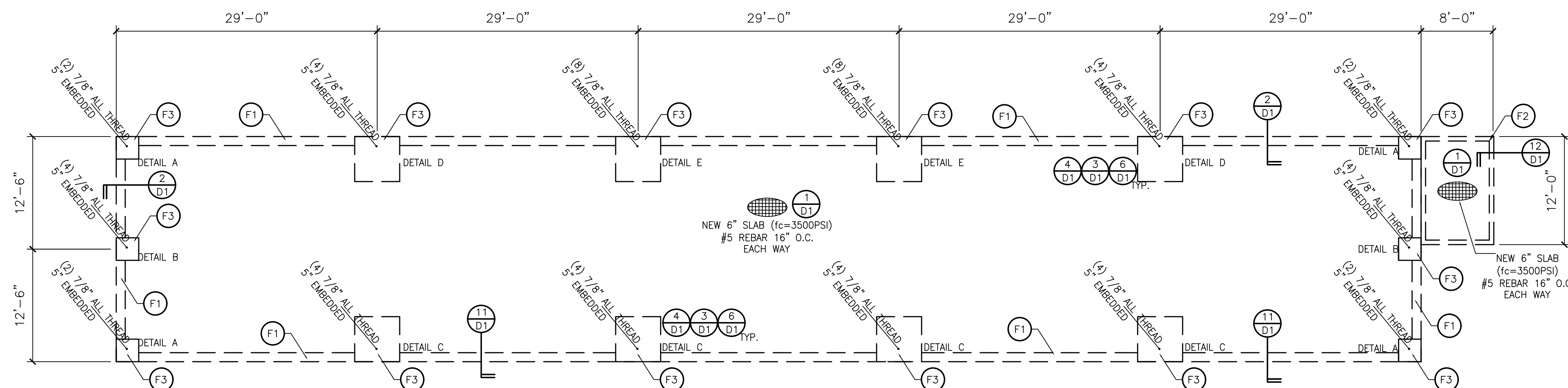


6x6 T.S. COLUMN ROLL UP DOOR COLUMNS

SCALE : 1/8"=1'-0"

5

BASE PLATES PER STEEL BUILDING STRUCTURAL PLAN BY TITAN STEEL STRUCTURES.
 BASE PLATE DIMENSIONS SHOWN HERE ARE FOR REFERENCE ONLY
 VERIFY WITH STEEL STRUCTURE PLAN PRIOR TO FABRICATING TEMPLATES AND INSTALLING ANCHORS.
 IF A DISCREPANCY EXIST BETWEEN BASE PLATES SHOWN HERE AND THOSE IN STEEL PLANS
 THE STEEL STRUCTURE PLANS SHALL GOVERN AND THE FOUNDATION ENGINEER OF RECORD SHALL
 BE CONTACTED TO DETERMINE IF ANY REVISION
 TO ANCHOR DESIGN WILL BE REQUIRED.



"TITAN STEEL" FOUNDATION PLAN

SCALE : 1/8"=1'-0"

A

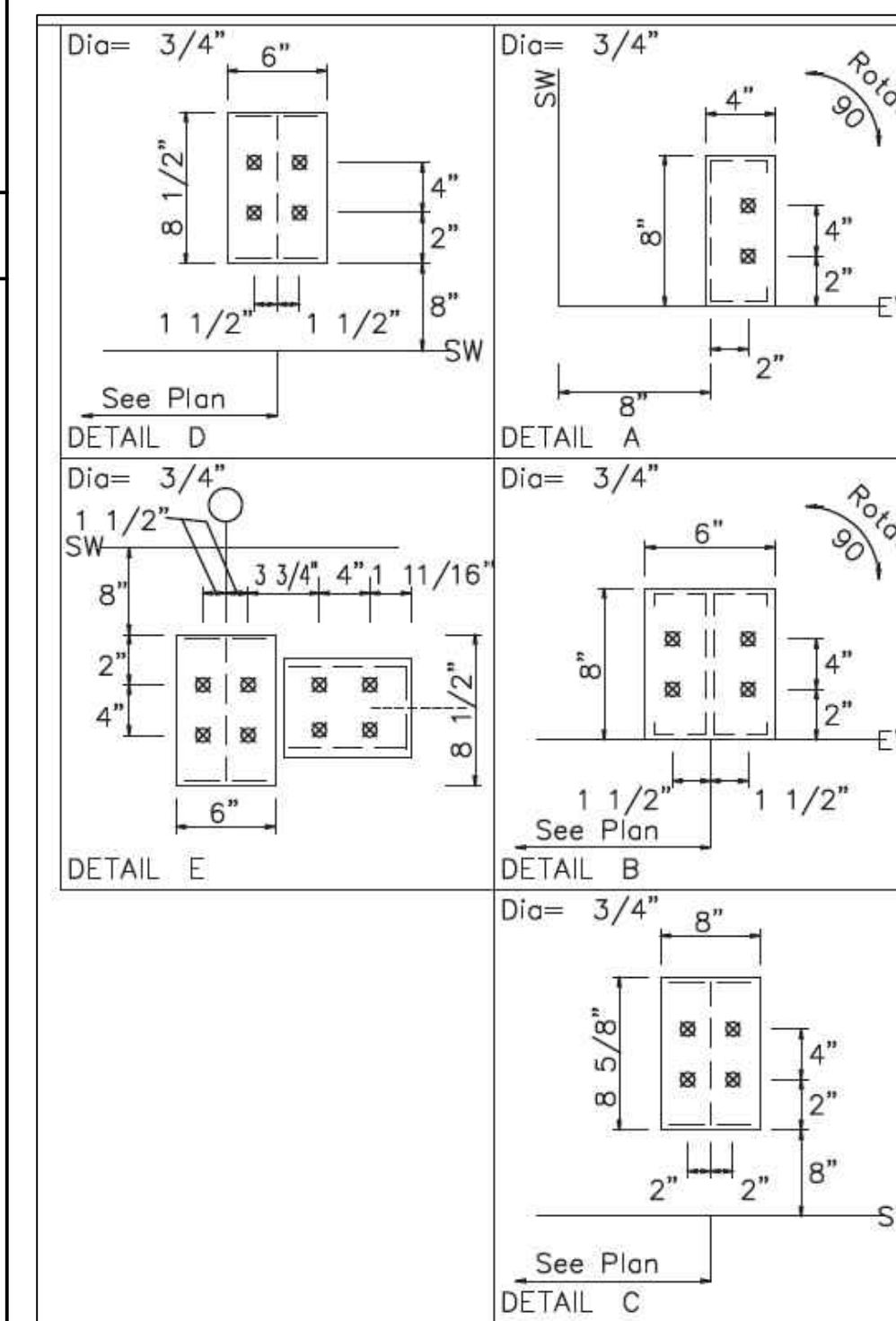
NOTES AND SCHEDULES

FOUNDATION SCHEDULE

- F1 (NEW FOOTING)
12" WIDE x 16" DEEP CONT. FOOTING
W/ (2) #5 REBAR CONT. TOP AND
BOTTOM
- F2 (NEW STEM WALL FOOTING)
12" WIDE x 16" DEEP CONT. FOOTING
W/ (2) #5 REBAR CONT. TOP AND
BOTTOM.
6" STEM WALL
- F3 (NEW PAD FOOTING)
60" SQUARE x 30" DEEP
W/ (1) #5 REBAR @ 6" O.C. EA. WAY
LOCATED 3' FROM BOTTOM

ANCHOR BOLT SCHEDULE

1. ALL STEEL COLUMN CONNECTIONS TO FOOTING :
- A. (4) 7/8" x 10" LONG ANCHOR BOLT @ EVERY STEEL COLUMN WITH 5" EMBEDMENT MIN.



BASE PLATES PER STEEL BUILDING STRUCTURAL PLAN
BY TITAN STEEL STRUCTURES.
BASE PLATE DIMENSIONS SHOWN HERE ARE FOR
REFERENCE ONLY.
VERIFY WITH STEEL STRUCTURE PLAN PRIOR TO
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DESIGN & PROFESSIONAL ENGINEERING SERVICES:

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SHEET DESCRIPTION:

DAVID SIMPSON

**10150 TRASK AVENUE
GARDEN GROVE, CA 92844
CONTACT: SCOTT OLSON
PH: (562) 895-2134**



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PROJECT NO: 24-177

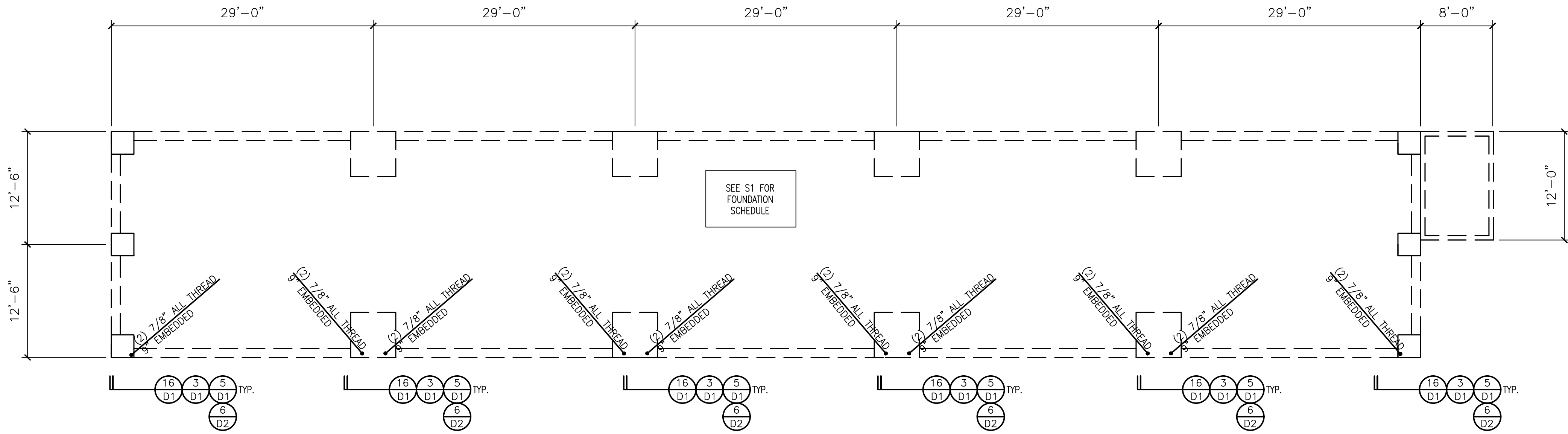
DRAWN BY:	BG
ENG. MCB :	E1D

DATE: **01/20/2025**

PROJECT DESCRIPTION & ADDRESS:

METAL STRUCTURE
10150 TRASK AVE
GARDEN GROVE, CA 92843

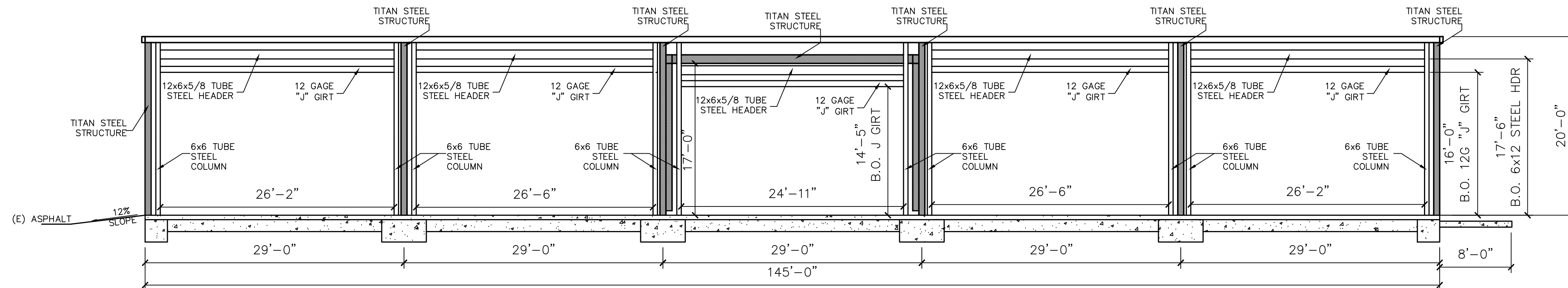
S1



6x6 TUBE STEEL FOUNDATION PLAN

SCALE : 1/8"=1'-0"

B



NORTH ELEVATION (STEEL COLUMNS)

SCALE : 1/8"=1'-0"

A

NOTES AND SCHEDULES

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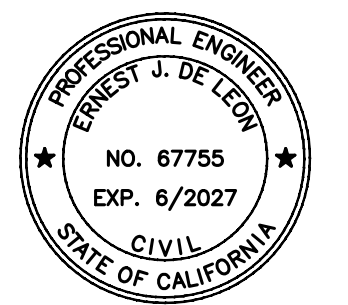
SHEET DESCRIPTION:

STEEL COLUMN
FOUNDATION &
ELEVATION

OWNER:

DAVID SIMPSON

10150 TRASK AVENUE
GARDEN GROVE, CA 92844
CONTACT: SCOTT OLSON
PH: (562) 895-2134



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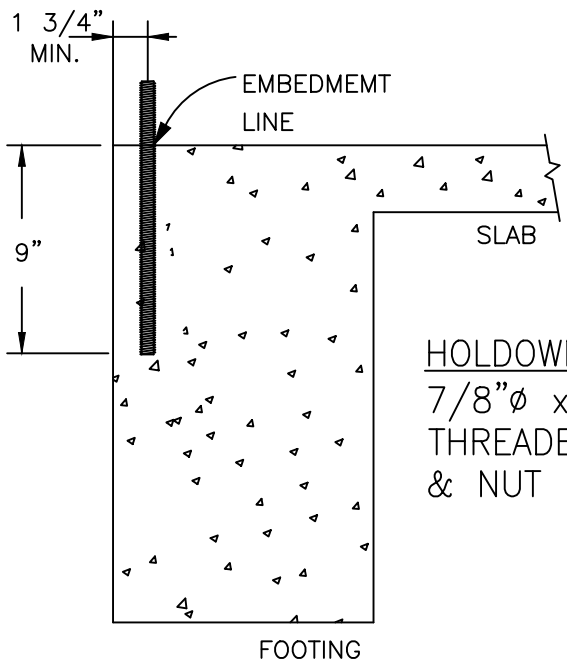
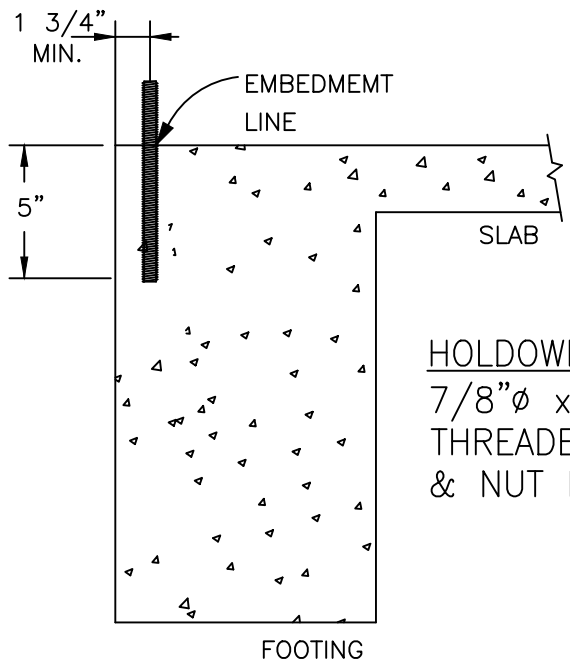
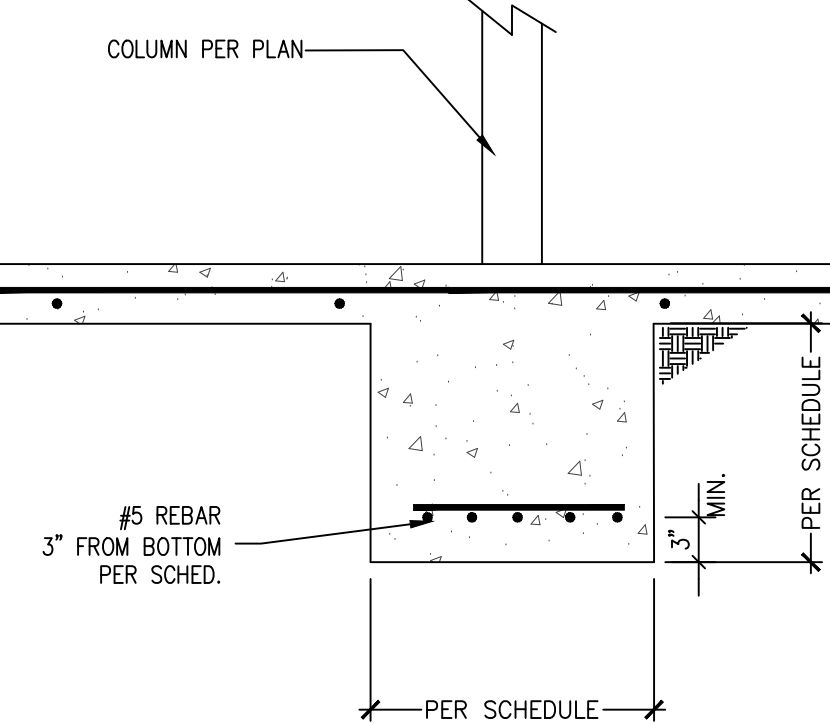
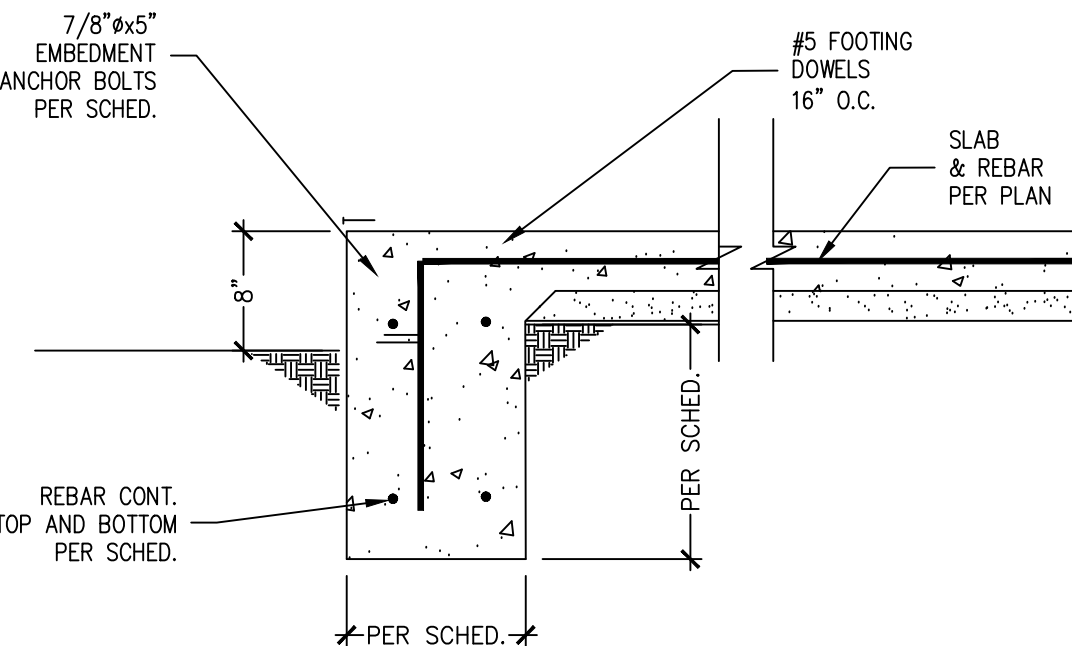
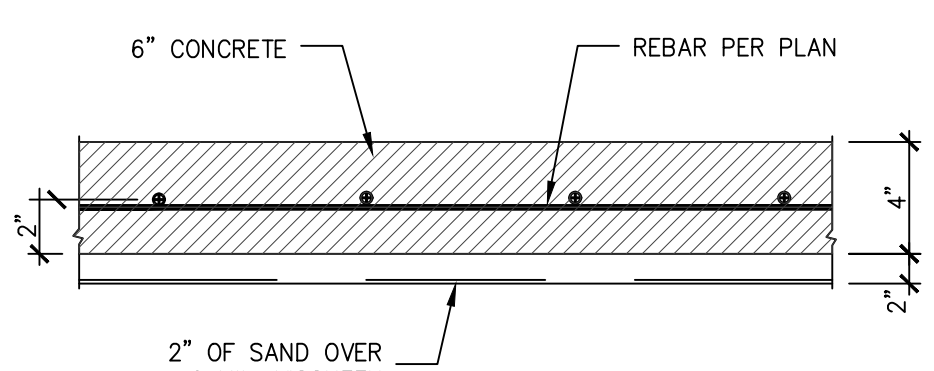
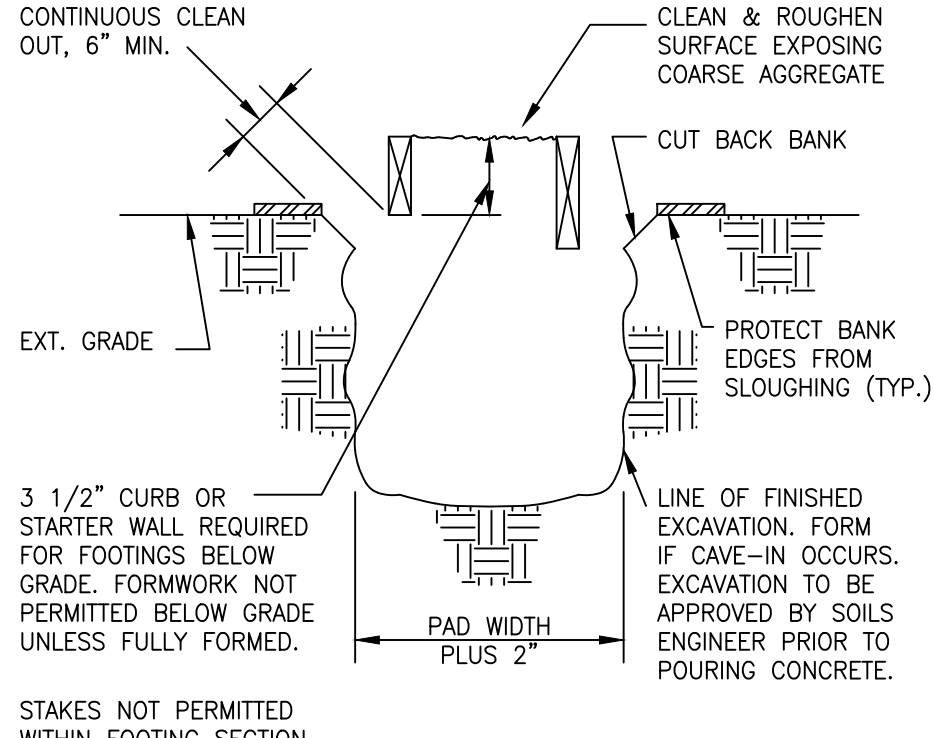
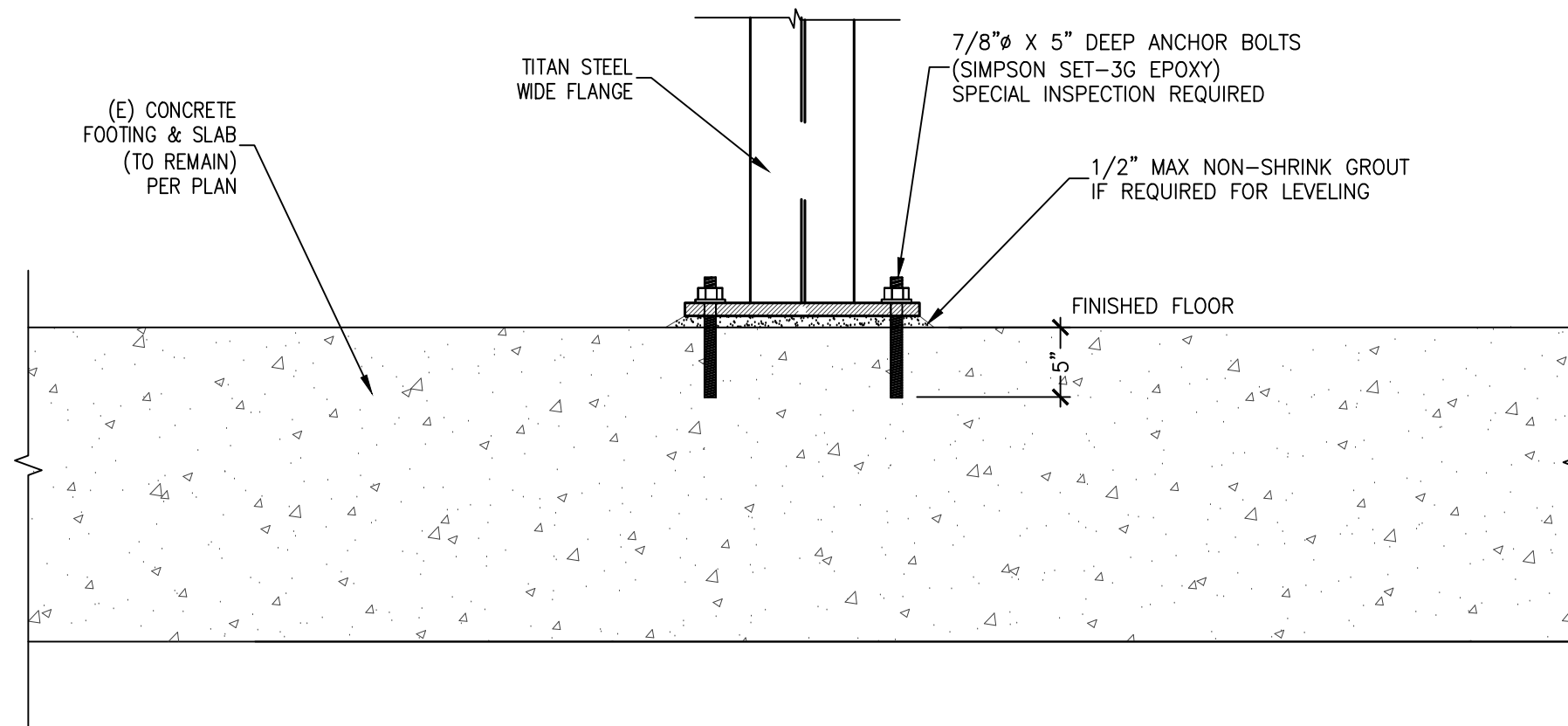
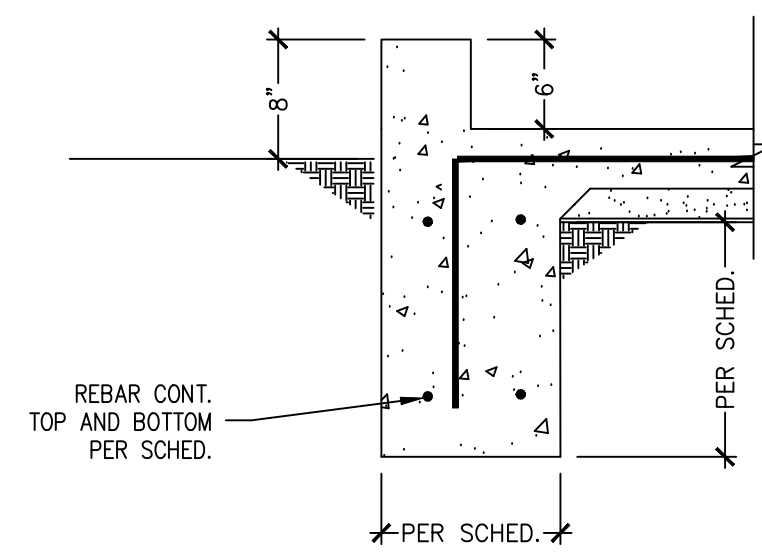
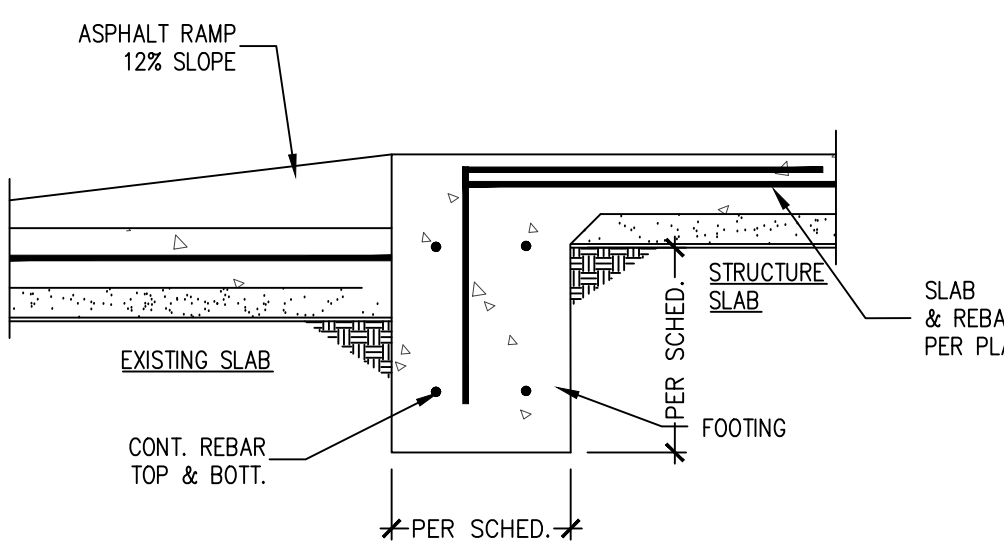
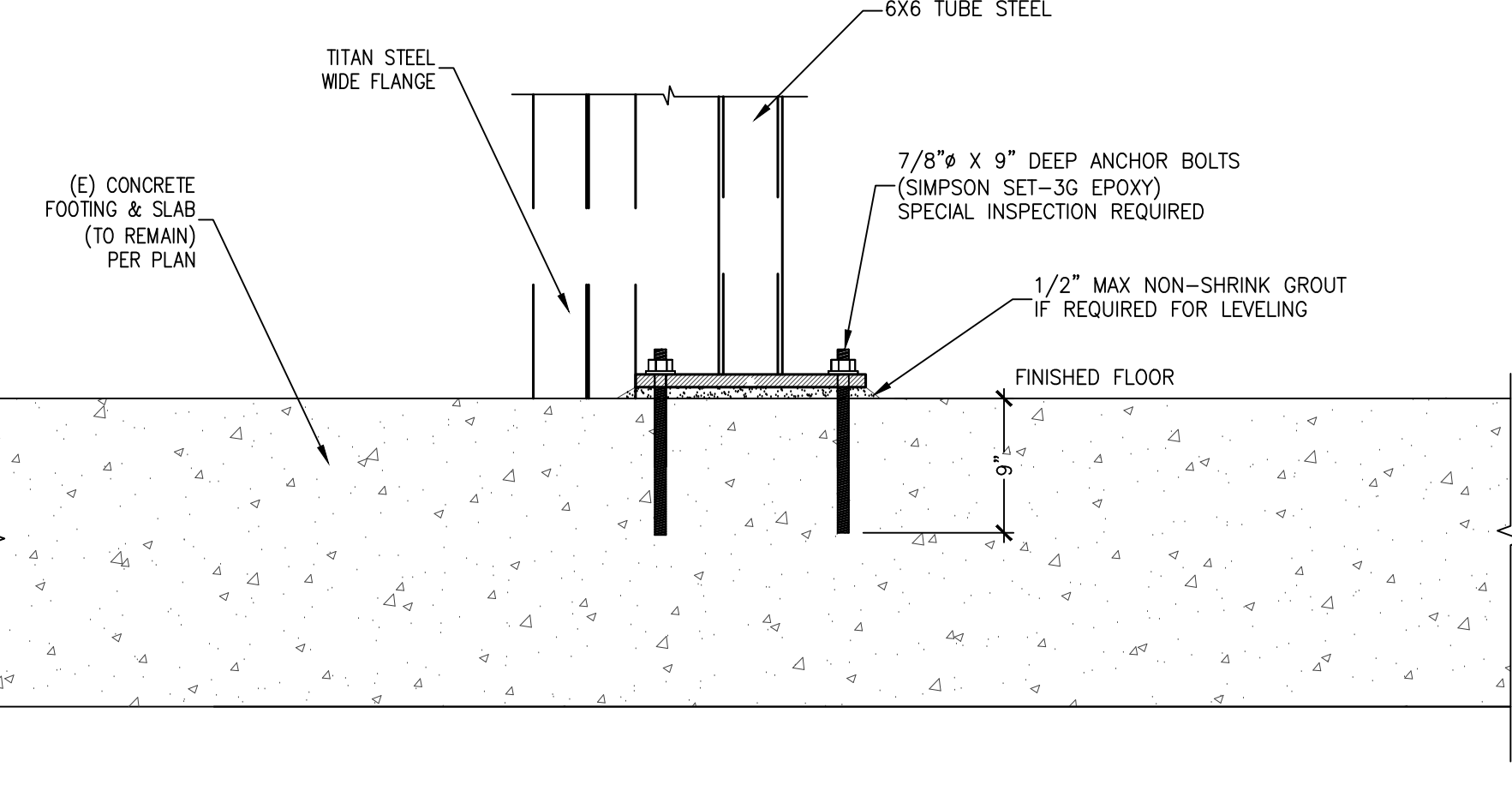
PROJECT NO: **24-177**
DRAWN BY: **BG**
ENG. MGR.: **EJD**
DATE: **01/20/2025**

PROJECT DESCRIPTION & ADDRESS:

METAL STRUCTURE
10150 TRASK AVE
GARDEN GROVE, CA 92843

S2

SHEET

 <p>HOLDOWN NEW FDN: 7/8"Ø x 9" MIN. EMBEDMENT THREADED ROD WITH WASHER & NUT LOCATED AT BOTTOM</p>		 <p>HOLDOWN NEW FDN: 7/8"Ø x 5" MIN. EMBEDMENT THREADED ROD WITH WASHER & NUT LOCATED AT BOTTOM</p>						 <p>3500 PSI CONCRETE SLAB (28 DAYS)</p>	
T.S. HOLDOWN ANCHOR BOLT	5	W.F. HOLDOWN ANCHOR BOLT	4	PAD FOOTING	3	CONTINUOUS FOOTING	2	SLAB ON GRADE	1
									
	10	FOOTING EXCAVATION	9	"TITAN STEEL" STEEL COLUMN BASEPLATE CONNECTION					6
									
	15		14		13	CONTINUOUS FOOTING	12	SLAB TO FOOTING	11
									
	20		19		18	6x6 T.S. COLUMN BASEPLATE CONNECTION			16

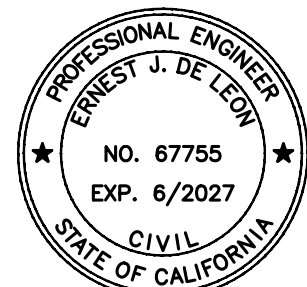
DESIGN & PROFESSIONAL ENGINEERING SERVICES:

EJDENGINEERING INC.
Ernest J. De Leon, P.E.
5847 Pine Ave (Suite A)
Chino Hills, CA 91709
Office: 909.517.2451
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SHEET DESCRIPTION:
DETAILS

OWNER:
DAVID SIMPSON
10150 TRASK AVENUE
GARDEN GROVE, CA 92844
CONTACT: SCOTT OLSON
PH: (562) 895-2134



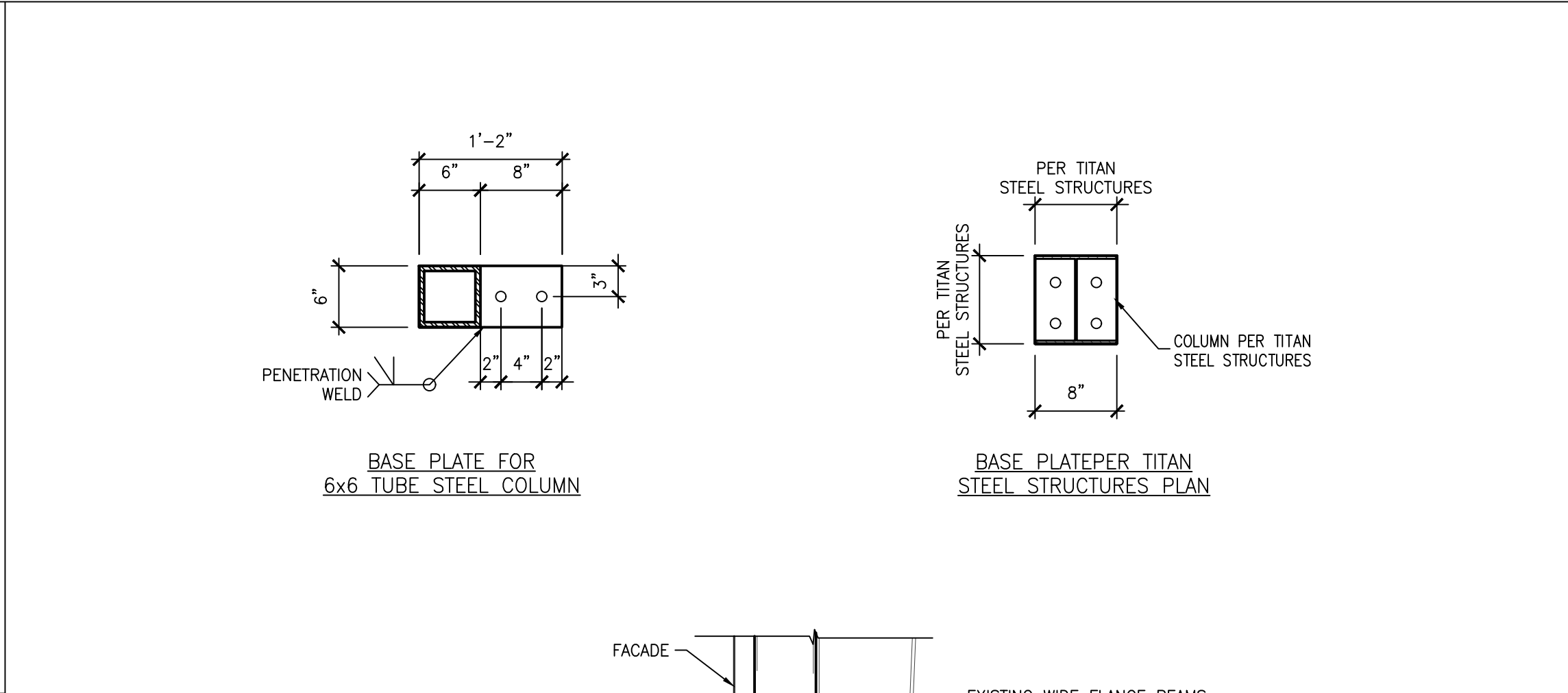
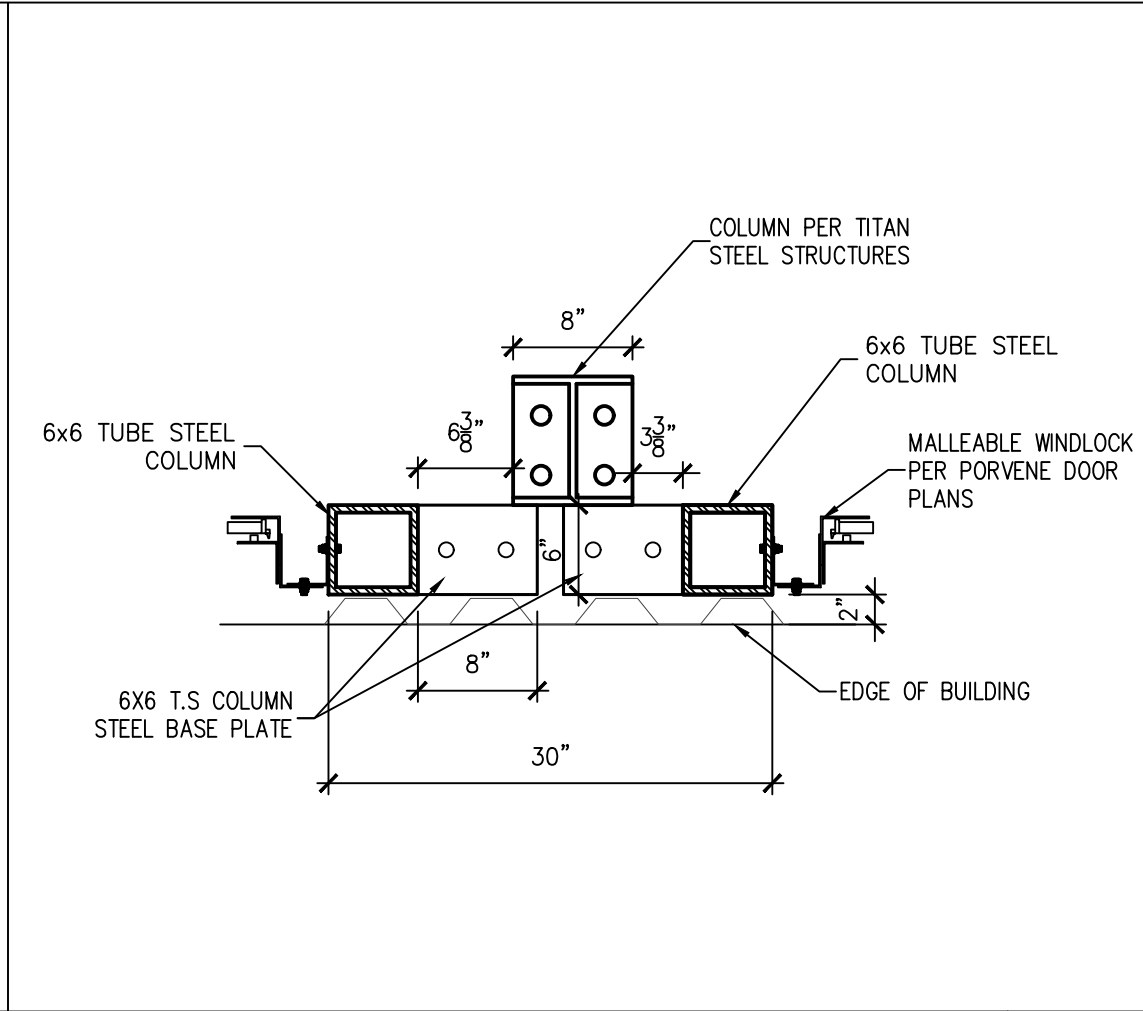
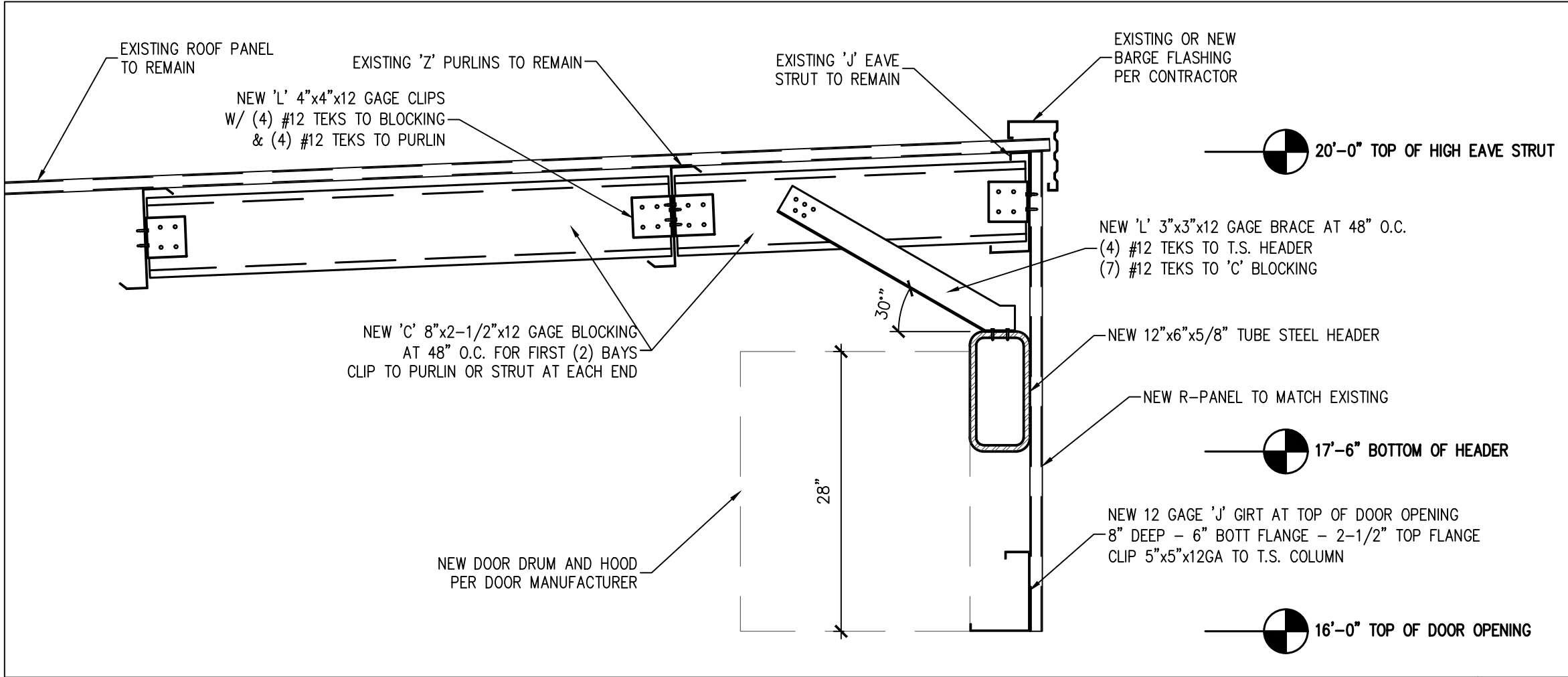
APRIL 22, 2025

REVISION STATUS:			
REV.	DATE	DESCRIPTION	
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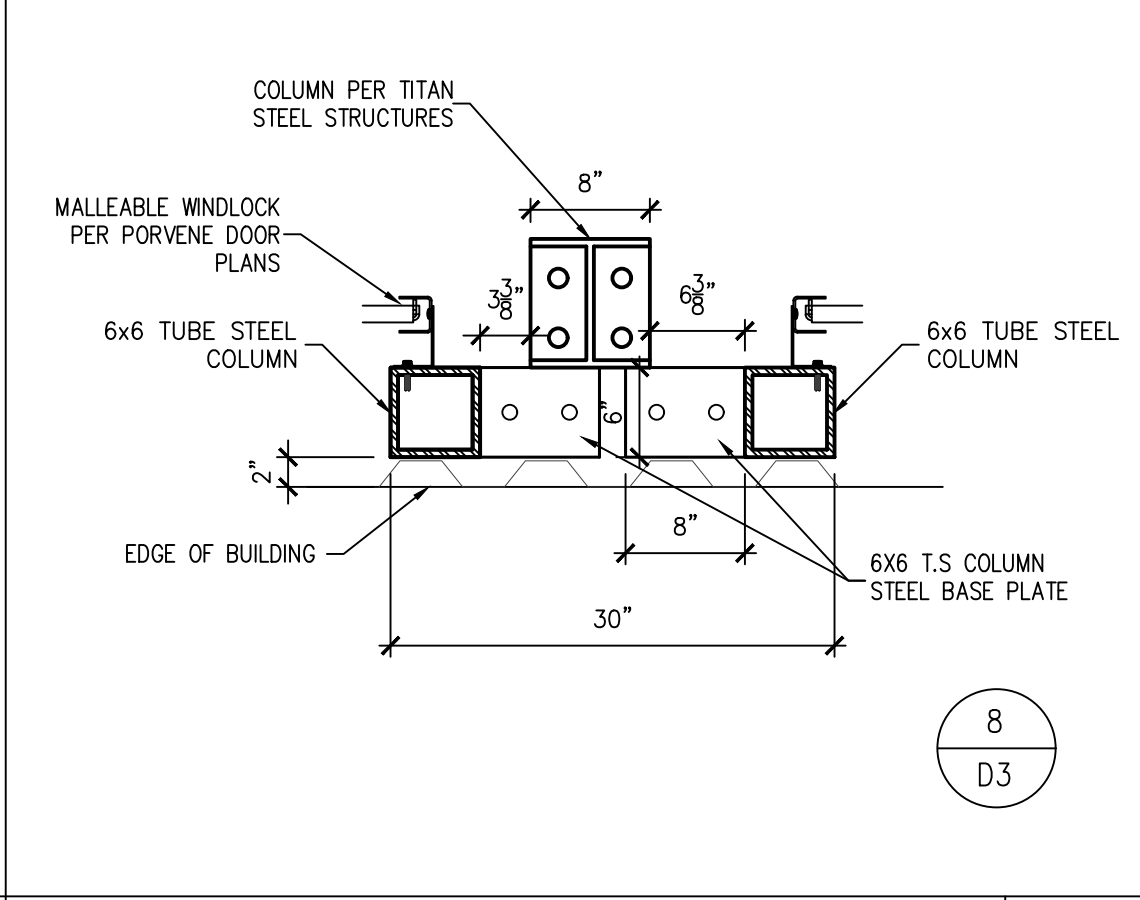
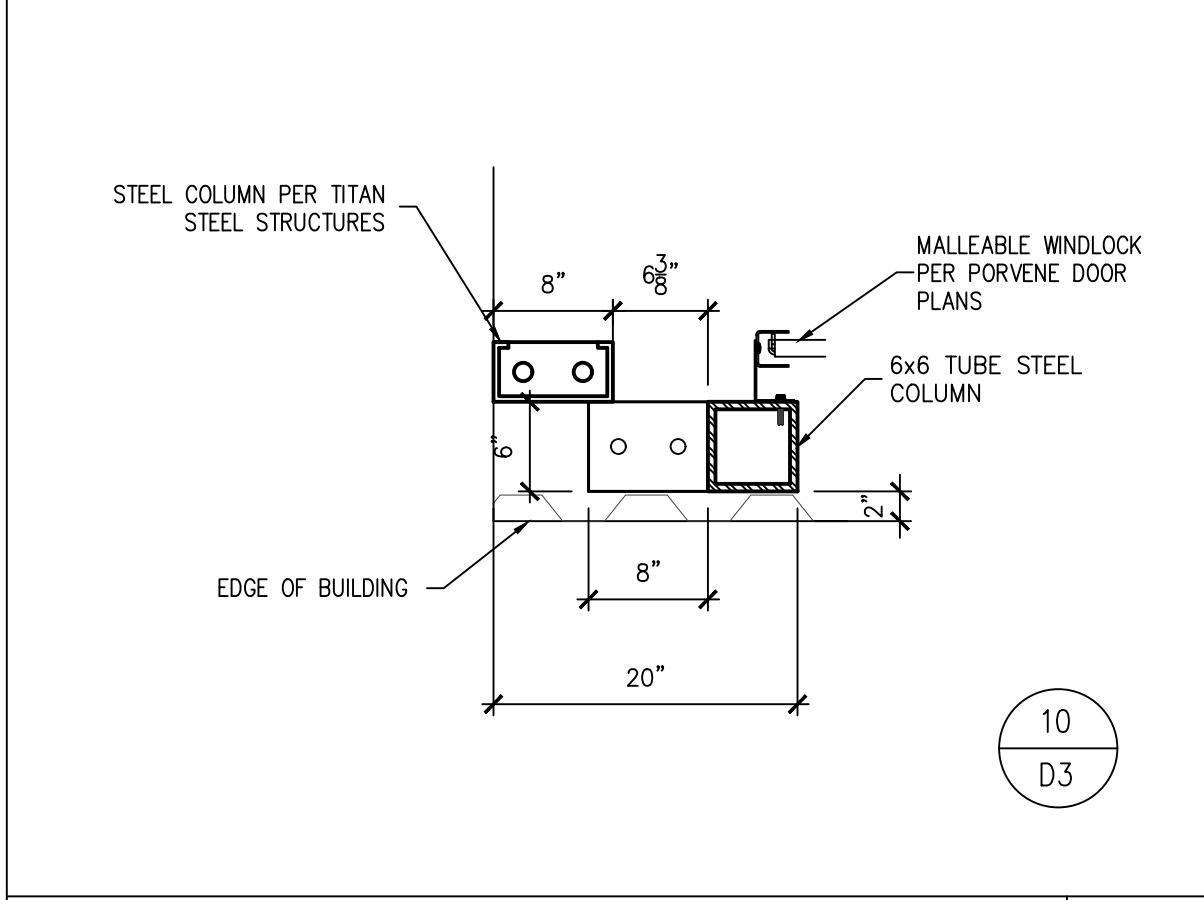
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METAL STRUCTURE
10150 TRASK AVE
GARDEN GROVE, CA 92843

D1
SHEET



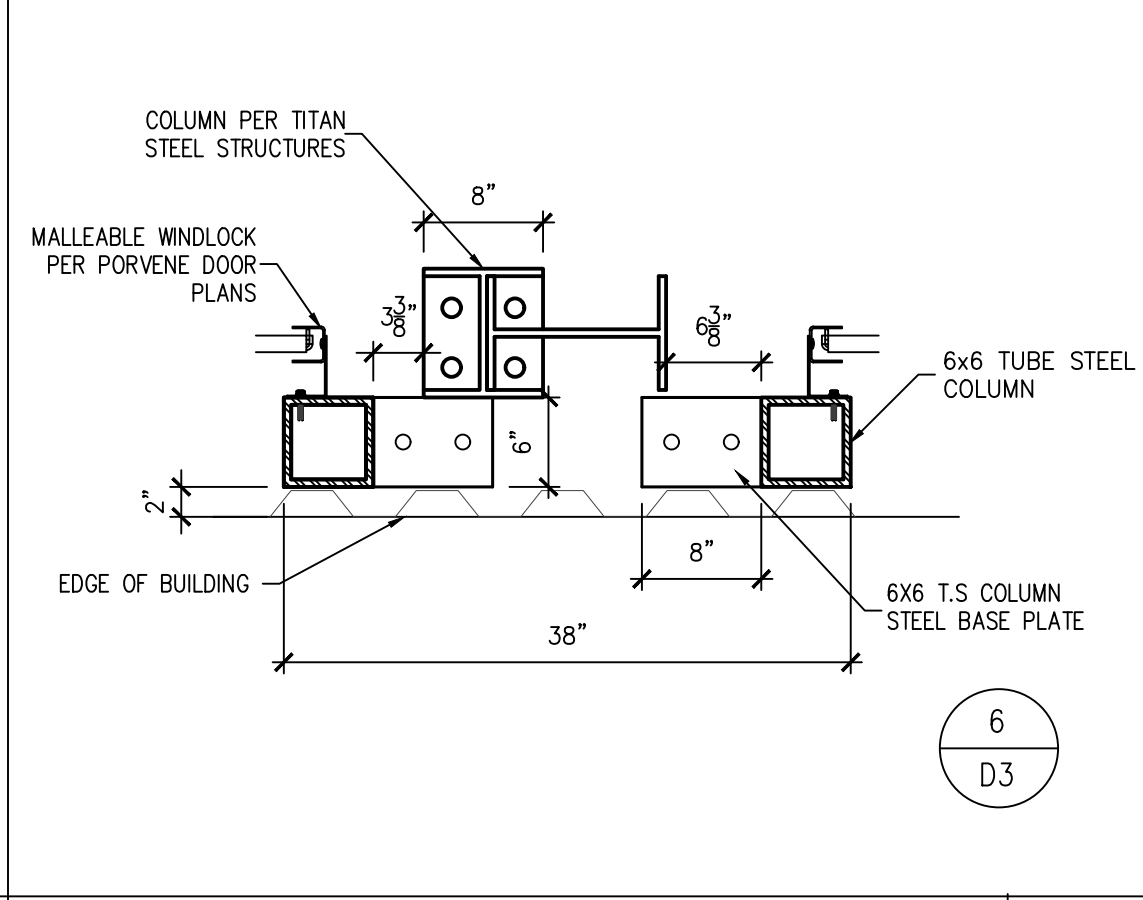
BRACING AT NEW TUBE STEEL HEADER 4

ALTERNATE WINDLOCK PLACEMENT 3

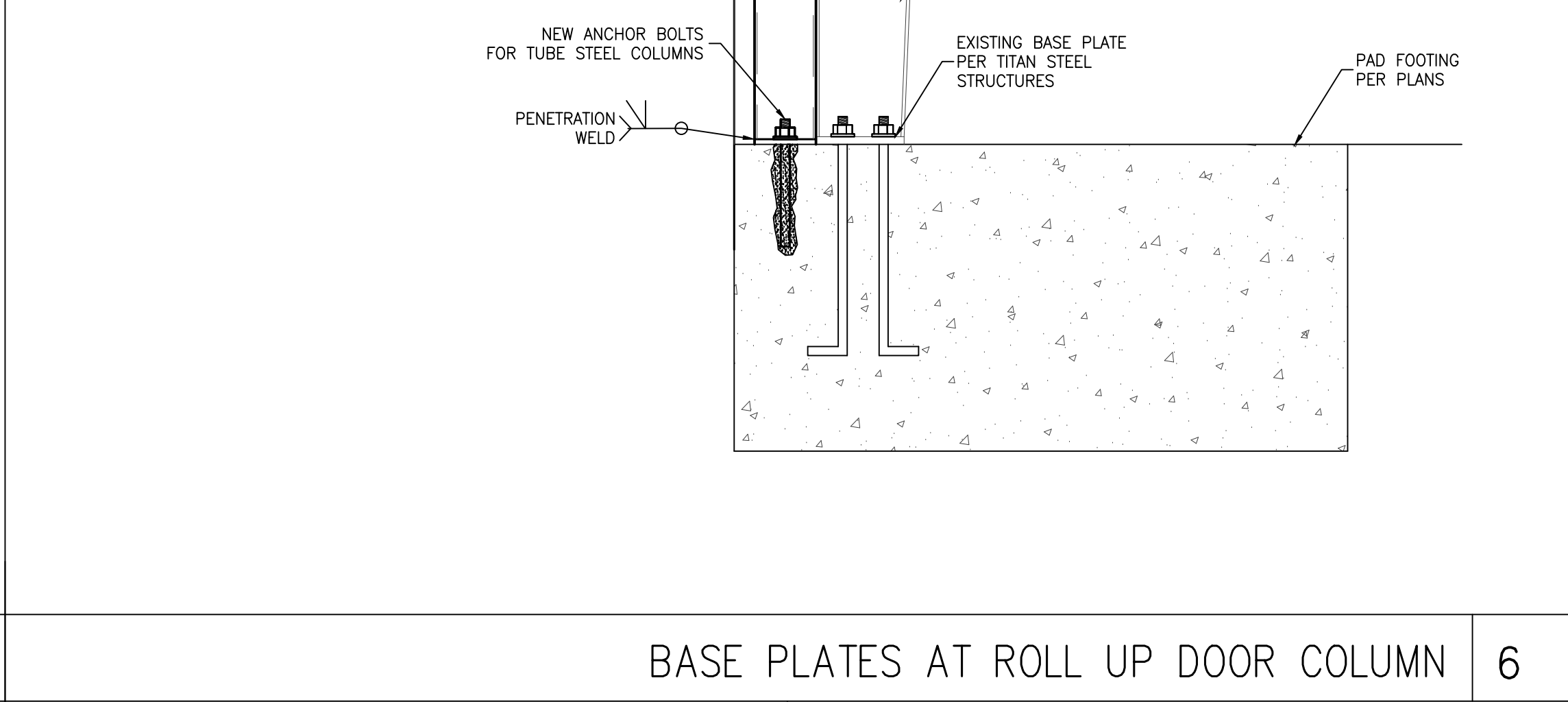


ROLL UP DOOR POSTS 10

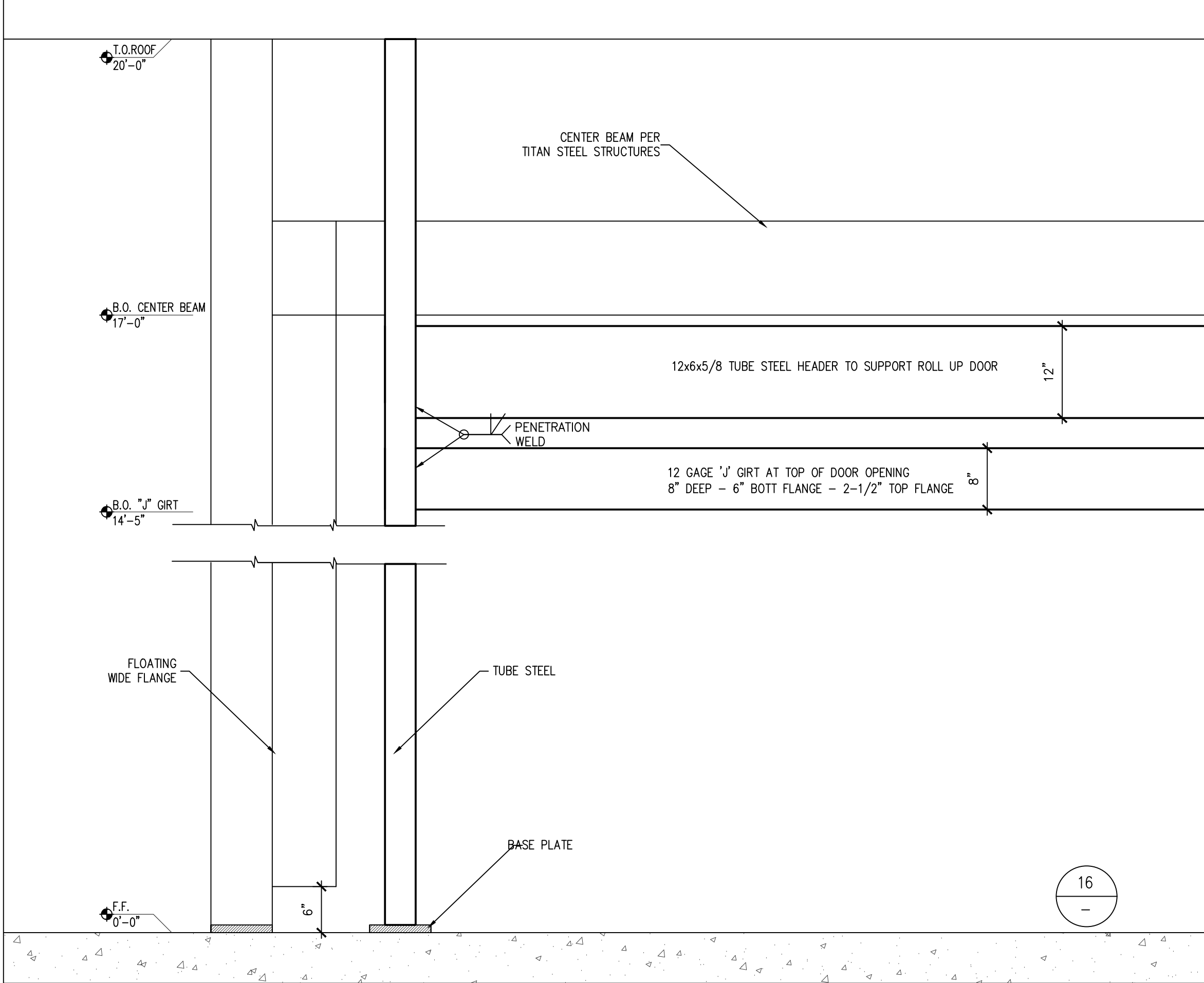
ROLL UP DOOR POSTS 9



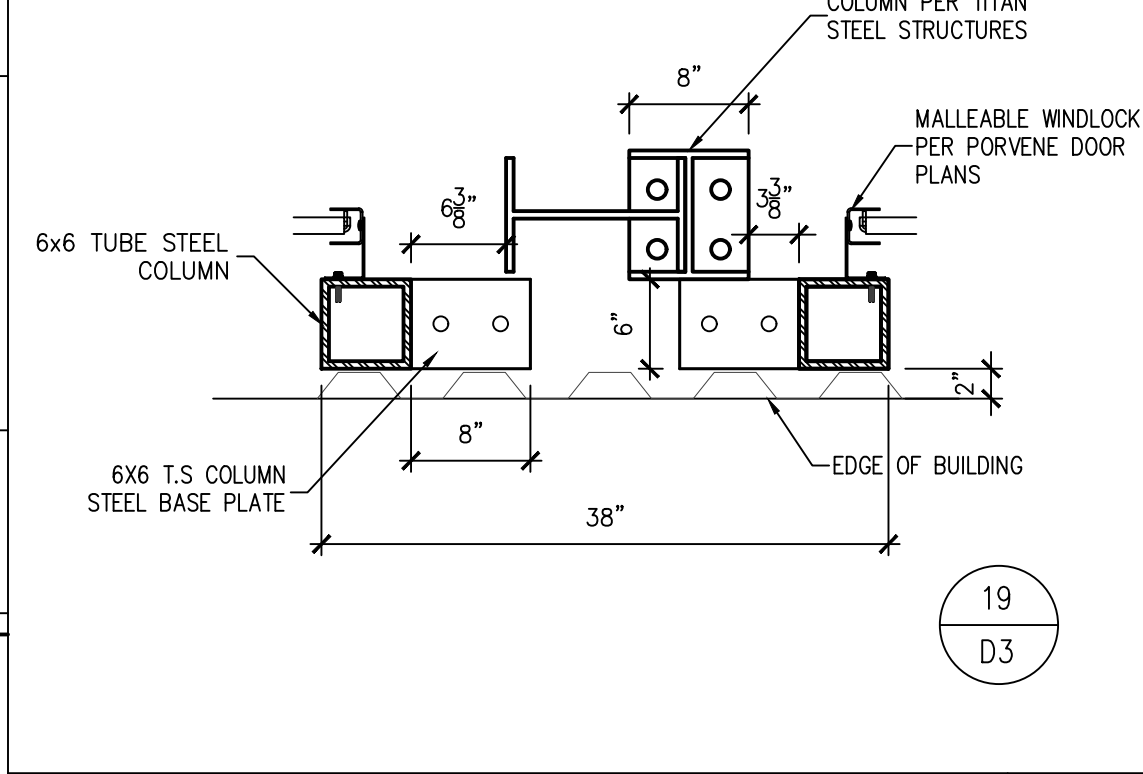
ROLL UP DOOR POSTS 8



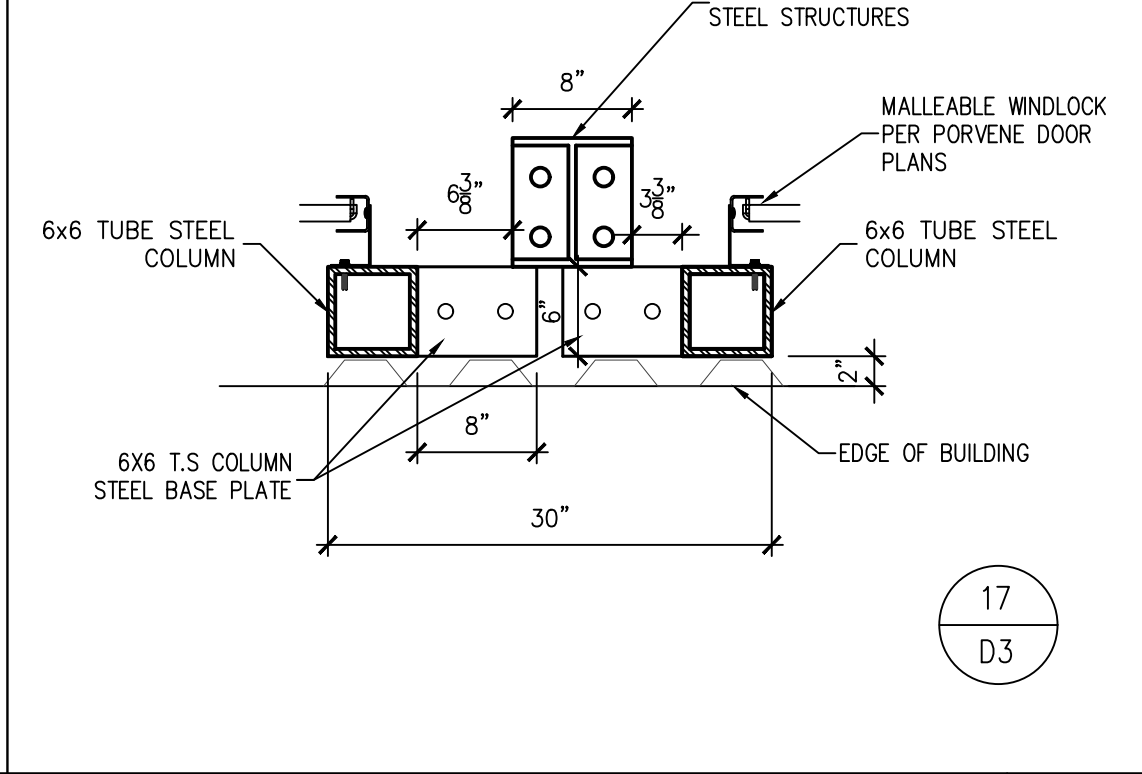
BASE PLATES AT ROLL UP DOOR COLUMN 6



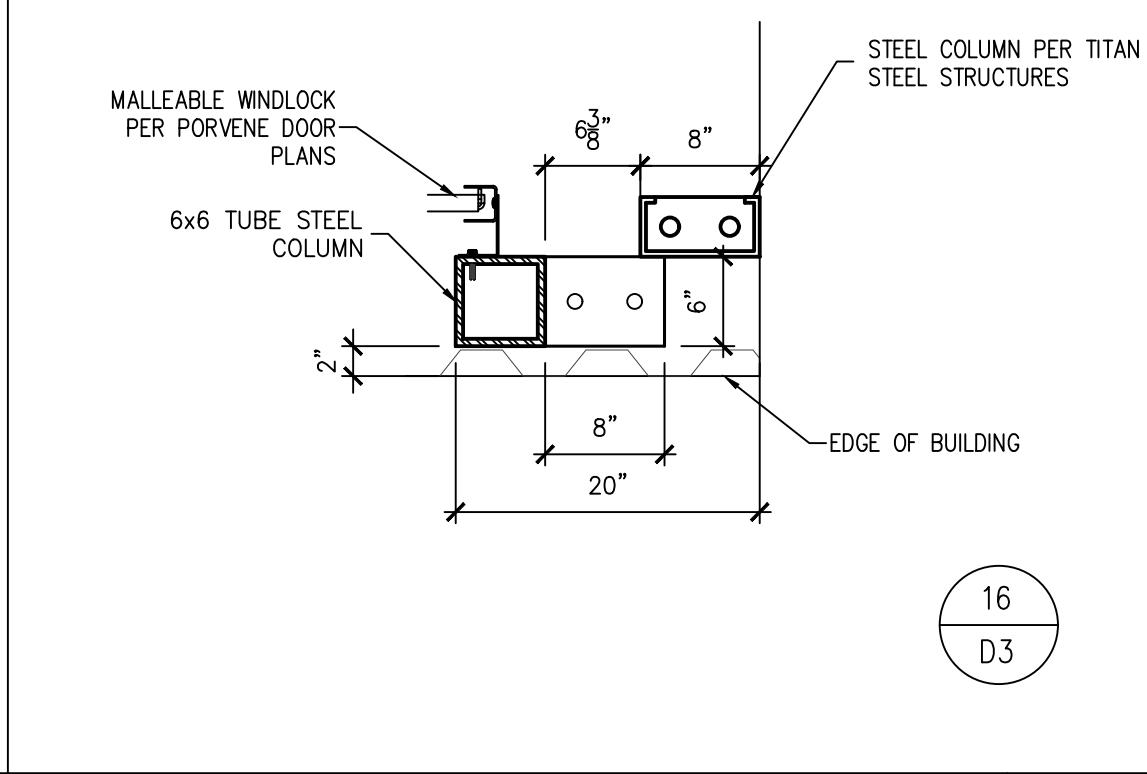
PARTIAL ELEVATION AT DOOR 19



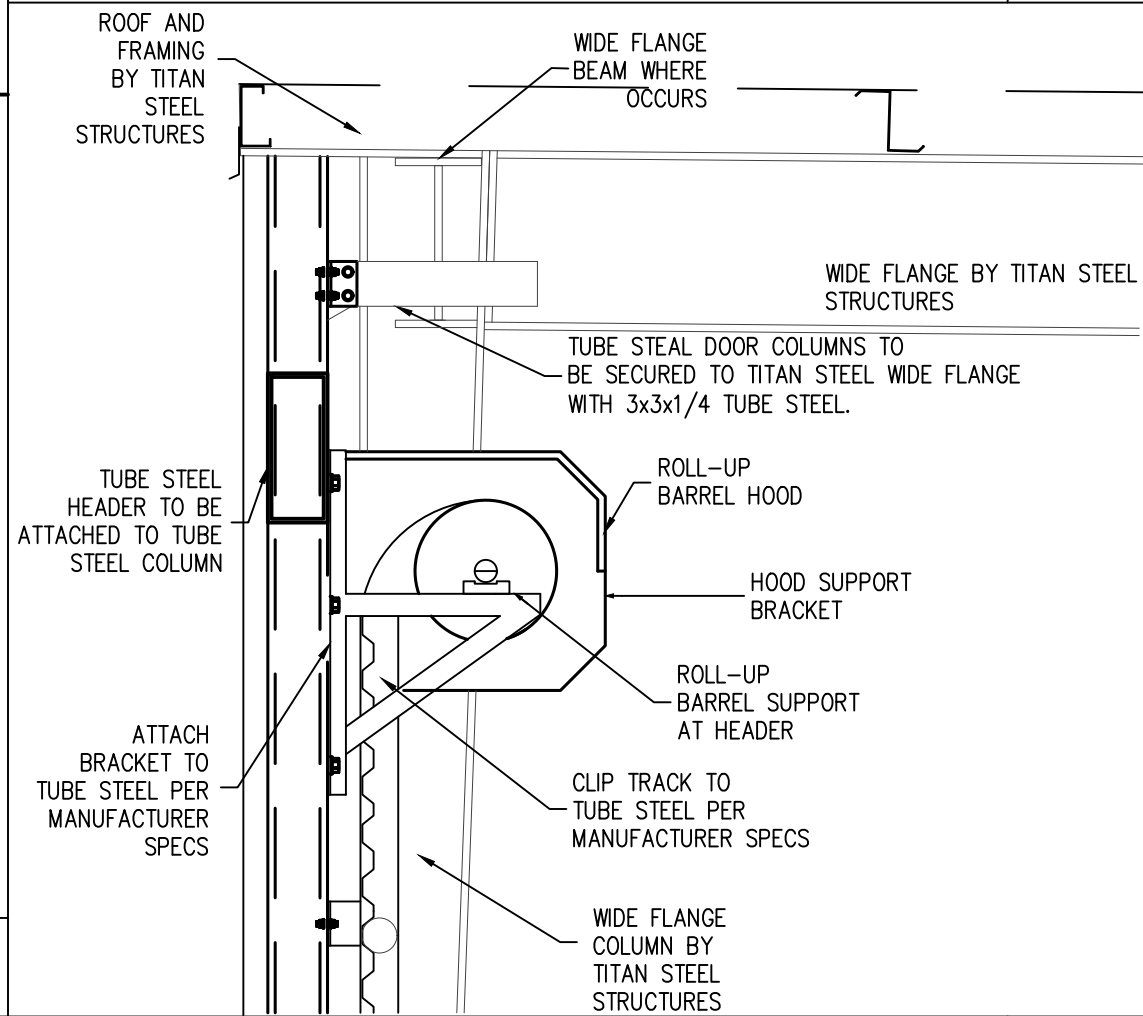
ROLL UP DOOR POSTS 13



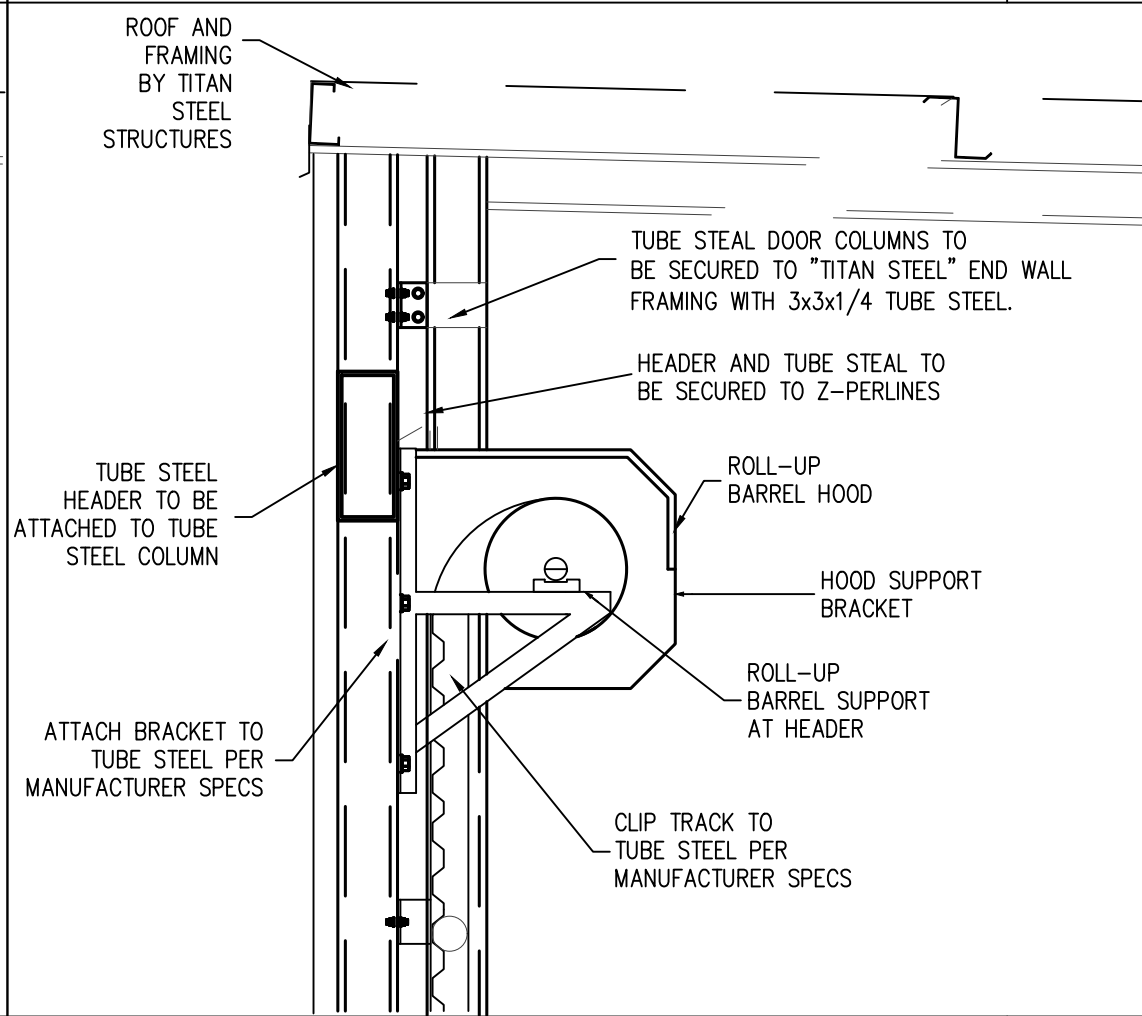
ROLL UP DOOR POSTS 12



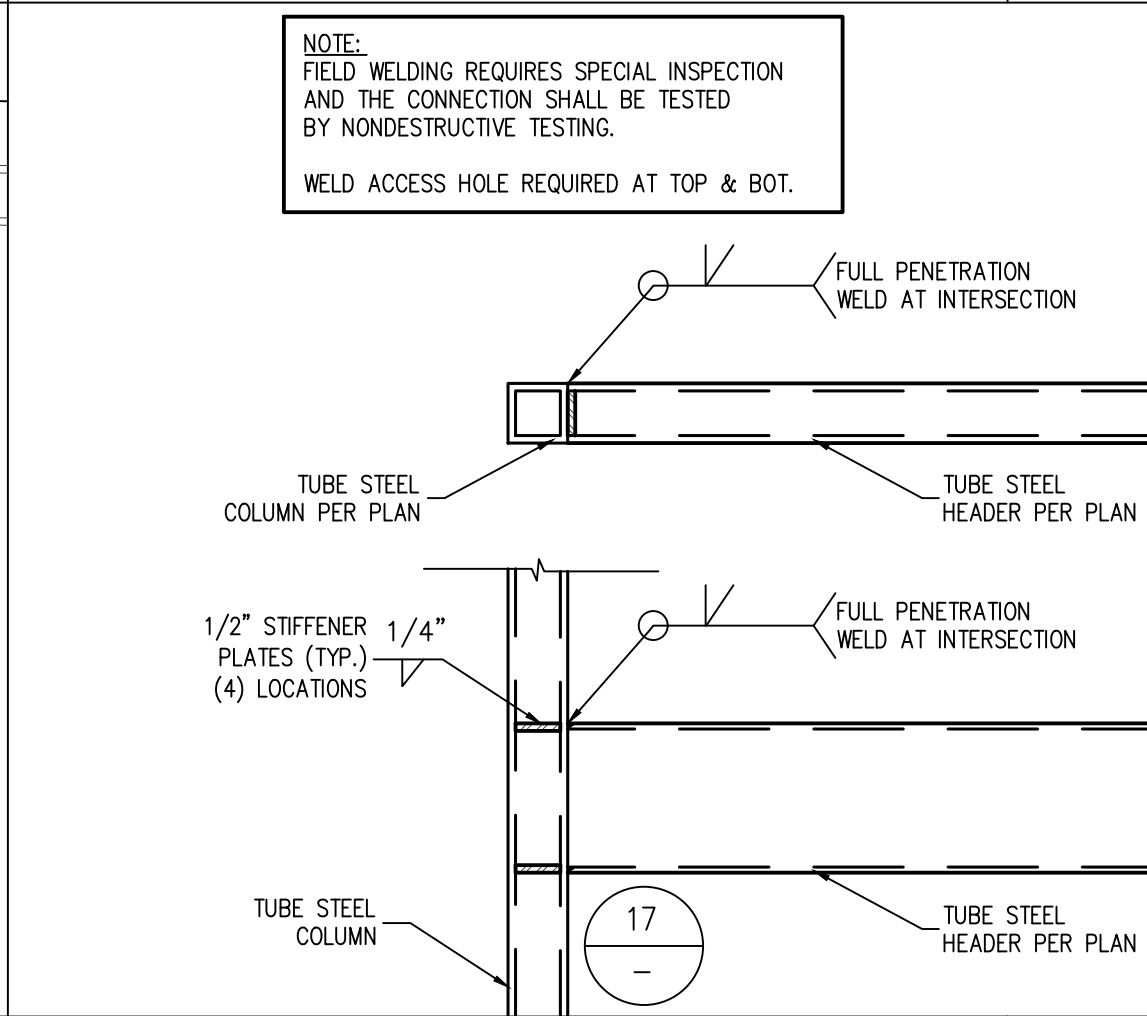
ROLL UP DOOR POSTS 11



ROLL-UP DOOR CONNECTION 18



ROLL UP DOOR CONNECTION AT END WALL 17



HEADER CONNECTION 16

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PH: (562) 895-2134

PROFESSIONAL ENGINEER
ERNEST J. DE LEON
NO. 67755
EXP. 6/2027
CIVIL
STATE OF CALIFORNIA
APRIL 22, 2025

REVISION STATUS:			
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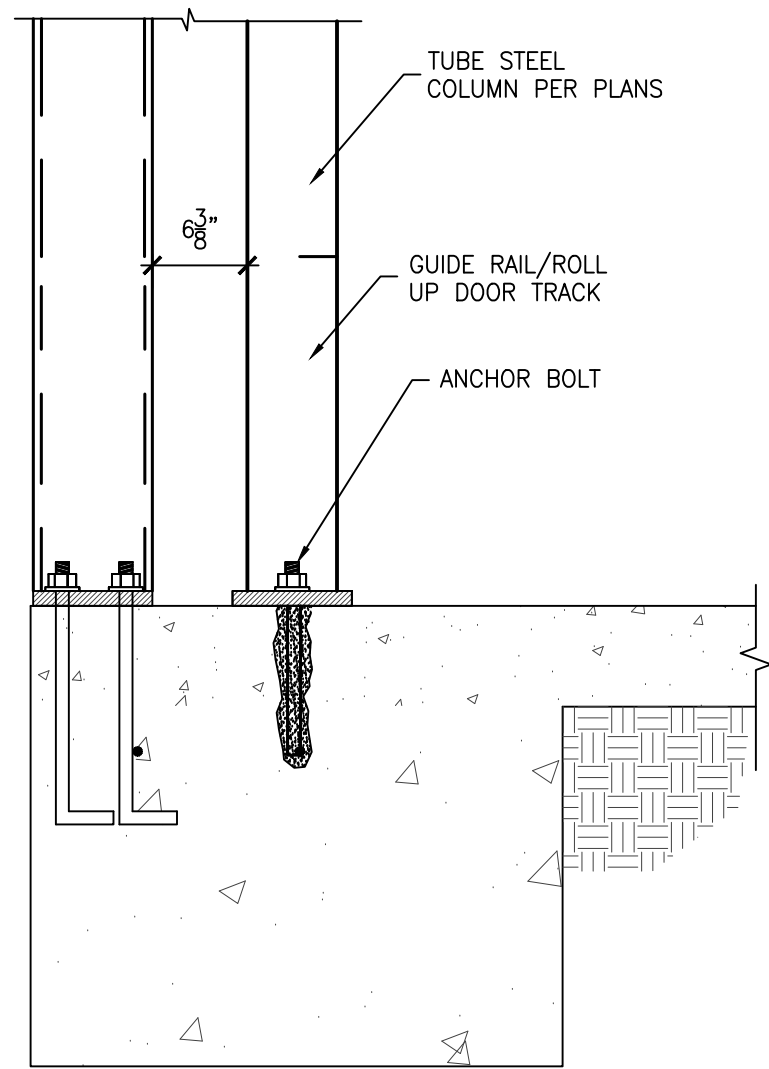
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D3

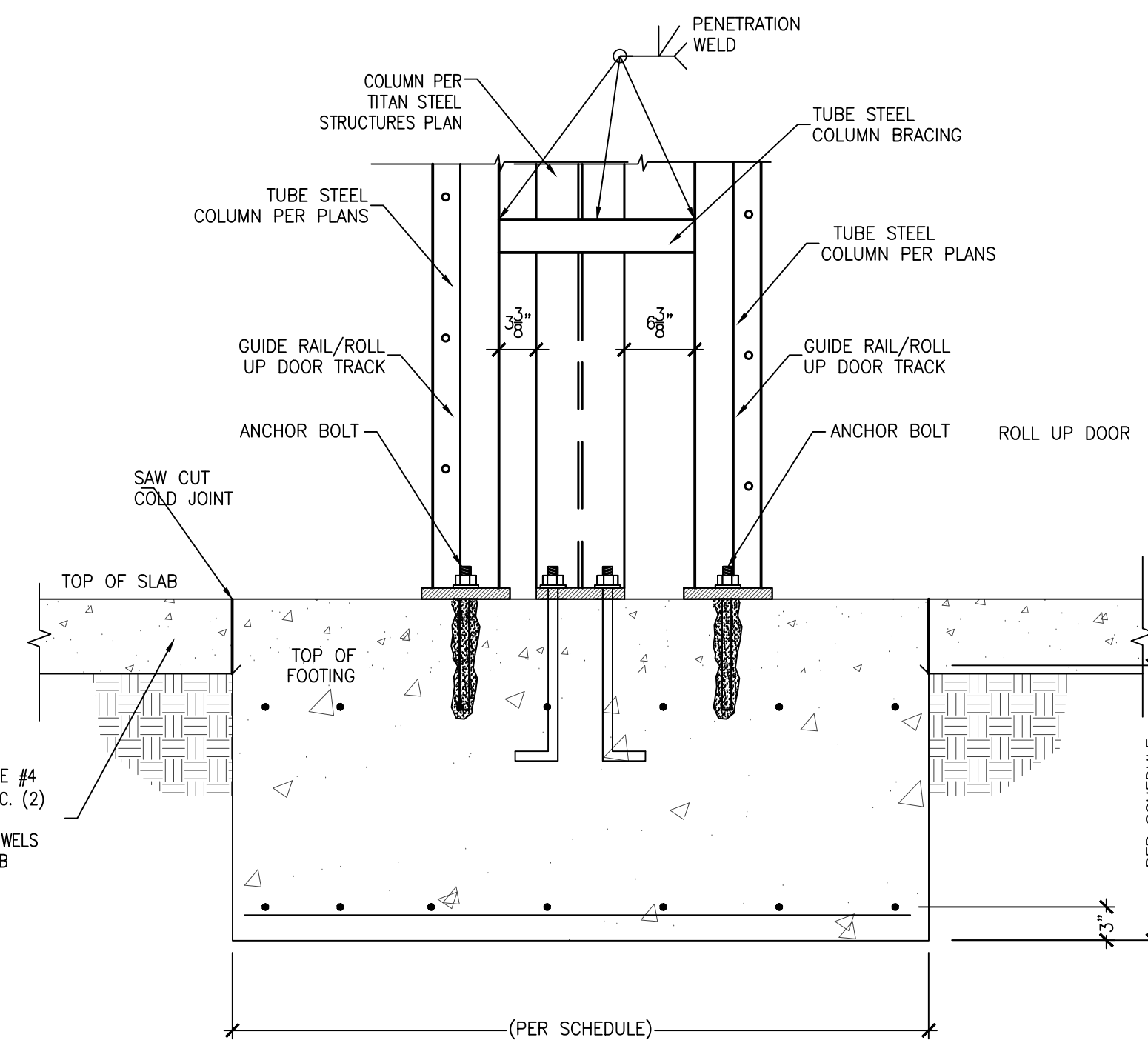
SHEET



10
D2

T.S. COLUMN CONNECTION

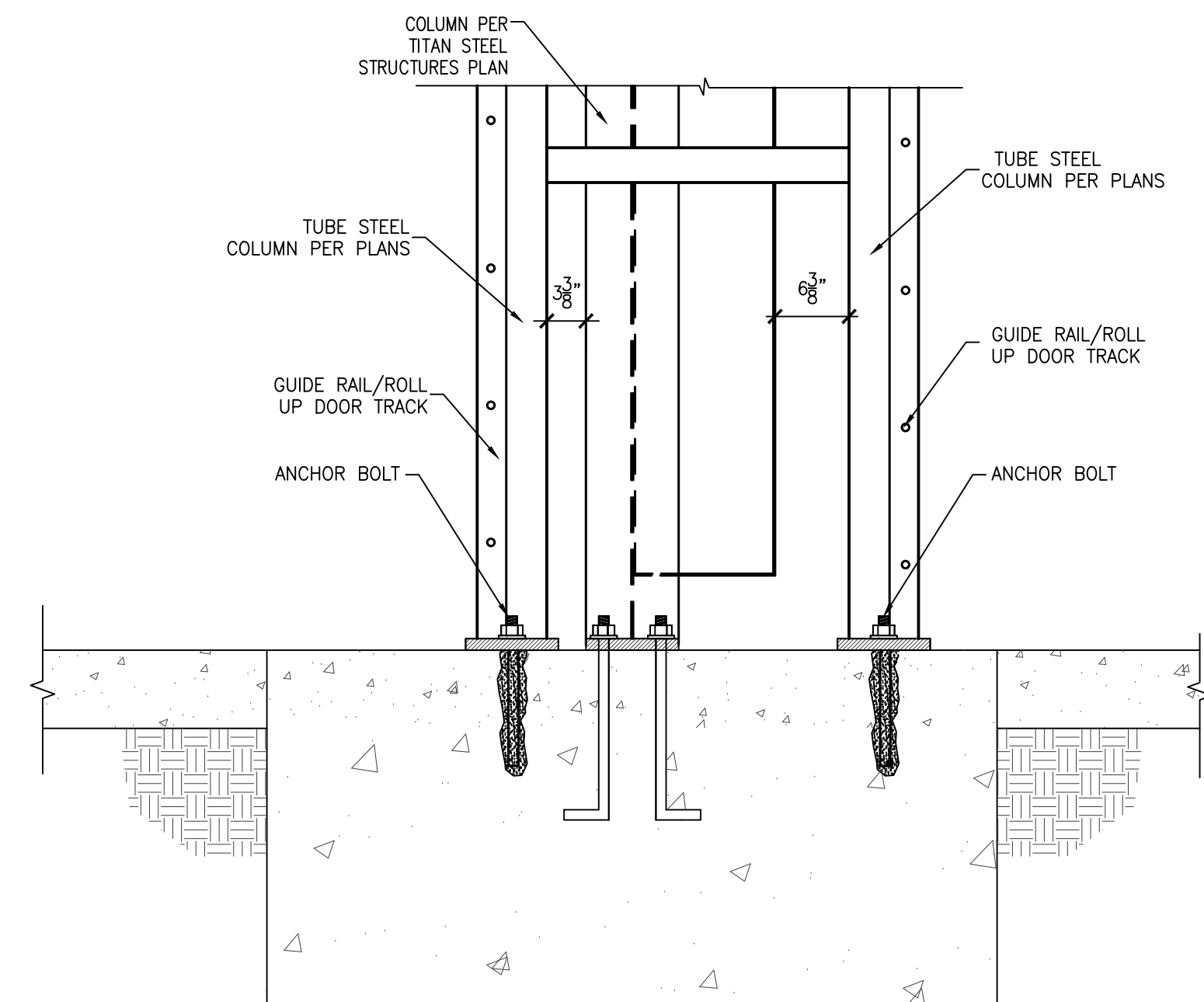
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9
D2

TUBE STEEL COLUMN CONNECTION

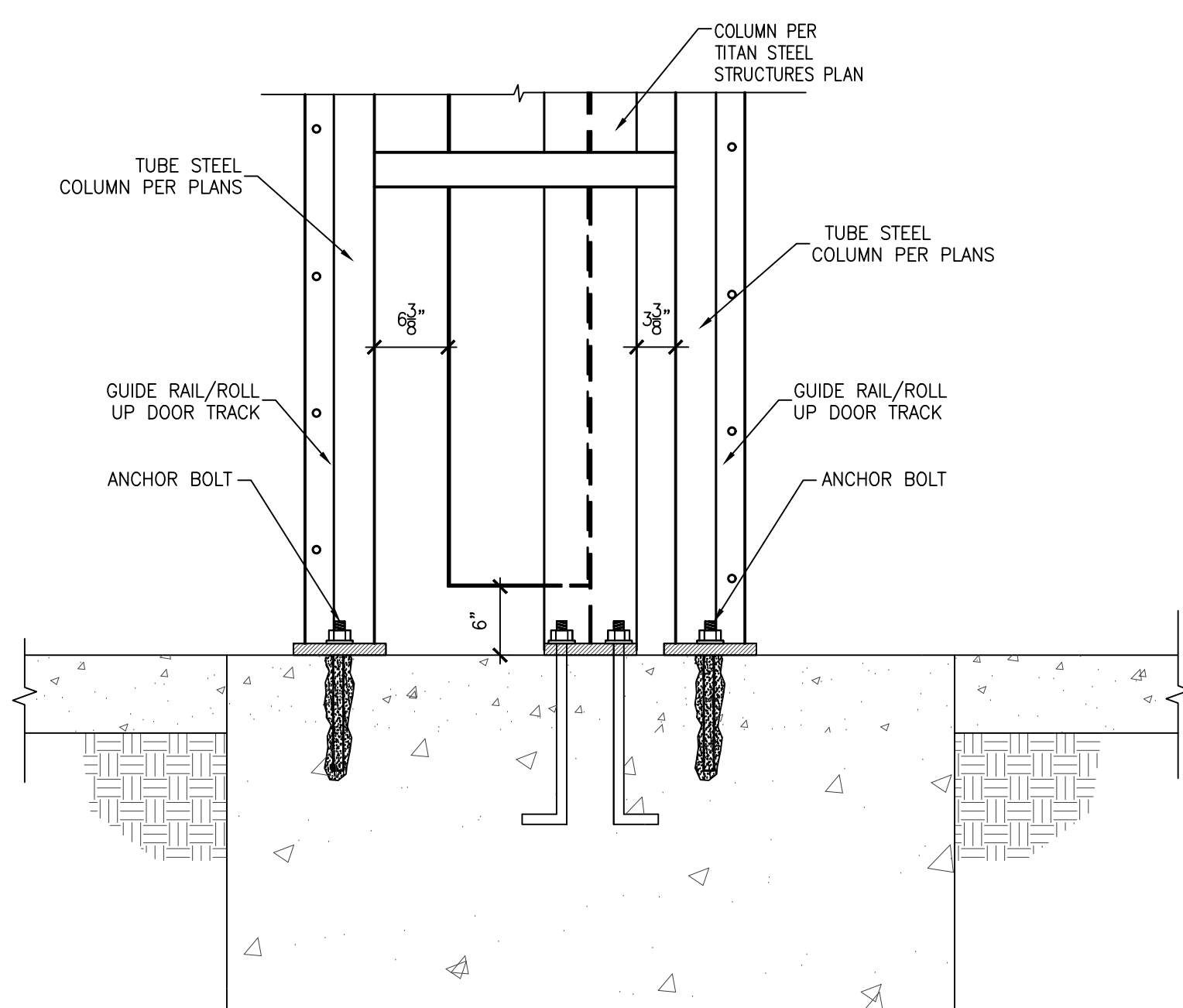
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8
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TUBE STEEL COLUMN CONNECTION

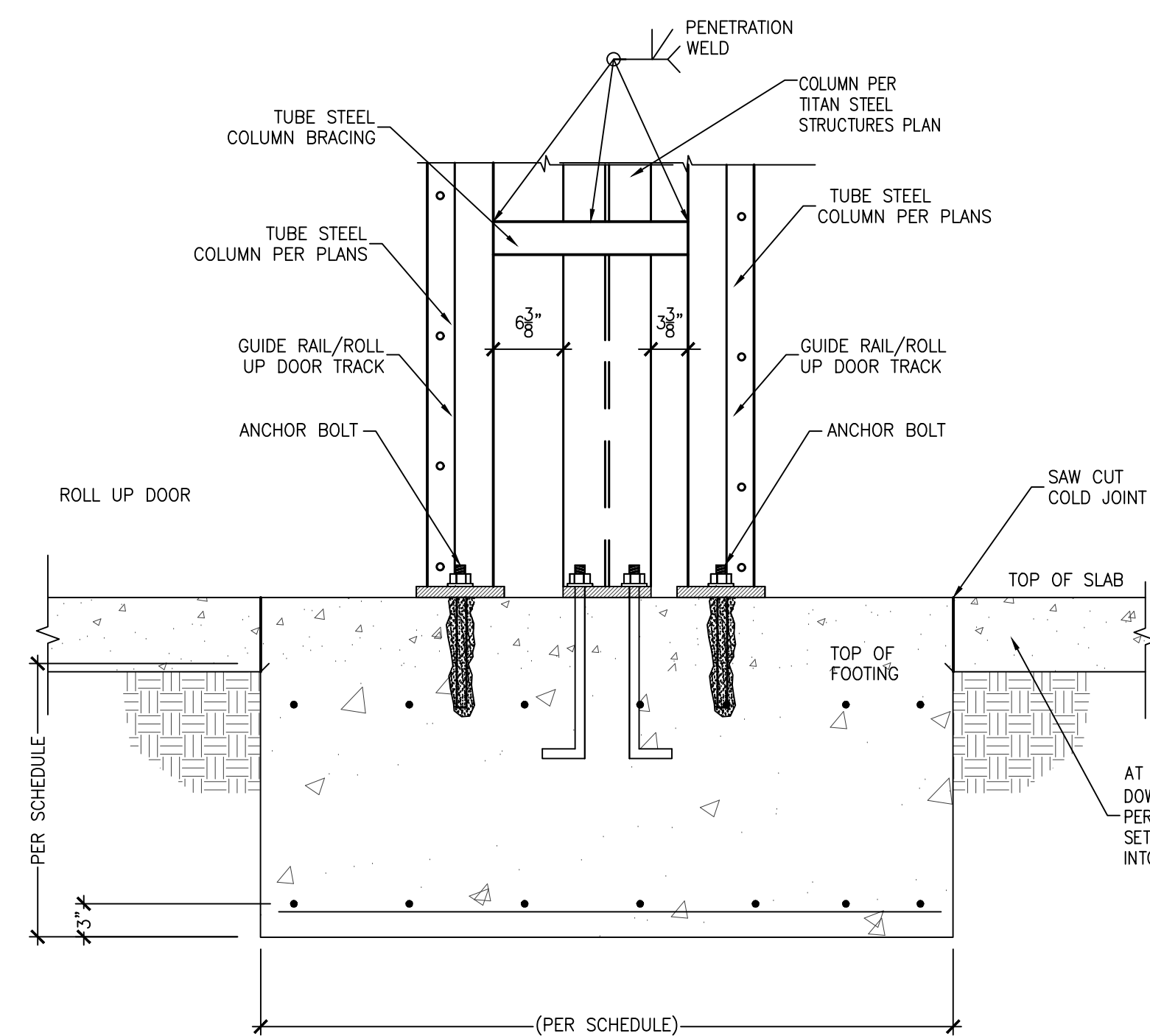
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13
D2

TUBE STEEL COLUMN CONNECTION

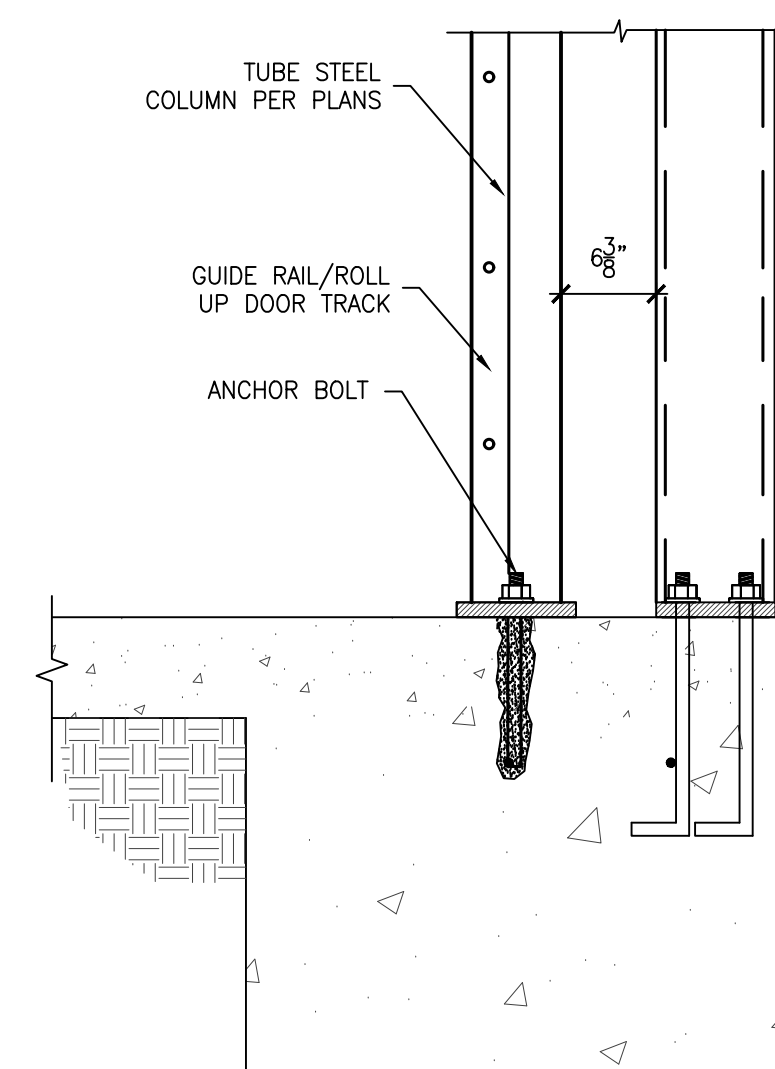
19



12
D2

TUBE STEEL COLUMN CONNECTION

17



11
D2

T.S. COLUMN CONNECTION

16

COLD WATER SIZING				
PIPE SIZE	SYSTEM			
	F. TANK	F. VALVE	GPM	
1/2"	2	—	2	
3/4"	8	—	6	
1"	19	—	12	
1 1/4"	40	7	23	
1 1/2"	80	25	36	
2"	260	136	76	

SEWER SIZING			
PIPE SIZE	SEWER FIX. UNIT	VENT FIX. UNIT	
1 1/4"	1	1	
1 1/2"	1	8	
2"	8	24	
2 1/2"	14	48	
3"	35	84	
4"	216	256	

APPLICABLE CODES

PART 1	2022 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE, TITLE 24 C.C.R.
PART 2	2022 CALIFORNIA BUILDING CODE (CBC), TITLE 24 C.C.R. (2021 INTERNATIONAL BUILDING CODE OF THE INTERNATIONAL CODE COUNCIL, WITH CALIFORNIA AMENDMENTS)
PART 3	2022 CALIFORNIA ELECTRICAL CODE (CEC), TITLE 24 C.C.R. (2020 NATIONAL ELECTRICAL CODE OF THE NATIONAL FIRE PROTECTION ASSOCIATION, NFPA)
PART 4	2022 CALIFORNIA MECHANICAL CODE (CMC), TITLE 24 C.C.R. (2021 UNIFORM MECHANICAL CODE OF THE INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS, IAPMO)
PART 5	2022 CALIFORNIA PLUMBING CODE (CPC), TITLE 24 C.C.R. (2021 UNIFORM PLUMBING CODE OF THE INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS, IAPMO)
PART 6	2022 CALIFORNIA ENERGY CODE, TITLE 24 C.C.R.
PART 7	CURRENTLY VACANT
PART 8	2022 CALIFORNIA HISTORICAL BUILDING CODE, TITLE 24 C.C.R.
PART 9	2022 CALIFORNIA FIRE CODE, TITLE 24 C.C.R. (2021 INTERNATIONAL FIRE CODE OF THE INTERNATIONAL CODE COUNCIL)
PART 10	2022 CALIFORNIA EXISTING BUILDING CODE, TITLE 24 C.C.R. (2021 INTERNATIONAL EXISTING BUILDING CODE OF THE INTERNATIONAL CODE COUNCIL, WITH AMENDMENTS)
PART 11	2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN CODE), TITLE 24 CCR.
PART 12	2022 CALIFORNIA REFERENCED STANDARDS, TITLE 24 C.C.R.

PIPE SCHEDULE

SERVICE	LOCATION	MATERIALS										FITTINGS
		TYPE 1K COPPER	TYPE 1L COPPER	TYPE 1M COPPER	PVC PIPE	NO-HUB CAST IRON	SCH. 40 BLACK STEEL	POLYETHYLENE	SCH. 40 GALV. STEEL	PVDF	ABS	
WATER	ABV. FLR.	●										HARRIS BRIDGIT LEAD FREE SOLDERED FITTINGS
	BEL. FLR.	●										HARRIS BRIDGIT LEAD FREE SOLDERED FITTINGS, UP TO 4"
	BEL. FLR.			●								PVC PIPE & FITTINGS, 5" & GREATER
WASTE (SANITARY)	ABV. FLR.							●				PROVIDE TYLER 2-BAND NO-HUB COUPLINGS
	BEL. FLR.							●				PROVIDE TYLER 4-BAND NO-HUB COUPLINGS
STORM DRAIN OVERFLOW DRAIN	ABV. FLR.							●				PROVIDE TYLER 4-BAND NO-HUB COUPLINGS
	BEL. FLR.							●				PROVIDE TYLER 4-BAND NO-HUB COUPLINGS
VENT (SANITARY)	ABV. FLR.							●				PROVIDE TYLER 2-BAND NO-HUB COUPLINGS
	BEL. FLR.							●				PROVIDE TYLER 2-BAND NO-HUB COUPLINGS
INDIRECT WASTE	INSIDE			●								LEAD FREESOLDERED FITTINGS
	OUTSIDE			●								LEAD FREESOLDERED FITTINGS
COMPRESSED AIR	INSIDE					●						SCHEDULE 40 BLACK STEEL FITTING

LEGEND

SYMBOL	ABBR.	DESCRIPTION
— W —	S OR W	SOIL OR WASTE ABOVE FLOOR OR GRADE
— W —	S OR W	SOIL OR WASTE BELOW FLOOR OR GRADE
— V —	V	SANITARY VENT
— DCW —	DCW	DOMESTIC COLD WATER
— — — —		UNDERGROUND PIPE
— D —	D	INDIRECT DRAIN LINE
— TP —	TP	TRAP PRIMER
— CWV —	CWV	COMBINE WASTE AND VENT BELOW FLOOR OR GRADE
▶		DIRECTION OF FLOW
— P.G. —	P.G.	PRESSURE GAUGE W/PETE COCK
— P.R.V. —	P.R.V.	PRESSURE REDUCING VALVE
— SOV —	SOV	SHUT-OFF VALVE
— FCO —	FCO	FLOOR CLEANOUT
— WCO —	WCO	WALL CLEANOUT
— — — —		DOWN
— — — —		RISE
— — — —		UNION
— — — —		SLOPE IN DIRECTION OF FLOW
— — — —	WHA	WATER HAMMER ARRESTOR
— — — —	POC	POINT OF CONNECTION
— — — —	POD	POINT OF DISCONTINUATION
— — — —	RPBP	REDUCED PRESSURE BACKFLOW PREVENTER
— — — —	ABV	ABOVE
— — — —	AFF	ABOVE FINISHED FLOOR
— — — —	AP	ACCESS PANEL
— — — —	BEH	BEHIND
— — — —	BEL	BELOW
— — — —	CFH	CUBIC FEET PER HOUR
— — — —	CI	CAST IRON
— — — —	CLG	CEILING
— — — —	CONN	CONNECTION
— — — —	CONT	CONTINUATION
— — — —	COTG	CLEANOUT TO GRADE
— — — —	COYB	CLEAN-OUT IN YARD BOX
— — — —	CW	COLD WATER
— — — —		DEMOLITION FIXTURES
— — — —	DP	DISABLED PERSON
— — — —	DTL	DETAIL
— — — —	EX	EXISTING
— — — —	FDC	FIRE DEPT. CONNECTION
— — — —	FFE	FINISHED FLOOR ELEVATION
— — — —	FLR	FLOOR
— — — —	FR	FROM
— — — —	FSH	FIRE SPRINKLER HEAD
— — — —	GR	GRADE
— — — —	HC	HANDICAP
— — — —	HDR	HEADER
— — — —	IE	INVERT ELEVATION
— — — —	MH	MANHOLE
— — — —	RI&C	ROUGH-IN AND CONNECT
— — — —	SOV/YB	SHUT-OFF VALVE IN YARD BOX
— — — —	TYP	TYPICAL
— — — —	VTR	VENT THROUGH ROOF
— — — —	W/	WITH

GENERAL NOTES AND SPECIFICATIONS

- FURNISH ALL LABOR, SUPERVISION, MATERIALS, EQUIPMENT & FACILITIES NECESSARY TO FURNISH, FABRICATE, DELIVER, STORE & INSTALL ALL WORK NOTED ON THE DRAWINGS AND/OR SPECIFIED HEREIN.
- WORKMANSHIP : THE WORK SHALL BE ACCOMPLISHED IN A THOROUGH & WORKMANLIKE MANNER SATISFACTORY TO AND MEETING THE APPROVAL OF THE ARCHITECT.
- MATERIALS : ALL MATERIALS, APPLIANCES & EQUIPMENT SHALL BE NEW & THE BEST OF THEIR RESPECTIVE KIND, FREE FROM ALL DEFECTS AND OF THE MAKE, BRAND AND QUALITY SPECIFIED.
- SITE INSPECTION : CONTRACTOR SHALL VISIT THE SITE OF WORK PRIOR TO SUBMISSION OF HIS BID AND THOROUGHLY FAMILIARIZE HIMSELF WITH THE WORKING CONDITIONS AND EXACT NATURE OF THE WORK. SUBMISSION OF A BID ACKNOWLEDGES FULL RESPONSIBILITY FOR FURNISHING A COMPLETE & FUNCTIONAL SYSTEM. NO CHANGES IN CONTRACT WILL BE MADE TO ACCOMMODATE OR ALLOW EXTRA FUNDING FOR ANY OMISSIONS WHICH RESULTS FROM A FAILURE TO THOROUGHLY MAKE THE EXAMINATION.
- CODES AND PERMITS : ALL PLUMBING FIXTURES/EQUIPMENTS, INSTALLATION, ETC., SHALL CONFORM TO ALL APPLICABLE CALIFORNIA CURRENT CODES AND ORDINANCES, INCLUDING CALIFORNIA TITLE 24. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND INSPECTIONS.
- AS-BUILT : CONTRACTOR SHALL PROVIDE A COMPLETE SET OF AS-BUILT TRANSPARENCIES WITH ALL CHANGES NOTED THEREON AT THE COMPLETION OF THE PROJECT.
- GUARANTEE : CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL LABOR AND MATERIAL ON ALL WORK AGAINST DEFECTS IN WORKMANSHIP & MATERIALS FOR A PERIOD OF 1 YEAR.
- SUBMITTALS : CATALOG INFORMATION & CUTS OF ALL EQUIPMENT AND DEVICES SHALL BE SUBMITTED FOR REVIEW (SIX COPIES OF EACH).
- COORDINATION : THE DRAWINGS ARE DIAGRAMMATIC & INTENDED TO SHOW SCOPE. CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER TRADES TO PROVIDE THE BEST ARRANGEMENT OF ALL DUCT, PIPES, CONDUIT, STRUCTURE, ETC.
- CUTTING AND PATCHING : ALL CUTTING & PATCHING OF THE EXISTING STRUCTURE SHALL BE PROVIDED UNDER OTHER SECTIONS OF THE WORK. PROVIDE ALL NECESSARY REQUIREMENTS TO THE PROJECT SUPERINTENDENT.
- CLEANUP : UPON COMPLETION OF THE WORK UNDER THIS SECTION THE CONTRACTOR SHALL REMOVE ALL SURPLUS MATERIALS, EQUIPMENT & DEBRIS INCIDENTAL TO THIS WORK AND LEAVE THE PREMISES CLEAN AND ORDERLY.
- ALL HOT WATER SUPPLY AND RECIRCULATION PIPING SHALL BE INSULATED AS FOLLOWS :

PIPE SIZE (INCHES)

INSULATION THICKNESS (INCHES)(K=0.27 OR LESS)

UNDER 2" 2" AND LARGER

EQUAL TO DIAMETER OF PIPE" 2" THICK
- SOIL, WASTE AND VENT PIPING SHALL BE SERVICE WEIGHT CAST IRON. NO-HUB SOIL PIPE AND FITTINGS TO CONFORM TO C.I.S.P. STANDARD 301.72., UNLESS APPROVED OTHERWISE.
- HOT AND COLD WATER PIPING SHALL BE TYPE "L" HARD DRAWN COPPER TUBING WITH WROT COPPER FITTINGS. BRAZE ALL JOINTS WITH HARRIS STAY-SILV-O-LEAD-FREE BRAZING ALLOY. UNLESS APPROVED OTHERWISE.
- SLOPE ALL SANITARY SEWER PIPING MINIMUM 2%. UNLESS APPROVED OTHERWISE.
- SLOPE ALL STORM DRAIN PIPING MINIMUM 2%. UNLESS APPROVED OTHERWISE.
- BASE SHELL DRAWINGS WITH LATEST REVISIONS PROVIDED BY OWNER SHALL APPLY TO THESE DRAWINGS. UNLESS APPROVED OTHERWISE.
- WRAP ALL CAST IRON PIPE AND FITTINGS IN AND BELOW SLAB WITH 20 MIL POLYETHYLENE WRAP AND 6" MINIMUM ENVELOPE OF CLEAN SAND ALL AROUND PIPE IN ACCORDANCE WITH ANSI/AWWA STANDARD C105/ A21.5-82.
- FIRE SAFE ALL PIPING PENETRATIONS THROUGH FIRE RATED WALLS, FLOORS, AND CEILINGS WITH NELSON 3-HOUR CLK, FSP, OR CMP UL LISTED FIRE RATING PER MFG.'S DIRECTIONS.
- PLUMBING CONTRACTOR SHALL PROVIDE ALL PLUMBING SERVICES REQUIRED BY THE AIR CONDITIONING CONTRACTOR (CONDENSATE DRAINS, WATER SERVICE, ETC.). REFER TO THE MECHANICAL PLANS FOR ANY PLUMBING SERVICES REQUIRED.
- EACH PLUMBING VENT SHALL TERMINATE NOT LESS THAN TEN FEET FROM OR AT LEAST THREE FEET ABOVE ANY WINDOW, DOOR, OPENING, AIR INTAKE OR VENT SHAFT.
- CLEAN-OUTS SHALL BE INSTALLED AS PER SEC. 707 & 719 OF THE CALIFORNIA PLUMBING CODE-2022. ALL HORIZONTAL VENT LINES BELOW SLAB SHALL HAVE CLEANOUTS ABOVE GROUND PER CODE.
- PROTECT ROOF RECEPTOR ON ROOF FROM RAIN WATER BY ELEVATING THE RIM 2 INCHES ABOVE ROOF SURFACE.
- PROVIDE WATERTIGHT FLASHING WHEREVER PIPES PASS THRU EXTERIOR WALLS, ROOF AND FLOORS.
- PROVIDE FELT WITH METAL BACKING VIBRATION ISOLATION SLEEVES OR PADS AT ALL PIPE HANGERS OR SUPPORTS AND ALL POINTS WHERE PIPING COMES IN CONTACT WITH ANY PORTION OF THE STRUCTURE. APPLIES TO ALL WATER AND WASTE PIPING.
- LOCATIONS OF EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY EXACT LOCATIONS AND DEPTHS OF EXISTING UTILITIES PRIOR TO STARTING WORK OF THIS SECTION. MAKE REQUIRED ADJUSTMENTS TO CONNECT TO EXISTING UTILITIES. IF INDICATED POINTS OF CONNECTION CANNOT BE MADE TO EXISTING UTILITIES AS FOUND, THE CONTRACTOR SHALL, BEFORE CONTINUING, NOTIFY THE ARCHITECT PRIOR TO INSTALLING ANY WORK WHICH MAY BE AFFECTED.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY AVAILABLE SPACES FOR INSTALLING THE WORK.
- VALVES SHALL BE NIBCO, JENKINS, WALWORTH, STOCKHAM OR EQUAL. SERVICE PRESSURE SHALL BE SUITABLE FOR SERVICE INTENDED.
- PROVIDE HANGERS AND SUPPORTS AS REQUIRED. PLUMBERS TAPE AND WIRE ARE NOT ACCEPTABLE.
- CONTRACTOR SHALL AFFIX A MAINTENANCE LABEL TO ALL EQUIPMENT REQUIRING ROUTINE MAINTENANCE AND SHALL PROVIDE THREE COPIES OF MAINTENANCE AND OPERATING MANUALS TO THE OWNER.
- CONTRACTOR SHALL ARRANGE FOR AND PAY FOR ALL UTILITY METERS AND UTILITY CONNECTIONS.
- NO HOLES, NOTCHES, BLOCK OUTS, ETC. ARE ALLOWED IN STRUCTURAL ELEMENTS UNLESS DETAILED ON THE STRUCTURAL DRAWINGS OR APPROVED BY THE STRUCTURAL ENGINEER.
- THE SEISMIC SHUT OFF SHALL BE INSTALLED RIGIDLY TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.
- ACCESSIBLE WATER HAMMER ARRESTERS SHALL BE INSTALLED FOR QUICK-ACTING VALVES. LOCATION AND METHOD OF INSTALLATION SHALL COMPLY WITH THE MANUFACTURER'S RECOMMENDATION.
- CONTRACTOR SHALL COMPLY WITH CPC 2022 CHAPTER 3 SECTION 306 & 307 REGARDING POINT OF DISCHARGE, CHAPTER 6 SECTION 608.3, 608.4 & 608.5 REGARDING PRESSURE RELIEF AND CHAPTER 7 SECTION 704, 710, 711, 713 & 714 REGARDING BUILDING SEWER SYSTEM.
- NEW OR REPAIRED POTABLE WATER SYSTEMS ARE REQUIRED TO BE DISINFECTED BY CHLORINATION. 2022 CPC SECTION 609.9.
- BACTERIOLOGICAL TESTING OF POTABLE WATER SYSTEM REQUIRED TO BE PERFORMED BY AN INDEPENDENT THIRD PARTY TESTING LABORATORY, 2022 CPC SEC. 609.9 (4).
- ALL UNDERGROUND COPPER INSTALLED MUST BE COMPLETELY SLEEVED WITH A MINIMUM OF 3 MIL. PIPE SLEEVING MATERIAL.

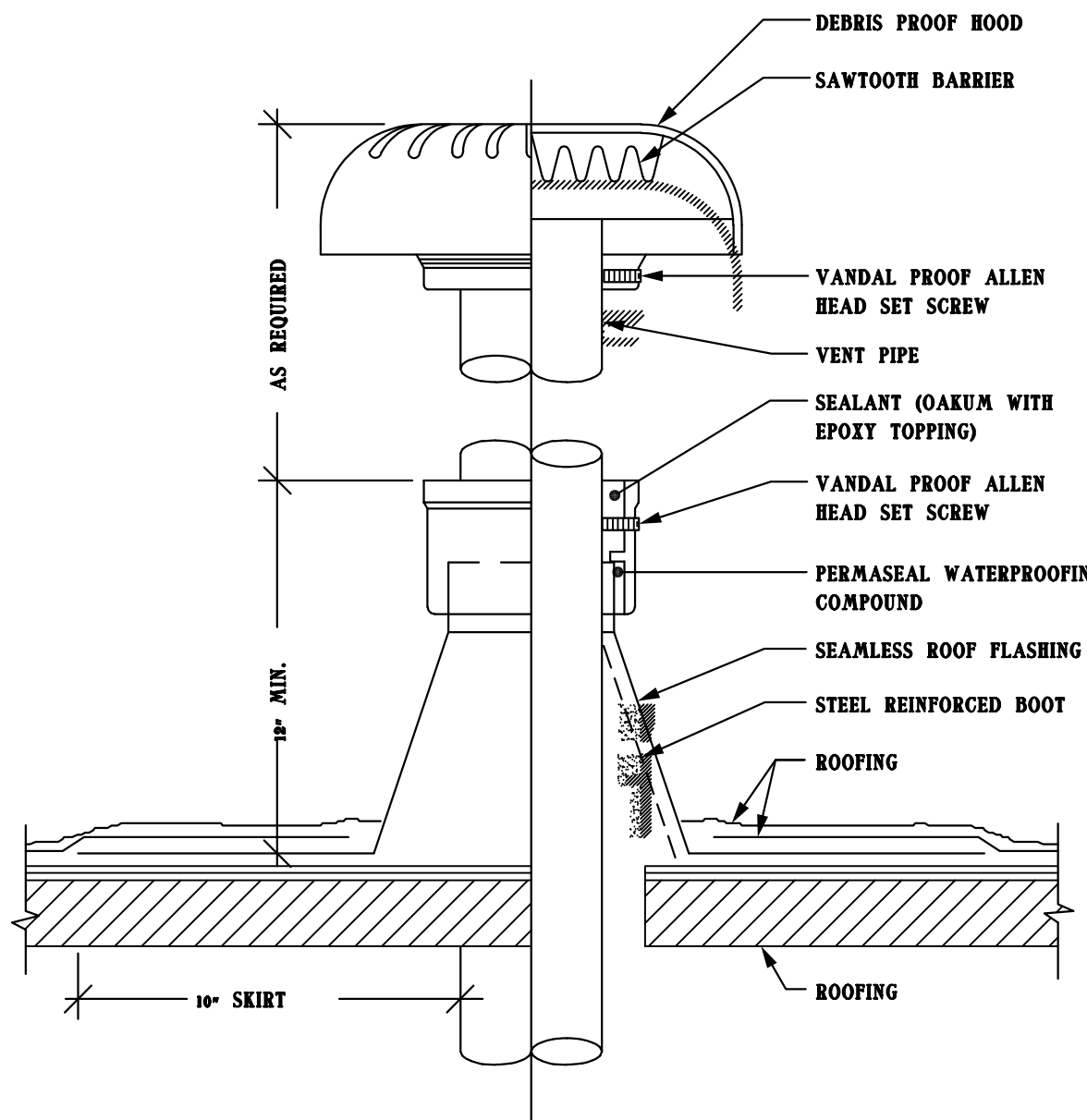
PLUMBING FIXTURE SCHEDULE

SYMBOL	FIXTURE	ROUGH-IN SIZE				REMARKS
		W	V	DCW	DHW	
OI-1	EXISTING SAND/OIL INTERCEPTOR	4"	3"	—	—	JENSEN PRECAST, 1500 GALLON. MODEL NO. JP1500SO ONE PIECE PRE-CAST 1500 GALLONS CAPACITY OIL / SAND INTERCEPTOR, TWO MANHOLES. PROVIDE COMPARTMENT RISERS TO BE EXTENDED TO FINISHED GRADE WITH H-20 TRAFFIC LOAD.
TD-1	TRENCH DRAIN	4"	2"	—	—	ZURN NO. 886-HDS-U2-LD-DGC-VP-DB, 6-3/4" WIDE REVEAL TRENCH DRAIN SYSTEM WITH STAINLESS STEEL EXTRA HEAVY DUTY FRAME ASSEMBLY
THESE DRAWINGS ARE ESSENTIALLY DIAGRAMMATIC, DEPICTING FUNCTION AND PLACEMENT. PROVIDE OFFSETS IN PIPING AND CHANGES IN FIXTURE LOCATIONS AS NECESSARY TO CONFORM TO STRUCTURAL AND ARCHITECTURAL REQUIREMENTS AND TO AVOID OBSTRUCTIONS. CHANGES TO ACCOMMODATE INSTALLATION OF THIS WORK WITH OTHER WORK, IN ORDER TO MEET ARCHITECTURAL OR STRUCTURAL CONDITIONS, SHALL BE MADE WITHOUT ADDITIONAL COST TO OWNER.						

STORM DRAIN PIPE SIZING

SIZE OF DRAIN PIPING	2"	3"	4"	5"	6"	8"	10"	12"
HORIZONTAL DRAIN WATER PIPING PER PROJECT ROOF AREA WITH 1/4 INCH PER FOOT SLOPE (SQUARE FEET)	—	1,096	2,506	4,453	7,133	15,330	27,600	44,400
VERTICAL DRAIN WATER PIPING PER PROJECT ROOF AREA (SQUARE FEET)	960	2,930	6,130	11,530	17,995	38,660	—	—

THE STORM DRAIN PIPE SIZING BASED ON 3 INCH PER HOUR OF RAINFALL RATES



NOTE: PIPE, PIPE COLLAR AND FLASHING BY PLUMBING CONTRACTOR. ROOFING BY GENERAL CONTRACTOR.

VENT THROUGH ROOF DETAIL

SCALE	1
N.T.S.	

DESIGN & PROFESSIONAL ENGINEERING SERVICES:

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Ernest J. De Leon, P.E.
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SHEET DESCRIPTION:

PLUMBING NOTES
SCHEDULES AND
DETAIL

OWNER:

DAVID SIMPSON

10150 TRASK AVENUE
GARDEN GROVE, CA 92844
CONTACT: SCOTT OLSON
PH: (562) 895-2134



Spirit Engineering
1215 West Imperial Highway.
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REVISION STATUS:

REV.	DATE	DESCRIPTION

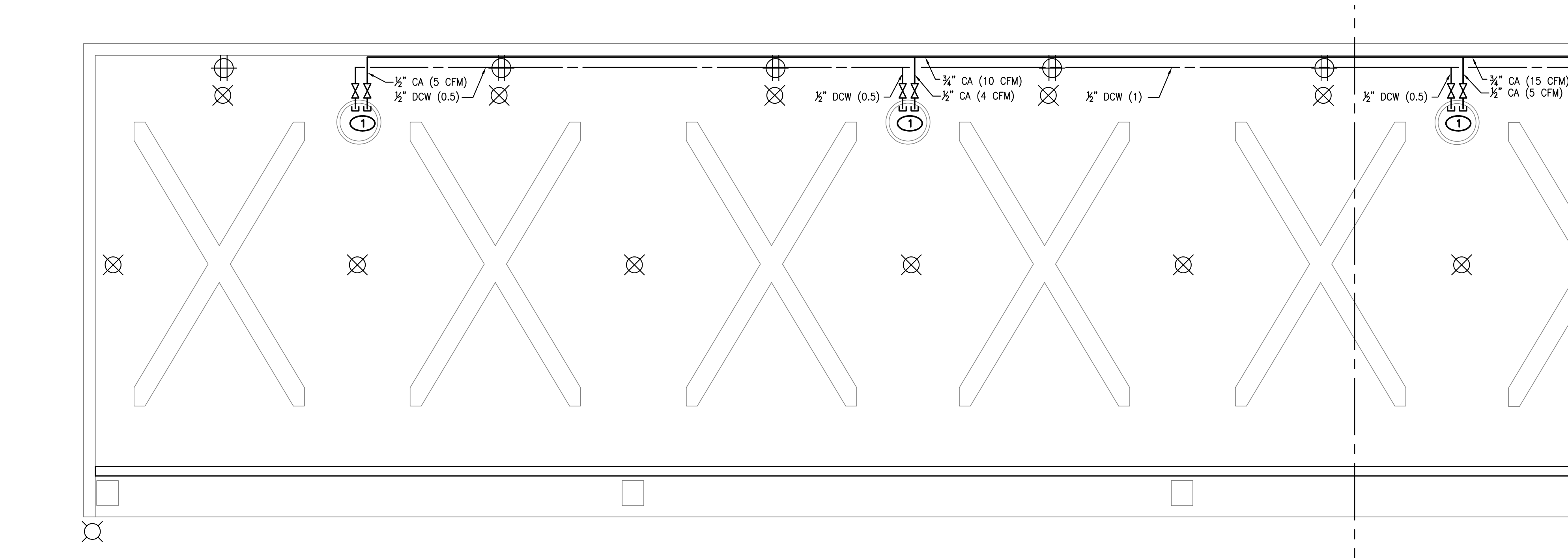
PROJECT NO: 24.108
DRAWN BY: TN
ENG. MGR.: PC
DATE: 8/30/2024

PROJECT DESCRIPTION & ADDRESS:

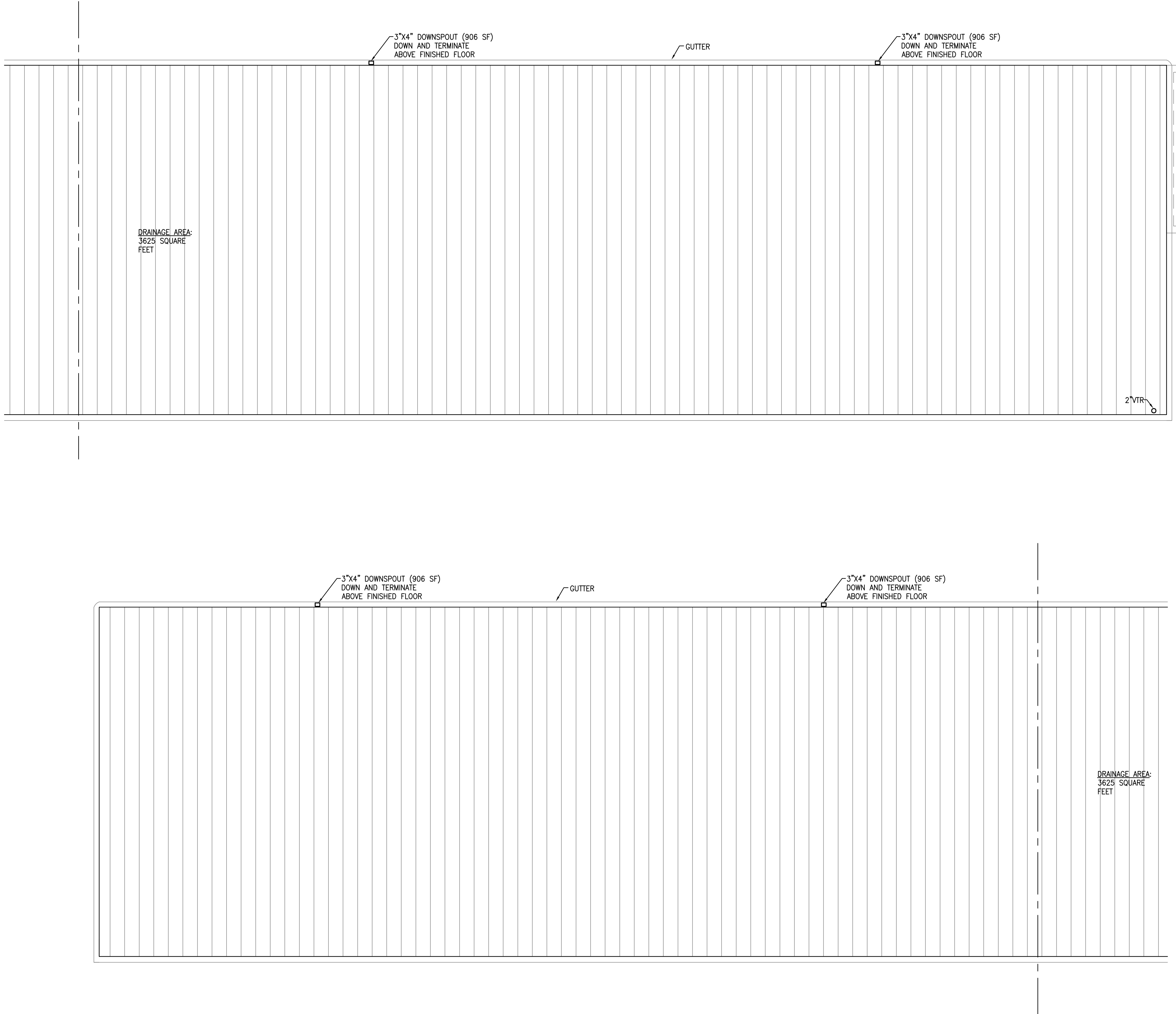
METAL STRUCTURE
10150 TRASK AVE
GARDEN GROVE, CA 92843

P-1

SHEET



—8'X12" CONCRETE
PAD. SEE SHEET
A1.



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SHEET DESCRIPTION:

PLUMBING ROOF PLANS

OWNER:

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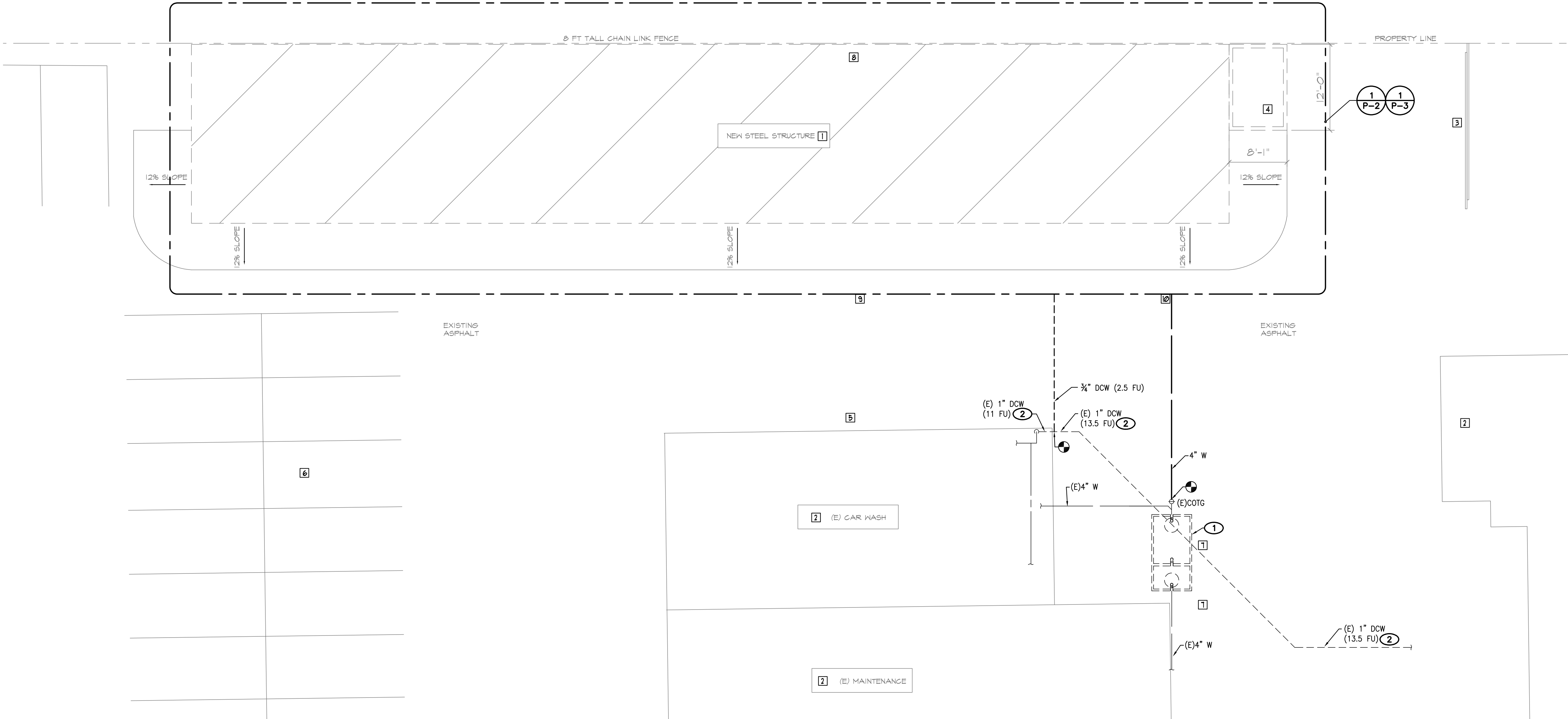


REVISION STATUS:		
REV.	DATE	DESCRIPTION
-	00/00/00	-

PROJECT NO: **24.108**
DRAWN BY: **TN**
ENG. MGR.: **PC**
DATE: **8/30/2024**

PROJECT DESCRIPTION & ADDRESS:
**METAL STRUCTURE
10150 TRASK AVE
GARDEN GROVE, CA 92843**

P-3



PLUMBING NOTES

1. LEAD FREE COMPLIANCE REQUIRED EFFECTIVE JANUARY 1, 2010 PER CALIFORNIA HEALTH AND SAFETY CODE SEC. 116875.
2. ALL POTABLE WATER OUTLETS WITH HOSE ATTACHMENTS, SUCH AS HOSE BIBS, AND MOP SINKS ARE TO BE PROVIDED WITH A BACKFLOW / ANTI-SIPHON VALVE.
3. NEW OR REPAIRED POTABLE WATER SYSTEMS SHALL BE DISINFECTED PRIOR TO USE ACCORDING TO THE METHOD SET IN SEC. 609.9 OF CALIFORNIA PLUMBING CODE.
4. PLUMBING VENT THROUGH ROOF SHALL TERMINATE VERTICALLY NOT LESS THAN ONE (1) FOOT FROM ANY VERTICAL SURFACE AND NOT LESS THAN TEN (10) FEET HORIZONTALLY OR AT LEAST THREE (3) FEET ABOVE ANY WINDOWS, DOOR, OPENING, AIR INTAKE OR SHAFT.
5. SANITARY WASTE VENTS SHALL RISE VERTICALLY TO A POINT NOT LESS THAN SIZE (6) INCHES IN HEIGHT ABOVE THE FLOOD LEVEL RIM OF THE FIXTURES BEFORE BEING CONNECTED TO ANY OTHER VENT.
6. DRAINAGE PIPING SERVING FIXTURES WHICH HAVE FLOODWATER RIMS LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE COVER OF THE SEWER SERVING SUCH DRAINAGE PIPING SHALL BE PROTECTED FROM BACKFLOW OF SEWAGE BY INSTALLING AN APPROVED TYPE BACKWATER VALVE.
7. VENT TERMINALS THAT TERMINATE THROUGH AN OUTSIDE WALL OF A BUILDING SHALL BE LOCATED NO LESS THAN 10 FEET HORIZONTALLY FROM AN OPERABLE OPENING IN ADJACENT BUILDING. THIS SHALL NOT APPLY TO OPERABLE OPENINGS THAT ARE NOT LESS THAN 2 FEET BELOW OR 25 FEET ABOVE THE ELEVATION OF THE VENT TERMINAL. (CPC SEC. 509.8.5).
8. ROOF DRAINS AND OVERFLOW PIPING WITHIN THE BUILDING SHALL UTILIZE APPROVED DRAINAGE FITTINGS.
9. THE PREMISE OWNER OR RESPONSIBLE PERSON SHALL COORDINATE WITH LONG BEACH WATER DEPARTMENT FOR NEW WATER DEMAND, METER LOCATION AND TYPE OF PRESSURE AVAILABLE.
10. APPLICANT SHALL CONTACT DIG ALERT/UAS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION OR EARTH DISTURBANCE.

KEY NOTES:

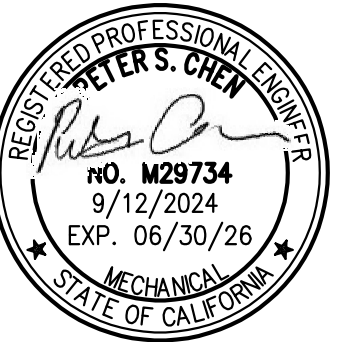
- ① EXISTING OIL INTERCEPTOR (OI-1) SERVING THE EXISTING CARWASH STATION. VERIFY EXACT LOCATION IN THE FIELD.
- ② EXISTING 1" DCW. PROTECT IN PLACE. VERIFY EXACT LOCATION IN THE FIELD.

PLUMBING PARTIAL
SITE PLAN

DAVID SIMPSON

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REV.	DATE	DESCRIPTION
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PROJECT NO: **24.108**
DRAWN BY: **TN**
ENG. MGR.: **PC**
DATE: **8/30/2024**

METAL STRUCTURE
10150 TRASK AVE
GARDEN GROVE, CA 92843

GENERAL NOTES

SIMILAR REQUIREMENTS, AS STATED IN THESE GENERAL NOTES AND HVAC NOTES, MAY ALSO APPEAR IN THE GENERAL CONDITIONS AND SPECIFICATIONS. SUCH SIMILAR AND CORRESPONDING REFERENCES IN THE GENERAL CONDITIONS AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE GENERAL NOTES AND HVAC NOTES. WHEN THESE GENERAL NOTES AND HVAC NOTES ARE MORE STRINGENT, THEN THEY SHALL PREVAIL.

1. SCOPE: THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, EQUIPMENT, TRANSPORTATION, SCAFFOLDING, AND SERVICES NECESSARY FOR COMPLETION OF THE WORK.
2. CODES AND REGULATIONS: ALL MATERIALS AND WORK SHALL CONFORM TO THE LATEST ADOPTED EDITIONS OF THE CALIFORNIA MECHANICAL CODE, CALIFORNIA BUILDING CODE, CALIFORNIA PLUMBING CODE, AND NATIONAL ELECTRIC CODE, AND ALL OTHER APPLICABLE CODES AND REGULATIONS, INCLUDING CALIFORNIA CCR TITLE 24 ENERGY CONSERVATION STANDARDS. ALL MATERIALS AND WORK SHALL MEET THE APPROVAL OF THE LOCAL JURISDICTION AND THE FIRE MARSHAL. WHERE THE DRAWINGS AND SPECIFICATIONS INDICATE MORE RESTRICTIVE REQUIREMENTS, THE DRAWINGS AND SPECIFICATIONS SHALL GOVERN, BUT NOTHING IN THE DRAWINGS AND SPECIFICATIONS SHALL BE INTERPRETED AS AUTHORITY TO VIOLATE ANY CODE OR REGULATION.
3. PERMITS, LICENSEES, AND FEES: THE CONTRACTOR SHALL PAY FOR ALL PERMITS, LICENSES, AND FEES.
4. SYMBOLS AND ABBREVIATIONS: IF THE CONTRACTOR IS UNSURE OF ANY SYMBOLS OR ABBREVIATIONS ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
5. NATURE OF THE DRAWINGS: FOR THE PURPOSE OF CLARITY AND LEGIBILITY, THE DRAWINGS ARE ESSENTIALLY DIAGRAMMATIC. ALL SIZES AND LOCATIONS OF MECHANICAL EQUIPMENT ARE DRAWN TO SCALE. WHEREVER POSSIBLE, THE CONTRACTOR SHALL MAKE USE OF ALL DATA IN ALL OF THE CONTRACT DOCUMENTS, AND VERIFY THIS INFORMATION BEFORE ORDERING, FABRICATING, OR INSTALLING OF ANY MATERIALS.
6. DISCREPANCIES: THE CONTRACTOR SHALL BRING TO THE ATTENTION OF THE ARCHITECT, IN WRITING, ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS, AND ANY CONFLICTS WITHIN THE CONTRACT DOCUMENTS. THIS SHALL BE DONE PRIOR TO THE START OF CONSTRUCTION IN EACH AREA SO ANY NECESSARY CLARIFICATIONS CAN BE ISSUED.
7. SUBMITTALS: THE CONTRACTOR SHALL MAKE SUBMITTALS ON EQUIPMENT AND OTHER ITEMS REQUIRING SUBMITTALS, AND SHALL RECEIVE APPROVALS ON THE SUBMITTALS, PRIOR TO PURCHASE OR INSTALLATION.
8. COORDINATION: PRIOR TO FABRICATION AND INSTALLATION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS OR HER WORK WITH ALL OTHER TRADES AND THE GENERAL CONTRACTOR. THIS INCLUDES COORDINATING THE LOCATION AND SIZE OF ALL OPENINGS, LOCATIONS OF EQUIPMENT PADS AND CHANGES OF ELEVATIONS OF DUCTWORK, PIPING AND OTHER EQUIPMENT. IT INCLUDES COORDINATING WITH THE ELECTRICAL CONTRACTOR FOR ELECTRICAL REQUIREMENTS OF ALL MECHANICAL EQUIPMENT. THE CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL CEILING DIFFUSERS, REGISTERS AND GRILLES WITH THE ARCHITECTURAL REFLECTED CEILING PLAN, ELECTRICAL LIGHTING LAYOUT AND ARCHITECTURAL ROOM ELEVATIONS.
9. CONSTRUCTION BARRIERS AND PASSAGES: THE CONTRACTOR SHALL PROVIDE ADEQUATE BARRICADES AND PROTECTIVE DEVICES SEPARATING CONSTRUCTION AREAS. TEMPORARY PASSAGES SHALL BE PROVIDED AS REQUIRED.
10. PROTECTION AND REPAIR OF NEW WORK: THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PROTECT THE MATERIALS BEFORE, DURING AND AFTER INSTALLATION. IN THE EVENT OF DAMAGE, THE CONTRACTOR SHALL IMMEDIATELY REPAIR ALL DAMAGED AND DEFECTIVE WORK TO THE APPROVAL OF THE ARCHITECT AND AT NO ADDITIONAL COST TO THE OWNER.
11. MATERIALS: ALL MATERIAL, EQUIPMENT, FIXTURES, ETC. SHALL BE NEW, UNLESS OTHERWISE NOTED, AND OF THE BEST GRADE OF THE RESPECTIVE KIND, FREE FROM ALL DEFECTS. ANY MATERIAL, ARTICLE OR PIECE OF EQUIPMENT OTHER THAN THAT INDICATED SHALL NOT BE USED UNLESS APPROVED IN WRITING BY THE ENGINEER, AND ANY CHANGES IN MECHANICAL, ELECTRICAL AND/OR OTHER SYSTEMS REQUIRED DUE TO SUCH SUBSTITUTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND AT NO ADDITIONAL COST TO THE OWNER.
12. MATERIALS UNIFORMITY: MATERIALS FOR SIMILAR USE SHALL BE OF THE SAME TYPE AND MANUFACTURER, UNLESS OTHERWISE SPECIFIED.
13. SEALING OF OPENINGS: ALL FLOOR, WALL, AND CEILING OPENINGS REQUIRED FOR PIPES, DUCTS, CONDUITS, AND SIMILAR ITEMS SHALL BE SEALED; UNLESS OTHERWISE PROTECTED WITH A TWO-HOUR FIRE RESISTIVE ENCLOSURE (ONE-HOUR FOR ONE-HOUR BUILDINGS).
14. STRUCTURAL MEMBERS: THE CONTRACTOR SHALL NOT BORE, NOTCH, OR IN ANY WAY CUT INTO ANY STRUCTURAL MEMBER WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT, ENGINEER, AND THE INSPECTOR.
15. WIRING RESPONSIBILITY DISTINCTION: THE GENERAL CONTRACTOR SHALL SUPERVISE THE FOLLOWING WIRING RESPONSIBILITY DISTINCTION. CONTROL LOW VOLTAGE WIRING AND CONNECTION SHALL BE BY MECHANICAL CONTRACTOR. LINE VOLTAGE WIRING, CONDUIT, DISCONNECT SWITCHES, AND CONNECTION SHALL BE BY ELECTRICAL CONTRACTOR.
16. PLUMBING RESPONSIBILITY DISTINCTION: CONDENSATE DRAIN PIPING AND FINAL CONNECTION TO EQUIPMENT UNITS SHALL BE BY PLUMBING CONTRACTOR.
17. GENERAL CONTRACTOR RESPONSIBILITY DISTINCTION: STEEL PLATFORMS FOR ROOF MOUNTED EQUIPMENT UNITS, DUCT PENETRATIONS AND CUTTING AND PATCHING SHALL BE BY GENERAL CONTRACTOR, UNLESS OTHERWISE NOTED ON PLAN.
18. MANUFACTURER'S INSTALLATION RECOMMENDATIONS: ALL EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE EQUIPMENT MANUFACTURER'S INSTRUCTIONS. PROVIDE ALL FITTINGS, OFFSETS, TRANSITIONS, DAMPERS, VALVES AND OTHER DEVICES REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
19. OPERATION AND MAINTENANCE MANUALS: THE CONTRACTOR SHALL SUBMIT FOUR SETS OF OPERATING AND MAINTENANCE MANUALS TO THE OWNER UPON COMPLETION OF THE PROJECT.
20. AS-BUILT DRAWINGS: THE CONTRACTOR SHALL MAINTAIN ACCURATE AS-BUILT DRAWINGS DURING CONSTRUCTION AND SHALL SUBMIT THEM FOR APPROVAL UPON COMPLETION OF THE INSTALLATION.
21. WARRANTY: IN ADDITION TO EQUIPMENT WARRANTIES, THE CONTRACTOR SHALL FURNISH A WRITTEN WARRANTY AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP FOR ONE YEAR AFTER OWNER'S ACCEPTANCE OF THE PROJECT. THE WARRANTY SHALL INCLUDE LABOR AND MATERIALS FOR REPAIR OF DAMAGE TO, OR REPLACEMENT OF, ANY PART OF DEFECTIVE OR DAMAGED EQUIPMENT OR ITEM.
22. ALL PIPES AND DUCTS SHALL BE SUPPORTED & BRACED BY "SMACNA" GUIDELINES, AND SEC 1613 OF CBC-2013.
23. CUTTING, BORING, SAWCUTTING, OR DRILLING THROUGH THE STRUCTURAL ELEMENTS TO BE DONE ONLY WHEN SO DETAILED IN THE DRAWINGS OR ACCEPTED BY THE ARCHITECT AND STRUCTURAL ENGINEER WITH THE APPROVAL OF THE INSPECTOR.
24. DUCT SYSTEMS USED WITH BLOWER TYPE EQUIPMENT WHICH ARE PORTIONS OF A HEATING, COOLING, ABSORPTION, EVAPORATIVE COOLING OR OUTDOOR AIR VENTILATION SYSTEM SHALL BE SIZED IN ACCORDANCE WITH CHAPTER 17 OF THE MECHANICAL CODE.
25. DUCT SYSTEMS SERVING HVAC OR EVAPORATIVE COOLING SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ANSI/SMACNA 006-2006 HVAC DUCT CONSTRUCTION STANDARDS - METAL AND FLEXIBLE, OR ANOTHER APPROVED DUCT CONSTRUCTION STANDARDS.
26. ALL APPLIANCES DESIGNED TO BE FIXED IN POSITION SHALL BE SECURELY FASTENED IN PLACE PER THE BUILDING CODE REQUIREMENTS.
27. REFRIGERANT SERVICE PORTS LOCATED OUTDOORS SHALL BE FITTED WITH LOCKING-TYPE TAMPER-RESISTANT CAPS.
28. ALL APPLIANCE AND PLUMBING VENTS AND THE DISCHARGE OUTLET OF EXHAUST FANS SHALL BE AT LEAST TEN (10) FEET IN A HORIZONTAL DIRECTION, OR THREE (3) FEET ABOVE OUTSIDE-AIR INTAKES FOR HVAC UNITS.

HVAC NOTES

1. ALL HVAC EQUIPMENT SHALL BE CERTIFIED BY THE CALIFORNIA ENERGY COMMISSION TO COMPLY WITH ENERGY EFFICIENCY STANDARDS PER TITLE 24.
2. CONTRACTOR SHALL INSTALL PER PLAN & SPECIFICATIONS. SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO INSTALLATION. CONTRACTOR SHALL VERIFY THE EXACT CEILING SPACE AND INTERCHANGE THE DUCT SIZE TO FIT THE CEILING SPACE WITHOUT ADDITIONAL COST TO THE OWNER.
3. CONNECT MAIN DUCTS TO AIR CONDITIONING UNITS WITH WEATHERPROOF FLEXIBLE CONNECTIONS. SUN SHIELDS OVER ENTIRE FLEXIBLE CONNECTIONS ARE REQUIRED IF FLEXIBLE CONNECTIONS ARE EXPOSED TO WEATHER.
4. PROVIDE FILTERS FOR AIR CONDITIONING AND/OR AIR SIDE UNITS AS REQUIRED PER SPECIFICATIONS.
5. THE CONTRACTOR SHALL PROVIDE ALL OUTSIDE AIR INTAKES AND EXHAUST AIR OUTLETS WITH HOODS, 1/2" GALVANIZED MESH SCREENS, AND BACKDRAFT DAMPERS.
6. EXHAUST TERMINATION SHALL BE MINIMUM 10'-0" AWAY FROM, OR 3'-0" ABOVE, ANY OUTSIDE AIR INTAKE, OPERABLE WINDOWS, AND DOORS. THEY SHALL ALSO BE 10'-0" MINIMUM ABOVE GRADE.
7. INSTALL A MANUAL VOLUME CONTROL DAMPER AT EACH SUPPLY AIR DIFFUSER TO AFFORD COMPLETE CONTROL OF THE AIR FLOW IN THE VARIOUS DUCT SYSTEMS. INSTALL A SPLITTER DAMPER AT EACH DUCT TAKEOFF AND DAMPER AS INDICATED ON DRAWINGS.
8. THE CONTRACTOR SHALL FURNISH AND INSTALL ACCESS DOORS AND/OR ACCESS PANELS AT LOCATION AS NECESSARY TO SERVICE FIRE DAMPER, AND COMBINATION FIRE/SMOKE DAMPERS, AND TO PROVIDE MAINTENANCE FOR EQUIPMENT WHERE INDICATED ON DRAWINGS. ALL ACCESS DOORS AND PANELS LOCATIONS SHALL BE VERIFIED WITH THE ARCHITECT PRIOR TO INSTALLATION.
9. ALL DUCTWORK AND SUPPORTS EXPOSED UNDER THE CEILING SHALL BE LINED (INSIDE) AND PAINTED (OUTSIDE) TO MATCH THE SURROUNDINGS. ALSO, ALL ROOF MOUNTED DUCTWORK, AND DUCTWORK WITHIN 10 FEET OF HVAC UNITS (OR TO THE FIRST DUCT BRANCH) SHALL BE LINED.

HVAC GENERAL SPECIFICATIONS

1. CONCEALED SPACES, CIRCULATION AIR:
NO COMBUSTIBLE MATERIAL (SUCH AS EXPOSED COMMUNICATION CABLES, INSULATED WIRES, PLASTIC TUBING OR PIPING, PIPE INSULATION, CONDENSATE PAN INSULATION, WOOD, PVC, ABS AND OTHER PLASTICS) SHALL BE IN CONCEALED SPACES USED TO CONVEY CIRCULATING AIR SUPPLY. WHEN COMBUSTIBLE MATERIAL IS TO BE LOCATED IN THE ABOVE SPACES, IT SHALL BE APPROVED BY ARCHITECT FOR SUCH INSTALLATION.
2. INSPECTION:
INSPECTION SHALL BE MADE, AND DUCTWORK SHALL BE APPROVED, BEFORE COVERING WITH INSULATION.
3. A MAINTENANCE LABEL SHALL BE AFFIXED TO MECHANICAL EQUIPMENT AND A MAINTENANCE MANUAL SHALL BE PROVIDED TO THE OWNER PER STANDARDS.

EQUIPMENT ANCHORAGE NOTES

ALL MECHANICAL, PLUMBING AND ELECTRICAL COMPONENTS SHALL BE ANCHORED AND INSTALLED PER THE DETAILS ON THE CONSTRUCTION DOCUMENTS. WHERE NO DETAIL IS INDICATED, THE FOLLOWING COMPONENTS SHALL BE ANCHORED OR BRACED TO MEET THE FORCE AND DISPLACEMENT REQUIREMENTS PRESCRIBED IN THE 2010 CBC, SECTION 1615A.1.12 THROUGH 1615A.1.22 AND ASCE 7-05 CHAPTER 6 AND 13.

1. ALL PERMANENT EQUIPMENT AND COMPONENTS.
2. TEMPORARY OR MOVABLE EQUIPMENT THAT IS PERMANENTLY ATTACHED (E.G. HARD WIRED) TO THE BUILDING UTILITY SERVICES SUCH AS ELECTRICITY, GAS OR WATER.
3. MOVABLE EQUIPMENT WHICH IS STATIONED IN ONE PLACE FOR MORE THAN 8 HOURS AND HEAVIER THAN 400 POUNDS ARE REQUIRED TO BE ANCHORED WITH TEMPORARY ATTACHMENTS.

THE ATTACHMENT OF THE FOLLOWING MECHANICAL AND ELECTRICAL COMPONENTS SHALL BE POSITIVELY ATTACHED TO THE STRUCTURE, BUT NEED NOT BE DETAILED ON THE PLANS. THESE COMPONENTS SHALL HAVE FLEXIBLE CONNECTIONS PROVIDED BETWEEN THE COMPONENT AND ASSOCIATED DUCTWORK, PIPING, AND CONDUIT.

- A. COMPONENTS WEIGHING LESS THAN 400 POUNDS AND HAVE A CENTER MASS LOCATED 4 FEET OR LESS ABOVE THE ADJACENT FLOOR OR ROOF LEVEL THAT DIRECTLY SUPPORT THE COMPONENT.
- B. COMPONENTS WEIGHING LESS THAN 20 POUNDS, OR IN THE CASE OF DISTRIBUTED SYSTEMS, LESS THAN 5 POUNDS PER FOOT, WHICH ARE SUSPENDED FROM A ROOF OR FLOOR OR HUNG FROM A WALL.

FOR THOSE ELEMENTS THAT DO NOT REQUIRE DETAILS ON THE APPROVED DRAWINGS, THE INSTALLATION SHALL BE SUBJECT TO THE APPROVAL OF THE STRUCTURAL ENGINEER OF RECORD AND THE DSA DISTRICT STRUCTURAL ENGINEER. THE PROJECT INSPECTOR WILL VERIFY THAT ALL COMPONENTS AND EQUIPMENT HAVE BEEN ANCHORED IN ACCORDANCE WITH ABOVE REQUIREMENTS.

PARTIAL LIST OF APPLICABLE CODES
AS OF JANUARY 1, 2023

PART 1	2022 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE, TITLE 24 C.C.R.
PART 2	2022 CALIFORNIA BUILDING CODE (CBC), TITLE 24 C.C.R. (2021 INTERNATIONAL BUILDING CODE OF THE INTERNATIONAL CODE COUNCIL, WITH CALIFORNIA AMENDMENTS)
PART 3	2022 CALIFORNIA ELECTRICAL CODE (CEC), TITLE 24 C.C.R. (2021 NATIONAL ELECTRICAL CODE OF THE NATIONAL FIRE PROTECTION ASSOCIATION, NFPA)
PART 4	2022 CALIFORNIA MECHANICAL CODE (CMC), TITLE 24 C.C.R. (2021 UNIFORM MECHANICAL CODE OF THE INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS, IAPMO)
PART 5	2022 CALIFORNIA PLUMBING CODE (CPC), TITLE 24 C.C.R. (2021 UNIFORM PLUMBING CODE OF THE INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS, IAPMO)
PART 6	2022 CALIFORNIA ENERGY CODE, TITLE 24 C.C.R.
PART 7	CURRENTLY VACANT
PART 8	2022 CALIFORNIA HISTORICAL BUILDING CODE, TITLE 24 C.C.R.
PART 9	2022 CALIFORNIA FIRE CODE, TITLE 24 C.C.R. (2019 INTERNATIONAL FIRE CODE OF THE INTERNATIONAL CODE COUNCIL)
PART 10	2022 CALIFORNIA EXISTING BUILDING CODE, TITLE 24 C.C.R. (2013 INTERNATIONAL EXISTING BUILDING CODE OF THE INTERNATIONAL CODE COUNCIL, WITH AMENDMENTS)
PART 11	2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN CODE), TITLE 24 CCR.
PART 12	2022 CALIFORNIA REFERENCED STANDARDS, TITLE 24 C.C.R.

SYMBOLS AND ABBREVIATIONS

SA		SUPPLY AIR PLENUM CROSS-UP DIRECTION
RA		RETURN AIR PLENUM CROSS-DOWN DIRECTION
SA		SUPPLY AIR PLENUM CROSS-UP DIRECTION
RA		RETURN AIR PLENUM CROSS-DOWN DIRECTION
CD		CEILING DIFFUSER, 2 - WAY
CD		CEILING DIFFUSER, 4 - WAY
CD		CEILING DIFFUSER, ROUND
SWS		SIDEWALL SUPPLY REGISTER
RAG		RETURN AIR GRILLE
EAG		EXHAUST AIR GRILLE
SWS		SIDE WALL SUPPLY REGISTER
SWR		SIDE WALL RETURN GRILLE
CD		CONDENSATE DRAIN
RL		REFRIGERANT LIQUID LINE
RS		REFRIGERANT SUCTION LINE
		ROOM THERMOSTAT
BDD		BACKDRAFT DAMPER
MVD		MANUAL VOLUME DAMPER
POC		POINT OF CONNECTION
POD		POINT OF DISCONNECTION
SD		SMOKE DETECTOR
AD		ACCESS DOOR
AFF		ABOVE FINISHED FLOOR
ASHRAE		AMERICAN SOCIETY OF HEATING, REFRIGERATION, AND AIR CONDITIONING ENGINEERS
BFF		BELOW FINISHED FLOOR
BTUH		BRITISH THERMAL UNITS PER HOUR
CFM		CUBIC FEET PER MINUTE
COP		COEFFICIENT OF PERFORMANCE
DB		DRY BULB
DX		DIRECT EXPANSION
EA		EXHAUST AIR
EAT		ENTERING AIR TEMPERATURE

SYMBOLS AND ABBREVIATIONS

EDB	ENTERING DRY BULB
EER	ENERGY EFFICIENCY RATIO
ESP	EXTERNAL STATIC PRESSURE
EWB	ENTERING WET BULB
EXIST	EXISTING
FLA	FULL LOAD AMPERES
HP	HORSEPOWER, HEAT PUMP
HZ	HERTZ
KW	KILOWATT
LAT	LEAVING AIR TEMPERATURE
LAV	LAVATORY
LDB	LEAVING DRY BULB
LWB	LEAVING WET BULB
MBH	THOUSAND BRITISH THERMAL UNITS PER HOUR
MFR	MANUFACTURER
MCA	MAXIMUM CURRENT AMPACITY
MFS	MAXIMUM FUSE SIZE
MOCp	MAXIMUM OVERCURRENT PROTECTION
NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
OBD	OPPOSED BLADE DAMPER
OSA	OUTSIDE SUPPLY AIR
QTY	QUANTITY
RLA	RATED LOAD AMPERES
RA	RETURN AIR
RTU	ROOFTOP UNIT
SA	SUPPLY AIR
SEER	SEASONAL ENERGY EFFICIENCY RATIO
SMACNA	SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION
SP	STATIC PRESSURE
TA	TRANSFER AIR
TG	TRANSFER GRILLE
TYP	TYPICAL
U/C	UNDERCUT DOOR
U.O.N.	UNLESS OTHERWISE NOTED
UTR	UP THRU ROOF
V	VOLT
VTR	VENT THRU ROOF
WB	WET BULB
W.C.	WATER COLUMN
ø	PHASE, DIAMETER

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SHEET DESCRIPTION:

MECHANICAL NOTES

OWNER:

DAVID SIMPSON

**10150 TRASK AVENUE
GARDEN GROVE, CA 92844
CONTACT: SCOTT OLSON
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REVISION STATUS:

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REV.	DATE	DESCRIPTION

PROJECT NO: **24.108**

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ENG. MGR.: **PC**

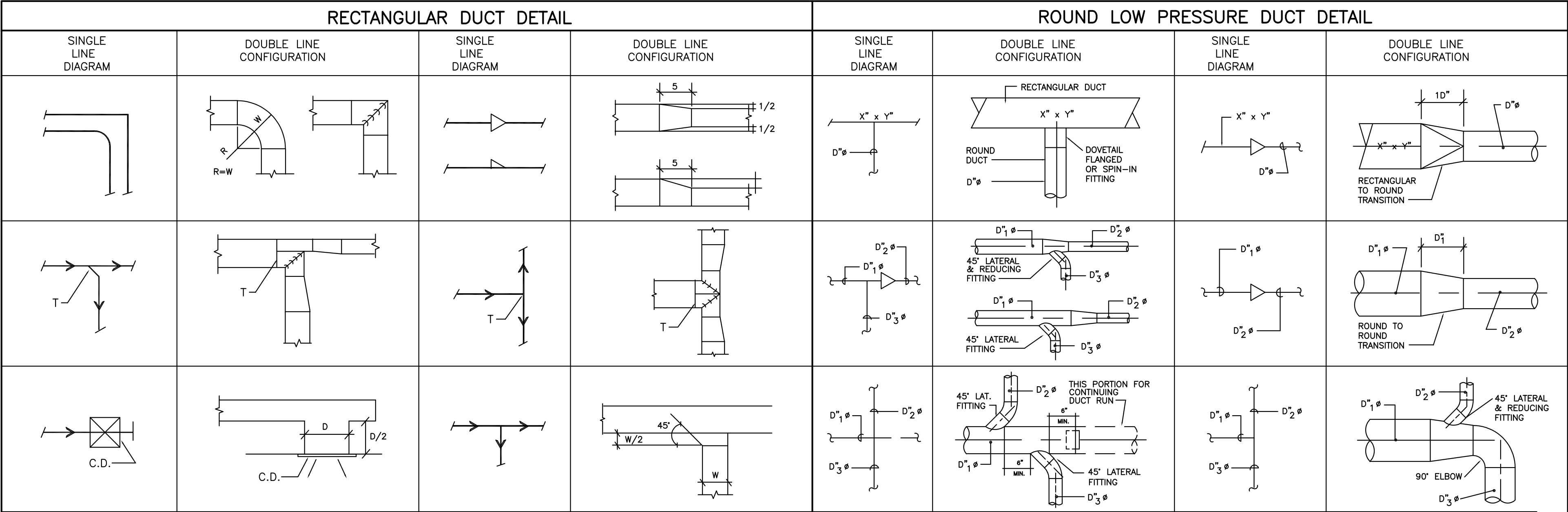
DATE: **8/30/2024**

PROJECT DESCRIPTION & ADDRESS:

**METAL STRUCTURE
10150 TRASK AVE
GARDEN GROVE, CA 92843**

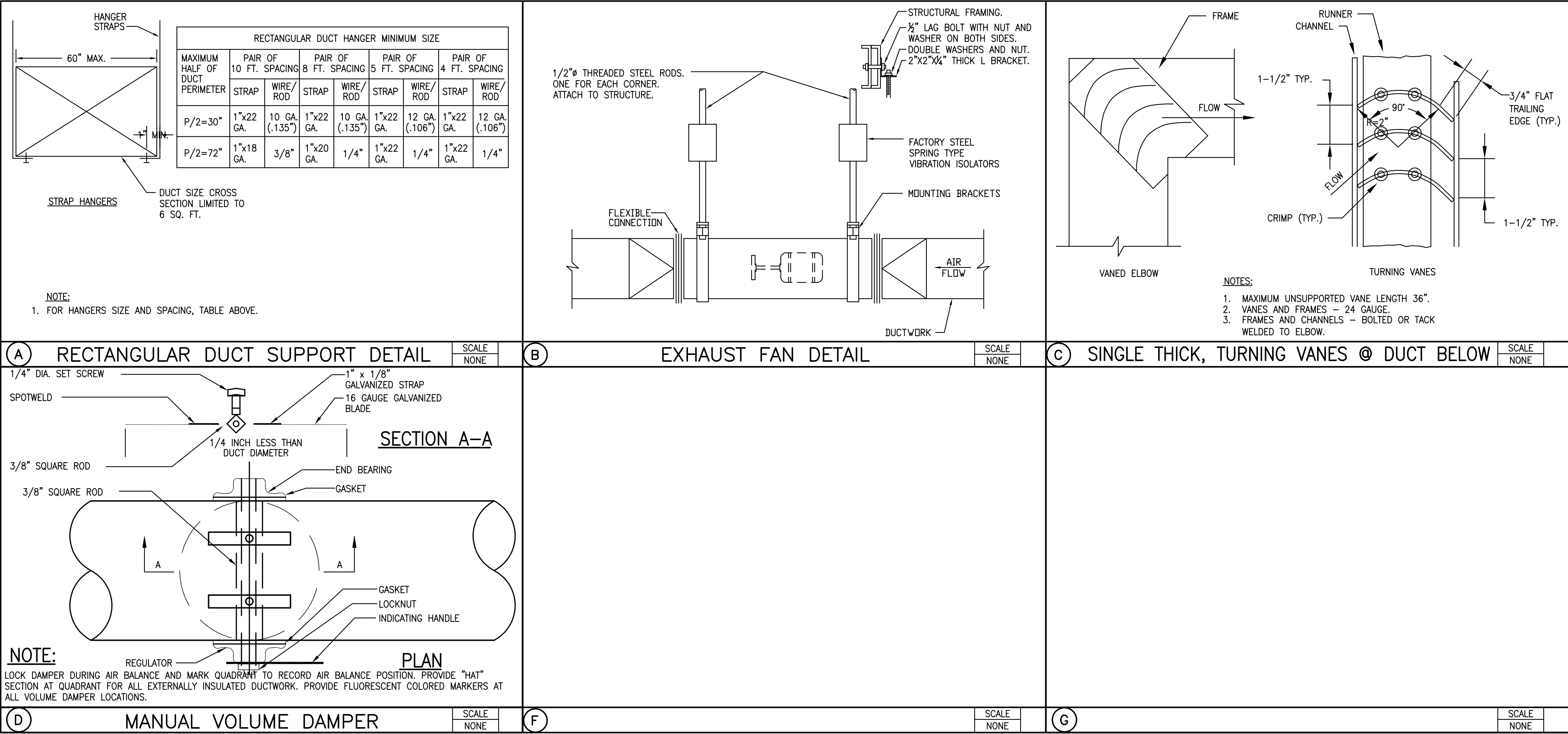
M-1

SHEET



EXHAUST FAN SCHEDULE											
SYM	MANUF./MODEL	LOCATION	AREA SERVED	CFM	STATIC PRESSURE	RPM	DRIVE	MOTOR		OPER. WT. LBS.	NOTES
								HP	VOLT		
<div>EF1</div>	COOK 180SQN17D	CEILING	AUTO REPAIR GARAGE	5,500	0.75	1725	DIRECT	5	208/3ø	265	1,2,3,4,6

NOTES:
1. PROVIDE DISCONNECT SWITCH.
2. INTERLOCK WITH ON/OFF SWITCH.
3. PROVIDE (4) 1/2" THREADED RODS FOR SUPPORT.
4. PROVIDE BACKDRAFT DAMPER.
5. PROVIDE INLET AND OUTLET FLEX DUCT CONNECTIONS.
6. PROVIDE (4) SC-125 SPRING VIBRATION ISOLATORS.



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SHEET DESCRIPTION:

MECHANICAL SCHEDULES AND DETAILS

OWNER:

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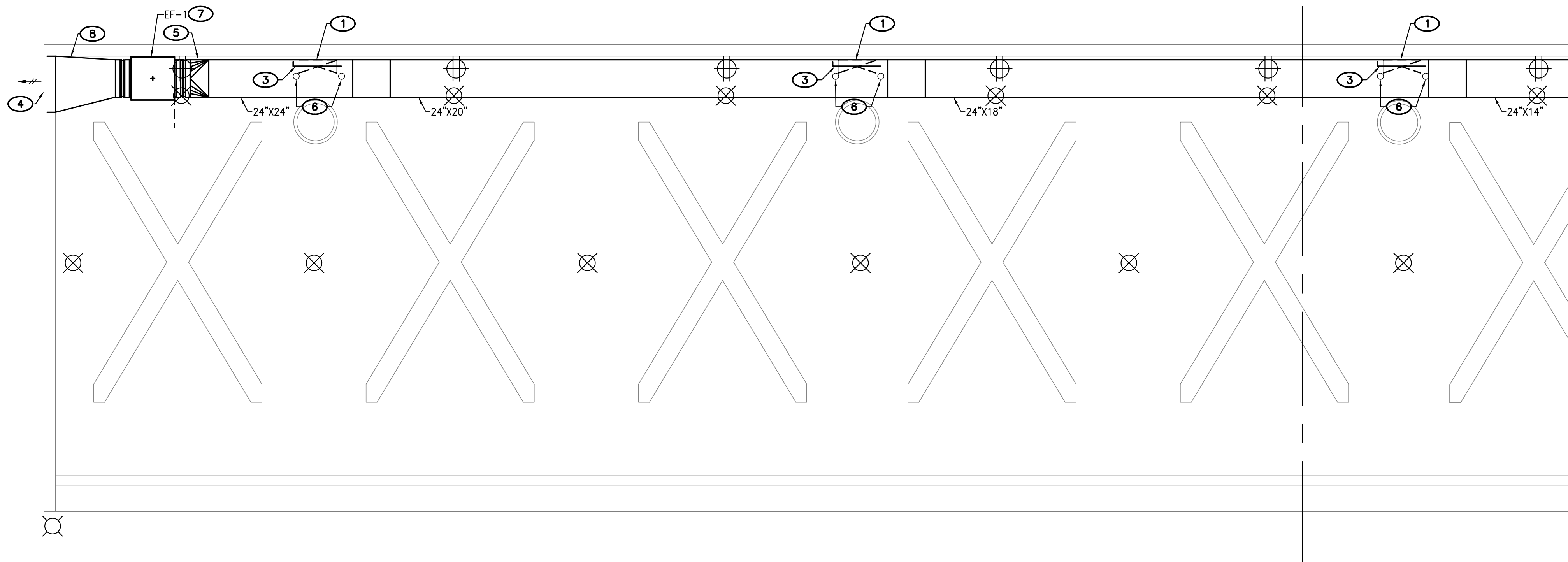
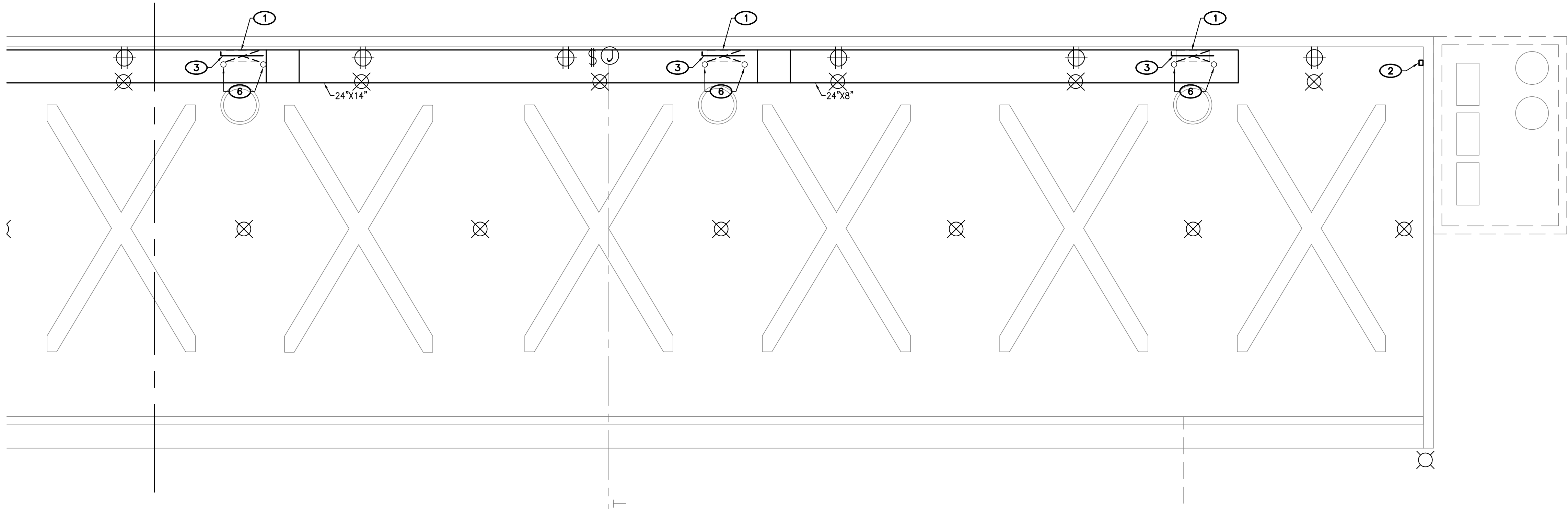
PROJECT NO: **24.108**
DRAWN BY: **TN**
ENG. MGR.: **PC**
DATE: **8/30/2024**

PROJECT DESCRIPTION & ADDRESS:

METAL STRUCTURE
10150 TRASK AVE
GARDEN GROVE, CA 92843

M-2

SHEET



VENTILATION CALCULATION:
REPAIR GARAGE AREA: 3,625 SQUARE FEET.
PER TABLE 403.7 OF 2022 CMC, EXHAUST RATE FOR AUTO REPAIR ROOMS IS 1.5 CFM / SQUARE FEET.
THEREFORE, THE REQUIRED EXHAUST RATE IS: 3,625 X 1.5 = 5,437 CFM.
EXHAUST FAN EF-1 IS RATED AT 5,500 CFM.

KEY NOTES

- 1 24"x8" EXHAUST AIR DUCT DOWN AND TERMINATE 12" ABOVE FINISHED FLOOR. PROVIDE 1/2" STAINLESS STEEL MESH SCREEN AT BOTTOM OF DUCT OPENING. BALANCE THE BRANCH DUCT TO 1100 CFM.
- 2 ON/OFF SWITCH FOR EF-1.
- 3 MANUAL VOLUME DAMPER. TYPICAL.
- 4 36"x36" EXHAUST LOUVER. RUSKIN ELF15J. FURNISHED WITH BIRD SCREEN.
- 5 24"Ø EXHAUST AIR DUCT TRANSITION TO 24"x24" EXHAUST AIR DUCT.
- 6 4"Ø STEEL BOLLARD.
- 7 MOUNT EF-1 AS HIGH AS POSSIBLE.
- 8 DUCT TRANSITION FROM 24"x24" TO 36"x36".

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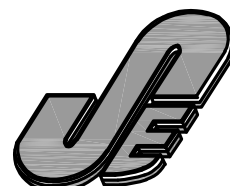
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MECHANICAL PLANS

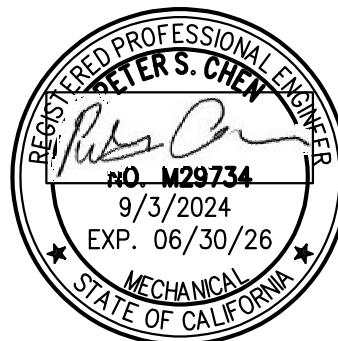
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REVISION STATUS:

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PROJECT NO: 24.108

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PROJECT DESCRIPTION & ADDRESS:

METAL STRUCTURE
10150 TRASK AVE
GARDEN GROVE, CA 92843

M-3

- SCOPE: THE WORK OF THIS SECTION INCLUDES EVERYTHING NECESSARY FOR AND INCIDENTAL TO EXECUTING AND COMPLETING ELECTRICAL WORK, EXCEPT AS OTHERWISE HEREINAFTER SPECIFICALLY EXCLUDED.
2. GUARANTEE: CONTRACTOR SHALL PROVIDE TO THE OWNER A WRITTEN GUARANTEE, IN COMPLIANCE WITH DIVISION 1, AGAINST DEFECTS IN MATERIAL AND WORKMANSHIP FOR ONE (1) YEAR, UPON FINAL ACCEPTANCE OF PROJECT BY OWNER.
3. TESTING AND ADJUSTMENT: UPON COMPLETION OF ALL ELECTRICAL WORK, ELECTRICAL CONTRACTOR SHALL ADJUST AND TEST ALL CIRCUITS, OUTLETS, SWITCHES, LIGHTS, MOTORS AND ANY OTHER ELECTRICAL ITEMS TO INSURE PERFECT OPERATION OF ALL ELECTRICAL EQUIPMENT. ITEMS, FIXTURES AND PARTS IN NEED OF CORRECTION AND DISCOVERED DURING SUCH TESTING SHALL BE IMMEDIATELY REPAIRED OR REPLACED WITH ALL NEW EQUIPMENT AND THAT PART OF THE SYSTEM SHALL THEN BE RETESTED. ALL SUCH REPLACEMENT OR REPAIR SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
4. SITE INSPECTION: THE CONTRACTOR SHALL CAREFULLY EXAMINE THE SITE AND EXISTING BUILDINGS, SHALL COMPARE THE DRAWINGS WITH THE EXISTING ELECTRICAL INSTALLATIONS, AND SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS WITHIN THE SCOPE OF THIS WORK. BY THE ACT OF SUBMITTING A BID, THE CONTRACTOR WILL BE DEEMED TO HAVE MADE SUCH EXAMINATION AND TO HAVE ACCEPTED SUCH CONDITIONS, AND TO HAVE MADE ALLOWANCE THEREOF IN PREPARING HIS FIGURE.
5. LOCATIONS AND ACCESSIBILITY: CONTRACTOR SHALL FULLY INFORM HIMSELF REGARDING PECULIARITIES AND LIMITATIONS OF THE SPACES AVAILABLE FOR INSTALLATION OF WORK AND MATERIALS FURNISHED AND INSTALLED UNDER THIS DIVISION. DRAWINGS INDICATE DESIRED LOCATION AND ARRANGEMENT OF PIPING, EQUIPMENT, AND OTHER ITEMS, AND ARE TO BE FOLLOWED AS CLOSELY AS POSSIBLE. WORK SPECIFIED AND CLEARLY DEFINED ON DRAWINGS SHALL BE INSTALLED AND ARRANGED IN A MANNER SATISFACTORY TO ARCHITECT, THEY SHALL BE MADE BY CONTRACTOR WITHOUT ADDITIONAL CHARGES, PROVIDED THE CHANGE IS ORDERED BEFORE WORK IS INSTALLED AND NO EXTRA MATERIAL ARE REQUIRED.
6. CLEANUP: AFTER COMPLETION OF WORK UNDER THIS SECTION, CLEAN UP ALL RESULTANT DEBRIS FROM THIS WORK AND REMOVE FROM THE SITE.
7. CUTTING AND PATCHING: THE CONTRACTOR SHALL DO ALL CUTTING AND PATCHING OF EXISTING CONCRETE AND MASONRY WHICH MAY BE REQUIRED FOR THE PROPER INSTALLATION OF THE ELECTRICAL WORK. ALL PATCHING SHALL BE OF THE SAME MATERIALS, WORKMANSHIP AND FINISH AS, AND SHALL ACCURATELY MATCH ALL SURROUNDING WORK.
8. DRAWINGS AND SPECIFICATIONS: ELECTRICAL DRAWINGS ARE PREPARED IN SOME RESPECTS, SIZES AND LOCATION OF EQUIPMENT AND WIRING ARE SHOWN TO SCALE WHERE POSSIBLE, BUT MAY BE DISTORTED FOR CLARITY ON THE DRAWINGS. FINAL LOCATIONS OF OUTLETS AND EQUIPMENT SHALL BE AS SHOWN IN ENLARGED DETAILS OR AS APPROVED BY THE LIGHTING CONSULTANT. IT IS NOT WITHIN THE SCOPE OF DRAWINGS TO SHOW ALL NECESSARY BENDS, OFFSETS, PULLBOXES, AND OBSTRUCTIONS. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL HIS WORK TO CONFORM TO THE STRUCTURE, PRESERVE HEADROOM AND KEEP OPENINGS AND PASSAGEWAYS CLEAR.
9. WIRING AND CONNECTIONS OF EQUIPMENT BY OTHERS: FURNISH AND INSTALL WIRING FOR POWER REQUIREMENT AS SHOWN ON DRAWINGS. COORDINATE WITH OTHER TRADES ON DETAILS OF INSTALLATION. THE TERM "WIRING" AS USED HEREIN, INCLUDES FURNISHING AND INSTALLING CONDUIT, WIRE, JUNCTION BOXES, DISCONNECTS, AND MAKING CONNECTIONS. CHECK LIGHTING CONSULTANT AND SPECIFICATIONS FOR EQUIPMENT TO BE INSTALLED BY OTHERS. ELECTRICAL DRAWINGS INDICATE, IN GENERAL, THE INTENT OF THE SCOPE OF SYSTEMS. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER WIRING AND NECESSARY ELECTRICAL ADJUSTMENTS TO EQUIPMENT TO CONFORM TO SPECIFIED REQUIREMENTS OF THE EQUIPMENT.
10. SHOP DRAWINGS: WITHIN FOURTEEN (14) DAYS AFTER RECEIPT OF CONTRACT DOCUMENTS TO ARCHITECT, SUBMIT TWO SETS OF DRAWINGS FOR SHOP ELECTRICAL EQUIPMENT AND DEVICES. DO NOT DELIVER THESE ITEMS TO THE JOB SITE UNTIL SHOP DRAWINGS HAVE BEEN REVIEWED AND APPROVED BY ARCHITECT AND ELECTRICAL ENGINEER.
11. OUTLET BOXES: OUTLET BOXES SHALL BE ONE PIECE PRESS STEEL BOX, "4S" MINIMUM SIZE OR LARGER AS REQUIRED PER CODE.
12. CONDUIT SHALL BE STANDARD STEEL RIGID, IMC OR EMT (THIN WALL) ACCORDING TO CEC CODE AND LANDLORD REQUIREMENTS. CONDUIT SHALL BE CONCEALED IN FINISHED AREAS, EXCEPT AS OTHERWISE APPROVED BY ARCHITECT. EMT CONNECTIONS SHALL BE COMPLY WITH ARTICLE 350. SET SCREW TYPE LIQUIDTIGHT FLEXIBLE METAL CONDUIT SHALL BE USED FOR MOTOR CONNECTIONS, AND COMPLY WITH ARTICLE 350. PVC CONDUIT SHALL BE USED ONLY FOR UNDERGROUND CONDUIT. FLEXIBLE METAL CONDUIT SHALL BE INSTALLED PER ARTICLE 348. MC CABLE SHALL BE SUITABLE FOR INSTALLATION IN CONCEALED AREAS SUCH AS ABOVE CEILINGS AND INSIDE WALL CONSTRUCTION AND COMPLY WITH ARTICLE 330. MINIMUM CONDUIT SIZE SHALL BE 1/2".
13. WIRE AND CABLE: ALL CONDUCTORS SHALL BE DELIVERED TO THE SITE IN THEIR ORIGINAL UNBROKEN PACKAGES, PLAINLY MARKED OR TAGGED AS FOLLOWS:
 14. UNDERWRITERS' LABELS.
 - SIZE, TYP. AND INSULATION OF WIRE.
 - NAME OF THE MANUFACTURING COMPANY AND THE TRADE NAME OF THE WIRE.
 - MONTH AND YEAR WHEN MANUFACTURED WHICH DATE SHALL NOT EXCEED TWO (2) YEARS PRIOR TO THE DATE OF DELIVERY TO THE SITE.
15. CONDUCTORS FOR SIZES #14 THRU #10 SHALL BE SOLID SOFT DRAWN COPPER, 600 VOLT, TYPE THHN/THWN INSULATION EXCEPT AS HEREINAFTER SPECIFIED.
16. CONDUCTORS FOR SIZES #8 AND LARGER SHALL BE STRANDED COPPER WITH 600 VOLT, TYPE THHN/THWN INSULATION.
17. MINIMUM WIRE SIZE SHALL BE #12 A.W.G. UNLESS SPECIFICALLY NOTED AS #14.

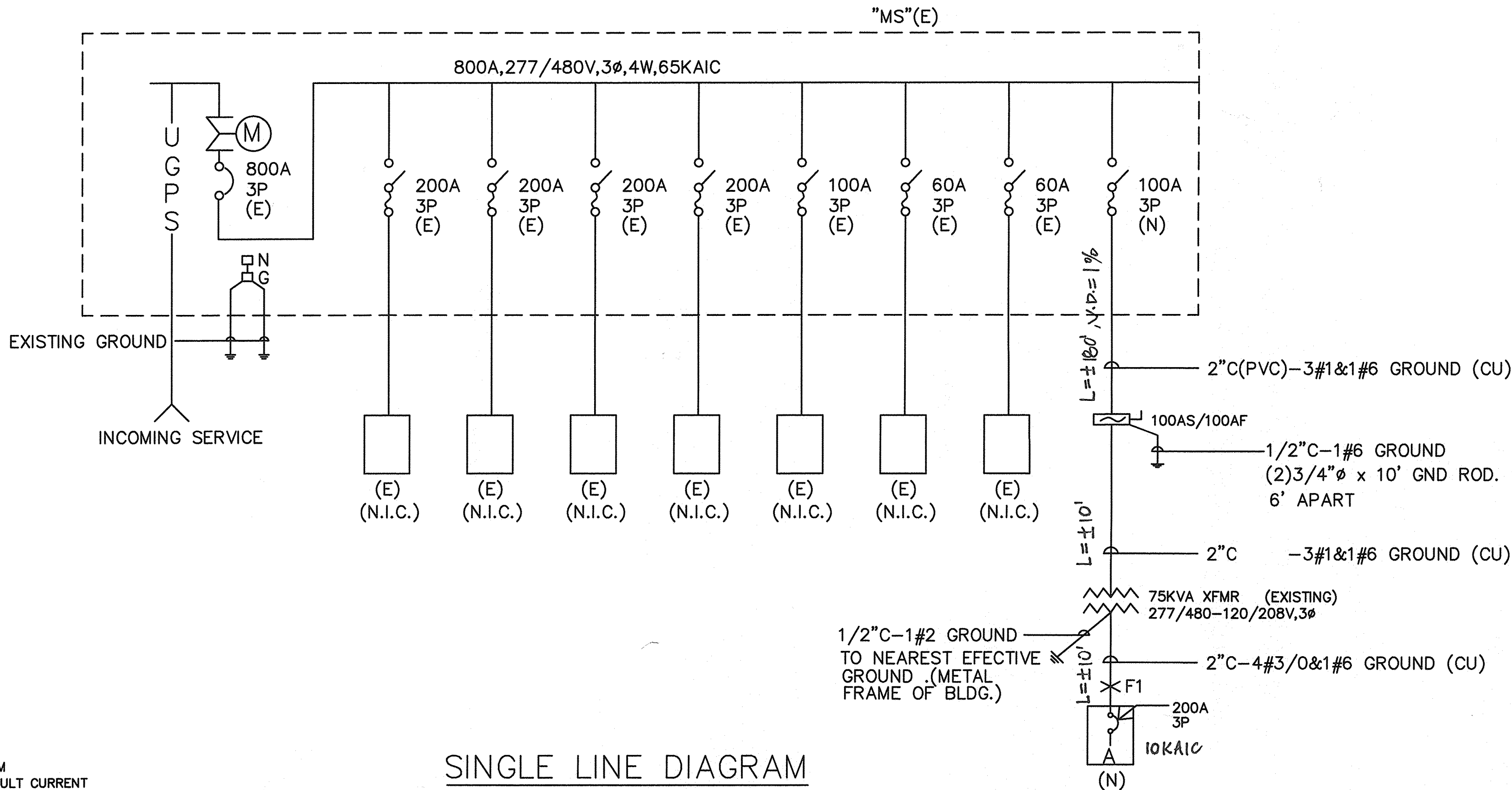
1. ELECTRICAL CONTRACTOR MUST OBTAIN APPROVED CONSTRUCTION DRAWINGS FROM THE RESPECTIVE UTILITY COMPANIES AND INCLUDE ALL MATERIAL AND WORK AS INDICATED THEREON IN THIS BID PRICE. IF UTILITY DRAWINGS ARE NOT AVAILABLE WHEN BIDS ARE SUBMITTED, SO INDICATE AND ADVISE ELECTRICAL ENGINEER ACCORDINGLY.
2. ELECTRICAL CONTRACTOR SHALL VERIFY EXACT LOCATION OF UTILITY PANELS, CONDUITS AND XFMR WITH RESPECTIVE UTILITY COMPANIES PRIOR TO START OF ANY SITE WORK.
3. ELECTRICAL CONTRACTOR SHALL SUBMIT THE MAIN SWITCHBOARD SHOP DRAWING TO POWER COMPANY REPRESENTATIVE PRIOR TO START OF ANY WORK AND OBTAIN APPROVED DRAWINGS.
4. GENERAL CONTRACTOR SHALL SUBMIT SINGLE LINE DIAGRAM, SITE PLAN AND LOAD INFORMATION DRAWINGS TO UTILITY POWER COMPANY TO OBTAIN SERVICE REPORT INDICATING THE AVAILABLE FAULT CURRENT AND SERVICE ROUTING.

1. ALL WORK SHALL COMPLY WITH THE STATE OF CALIFORNIA, TITLE 24 AND ALL OTHER GOVERNING CODES AND ORDINANCES. 2022 CEC.& 2022 CALIFORNIA ENERGY CODE.
- 2a. ELECTRICAL SWITCHES AND CONTROLS/MOUNTING HEIGHTS/DISABLED ACCESS: 2022 CBC NOW REQUIRES CONTROLS AND SWITCHES INTENDED TO BE USED BY OCCUPANTS OF THE ROOM OR AREA TO BE LOCATED:
 - 2a.1 NO MORE THAN 48-INCHES, MEASURED FROM THE TOP OF THE OUTLET BOX, TO THE LEVEL OF THE FINISHED FLOOR OR WORKING PLATFORM.
 - 2a.2 NO LESS THAN 15 INCHES, MEASURED FROM THE BOTTOM OF THE OUTLET BOX, TO THE LEVEL OF THE FINISHED FLOOR OR WORKING PLATFORM.
- 2b. ELECTRICAL RECEPTACLE OUTLETS/MOUNTING HEIGHTS/DISABLED ACCESS: 2022 CBC REQUIRES ELECTRICAL RECEPTACLE OUTLETS ON BRANCH CIRCUITS OF 30 AMPERES OR LESS AND COMMUNICATION SYSTEM RECEPTACLE TO BE LOCATED:
 - 2b.1 NO MORE THAN 48-INCHES, MEASURED FROM THE TOP OF THE RECEPTACLE OUTLET BOX OR RECEPTACLE HOUSING.
 - 2b.2 NO LESS THAN 15-INCHES, MEASURED FROM THE BOTTOM OF RECEPTACLE OUTLET BOX OR RECEPTACLE HOUSING, TO THE LEVEL OF THE FINISHED FLOOR OR WORKING PLATFORM.
3. REFER TO THE ARCHITECTURAL REFLECTED CEILING PLAN FOR THE EXACT TYPE AND LOCATION OF LIGHT FIXTURES.
4. REFER TO THE ARCHITECTURAL POWER AND TELEPHONE PLAN FOR THE EXACT LOCATION AND MOUNTING HEIGHTS AND TYPES OF ALL OUTLETS (RECEPTACLES, TELEPHONES, CRTS, CLOCKS, ETC.).
5. ALL ELECTRICAL WORK, ITEMS, DEVICES, ETC. SHALL CONFORM TO THE REQUIREMENTS OF THE BASE BUILDING SPECIFICATION.
6. ALL OUTLETS SHALL BE INSTALLED AT THE HEIGHTS INDICATES ON THE SYMBOL LIST UNLESS OTHERWISE NOTED ON THE DRAWINGS.
7. EVERY OUTLET HEIGHT SHALL BE VERIFIED ON EACH WALL WITH THE ARCHITECT OR INTERIOR DESIGNER TO ENSURE THE PROPER HEIGHT AND LOCATION WITH RESPECT TO CABINET, EQUIPMENT, ETC.
8. ALL WORK/MATERIALS SHOWN ON PLANS SHALL BE NEW UNLESS OTHERWISE INDICATED.
9. UNLESS INSTRUCTED OTHERWISE, THE ELECTRICAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, LICENSES, AND FEES REQUIRED FOR INSTALLATION OF THE ELECTRICAL WORK. FURNISH FINAL CERTIFICATE OF INSPECTION OR WRITTEN EVIDENCE OF ACCEPTANCE BY INSPECTION AUTHORITIES FOR ALL WORK INSTALLED.
10. BEFORE STARTING ANY WORK, THE ELECTRICAL CONTRACTOR SHALL EXAMINE THE COMPLETE SET OF DRAWINGS FOR ALL TRADES, INCLUDING ARCHITECTURAL, HEATING-VENTILATING-AIR CONDITIONING AND PLUMBING. VERIFY ALL DIMENSIONS, SPACE REQUIREMENTS AND POINTS OF CONNECTION TO ALL EQUIPMENT. MAKE ANY MINOR ADJUSTMENTS NECESSARY TO AVOID CONFLICT WITH THE BUILDING STRUCTURE AND THE WORK OF OTHER TRADES.
11. UPDATE PANEL CARDS INDICATING CIRCUIT'S SPECIFIC FUNCTION/LOCATION.
12. AS-BUILT DRAWINGS SHALL BE MAINTAINED AND REFLECT THE FOLLOWING:
 - A. ANY DEVIATION FROM THE CIRCUIT NUMBERS ON WORKING DRAWINGS SHALL BE INDICATED ON AS-BUILTS.
 - B. THE ADDITION, DELETION OR RELOCATION OF OUTLETS AS SHOWN ON WORKING DRAWINGS SHALL BE INDICATED ON "AS-BUILTS".
13. ALL CONDUIT OTHER THAN USED FOR ELECTRICAL WIRING SHALL HAVE #12 GALVANIZED PULL WIRE INSTALLED BY THE ELECTRICAL CONTRACTOR.

1. All ballasts shall be HPF, C.B.M., E.T.I. certified, class-P equal to universal "Energy saver" VLI series, of quietest sound rating available. Provide low temperature ballasts for outdoor mounted fixtures.
2. Contractor shall be responsible for ordering proper types of trim for all recessed fluorescent fixtures and incandescent fixtures to fit the ceiling being installed. Finish trim of all recessed led fixtures shall match ceiling finish as required by architect.
3. The contractor shall verify the type of ceiling before ordering any fixtures. He is fully responsible to provide all mounting brackets for all ceiling conditions, at no extra charge to the owner.
4. All fixtures shall bear U.L. label.
5. Acrylic lens shall be 100% pure, virgin, acrylic.
6. All lighting fixtures shall be installed in accordance with the manufacturers instructions.
7. Recessed fixtures in fire rated ceiling shall be approved for the fire rating of the ceiling.
8. Fixtures in luminous ceiling of ceiling cavities or soffits shall be approved for type of installation.
9. Stem lengths pendent fixtures shall be one piece without couplings, with finish to match canopy and with swivel hanger legally approved for weight supported and for earthquake protection. Provide wedge type canopy for fixtures to be installed on sloped ceiling.
10. Outdoor fixtures and fixtures installed in damp location shall be approved for wet locations.
11. Verify letter size and color of internally illuminated exit signs with local authorities prior to submittal of shop drawings.
12. Recessed fixtures shall be pre-wired to attached J-Box in accordance with local code requirements. Fixtures shall be approved for the maximum number of wires going in and out of the fixtures as shown on plans. Attached J-Boxes shall be accessible per C.E.C.
13. ALL LIGHTING FIXTURES ARE TO BE CERTIFIED BY CALIFORNIA ENERGY COMMISSION.

HOME RUN		CONDUIT CONCEALED IN WALL OR CEILING UNLESS NOTED	
CONDUIT CONCEALED IN WALL, FLOOR,		UNDERGROUND OR UNDER FLOOR UNLESS NOTED	
HOME RUN TO PANEL.		HASH MARKS INDICATE QUANTITY OF CONDUCTORS.	
NO HASH MARK INDICATES 1/2" C-2 #12 & 1 #12 GROUND		#10 INDICATES #10 AWG CONDUCTORS,	
SIZE OF CONDUIT SHALL BASE ON N.E. CODE.			
1 2 3	ROOM NUMBER	C.O.	CONDUIT ONLY
N.I.C.	NOT IN CONSTRUCTION		
W.P.	WEATHER PROOF	N.T.S.	NOT TO SCALE
5" BOX	4 1/16" Sq.X2 1/8" D.BOX	○	CONDUIT UP
V.L.	VERIFY LOCATION	●	CONDUIT DOWN

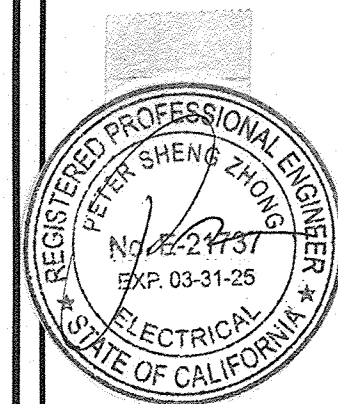
F.L.R.	WALL	CEIL	D E S C R I P T I O N
	\$		SINGLE POLE TOGGLE SWITCH (SEE NOTE 2a)
	\$a,b		SINGLE POLE SW,SUBSCRIPT INDICATES OUTLETS CONTR'D
			PROVIDE SEPARATE SW. FOR EACH IN GANG ASSEMBLY(SEE NOTE 2a)
	\$2		TWO POLE SWITCH (SEE NOTE 2a)
	\$3		THREE WAY SWITCH (SEE NOTE 2a)
	\$4		FOUR WAY SWITCH (SEE NOTE 2a)
	\$a,b		OCCUPANCY SENSOR SWITCH (SEE NOTE 2a)
	\$b		SINGLE POLE DIMMER SWITCH (SEE NOTE 2a)
	\$M		MANUAL MOTOR STARTER
●	⊗		DUPLEX CONVENIENCE OUTLET (SEE NOTE 2b)
	⊗		20A-250V, TWISTLOCK RECEPTACLE (SEE NOTE 2b)
	⊗		RECEPTACLE GROUND-FAULT CIRCUIT INTERRUPTER
①	⊗	①	SHUNTION BOX
	⊗	⊗	JACK WINDOW RECEPTACLE
⊗	⊗		METER
	⊗		TIME CLOCK
	⊗		OVERRIDE SWITCH
	⊗		MAIN SWITCHBOARD
	⊗		POWER PANEL
	⊗		FUSE DISCONNECT SWITCH
	⊗	⊗	OCCUPANCY SENSOR
	⊗	⊗	SYSTEM SMOKE DETECTOR
	⊗	⊗	CARBON MONOXIDE DETECTOR
	⊗	⊗	PHOTOSENSOR
	⊗		RECEPTACLE 230V 20A UNLESS NOTED
	⊗		RECEPTACLE, NEMA TYPE MATCH WITH EQUIPMENT
	⊗	⊗	EXHAUST FAN
	⊗	⊗	EXIT SIGN
	⊗		DEMAND RESPONSIVE CONTROL SYSTEM
	⊗		EMERGENCY LIGHT
⊗ WR			WET LOCATION RECEPTACLE.
GFCI			(GFCI/ WATER PROOF/WEATHER RESISTANT/EXTRA DUTY.)



1. COLD WATER PIPE FOR GROUNDING ELECTRODE SYSTEM SHALL BE WITHIN 5 FT FROM THE POINT OF ENTRANCE TO THE BUILDING.

P TO P FAULT CURRENT CALCULATION FOR TRANSFORMER SECONDARY										9/5/2024
	FROM	TO	Isc	V(primary)	V(secondary)	Z%	XMFR (KVA)	f	m	Isc@Panel
F1	75KVA XFMR	A	65000	480	208	3	75	21.62	0.04	6633

PERFECT DESIGN & MANAGEMENT INC.
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TENANT IMPROVEMENT
10150 TRASK AVENUE,
GARDEN GROVE, CA 92844

Date 10-3 -24

Scale

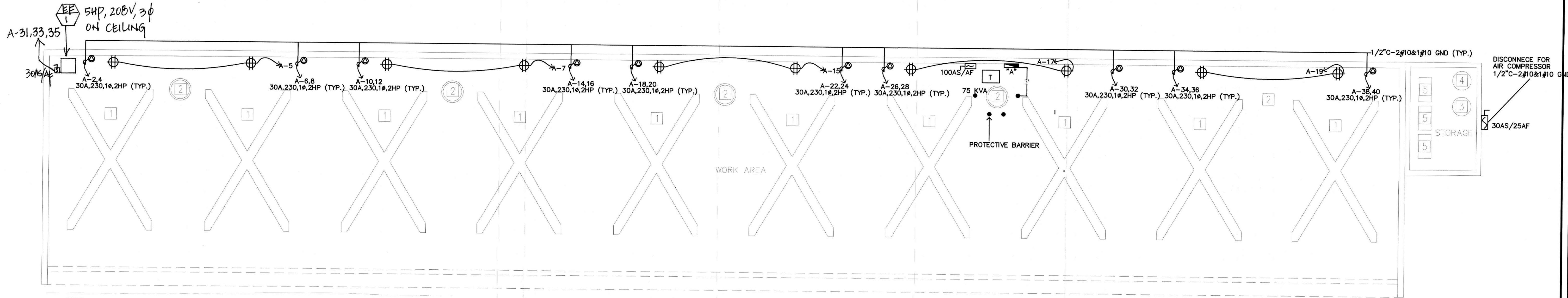
Drawn J.F.

Job # S24-1301

Sheet

E-1

Of 5 Sheets



- NOTE:
1. ALL ELECTRICAL INSTALLATION IN BAY AREA SHALL BE WITHIN +18" AFF & 18" UNDER CEILING.
 2. CONDUIT SHALL BE EMT.
 3. ALL AUTO REPAIR/BODY, MINOR REPAIR, LIQUIDS OR GAS FUELS ARE NOT TRANSFERRED OR DISPENSED ARE DEFINE AS CLASS II DIVISION 2 HAZARDOUS LOCATION PER CEC 511.3(C)
 - a.) WIRING METHOD SHALL COMPLY WITH CEC 502.10(B)
 - b.) SWITCHES SHALL BE DUST -TIGHT PER CEC 502.115(B)
 - c.) RACEWAY SEALING SHALL COMPLY WITH CEC.502.15
 - d.) RECEPTACLES SHALL COMPLY WITH CEC.502.145(B)

⊕: QUAD OUTLET (TYP.)

POWER PLAN
3/16"=1'-0"

FLOOR PLAN NOTES	
SYMBOL	DESCRIPTION
1	12K OR 16K VEHICLE LIFT 230V, 2HP
2	RETRACTABLE HOSE REELS
3	AIR COMPRESSOR 7.5HP, 208/230V
4	TANK AIR STORAGE
5	VEHICLE OIL DISPENSER TANKS
9	UNDERGROUND PVC 2" CONDUIT
10	UNDERGROUND 4" ABS SEWER
11	TRENCH DRAIN
12	6" CURB
13	CONTAINMENT AREA

PANEL "A" 120/208 V 3 Ø 4 WIRE RECESS MOUNTED 200 AMPERE MAIN C.B.																		
LOCATION 200 AMPERE BUS FED FROM "MS"																		
AIC RATING: 10KAIC FULLY RATED																		
CCT NO	VOLTAGE-AMPERES			DESCRIPTION										VOLTAGE-AMPERES			CC NO	
	Ø A	Ø B	Ø C	OUTLETS	C.B.	PHASE	C.B.	OUTLETS	DESCRIPTION	Ø A	Ø B	Ø C						
				LCL	REC	LTO	POLE	TRIP AMPS	LCL	REC	LTO	POLE						
1	830			FRONT BAY LIGHTS			1	20					30	AUTO LIFT#1	1440		21	
3		830		REAR BAY LIGHTS			1	20						2HP		1440	23	
5			720	WORK AREA PLUGS 1		4	1	20					2	AUTO LIFT#2		1440	25	
7	720			WORK AREA PLUGS 2		4	1	20					2	2HP	1440		27	
9		0		SPARE			1	20						AUTO LIFT#3		1440	29	
11		0		SPARE			1	20						2HP		1440	31	
13	50			OUTDOOR LIGHTS			1	20					2	AUTO LIFT#4	1440		33	
15		720		WORK AREA PLUGS 3		4	1	20					2	2HP		1440	35	
17			720	WORK AREA PLUGS 4		4	1	20					2	AUTO LIFT#5		1440	37	
19	720			WORK AREA PLUGS 5		4	1	20					2	2HP	1440		39	
21		10		TIMER			1	20						AUTO LIFT#6		1440	41	
23													2	2HP		1440	43	
25													2	AUTO LIFT#7	1440		45	
27														2HP		1440	47	
29													2	AUTO LIFT#8		1440	49	
31	2004			EF-1 (EXHAUST FAN)									2	2HP	1440		51	
33		2004		5 HP										AUTO LIFT#9		1440	53	
35			2004											2HP		1440	55	
37	2916			AIR COMPRESSOR#3	UML		3	30					30	AUTO LIFT#10	1440		57	
39		2916		7.5 HP										2HP		1440	59	
41		2916														1440	61	
SUB TOTALS															10080	10080	8640	
7240	6480	6360	TOTAL VA/Ø		48880 VA													
17320	16560	15000	25%(LCL+LML)		2479 VA													
TOTAL VA/Ø				51359 VA														
TOTAL AMPS				143 AMP										OR 62 AMP@480V		10/7/2024		S24-1301



TENANT IMPROVEMENT
10150 TRASK AVENUE
GARDEN GROVE, CA 92844

Date 10-07-24

Scale

Drawn J.F.

Job # S24-1301

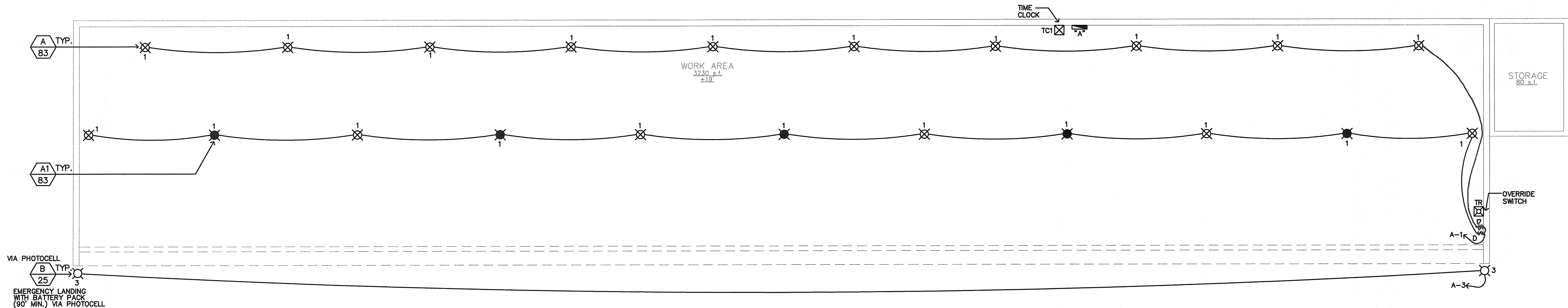
Sheet

E-3

Of Sheets

REVISIONS BY

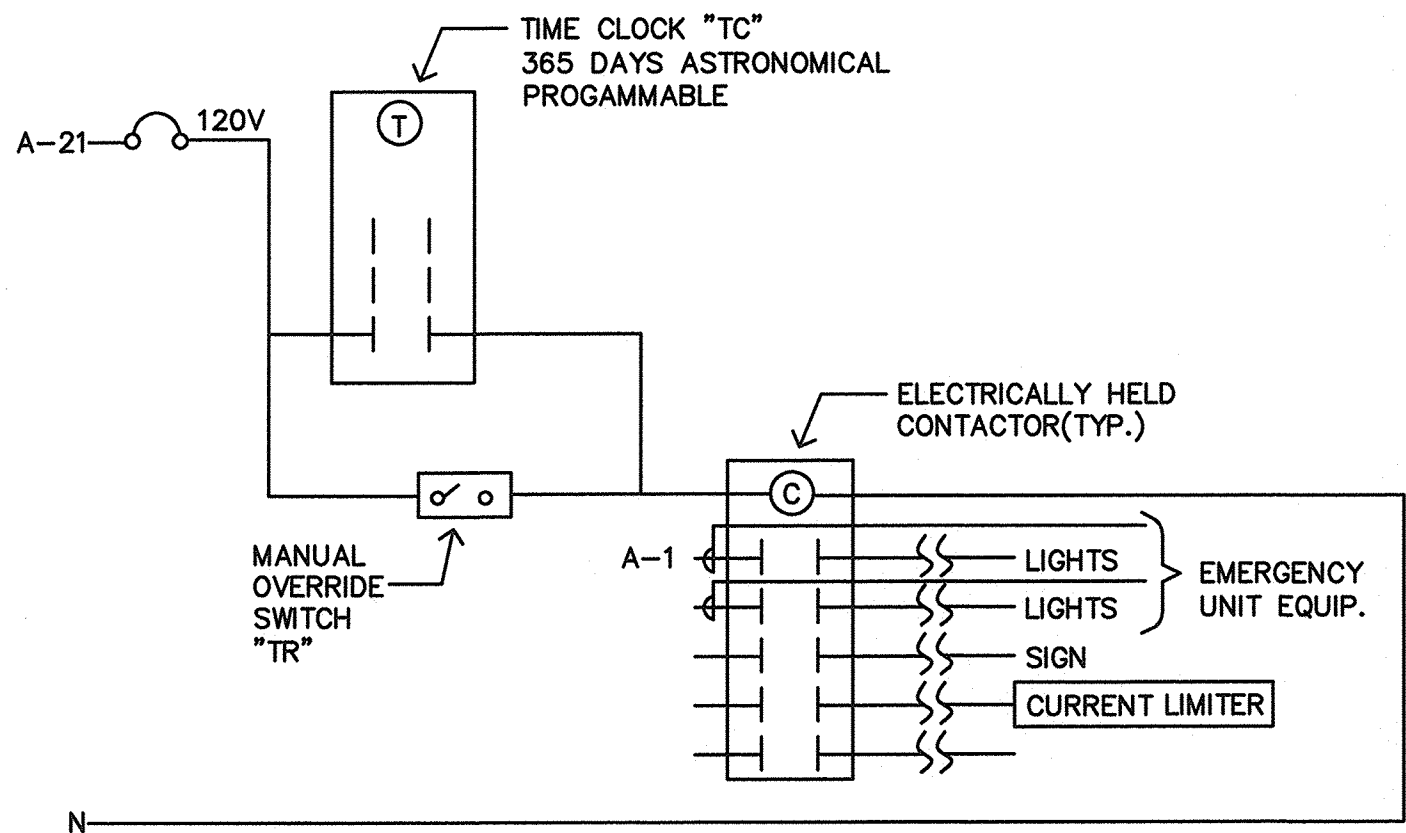
PERFECT DESIGN & MANAGEMENT INC.
Design & Consulting
Air-Conditioning, Plumbing, Fire Sprinkler System,
Electrical, Title 24 Energy Calculation.
2416 W. Valley Blvd.
Alhambra, CA 91803
Tel: (626) 289-8808
E-Mail: perfectdesign2@gmail.com Fax: (626) 289-4913



- NOTE:
1. EMERGENCY LIGHT UNIT EQUIPMENT SHALL BE CONNECTED AHEAD OF ANY LOCAL SWITCHES OR TIME CLOCKS.
 2. \odot : OCCUPANCY SENSOR \odot CEILING.
 $\$D$ = MANUAL DIMMING SWITCH
(SEE TABLE 130.1-A)
 $\$O.S.$: SWITCH WITH OCCUPANCY SENSOR.
 $\$D/O.S.$: DIMMER SWITCH WITH OCCUPANCY SENSOR.

3. IN AISLE WAYS AND OPEN AREAS IN WAREHOUSES, LIGHTING SHALL BE CONTROLLED WITH OCCUPANT SENSING CONTROLS THAT AUTOMATICALLY REDUCE LIGHTING POWER BY AT LEAST 50 PERCENT WHEN THE AREAS ARE UNOCCUPIED. 130.1(C)6

LIGHTING PLAN
3/16"=1'-0"



INTERIOR LIGHTING CONTROLS

- THE TIME CLOCK & OVERRIDE SWITCH SHALL BE CEC CERTIFIED.
- THE TIME CLOCK SHALL PROVIDE 365 DAYS,ADVANCE HOLIDAY, ASTRONOMICAL PROGRAMMABLE SHUT OFF SWITCH AND 0-2 HOURS MAXIMUM OVERRIDE SWITCH.
- THE TIME CLOCK CAN BE TORK DG200A SERIES.
- THE TIME CLOCK SHALL BE BATTERY BACKUP 78 HOURS MIN.

TABLE 130.1-A MULTILEVEL LIGHTING CONTROLS AND UNIFORMITY REQUIREMENTS

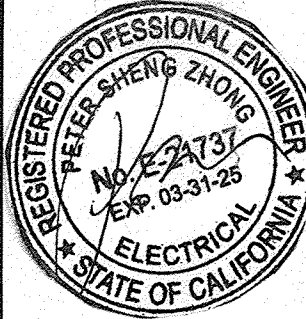
Luminaire Type	Minimum Required Control Steps (percent of full rated power1)	Uniform level of illuminance shall achieved by:
LED luminaires and LED light source systems	Continuous dimming 10-100 percent	Continuous dimming 10-100 percent
Line-voltage sockets except GU-24	Continuous dimming 10-100 percent	Continuous dimming 10-100 percent
Low-voltage incandescent systems	Continuous dimming 10-100 percent	Continuous dimming 10-100 percent
Fluorescent luminaires	Continuous dimming 20-100 percent	Continuous dimming 20-100 percent
GU-24 sockets rated for fluorescent \leq 20 watts; pin-based compact fluorescent \leq 20 watts ² Linear fluorescent and U-bent fluorescent \leq 13watts	Minimum one step between 30-70 percent	Continuous dimming; or Stepped dimming; or Switching alternate lamps in a luminaire.
Track Lighting	Minimum one step between 30-70 percent	Continuous dimming; or Stepped dimming; or Separately switching circuits in multi- circuit track with a minimum of two circuits.
Linear fluorescent and U-bent fluorescent > 13 watts	Minimum one step in each range: 20 - 40 percent 50 - 70 percent 75 - 85 percent 100 percent	Stepped dimming; or Continuous dimming; or Switching alternate lamps in each luminaire, having a minimum of 4 lamps per luminaire illuminating the same area and in the same manner
Other light sources, including HID and Induction	Minimum one step between 50 - 70 percent	Stepped dimming; or Continuous dimming; or Switching alternate lamps in each luminaire, having a minimum of 2 lamps per luminaire, illuminating the same area and in the same manner.

1. Full rated input power of driver, ballast and lamp, corresponding to maximum ballast factor
2. Includes only pin based lamps: twin tube, multiple twin tube, and spiral lamps

	LIGHTING FIXTURE SCHEDULE											
S Y M B O L	T Y P E	MOUNTING			LAMPS			L O A D	V O L T	MANUFACTURER	CATALOG NO.	FINISH & REMARKS
		R E C E S S E D	S U R F A C E	W A L L	P E N D A N T	N U M B E R	W A T T A G E					
								V.A.	V.			
☒	A 83	☒			1	83	LED	83	120	LITHONIA	I—BEAM	W/DIMMER
☛	A1 83	☒			1	83	LED	83	120	LITHONIA	I—BEAM—EM	WITH EM (90' MIN.) BATT.PACK
☉	B 25	☒			1	25	LED	25	120	LITHONIA	WST LED	WITH EM (90' MIN.) BATT.PACK

REVISIONS	BY

PERFECT DESIGN & MANAGEMENT INC.
Design & Consulting
Air-Conditioning, Plumbing, Fire Sprinkler System,
Electrical, Title 24 Energy Calculation.
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Alhambra, CA 91803
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TENANT IMPROVEMENT
10150 TRASK AVENUE,
GARDEN GROVE, CA 92844

Date 10-03-24
Scale
Drawn J.F.
Job # S24-1301
Sheet
E-4
Of Sheets

STATE OF CALIFORNIA

CALIFORNIA ENERGY COMMISSION

Indoor Lighting

CERTIFICATE OF COMPLIANCE

Project Name: TENANT IMPROVEMENT

Report Page: (Page 1 of 7)

Project Address: 10150 TRASK AVE

Date Prepared: 9/4/2024

A. GENERAL INFORMATION

01 Project Location (city)

GARDEN GROVE

04 Total Conditioned Floor Area (ft²)

0

02 Climate Zone

8

05 Total Unconditioned Floor Area (ft²)

3,230

03 Occupancy Types Within Project (select all that apply):

06 # of Stories (Habitable Above Grade)

1

1

B. PROJECT SCOPE

This table includes any lighting systems that are within the scope of the permit application and are demonstrating compliance using the prescriptive path outlined in 140.6 / 170.2(e) or 141.0(b)2 / 180.2(b)4 for alterations.

Scope of Work

Conditioned Spaces

Unconditioned Spaces

01

02

03

04

05

My Project Consists of (check all that apply):

Calculation Method

Area (ft²)

Calculation Method

Area (ft²)

☐ New Lighting System

☐ New Lighting System - Parking Garage

☒ Altered Lighting System

Area Category Method

0

0

Area Category Method

3230

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STATE OF CALIFORNIA

CALIFORNIA ENERGY COMMISSION

Indoor Lighting

CERTIFICATE OF COMPLIANCE

Project Name: TENANT IMPROVEMENT

Report Page: (Page 4 of 7)

Project Address: 10150 TRASK AVE

Date Prepared: 9/4/2024

H. INDOOR LIGHTING CONTROLS (Not including PAFs)

Area Level Controls

04

05

06

07

08

09

10

11

12

Area Description

Complete Building or Area Category Primary Function Area

Manual Area Controls 130.1(a) / 160.5(b)4A

Multi-Level Controls 130.1(b) / 160.5(b)4B

Shut-Off Controls 130.1(c) // 160.5(b)4C

Daylighting 130.1(d) / 160.5(b)4D

Primary/Sky Lt. Daylighting 130.1(d) / 160.5(b)4D

Secondary Daylighting 140.6(a)1 / 170.2(e)2A

Interlocked Systems 140.6(a)1 / 170.2(e)2A

Field Inspector

AUTO REPAIR

Auto Repair

Readily Accessible

Dimmer

Occupancy Sensor

Included

Included

No

Pass

Fail

13

Plan Sheet Showing Daylit Zones:

LIGHTING PLAN

I. LIGHTING POWER ALLOWANCE: COMPLETE BUILDING OR AREA CATEGORY METHODS

Each area complying using the Complete Building or Area Category Methods per 140.6(b) are included in this table. Column 06 indicates if additional lighting power allowances per 140.6(c) or adjustments per 140.6(a) are being used.

Unconditioned Spaces

01

02

03

04

05

06

Area Description

Complete Building or Area Category Primary Function Area

Allowed Density (W/ft²)

Area (ft²)

Allowed Wattage (Watts)

Additional Allowance / Adjustment

AUTO REPAIR

Auto Repair

0.55

3,230

1,776.5

No

No

TOTALS:

3,230

1,776.5

See Tables J, or P for detail

J. ADDITIONAL ALLOWANCE: AREA CATEGORY METHOD QUALIFYING LIGHTING SYSTEM

This section does not apply to this project.

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CALIFORNIA ENERGY COMMISSION

Indoor Lighting

CERTIFICATE OF COMPLIANCE

Project Name: TENANT IMPROVEMENT

Report Page: (Page 7 of 7)

Project Address: 10150 TRASK AVE

Date Prepared: 9/4/2024

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT

I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name:

Documentation Author Signature:

Company: Perfect Design & Management

Signature Date:

Address: 2416 W. VALLEY BLVD.

CEA/ HERS Certification Identification (if applicable):

City/State/Zip: ALHAMBRA CA 91803

Phone: (626)289-8808

RESPONSIBLE PERSON'S DECLARATION STATEMENT

I certify the following under penalty of perjury, under the laws of the State of California:

1. The information provided on this Certificate of Compliance is true and correct.

2. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer).

3. The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.

4. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.

5. I will ensure that a completed signed copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections. I understand that a completed signed copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner(s) (documents, plans, etc.).

Responsible Designer Name: PETER ZHONG

Responsible Designer Signature:

Company: Perfect Design & Management

Date Signed: 2024-09-04

Address: 2416 W. VALLEY BLVD

License: E-21737

City/State/Zip: ALHAMBRA CA 91803

Phone: (626)2898808

Generated Date/Time:

Documentation Software: EnergyPro

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance

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STATE OF CALIFORNIA

CALIFORNIA ENERGY COMMISSION

Indoor Lighting

CERTIFICATE OF COMPLIANCE

Project Name: TENANT IMPROVEMENT

Report Page: (Page 2 of 7)

Project Address: 10150 TRASK AVE

Date Prepared: 9/4/2024

C. COMPLIANCE RESULTS

If any cell on this table says "DOES NOT COMPLY" or "COMPLIES with Exceptional Conditions" refer to Table D, for guidance.

Lighting in conditioned and unconditioned spaces must not be combined for compliance per 140.6(b)1 / 170.2(e)

Allowed Lighting Power per 140.6(b) / 170.2(e) (Watts)

01

02

03

04

05

Complete Building 140.6(c)1 / 170.2(e)4

Area Category Additional 140.6(c)2 / 170.2(e)4

Area Category Additional 140.6(c)2 / 170.2(e)4

Tailored 140.6(c)3 / 170.2(e)4

=

Total Allowed (Watts)

Adjusted Lighting Power per 140.6(a) / 170.2(e) (Watts)

06

07

08

Total Designed (Watts)

PAF Lighting Control Credits 140.6(a)2 / 170.2(e)1B

=

Total Adjusted (Watts)

09

05 must be >= 08 140.6 / 170.2(e)

Conditioned

Unconditioned

1,776.5

0

=

1,777

≥

1,743

0

=

1743

COMPLIES

COMPLIES

Controls Compliance (See Table H for Details)

COMPLIES

Rated Power Reduction Compliance (See Table Q for Details)

D. EXCEPTIONAL CONDITIONS

This table is auto-filled with creditable comments because of selections made or data entered in tables throughout the form.

E. ADDITIONAL REMARKS

This table includes remarks made by the permit applicant to the Authority Having Jurisdiction.

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STATE OF CALIFORNIA

CALIFORNIA ENERGY COMMISSION

Indoor Lighting

CERTIFICATE OF COMPLIANCE

Project Name: TENANT IMPROVEMENT

Report Page: (Page 5 of 7)

Project Address: 10150 TRASK AVE

Date Prepared: 9/4/2024

K. TAILORED METHOD GENERAL LIGHTING POWER ALLOWANCE

This section does not apply to this project.

L. ADDITIONAL LIGHTING ALLOWANCE: TAILORED WALL DISPLAY

This section does not apply to this project.

M. ADDITIONAL LIGHTING ALLOWANCE: TAILORED FLOOR AND TASK LIGHTING

This section does not apply to this project.

N. ADDITIONAL LIGHTING ALLOWANCE: TAILORED DECORATIVE /SPECIAL EFFECTS

This section does not apply to this project.

O. ADDITIONAL LIGHTING ALLOWANCE: TAILORED VERY VALUABLE MERCHANDISE

This section does not apply to this project.

P. POWER ADJUSTMENT: LIGHTING CONTROL CREDIT (POWER ADJUSTMENT FACTOR (PAF))

This section does not apply to this project.

Q. RATED POWER REDUCTION COMPLIANCE FOR ONE-FOR-ONE ALTERATIONS

This section does not apply to this project.

R. 80% LIGHTING POWER FOR ALL ALTERATIONS - CONTROLS EXCEPTIONS

This section does not apply to this project.

Generated Date/Time:

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Report Version: 2022.0.000
Schema Version: rev 20220101

Compliance ID: EnergyPro-1919-0924-4923
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STATE OF CALIFORNIA

CALIFORNIA ENERGY COMMISSION

Indoor Lighting

CERTIFICATE OF COMPLIANCE

Project Name: TENANT IMPROVEMENT

Report Page: (Page 3 of 7)

Project Address: 10150 TRASK AVE

Date Prepared: 9/4/2024

F. INDOOR LIGHTING FIXTURE SCHEDULE

This table includes all planned permanent and portable lighting other than dwelling unit/ hotel/ motel room lighting. Multifamily dwelling unit and hotel/motel room lighting is documented in Table T. If using Table T to document lighting in multifamily common use areas providing shared provisions for living, eating, cooking or sanitation, those luminaires are not included here.

Designed Wattage: Unconditioned Spaces

01

02

03

04

05

06

07

08

09

10

Name or Item Tag

Complete Luminaire Description

Modular (Track) Fixture

Small Aperture & Color Change¹

Watts per Luminaire²

How is Wattage determined

Total Number of Luminaires

Excluded per 140.6(a)3 / 170.2(e)2C

Design Watts

Field Inspector

A/A1

LED 2X2 LT

No

NA

83

Mfr. Spec

21

No

1,743

Pass

Fail

Total Designed Watts: UNCONDITIONED SPACES

1,743

¹FOOTNOTE: Design Watts for small aperture and color changing luminaires which qualify per 140.6(a)4B / 170.2(e)2D is adjusted to be 75%/80% of their rated wattage. Table F automatically makes this adjustment, the permit applicant should enter full rated wattage in column 05.

²Authority Having Jurisdiction may ask for Luminaire cut sheets to confirm wattage used for compliance per 130.0(c) / 160.5(b). Wattage used must be the maximum rated for the luminaire, not the lamp.

G. MODULAR LIGHTING SYSTEMS

This section does not apply to this project.

H. INDOOR LIGHTING CONTROLS (Not including PAFs)

This table includes lighting controls for conditioned and unconditioned spaces.

Building Level Controls

01

02

03

Mandatory Demand Response 110.12(c)

Shut-off controls 130.1(c) / 160.5(b)4C

Field Inspector

NA < 4,000W subject to multilevel

See Area/Space Level Controls

Pass

Fail

Generated Date/Time:

Documentation Software: EnergyPro

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance

Report Version: 2022.0.000
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STATE OF CALIFORNIA

CALIFORNIA ENERGY COMMISSION

Indoor Lighting

CERTIFICATE OF COMPLIANCE

Project Name: TENANT IMPROVEMENT

Report Page: (Page 6 of 7)

Project Address: 10150 TRASK AVE

Date Prepared: 9/4/2024

S. DAYLIGHT DESIGN POWER ADJUSTMENT FACTOR (PAF)

This section does not apply to this project.

T. DWELLING UNIT LIGHTING

This section does not apply to this project.

U. DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION

Selections have been made based on information provided in this document. If any selections have been changed by permit applicant, an explanation should be included in Table E.

Additional Remarks: These documents must be provided to the building inspector during construction and can be found online

Form/Title

NRCC-LTI-E - Must be submitted for all buildings

V. DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE

Selections have been made based on information provided in this document. If any selections have been changed by the permit applicant, an explanation should be included in Table E.

Additional Remarks: These documents must be provided to the building inspector during construction and any with "A" in the form name must be completed through an Acceptance Test Technician Certification Provider (ATTCP). For more information visit: <http://www.energy.ca.gov/title24/atcp/providers.html>

Form/Title

Systems/Spaces To Be Field Verified

NRCA-LTI-Q2-A - Must be submitted for occupancy sensors and automatic time switch controls.

AUTO REPAIR;

NRCA-LTI-Q3-A - Must be submitted for automatic daylight controls.

AUTO REPAIR;

Generated Date/Time:

Documentation Software: EnergyPro

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance

Report Version: 2022.0.000
Schema Version: rev 20220101

Compliance ID: EnergyPro-1919-0924-4923
Report Generated: 2024-09-04 11:15:36

REVISIONS

BY

PERFECT DESIGN & MANAGEMENT INC.

Electrical, Plumbing, Fire Sprinkler System, Electrical, Title 24 Energy Calculation

2416 W. Valley Blvd.

Alhambra, CA 91803

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E-Mail: perfectaa2@gmail.com

TENANT IMPROVEMENT

10150 TRASK AVENUE,

GARDEN GROVE, CA 92844

Date 08-19-24

Scale

Drawn J.F.

Job # S24-1301

Sheet

E-5

Of Sheets

TSS LETTER OF CERTIFICATION

TITAN STEEL STRUCTURES
Reference: PROCON DEVELOPMENT
10150 TRASK
GARDEN GROVE, CA
DATE 3/11/24
Job No. SBI37250

To whom it may concern:

This is to certify that the above referenced building components furnished by TSS are designed with good engineering practice and in accordance with the order documentation and the applicable structural design provisions set forth in the Applicable MBMA Low Rise Building Systems Manual, the applicable AISC and AISI Manuals, and the IBC 21 code, to sustain the requested design loads, specifically as follows:

Risk/Occupancy Category - II - Normal	Terrain_Category----- C
Wind Exposure ---- C	Building Enclosure ---- Partially Enclosed
Live Load (Roof)----- 20.00 psf	Live Load (Frame) ----- 12.00 psf
Dead Load ----- 2.60 psf	Collateral Load ----- 0.00 psf
Rain Intensity(5yr) ----- 2.2000 in/hr	
Rain Intensity(25yr) ----- 3.2600 in/hr	
Ground snow Pg ----- 0 psf	
Snow Exposure coeff Ce -- 1.0000	Thermal Coeff Ct----- 1.00
Slippery Roof Coeff Cs -- Y	Slope Factor coeff ----- 1.0000
Snow Importance ----- 1.00	Flat Roof Snow Load Pf-- 0.00 psf
Wind Load (Vult) -- 115 mph	Wind Importance* -- 1.00
Wind Load (Vasd) -- 89.08 mph	
Cpi_P----- 0.55	Cpi_S----- -0.55
Component Loads= 37.014 / -46.204 psf	
Seismic Importance--- 1.00	
Ss---- 1.35 S1---- 0.48 Sds---- 1.08 Sd1---- 0.58	
Sdc--- D Site_Class---- d	
Seismic base shear, longitudinal 7.73 kips	
Seismic base shear, transverse 7.73 kips	
FRAME.R--- 3.2500	
BRACE_SW.R--- 3.2500	
Cs=(Sds/(I*R))	
Equivalent Lateral force procedure used	
Basic seismic resisting systems: Moment frames, braced frames, diaphragm	
Special loads: as required (crane loads, mezzanine loads, snow drift loads)	

* Wind Importance is not applicable to all building codes.
When not prescribed by code, Importance is taken as 1.0 in calculations.

This certification is limited to the structural design of the frames, secondary, and roof/wall covering manufactured by TSS. Accessory items such as doors, windows, louvers, translucent panels, and ventilators are not included. Also excluded are other parts of the project such as masonry, footings, and foundations, mechanical equipment, erection, and general contract work.

DEFLECTION LIMITS

WALL GIRT, MAX. DEFL. L/span = 90
ROOF PURLIN, L.L. DEFL. L/span = 180
RIGID FRAME VERT. DEFL. L/span = 180
RIGID FRAME HORIZ. DEFL. H/span = 60



BUILDING DATA:

WIDTH (ft)	= 25
LENGTH (ft)	= 145
EAVE HEIGHT (ft)	= 20
ROOF SLOPE (rise/12")	= 0.5' : 12
SIDEWALL BAY SPACING	= 5 at 29
LEFT ENDWALL BAY SP	= 2 at 12.5
RIGHT ENDWALL BAY SP	= 2 at 12.5
FR. SIDEWALL GIRT TYPE	= Bypass
BK. SIDEWALL GIRT TYPE	= Bypass
LT. ENDWALL GIRT TYPE	= Flush
RT. ENDWALL GIRT TYPE	= Flush
ROOF FRAMING	= Bypass PURLINS
INTERIOR FRAMING	= Single Slope Rigid Frames, Clear Span
ROOF PANEL TYPE	= PBR
ROOF PANEL GAUGE	= 26 GA
ROOF PANEL COLOR	= Galvalume
WALL PANEL TYPE	= PBR
WALL PANEL GAUGE	= 26 GA
WALL PANEL COLOR	= Polar White

SUPPLIED OPTIONS AND ACCESSORIES

GUTTERS AND DOWNSPOUTS
BACK SIDEWALL (ft): 145 BACK Downspouts: 4
COLOR: Polar White COLOR: Polar White

ROOF EDGE TRIM = COLOR: Polar White
CORNER TRIM = COLOR: Polar White
OPENING TRIM = COLOR: Polar White
BASE TRIM = COLOR: Polar White

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ISSUED FOR CONSTRUCTION

ENGINEERING CERTIFICATION:



Sealed: 7/24/24

REMARKS/NOTES

1.

PROJECT:	25X145 STORAGE	BLDG SIZE:	25.00' x 145.00' x 18.96' x 20.00'	JOB NUMBER
	10150 TRASK GARDEN GROVE, CA	DESIGN:	PP	TSS37250
		DATE:	3/11/24	ACCT# 13923
CUSTOMER:	PROCON DEVELOPMENT	SCALE:	NONE	DRAWING NUMBER
DWG NAME:	DRAWINGS COVER PAGE	REV. NO:		SHEET 1 OF 13

1. MANUFACTURING AND FABRICATION PROCEDURES SHALL BE IN ACCORDANCE WITH MBM'S STANDARD PRACTICES WHICH ARE BASED ON THE APPLICABLE SECTIONS RELATING TO DESIGN REQUIREMENTS, ALLOWABLE STRESSES, AND FABRICATION TOLERANCES PER THE LATEST EDITIONS OF 'MBMA-COMMON INDUSTRY PRACTICES' AND 'AISC CODE OF STANDARD PRACTICE' AND THE 'AWS STRUCTURAL WELDING CODES D1.1 & D1.3

HOT ROLLED SHAPES	A36	Fy= 36 ksi
STRUCT. STEEL PLATE	A572	Fy= 55 ksi
STRUCT. STEEL SHEET	A1011 (SS)	Fy= 55 ksi
FLANGE/END PLATE MATERIAL	A529	Fy= 55 ksi
COLD FORM. LT. GA. SHAPES	A1011 (SS)	Fy= 55 ksi
ROOF SHEETING	A792 (SS)	Fy= 80 ksi
WALL SHEETING	A792 (SS)	Fy= 80 ksi
MACHINE BOLTS	A307	Fy= 36 ksi
HIGH STR. BOLTS	F3125 (A325)	Fy= 120 ksi
ANCHOR BOLTS (if supplied)	A36/F1554	Fy= 36 ksi
PIPE (interior or posts)	A53, GRADE A or B	Fy= 30 ksi
RECTANGULAR TUBE (interior or posts)	A500, GRADE B	Fy= 46 ksi

SHOP PRIMER PAINT IS A RUST INHIBITIVE PRIMER WHICH MEETS OR EXCEEDS THE END PERFORMANCE OF FEDERAL SPECIFICATIONS TT-P-636 AND TT-P-664 AND IS A RED OXIDE OR GRAY PRIMER. PRIMER IS NOT INTENDED FOR LONG TERM EXPOSURE TO THE ELEMENTS. MBM IS NOT RESPONSIBLE FOR ANY DETERIORATION OF THE SHOP PRIMER AS A RESULT OF IMPROPER HANDLING AND/OR STORAGE. MBM SHALL NOT BE RESPONSIBLE FOR ANY FIELD APPLIED PAINT AND/OR COATINGS. (Section 6.5 AISC Code of Standard Practice, 9th ED.)

ALL HIGH STRENGTH BOLTS ARE A325-N UNLESS SPECIFICALLY NOTED OTHERWISE. STRUCTURAL BOLTS SHALL BE TIGHTENED BY THE TURN OF NUT METHOD IN ACCORDANCE WITH THE CURRENT EDITION OF THE 'AISC STEEL CONSTRUCTION MANUAL'. A325 BOLTS ARE SUPPLIED WITHOUT WASHERS UNLESS NOTED OTHERWISE. UNLESS NOTED OTHERWISE, ALL BOLTED CONNECTIONS ARE DESIGNED AS BEARING TYPE CONNECTIONS WITH THE BOLT THREADS INCLUDED IN THE SHEAR PLANE.

ALL BRACING SHOWN AND PROVIDED BY MBM FOR THIS BUILDING IS REQUIRED AND SHALL BE INSTALLED BY THE ERECTOR AS A PERMANENT PART OF THE STRUCTURE. IF ADDITIONAL BRACING IS REQUIRED FOR STABILITY DURING ERECTION, IT SHALL BE THE ERECTOR'S RESPONSIBILITY TO DETERMINE THE AMOUNT OF SUCH BRACING AND TO PROCURE AND INSTALL AS NEEDED.

THE QUANTITY OF CRATES AND STRUCTURAL ITEMS SHIPPED SHALL BE CHECKED AND ANY SHORTAGES OR OTHER DISCREPANCIES WITH RESPECT THERETO, SHALL BE REPORTED TO MBM ON THE DAY OF DELIVERY AND SUCH DISCREPANCY CONFIRMED IN WRITING WITHIN (7) SEVEN DAYS. WITH RESPECT TO ITEMS OR QUANTITIES WITHIN UNOPENED CRATES AND ANY LATENT DEFECTS, IT SHALL BE THE DUTY OF THE PURCHASER TO NOTIFY MBM ON THE DATE SUCH DEFECT OR SHORTAGE IS DISCOVERED AND CONFIRM SUCH NOTICE IN WRITING TO MBM WITHIN (7) DAYS THEREOF.

CLAIMS FOR CORRECTION OF ALLEGED MISFITS WILL BE DISALLOWED UNLESS MBM SHALL HAVE RECEIVED PRIOR NOTICE THEREOF AND ALLOWED REASONABLE INSPECTION OF SUCH MISFITS. THE CORRECTION OF MINOR MISFITS BY USE OF DRIFT PINS TO DRAW THE COMPONENTS INTO LINE, MODERATE AMOUNTS OF REAMING, SHIMMING, CHIPPING AND CUTTING, AND THE REPLACEMENT OF MINOR SHORTAGES OF MATERIAL ARE A NORMAL PART OF ERECTION AND ARE NOT SUBJECT TO CLAIM. NO PART OF THE BUILDING MAY BE RETURNED FOR ALLEGED MISFITS WITHOUT THE PRIOR APPROVAL OF MBM

Sealed: 7/24/24

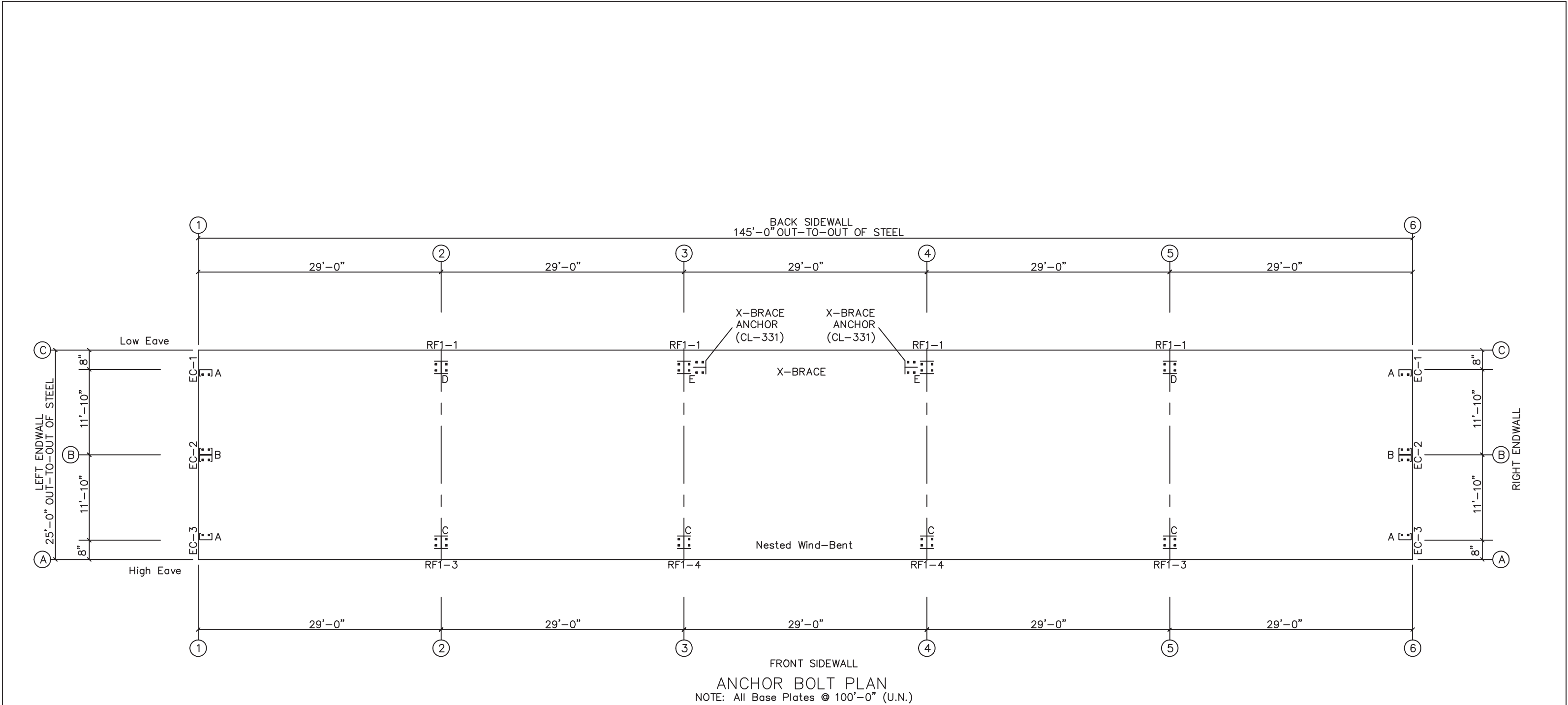


4. Please note OSHA now requires the first girt placed in all lapping conditions be firmly attached prior to placing the second lapped girt.

PROJECT: 25X145 STORAGE	BLDG SIZE: 25.00' x 145.00' x 18.96' x 20.00'		JOB NUMBER
10150 TRASK GARDEN GROVE, CA	DESIGN:	DRAWN: MH	TSS37250
	DATE: 3/11/24	CHECK:	
CUSTOMER: PROCON DEVELOPMENT	SCALE: NONE	REV. NO:	DRAWING NUMBER
DWG NAME: GENERAL NOTES			SHEET 2 OF 13

THESE DRAWINGS ARE SUBMITTED FOR CONSTRUCTION, IT IS THE
AND ARE DEEMED TO BE FINAL DRAWINGS, IS THE
CUSTOMER'S RESPONSIBILITY TO ENSURE THIS SET OF
DRAWINGS ARE THE SOLE SET OF DRAWINGS IN THE
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ISSUED FOR
CONSTRUCTION



STANDARD CONCRETE NOTCH AND ANCHOR BOLT PROJECTION

NOTE:
All dimensions shown on plans are from metal building steel line.

If any other wall system is used other than the standard wall sheeting screwing directly to metal building girts; the detail shown will be void and any end of slab dimensions or notch dimensions are to be determined by contractor.

Sealed: 7/24/24

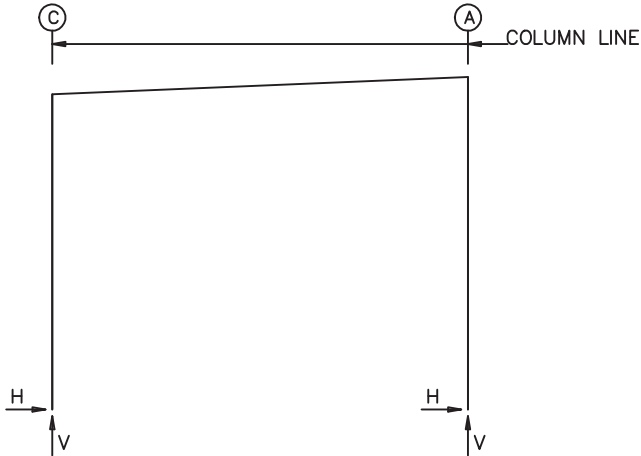


PROJECT: 25X145 STORAGE	BLDG SIZE: 25.00' x 145.00' x 18.96' x 20.00'	JOB NUMBER
10150 TRASK GARDEN GROVE, CA	DESIGN: DATE: 3/11/24	DRAWN: MH
CUSTOMER: PROCON DEVELOPMENT	CHECK:	
DWG NAME: ANCHOR BOLT PLAN & DETAILS	SCALE: NONE	REV. NO:
		DRAWING NUMBER
		SHEET 3 OF 13

ISSUED FOR CONSTRUCTION

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FRAME LINES: 2 3 4 5



RIGID FRAME: MAXIMUM REACTIONS

Frm Line	Col Line	Column_Reactions(k)					
		Load Id	Hmax H	V Vmax	Load Id	Hmin H	V Vmin
2*	C	3	5.2	0.6	8	-5.9	-3.7
		5	2.1	8.6	6	-2.8	-9.8
2*	A	9	6.2	-2.3	2	-4.9	-1.5
		4	-1.9	7.1	7	3.1	-8.4
2*	Frame lines: 2 3 4 5						

ENDWALL COLUMN: MAXIMUM REACTIONS

Frm Line	Col Line	Column_Reactions(k)					
		Load Id	Hmax H	V Vmax	Load Id	Hmin H	V Vmin
1	C	5	0.0	1.6	10	0.0	-1.5
		1	0.0	1.8			
1	B	11	2.2	0.9	12	-2.1	-4.1
		1	0.1	5.1			
1	A	1	0.0	1.8	6	0.0	-1.4
6	A	1	0.0	1.8	7	0.0	-1.4
6	B	13	2.2	0.9	12	-2.1	-4.1
		1	0.1	5.1			
6	C	5	0.0	1.2	10	0.0	-1.5
		1	0.0	1.8			

BUILDING BRACING REACTIONS

—Wall Loc	—Col Line	± Reactions(k)				Panel_Shear (lb/ft)			Note
		—Wind Horz	—Seismic Horz	—Wind Vert	—Seismic Vert	Wind	Seis		
L_EW	1								(i)
F_SW	A	3,4	1.2	1.5	2.5	3.2			(b)
R_EW	6								(i)
B_SW	C	4,3	2.4	1.4	5.0	2.9			

(b)Wind bent in bay, base above finish floor
(i)Bracing in roof to rigid frame

Reactions for seismic represent shear force, Eh
Reaction values shown are unfactored

NOTES FOR REACTIONS

Building reactions are based on the following building data:

Width	(ft)	=	25.0
Length	(ft)	=	145.0
Eave Height	(ft)	=	19.0/ 20.0
Roof Slope	(rise/12)	=	0.50
Roof Dead Load	(psf)	=	2.6
Wall Dead Load			
Left Endwall	(psf)	=	2.0
Right Endwall	(psf)	=	2.0
Front Sidewall	(psf)	=	2.0
Back Sidewall	(psf)	=	2.0
Roof Live Load	(psf)	=	20.0
Frame Live Load	(psf)	=	12.0
Collateral Load	(psf)	=	0.0
Wind Speed	(mph)	=	115.0
Wind Code		=	CBC 22 (IBC 21)
Exposure		=	C
Closure		=	Partially Enclosed
Internal Wind Coeff		=	-0.55, +0.55
Risk Category		=	II - Normal
Importance - Wind		=	1.00
Importance - Seismic		=	1.00
Seismic Design Category		=	D
Seismic Coeff (Sms)		=	1.62

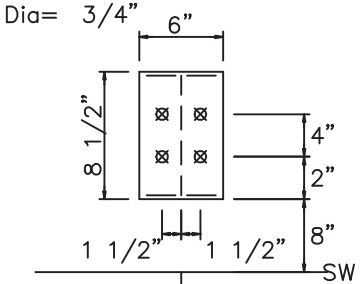
ID	Description
1	Dead+Collateral+Live
2	Dead+0.6Wind_Left1
3	Dead+0.6Wind_Right1
4	Dead+Collateral+0.75Live+0.45Wind_Left2
5	Dead+Collateral+0.75Live+0.45Wind_Right2
6	0.6Dead+0.6Wind_Left1
7	0.6Dead+0.6Wind_Right1
8	0.6Dead+0.6Wind_Left2
9	0.6Dead+0.6Wind_Right2
10	0.6Dead+0.6Wind_Long1L
11	0.6Dead+0.6Wind_Right2+0.6Wind_Suction
12	0.6Dead+0.6Wind_Pressure+0.6Wind_Long1L
13	0.6Dead+0.6Wind_Left2+0.6Wind_Suction

GENERAL NOTES

1. METAL BUILDING MANUFACTURER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR FOUNDATION DESIGN OR CONSTRUCTION.
2. THE FOUNDATION DESIGN SHOULD BE DONE WITH DUE REGARD TO EXISTING SOILS CONDITIONS FOR THE DESIGN LOADS AT THE ACTUAL JOB SITE.
3. ANCHOR BOLT DIAMETERS WERE DETERMINED BY THE AISC ALLOWABLE SHEAR-TENSION METHOD USING (Fy = 36 ksi)
4. ANCHOR BOLT LENGTH & METHOD OF TRANSFER OF FORCES FROM ANCHOR BOLTS TO THE FOUNDATION ARE TO BE DETERMINED BY OTHERS.IT IS RECOMMENDED THAT AN EXPERIENCED DESIGN PROFESSIONAL DETERMINE THIS METHOD.
5. BOTTOMS OF ALL BASE PLATES ARE AT THE SAME ELEVATION UNLESS NOTED.
6. ANCHOR BOLTS ARE NOT SUPPLIED BY THE METAL BUILDING MANUFACTURER.
7. IT IS THE RESPONSIBILITY OF THE ERECTOR TO PROVIDE FOR ALL TEMPORARY BRACING AS WELL AS A PLAN FOR INSTALLING IT. THIS INCLUDES SIZES, TYPE, LOCATION, AND QUANTITY.

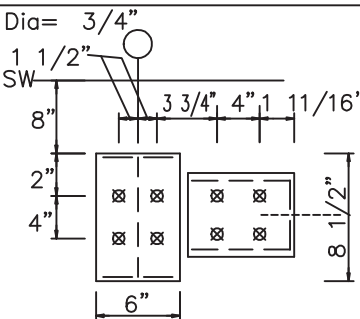
ANCHOR BOLT SUMMARY

Qty	Locate	Dia (in)	Type	Proj (in)
16	Endwall	3/4"	F1554	2.50
40	Frame	3/4"	F1554	2.50

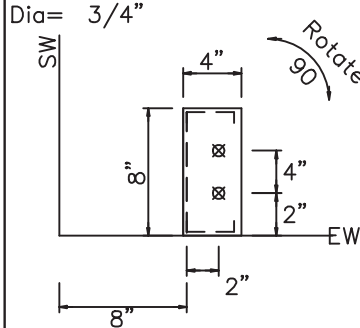


See Plan

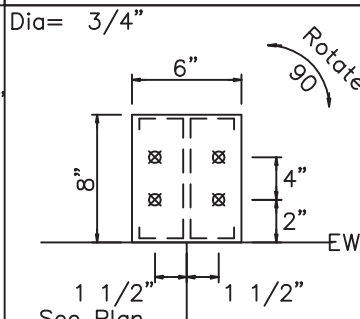
DETAIL D



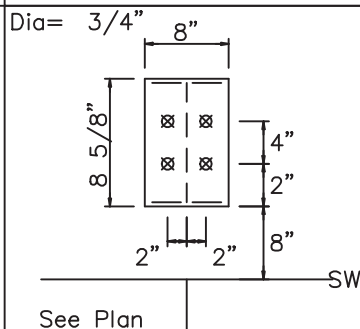
DETAIL E



DETAIL A



DETAIL B



See Plan

DETAIL C



Sealed: 7/24/24

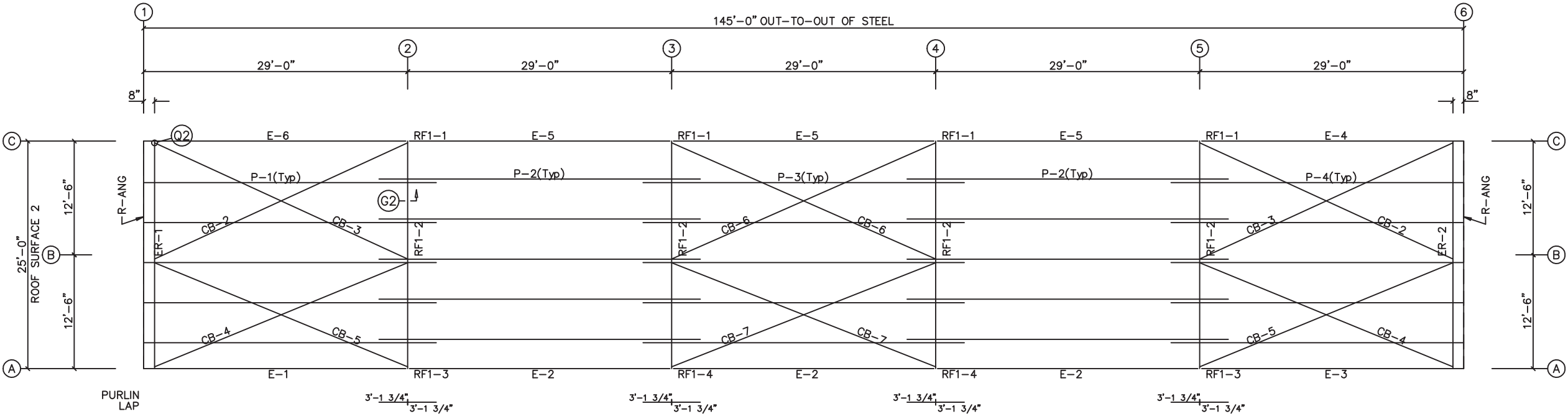
ISSUED FOR CONSTRUCTION

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PROJECT: 25X145 STORAGE	BLDG SIZE: 25.00' x 145.00' x 18.96' x 20.00'	JOB NUMBER
10150 TRASK GARDEN GROVE, CA	DESIGN: DATE: 3/11/24	TSS37250
CUSTOMER: PROCON DEVELOPMENT	CHECK: REV. NO:	
DWG NAME: ANCHOR BOLT DETAILS & REACTIONS	SCALE: NONE	DRAWING NUMBER
		SHEET 4 OF 13

MEMBER TABLE			
FRAME LINE			
QTY	MARK	PART	LENGTH
5	P-1	10X25Z12	32'-1 1/2"
10	P-2	10X25Z12	35'-3 1/2"
5	P-3	10X25Z14	35'-3 1/2"
5	P-4	10X25Z12	32'-1 1/2"
1	E-1	10E12.0	28'-11 1/2"
3	E-2	10E12.0	28'-11 1/2"
1	E-3	10E12.0	28'-11 1/2"
1	E-4	10E14A	28'-11 1/2"
3	E-5	10E14A	28'-11 1/2"
1	E-6	10E14A	28'-11 1/2"
2	CB-2	HW-374	31'-5 1/2"
2	CB-3	HW-374	31'-6 1/4"
2	CB-4	HW-374	31'-0"
2	CB-5	HW-374	30'-8 3/4"
2	CB-6	HW-374	31'-10"
2	CB-7	HW-374	31'-4 1/4"



ROOF FRAMING PLAN



ROOF SHEETING
PANELS: 26 Ga. PBR Galvalume



Sealed: 7/24/24

ISSUED FOR CONSTRUCTION

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- GENERAL NOTES:
- The purlins will have one leg with a wider flange, and should be facing in opposite directions at each adjacent bay. (wide leg up, wide leg down, wide leg up, etc.)
 - All purlins are bolted in place with (2) 1/2"x1-1/4" A307 bolts on a diagonal pattern at the clip and (2) 1/2"x1-1/4" A307 bolts at each end of the lap (6-bolts total per connection see detail drawings)
 - Eave struts are bolted with (2) 1/2"x1-1/4" A307 bolts at each end, also supplied are eave strut cover angles to fit on top of the joint between the struts to close off the gap and eliminate light penetration.
 - If sag angle is shown on this plan, secure in place by bending tabs over as shown in detail drawings. Note: PBR panels only require one run of sag angle in bottom set of slots, Standing Seam panels require double runs of sag angle, the purlins are always provided with a (4) slot pattern, alternate left to right at each adjacent purlin space.
 - Roof sheeting should be installed with the correct laps, overhangs, and screw patterns as shown in the detail drawings.
 - It is the responsibility of the erector to provide all temporary bracing as well as a plan for installing and securing it. This includes size, type, location, and quantity.
 - Hanging loads suspended from purlins shall be attached to the purlin webs so as to prevent distortion of the purlin flanges. Hanging loads shall not be attached to the lips of the purlins. Any attachment that is not made directly to the purlin web shall be submitted for review. In no case shall the load applied to a single purlin exceed 150 lb.



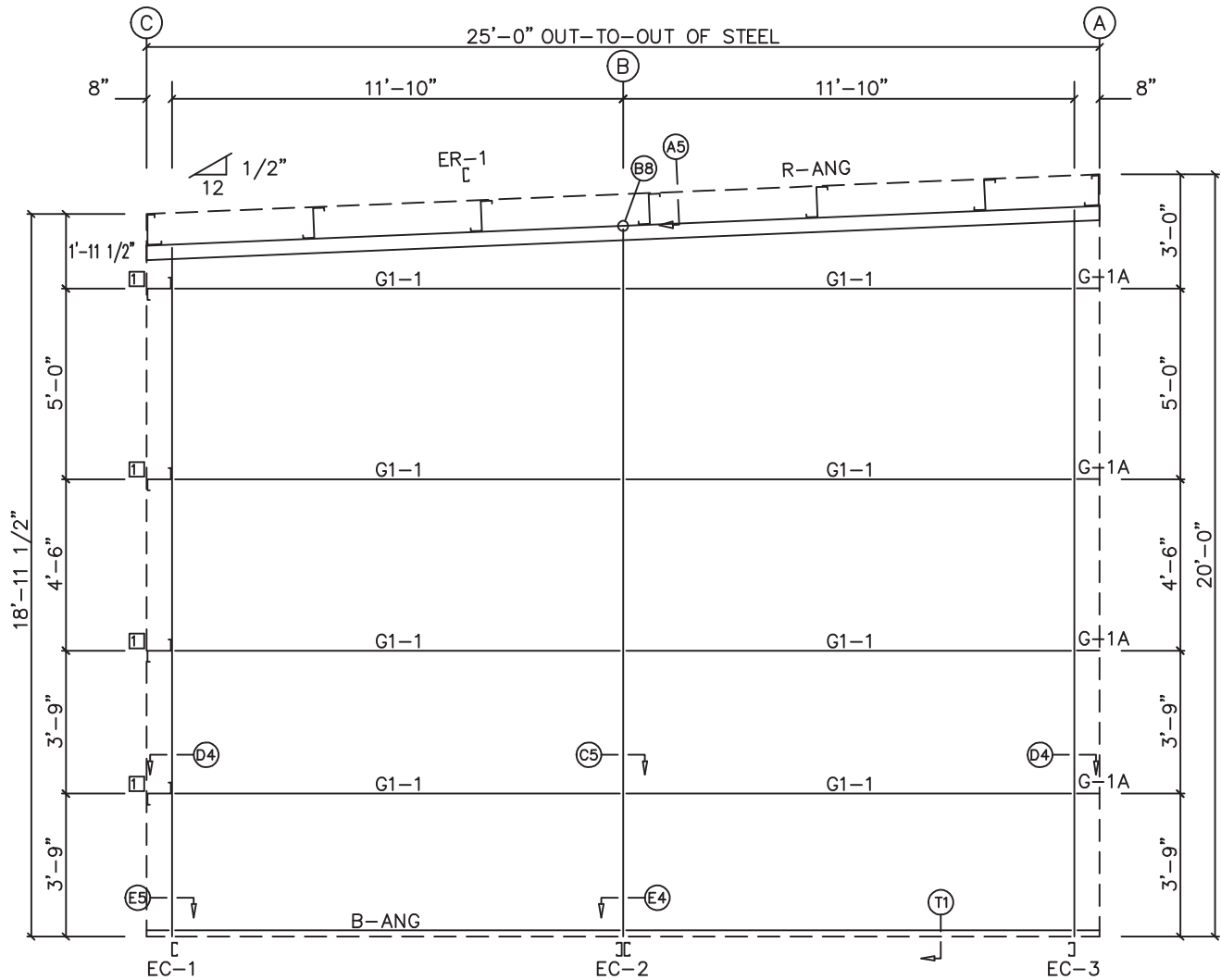
PROJECT: 25X145 STORAGE	BLDG SIZE: 25.00' x 145.00' x 18.96' x 20.00'		JOB NUMBER
10150 TRASK GARDEN GROVE, CA	DESIGN:	DRAWN: MH	TSS37250
CUSTOMER: PROCON DEVELOPMENT	DATE: 3/11/24	CHECK:	
DWG NAME: ROOF FRAMING	SCALE: NONE	REV. NO:	DRAWING NUMBER
			SHEET 5 OF 13

BOLT TABLE FRAME LINE 1				
LOCATION	QUAN	TYPE	DIA	LENGTH
Cor_Column/Raf	2	A325	1/2"	1 1/4"
EC-2/ER-1	4	A325	1/2"	1 1/4"

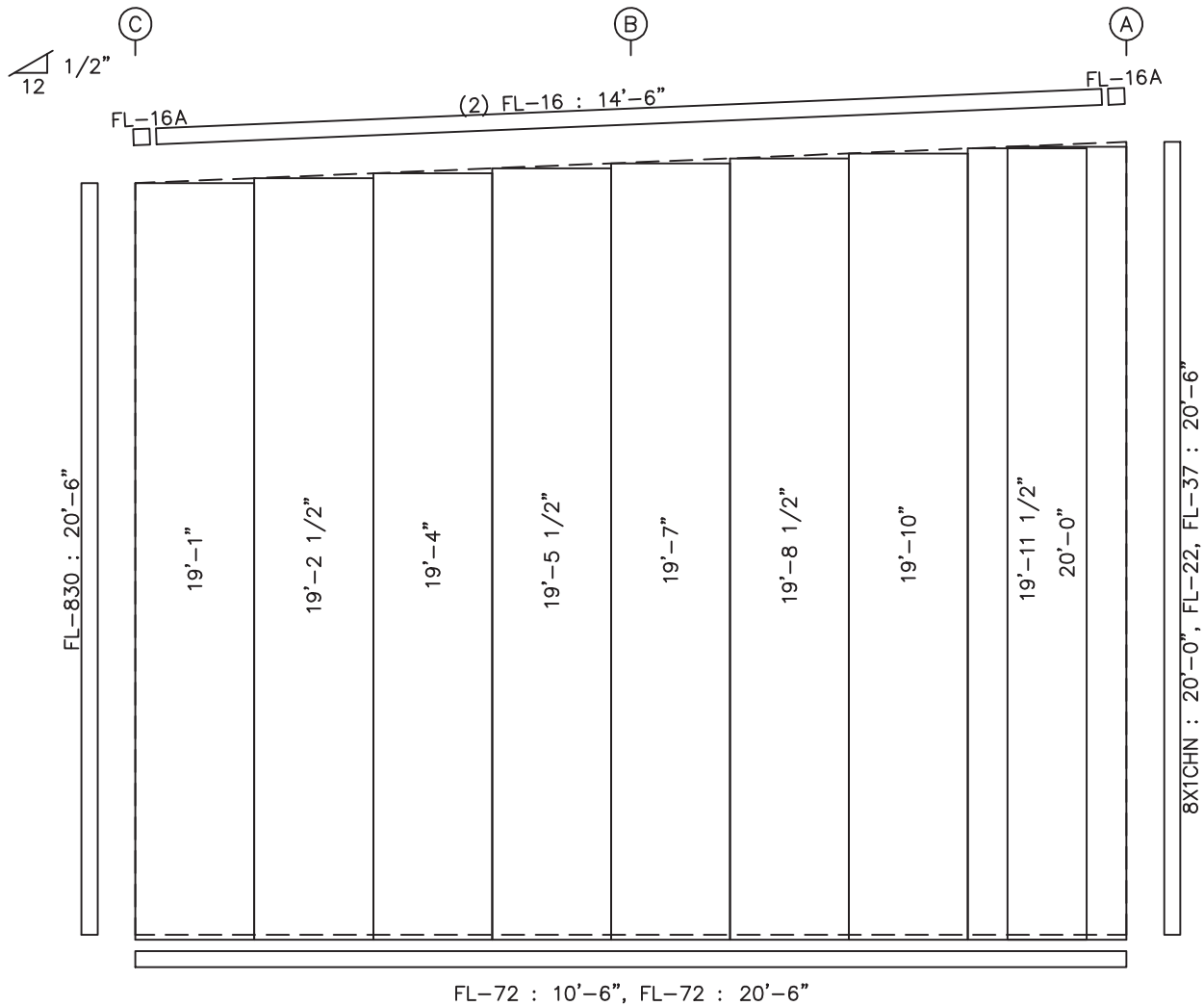
TRIM TABLE FRAME LINE 1			
QID	MARK	LENGTH	DETAIL
	FL-16	14'-6"	TRIM_10
	FL-830	20'-6"	TRIM_12
	FL-22	20'-6"	TRIM_13

MEMBER TABLE FRAME LINE 1			
QTY	MARK	PART	LENGTH
1	EC-1	08X25C16	18'-0 5/8"
1	EC-2	08x50d12	18'-6 1/2"
1	EC-3	08X25C16	19'-0 5/16"
1	ER-1	10x25c14	25'-0 1/4"
8	G1-1	08X25Z16	11'-4 1/2"
4	G-1A	08X25Z16	7 1/2"

CONNECTION PLATES FRAME LINE 1		
QID	QUAN	MARK/PART
1	4	ZGF



LEFT ENDWALL FRAMING: FRAME LINE 1



LEFT ENDWALL SHEETING & TRIM: FRAME LINE 1

PANELS: 26 Ga. PR - Polar White

GENERAL NOTES:

- Sheets on buildings with roof slopes greater than 1-1/4"/12" must be field cut to cope with slope of roof.
- Screw patterns for sheeting shall be to use 3ea screws at the bottom, top, and at each girt. Space these screws equally at about 1" off of each panel rib. Lap screws should be placed at bottom, top, each girt, two (2) equally spaced between base and first girt, and one (1) at the midpoint between all other girts. Tek5 Drillers are supplied as needed for non secondary steel.
- Man doors are to be field located per customer and contractor shall install door frame stiffener angles on the back of each 'lock-side' of jambs at at approx. 3'-4' up on frames down to base angle (channel) at 30-45deg. Extra base angle supplied for contractor to field cut as needed.
- All girts are bolted in place with (2) 1/2"x1-1/4" A307 bolts on a diagonal pattern at the clip and (2) 1/2"x1-1/4" A307 bolts at each end of the lap (6-bolts total per connection see detail drawings)
- It is the responsibility of the erector to provide all temporary bracing and a plan for installing it. This includes size, type, location, and q'ty.



Sealed: 7/24/24



PROJECT: 25X145 STORAGE	BLDG SIZE: 25.00' x 145.00' x 18.96' x 20.00'	JOB NUMBER
10150 TRASK GARDEN GROVE, CA	DESIGN: DRAWN: MH	TSS37250
CUSTOMER: PROCON DEVELOPMENT	DATE: 3/11/24	CHECK:
DWG NAME: ENDWALL FRAMING	SCALE: NONE	REV. NO:
		DRAWING NUMBER
		SHEET 6 OF 13

ISSUED FOR
CONSTRUCTION

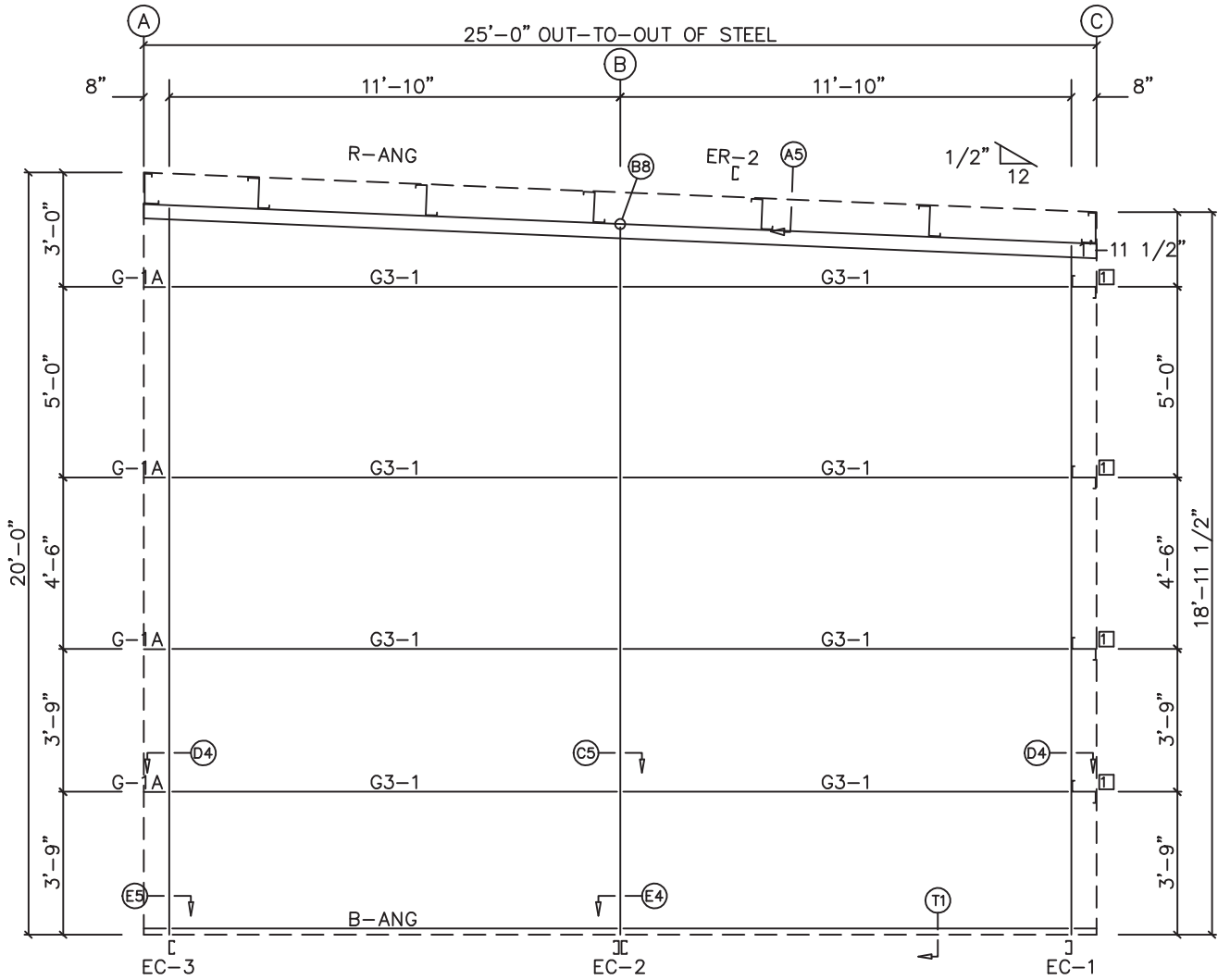
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BOLT TABLE FRAME LINE 6				
LOCATION	QUAN	TYPE	DIA	LENGTH
Cor_Column/Raf	2	A325	1/2"	1 1/4"
EC-2/ER-2	4	A325	1/2"	1 1/4"

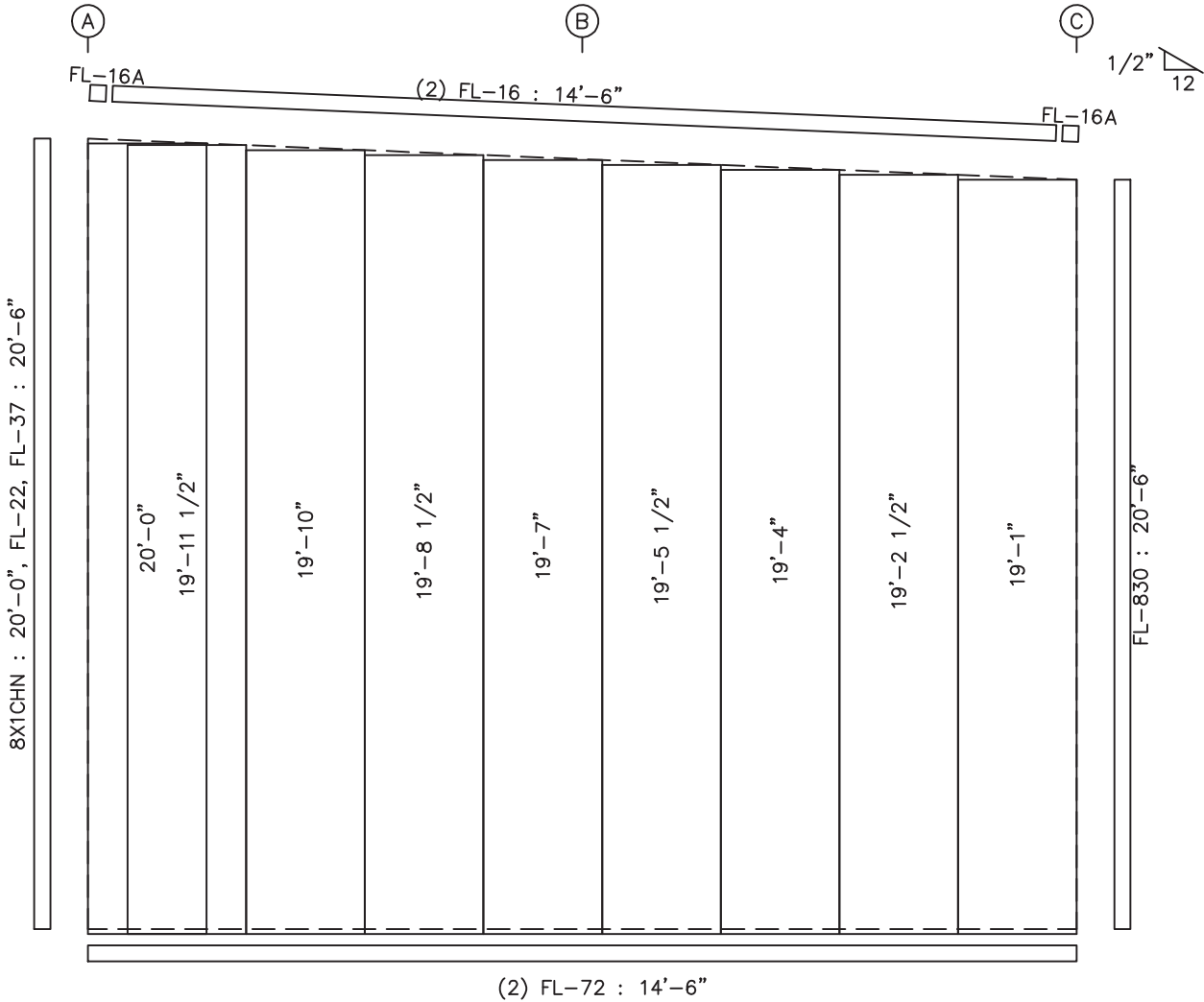
TRIM TABLE FRAME LINE 6			
QTY	MARK	LENGTH	DETAIL
	FL-16	14'-6"	TRIM_10
	FL-830	20'-6"	TRIM_12
	FL-22	20'-6"	TRIM_13

MEMBER TABLE FRAME LINE 6			
QTY	MARK	PART	LENGTH
1	EC-1	08X25C16	18'-0 5/8"
1	EC-2	08x50d12	18'-6 1/2"
1	EC-3	08X25C16	19'-0 5/16"
1	ER-2	10x25c14	25'-0 1/4"
8	G3-1	08X25Z16	11'-4 1/2"
4	G-1A	08X25Z16	7 1/2"

CONNECTION PLATES FRAME LINE 6		
QTY	QUAN	MARK/PART
1	4	ZGF



RIGHT ENDWALL FRAMING: FRAME LINE 6



RIGHT ENDWALL SHEETING & TRIM: FRAME LINE 6

PANELS: 26 Ga. PR - Polar White

GENERAL NOTES:

- Sheets on buildings with roof slopes greater than 1-1/4"/12" must be field cut to cope with slope of roof.
- Screw patterns for sheeting shall be to use 3ea screws at the bottom, top, and at each girt. Space these screws equally at about 1" off of each panel rib. Lap screws should be placed at bottom, top, each girt, two (2) equally spaced between base and first girt, and one (1) at the midpoint between all other girts. Tek5 Drillers are supplied as needed for non secondary steel.
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Sealed: 7/24/24



PROJECT: 25X145 STORAGE	BLDG SIZE: 25.00' x 145.00' x 18.96' x 20.00'	JOB NUMBER
10150 TRASK GARDEN GROVE, CA	DESIGN: DRAWN: MH	TSS37250
CUSTOMER: PROCON DEVELOPMENT	DATE: 3/11/24	CHECK:
DWG NAME: ENDWALL FRAMING	SCALE: NONE	REV. NO:
		DRAWING NUMBER
		SHEET 7 OF 13

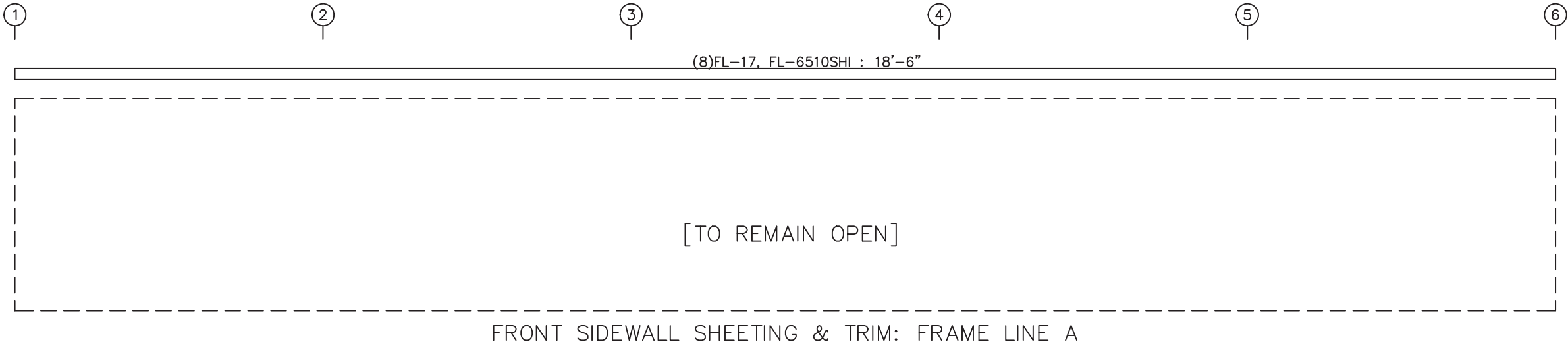
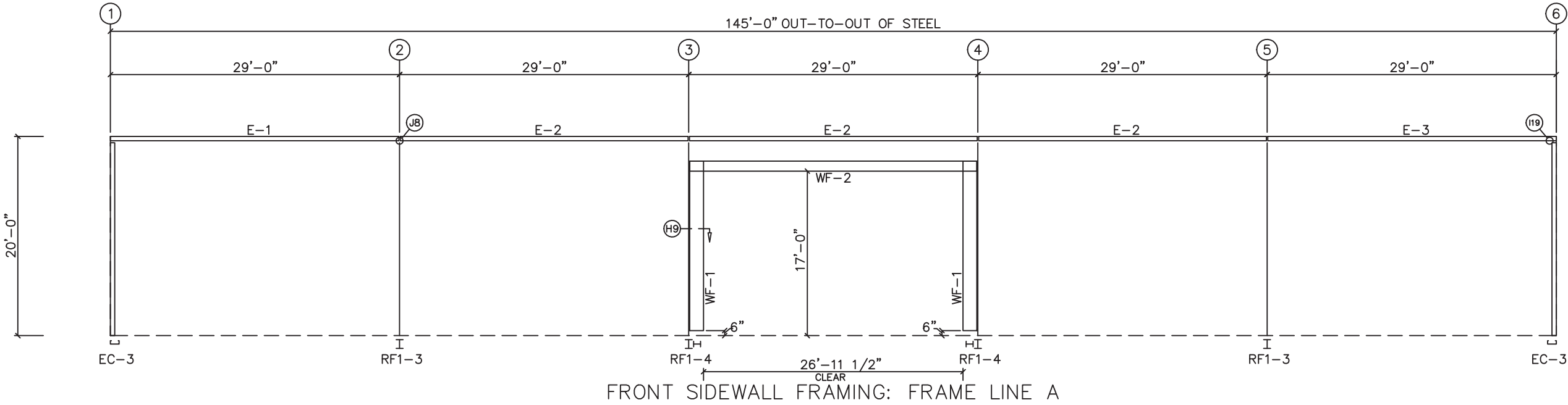
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CONSTRUCTION

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BOLT TABLE					
FRAME LINE A					
LOCATION		QUAN	TYPE	DIA	LENGTH
WF-1 - WF-2		8	A325	3/4"	2 1/4"
WF-1 - RF1-4		10	A325	3/4"	1 1/2"

TRIM TABLE			
FRAME LINE A			
OID	MARK	LENGTH	DETAIL
	FL-17	18'-6"	TRIM_5
	6510SHI	18'-6"	TRIM_5

MEMBER TABLE			
FRAME LINE A			
QTY	MARK	PART	LENGTH
2	WF-1	W12641	17'-6"
1	WF-2	W12841	26'-10 3/4"
1	E-1	10E12.0	28'-11 1/2"
3	E-2	10E12.0	28'-11 1/2"
1	E-3	10E12.0	28'-11 1/2"



- GENERAL NOTES:
- Screw patterns for sheeting shall be to use 3ea screws at the bottom, top, and at each girt. Space these screws equally at about 1" off of each panel rib. Lap screws should be placed at bottom, top, each girt, two (2) equally spaced between base and first girt, and one (1) at the midpoint between all other girts. Tek5 Drillers are supplied as needed for non secondary steel.
 - Cut sheets as needed to cope to framed openings.
 - Man doors are to be field located per customer and contractor shall install door frame stiffener angles on the back of each 'lock-side' of jambs at approx. 3'-4' up on frames, down to the base angle (channel) at 30-45 deg. Extra base angle supplied for contractor to field cut as needed.
 - All girts are bolted in place with (2) 1/2"x1-1/4" A307 bolts on a diagonal pattern at the clip and (2) 1/2"x1-1/4" A307 bolts at each end of the lap (6-bolts total per connection see detail drawings)
 - It is the erectors responsibility to provide all temporary bracing and a plan for installing it. This includes sizes, types, location and quantity.



Sealed: 7/24/24



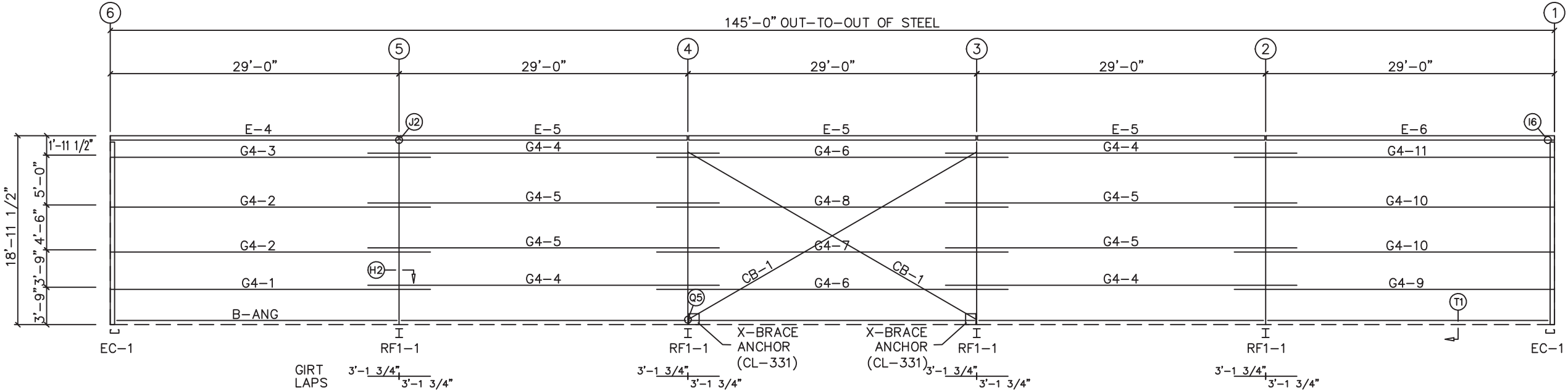
PROJECT: 25X145 STORAGE	BLDG SIZE: 25.00' x 145.00' x 18.96' x 20.00'		JOB NUMBER
	DESIGN:	DRAWN: MH	TSS37250
CUSTOMER: PROCON DEVELOPMENT	DATE: 3/11/24	CHECK:	
	SCALE: NONE	REV. NO:	DRAWING NUMBER
DWG NAME: SIDEWALL FRAMING			SHEET 8 OF 13

ISSUED FOR CONSTRUCTION

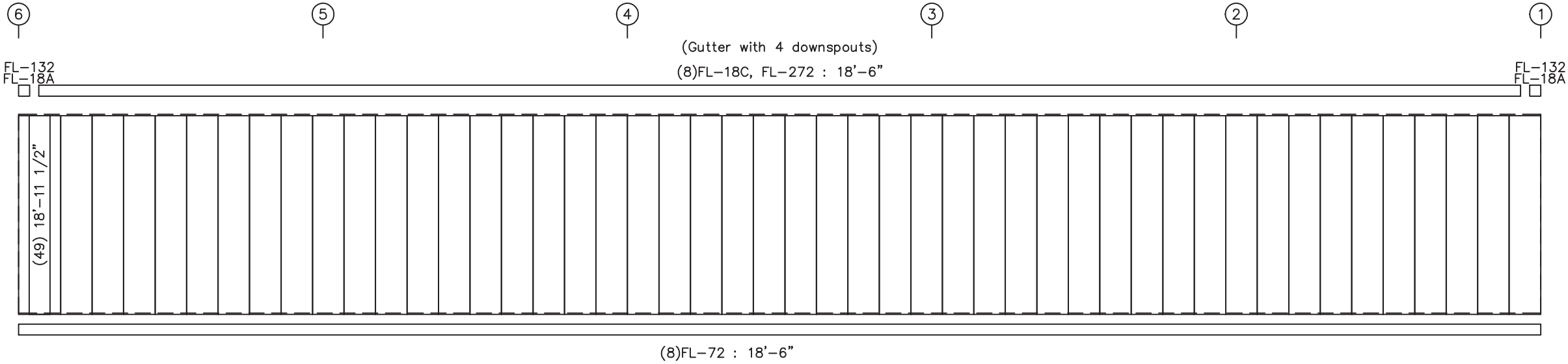
THESE DRAWINGS ARE SUBMITTED FOR CONSTRUCTION, AND ARE DEEMED TO BE FINAL DRAWINGS. IT IS THE CUSTOMER'S RESPONSIBILITY TO ENSURE THIS SET OF DRAWINGS ARE THE SOLE SET OF DRAWINGS IN THE HANDS OF THE ERECTOR AND OTHER PROFESSIONAL TRADES ON THE PROJECT SITE.

TRIM TABLE FRAME LINE C			
QID	MARK	LENGTH	DETAIL
	FL-18C	18'-6"	TRIM_8

MEMBER TABLE FRAME LINE C			
QTY	MARK	PART	LENGTH
1	E-4	10E14A	28'-11 1/2"
3	E-5	10E14A	28'-11 1/2"
1	E-6	10E14A	28'-11 1/2"
1	G4-1	08X35Z12	32'-1 1/2"
2	G4-2	08X25Z12	32'-1 1/2"
1	G4-3	08X35Z14	32'-1 1/2"
4	G4-4	08X35Z14	35'-3 1/2"
4	G4-5	08X25Z12	35'-3 1/2"
2	G4-6	08X35Z16	35'-3 1/2"
1	G4-7	08X25Z16	35'-3 1/2"
1	G4-8	08X25Z14	35'-3 1/2"
1	G4-9	08X35Z12	32'-1 1/2"
2	G4-10	08X25Z12	32'-1 1/2"
1	G4-11	08X35Z14	32'-1 1/2"
2	CB-1	HW-375	33'-7 1/2"



BACK SIDEWALL FRAMING: FRAME LINE C



BACK SIDEWALL SHEETING & TRIM: FRAME LINE C
PANELS: 26 Ga. PR - Polar White



Sealed: 7/24/24

**ISSUED FOR
CONSTRUCTION**

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 - Man doors are to be field located per customer and contractor shall install door frame stiffener angles on the back of each 'lock-side' of jambs at approx. 3'-4' up on frames, down to the base angle (channel) at 30-45 deg. Extra base angle supplied for contractor to field cut as needed.
 - All girts are bolted in place with (2) 1/2"x1-1/4" A307 bolts on a diagonal pattern at the clip and (2) 1/2"x1-1/4" A307 bolts at each end of the lap (6-bolts total per connection see detail drawings)
 - It is the erectors responsibility to provide all temporary bracing and a plan for installing it. This includes sizes, types, location and quantity.

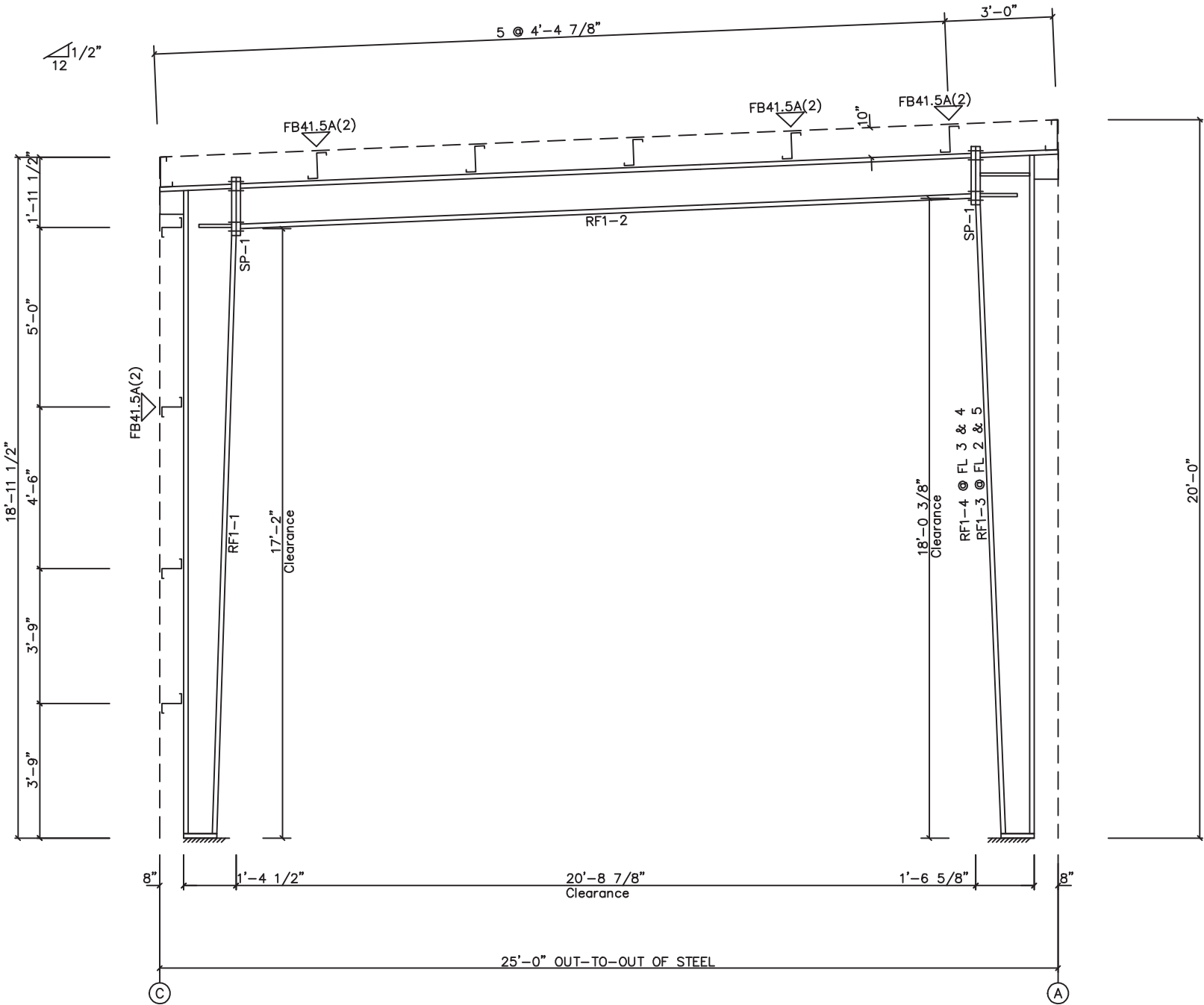


PROJECT: 25X145 STORAGE	BLDG SIZE: 25.00' x 145.00' x 18.96' x 20.00'	JOB NUMBER
10150 TRASK GARDEN GROVE, CA	DESIGN: DATE: 3/11/24	TSS37250
CUSTOMER: PROCON DEVELOPMENT	DRAWN: MH	CHECK: REV. NO:
DWG NAME: SIDEWALL FRAMING	SCALE: NONE	DRAWING NUMBER
		SHEET 9 OF 13

SPLICE BOLT TABLE						
Mark	Qty		Int	Type	Dia	Length
	Top	Bot				
SP-1	4	4	0	A325	3/4"	2"

▽FLANGE BRACES: (1) One Side; (2) Two Sides
FBxxA(1): xx=length(in)
A – L2X2X12g

MEMBER TABLE					
Mark	Web Depth		Web Plate		Outside Flange W x Thk x Length
	Start/End	Thick	Length		
RF1-1	8.0/16.0	0.164	217.8		6 x 1/4" x 217.1 6 x 1/4" x 24.3
RF1-2	12.0/12.0	0.135	224.2		6 x 1/4" x 247.6 6 x 1/4" x 247.6
RF1-3	12.0/12.0	0.135	24.0		8 x 1/4" x 26.3 8 x 5/16" x 228.9
RF1-3	18.0/ 8.0	0.164	228.9		8 x 5/16" x 228.9



Sealed: 7/24/24

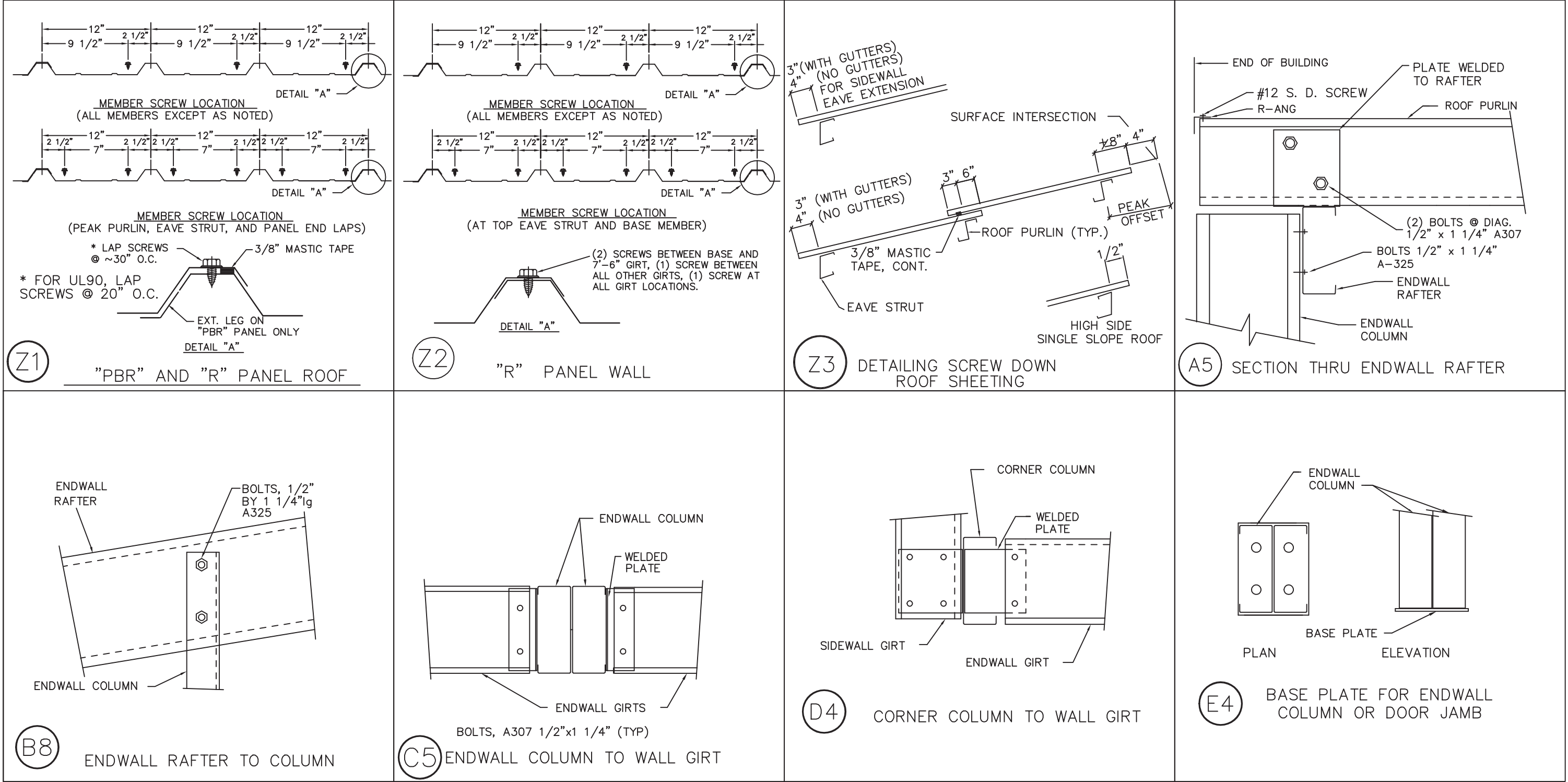
ISSUED FOR
CONSTRUCTION

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- GENERAL NOTES:
- ALL PRIMARY STRUCTURAL STEEL SHALL BE FABRICATED FROM 50 KSI STEEL.
 - ALL SECONDARY FRAMING MEMBERS SHALL BE FORMED FROM 55 KSI STEEL.
 - ALL FIELD CONNECTIONS OF PRIMARY FRAMING MEMBERS SHALL BE BOLTED. WITH A325 H. S. BOLTS AND INSTALLED BY THE 'TURN OF THE NUT' METHOD.
 - ALL FIELD CONNECTIONS OF SECONDARY FRAMING SHALL BE BOLTED WITH A307 MACHINE BOLTS (or A325).
 - WELDING PROCESSES USED BY MANUFACTURER ARE IN ACCORDANCE WITH SEC. 1.3 OF AWS D 1.1
 - IT IS THE RESPONSIBILITY OF THE ERECTOR TO PROVIDE FOR ALL TEMPORARY BRACING AS WELL AS A PLAN FOR INSTALLING AND SECURING IT. THIS INCLUDES SIZES, TYPES, LOCATION, AND QUANTITIES. RIGID FRAMES SHOULD NEVER BE LEFT IN AN UNSUPPORTED, UNBRACED OR UNGUYED CONDITION. ADDITIONAL CARE SHOULD BE TAKEN WHEN ERECTING MULTI-SPAN FRAMES COMPARED TO CLEAR SPAN FRAMES BECAUSE OF THE LIGHTER SECTIONS THAT CAN BE UTILIZED DUE TO CLOSER SUPPORT SPACINGS.



PROJECT: 25X145 STORAGE	BLDG SIZE: 25.00' x 145.00' x 18.96' x 20.00'	JOB NUMBER
10150 TRASK GARDEN GROVE, CA	DESIGN: DATE: 3/11/24	TSS37250
CUSTOMER: PROCON DEVELOPMENT	DRAWN: MH	CHECK:
DWG NAME: RIGID FRAME ELEVATION	SCALE: NONE	REV. NO:
		DRAWING NUMBER
		SHEET 10 OF 13



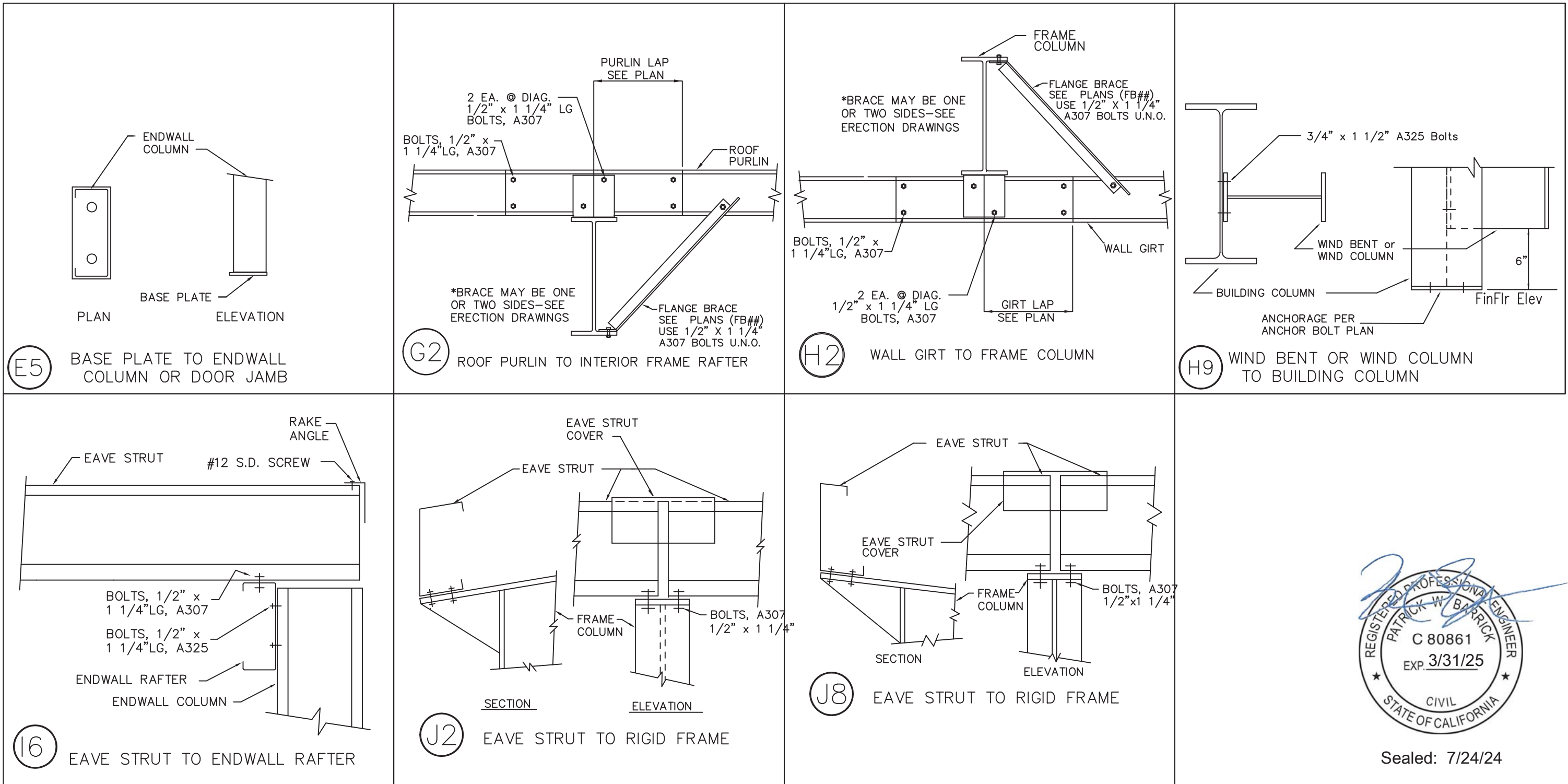
Sealed: 7/24/24



PROJECT: 25X145 STORAGE	BLDG SIZE: 25.00' x 145.00' x 18.96' x 20.00'	JOB NUMBER
10150 TRASK GARDEN GROVE, CA	DESIGN: DRAWN: MH	TSS37250
CUSTOMER: PROCON DEVELOPMENT	DATE: 3/11/24 CHECK:	
DWG NAME: DETAIL DRAWINGS	SCALE: NONE REV. NO:	DRAWING NUMBER
		SHEET 11 OF 13

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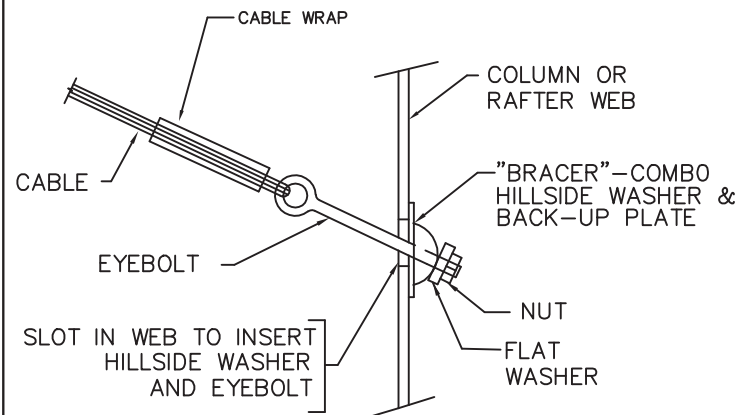
Sealed: 7/24/24

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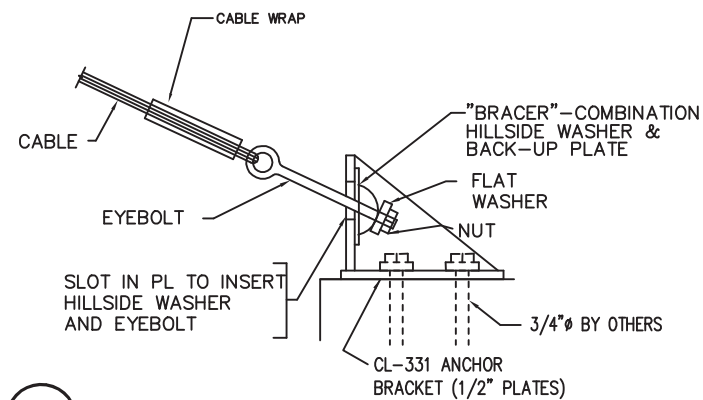
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	10150 TRASK GARDEN GROVE, CA	DESIGN: DRAWN: MH	TSS37250
	CUSTOMER: PROCON DEVELOPMENT	DATE: 3/11/24 CHECK:	
	DWG NAME: DETAIL DRAWINGS	SCALE: NONE REV. NO:	DRAWING NUMBER
			SHEET 12 OF 13

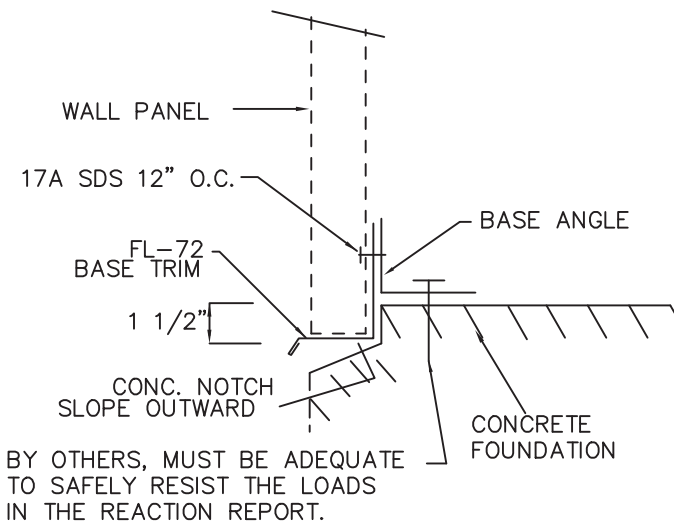
NOTE:
FLUSH GIRT SYSTEMS WILL REQUIRE A SLOT
BE FIELD CUT IN THE GIRT WEB TO ALLOW
CABLE TO FREELY PASS THROUGH. SLOT SIZE
TO BE MINIMAL SIZE TO ACCOMMODATE
BRACING.



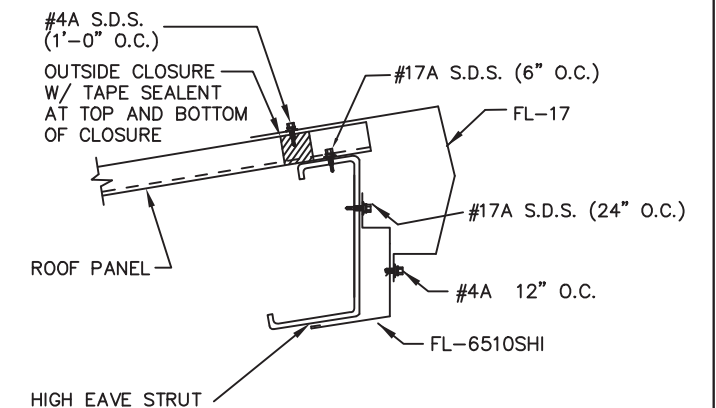
Q2 DIAGONAL CABLE, EYEBOLT END



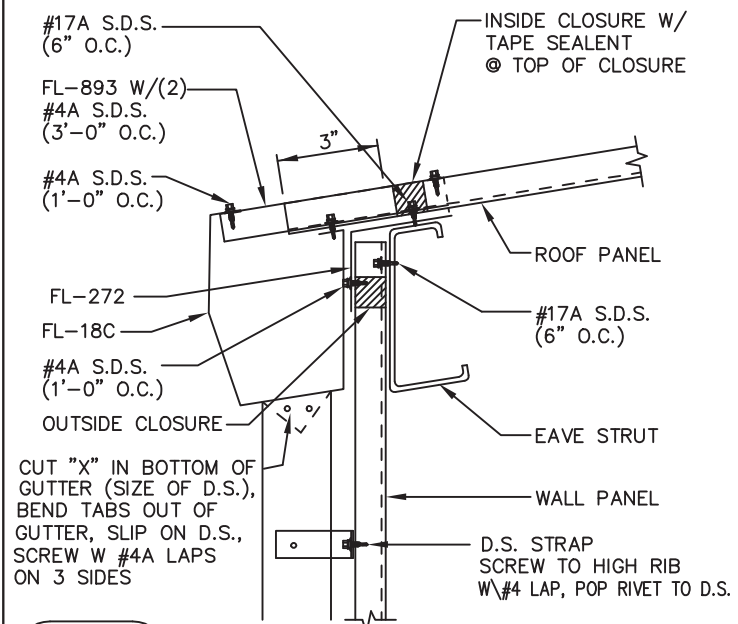
Q5 DIAGONAL CABLE TO CL-330



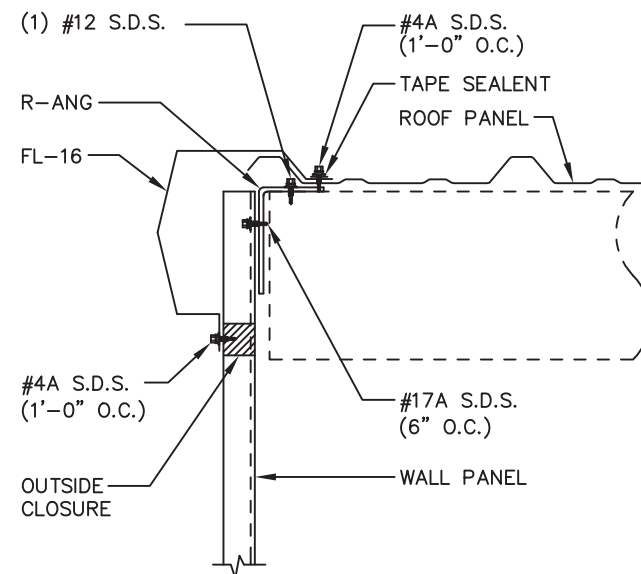
T1 SECTION THRU WALL PANEL AND CONCRETE FOUNDATION



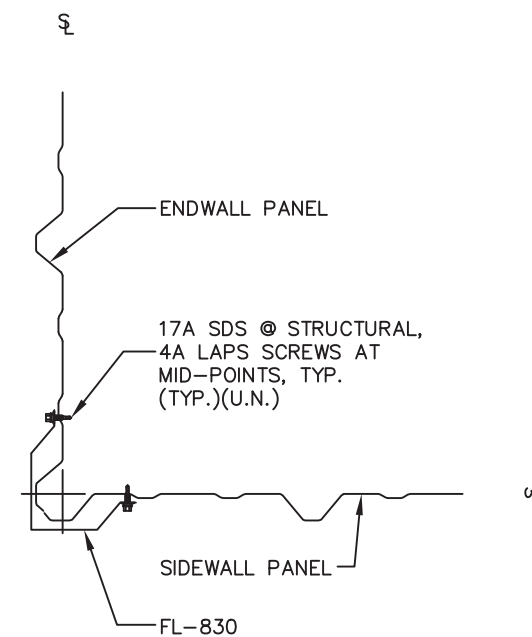
TR-5 HIGH EAVE TRIM - OPEN



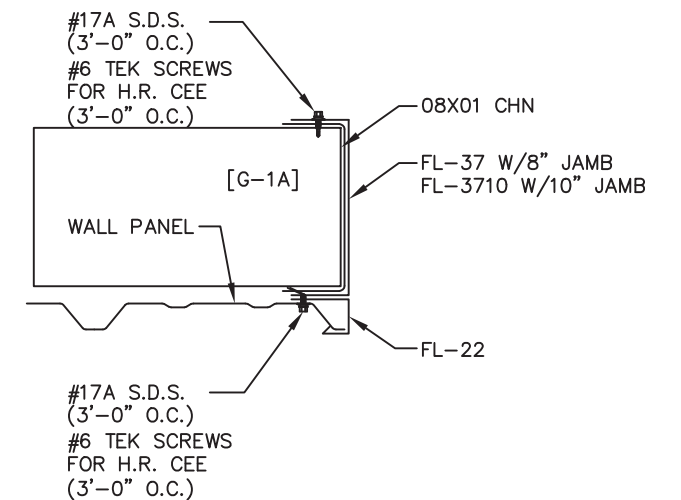
TR-8 LOW EAVE GUTTER



TR-10 RAKE TRIM SECTION



TR-12 OS CORNER TRIM SECTION



TR-13 OPEN WALL END



Sealed: 7/24/24



PROJECT: 25X145 STORAGE	BLDG SIZE: 25.00' x 145.00' x 18.96' x 20.00'	JOB NUMBER
10150 TRASK GARDEN GROVE, CA	DESIGN: DRAWN: MH	TSS37250
CUSTOMER: PROCON DEVELOPMENT	DATE: 3/11/24 CHECK:	
DWG NAME: DETAIL DRAWINGS	SCALE: NONE REV. NO:	DRAWING NUMBER
		SHEET 13 OF 13

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RESOLUTION NO. 6120-25

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF GARDEN GROVE APPROVING SITE PLAN NO. SP-160-2025 FOR PROPERTY LOCATED AT 10150 TRASK AVENUE, ASSESSOR'S PARCEL NO. 099-682-02.

BE IT RESOLVED that the Planning Commission of the City of Garden Grove, in a regular session assembled on June 19, 2025, hereby approves Site Plan No. SP-160-2025, subject to the attached Conditions of Approval for the property located at 10150 Trask Avenue, Assessor's Parcel No. 099-682-02.

BE IT FURTHER RESOLVED in the matter of Site Plan No. SP-160-2025, the Planning Commission of the City of Garden Grove does hereby report as follows:

1. The subject case was initiated by Ernest De Leon, with the authorization of the property owner David Simpson.
2. The applicant is requesting Site Plan approval to construct a one-story 3,625 square foot freestanding steel structure for vehicle maintenance on an existing car dealership lot.
3. Pursuant to the California Environmental Quality Act ("CEQA"), the City of Garden Grove Planning Commission hereby determines that this project is categorically exempt from CEQA pursuant to Section 15303 (New Construction or Conversion of Small Structures) of the CEQA Guidelines. (14 Cal. Code Regs., Section 15303.)
4. The property has a General Plan Land Use designation of Heavy Commercial (HC) and is zoned Planned Unit Development No. PUD 110-96. The site is improved with the Simpson Chevrolet automobile dealership.
5. Existing land use, zoning, and General Plan designation of property in the vicinity of the subject property have been reviewed.
6. Report submitted by the City staff was reviewed.
7. Pursuant to a legal notice, a public hearing was held on June 19, 2025, and all interested persons were given an opportunity to be heard.
8. The Planning Commission gave due and careful consideration to the matter during its meeting on June 19, 2025; and

BE IT FURTHER RESOLVED, FOUND AND DETERMINED that the facts and reasons supporting the conclusion of the Planning Commission, as required under Municipal Code Sections 9.32.030 are as follows:

FACTS:

The subject site is five acres, and is currently improved with the Simpson Chevrolet automobile dealership for motor vehicle sales. The site is located at the southeast corner of Trask Avenue and Brookhurst Street, and is a part of the "Garden Grove Auto Center". The property has a General Plan Land Use Designation of Heavy Commercial (HC) and is zoned Planned Unit Development No. PUD 110-96. The existing surrounding uses include single- and multi-family residential developments and a service (gas) station, across Trask Avenue, to the north; a Hyundai auto dealership, across Brookhurst Street, to the west; industrial buildings to the east; and the State Route 22 (SR 22) freeway to the south.

The "Garden Grove Auto Center" comprises several long and narrow properties along the south side of Trask Avenue. In 1995, the City approved Planned Unit Development No. PUD-103-95, allowing the subject property to be improved with a new two-level automotive sales and service facility. In 1996, the City rezoned the subject site, along with another property within the Garden Grove Auto Center, to Planned Unit Development No. PUD-110-96. The purpose of the rezoning was to modify the development standards for the Garden Grove Auto Center related to signage and employee parking.

In 2012, the City approved a revision to PUD-110-96, which amended the Sign and Graphic Standards section of the PUD. In 2019, the City approved Site Plan No. SP-066-2019 to allow the construction of a 3,567-square-foot, one-story auto repair building/addition attached to an existing 846-square-foot, one-story car wash building on the Chevrolet site.

In 2024, a 3,625-square-foot freestanding steel structure was erected on the property without a valid building permit. The structure was open on one side and was used to store auto parts and equipment. The applicant is now requesting to convert the unpermitted structure into an auto maintenance area to support the expansion of their services. Section 9.32.030.D.3.a.ii of Title 9 of the Municipal Code ("Code") requires Site Plan approval for any new building or structure, or any addition to an existing structure, that exceeds ten percent (10%) of the existing floor area or 1,000 square feet, whichever is less. Therefore, Site Plan approval is required to construct the proposed 3,625 square feet of building to the site.

FINDINGS AND REASONS:

1. The Site Plan is consistent with the General Plan and complies with the spirit and intent of the provisions, conditions, and requirements of the Municipal Code and other applicable ordinances.

The subject site is currently improved with an auto dealership consisting of multiple buildings with the total square footage of 41,754. The property has a General Plan Land Use Designation of Heavy Commercial (HC) and is zoned

Planned Unit Development No. PUD-110-96. The Heavy Commercial (HC) designation is intended to provide for a variety of more intensive commercial uses, including but not limited to automotive repair, sales, and services. The HC Land Use designation is implemented, in part, by the PUD-110-96 zone, and allows a floor area ratio (F.A.R.) of up to 0.55. The applicant is proposing to construct a new 3,625 square foot freestanding steel structure for vehicle maintenance on an existing car dealership lot. The resulting F.A.R. with the proposed expansion will be 0.20, which is within the limit established in the HC Land Use designation. The project is designed to comply with the development standards of the PUD zone, including setbacks and building height. In addition, the proposed Project is consistent with the goals, policies, and implementation programs of the General Plan, including the following:

- a. *Implementation Program LU-IMP-4A: Monitor existing and review all requests to expand intensive commercial or industrial uses.*

The proposed project consists of construction of a steel structure at a site currently improved with an existing car dealership. The proposed structure would be used to provide additional vehicle maintenance services to customers of the subject dealership, as intended by the City's General Plan, which encourages the expansion of commercial uses.

- b. *Goal LU-4: The City seeks to develop uses that are compatible with one another.*

The proposed structure is to support the expansion of an existing dealership's operation. No change in use on the subject site. Therefore, the proposed structure continues to be compatible with the uses of the immediate area.

- c. *Goal LU-7: Economically viable, vital, and attractive commercial centers throughout the City that serve the needs of the community.*

The City's General Plan identifies The Garden Grove Auto Center, which includes the subject properties as an economic benefit to the City. It is vital to the City's economic well-being that the Auto Center is maintained, and enhanced. The proposed steel structure is to accommodate the expansion of an existing car dealership that would continue to contribute to maintaining the jobs and creating positive economic impacts to the community. The proposed project will ensure that the City maintains healthy and competitive automotive center areas contributing to a well-planned and well-maintained community.

2. The proposed development does not adversely affect essential on-site facilities such as off-street parking, loading and unloading areas, traffic circulation, and points of vehicular and pedestrian access.

Vehicular and pedestrian access throughout the site and from the public right-of-way would remain unchanged. Vehicles would continue to access the site using the three (3) existing driveway approaches off Trask Avenue.

The Municipal Code requires a minimum of 103 parking spaces to accommodate the operation of the dealership including the proposed structure. Although twenty-two (22) parking stalls would be removed to leave space for the new structure, the 441 spaces remaining on-site still exceeds the minimum requirement set by the Code.

The proposed project has been reviewed by the Engineering and Traffic Divisions. All appropriate conditions of approval have been incorporated to minimize any impacts.

3. The development, as proposed, will not adversely affect essential public facilities such as streets and alleys, utilities and drainage channels.

The streets in the area are adequate to accommodate the proposed development. Existing utilities and drainage channels in the area are adequate to accommodate the existing development and the proposed expansion. The proposed expansion will not affect the drainage of storm water. Existing landscaping areas will remain unaffected by the proposal. The Public Works Department has reviewed the project and has incorporated all the appropriate conditions of approval to minimize any adverse impacts.

4. The proposed project will not adversely impact the Public Works Department ability to perform its required function.

The proposed project has been reviewed by the Public Works Department. All appropriate conditions of approval included by the Public Works Department will eliminate any adverse impacts to the streets and alleys, utilities and drainage channels, and will ensure that the project will not adversely impact the City's ability to perform its required public works functions.

5. The development does have a reasonable degree of physical, functional, and visual compatibility with neighboring uses and desirable neighborhood characteristics.

The subject site is currently developed with an existing car dealership. The proposed building would occur in a paved parking lot area located to the rear of the property. The structure is one-story, twenty feet (20'-0") in height, which complies with the Code's maximum height requirement of 35 feet. The

expansion will feature prefinished metal siding, painted to match the existing building's color.

The proposed steel structure would be used as a new vehicle maintenance area. As such, the proposed project would maintain a high degree of physical, functional, and visual compatibility within the site.

The City's Community Development Department has reviewed the proposed project, and all appropriate conditions of approval have been incorporated to ensure physical, functional, and visual compatibility with the project's surroundings.

6. Through the planning and design of buildings and building placement, the provision of open space landscaping and other site amenities will attain an attractive environment for the occupants of the property.

The proposed structure would be located to the rear of the property and not visible from the public right-of-way. The building would consist of prefinished metal siding painted to match the existing building's color. The proposed expansion will be located in area that is currently paved. Therefore, existing landscaped areas will not be disturbed by the proposed building. All existing landscaping areas will be retained, including landscaped setback areas, parking lot landscaping planters, and site trees. Furthermore, conditions of approval will require that all existing landscaping continue to be maintained for the life of the project, keeping an attractive environment for the occupants of the industrial buildings.

The City's Community Development Department has reviewed the proposed project, and all appropriate conditions of approval have been incorporated to ensure the attractiveness of the site.

INCORPORATION OF FACTS AND FINDINGS SET FORTH IN STAFF REPORT

In addition to the foregoing, the Planning Commission incorporates herein by this reference, the facts and findings set forth in the staff report.

BE IT FURTHER RESOLVED that the Planning Commission does conclude:

1. The Site Plan possesses characteristics that would indicate justification of the request in accordance with Municipal Code Section 9.32.030.
2. In order to fulfill the purpose and intent of the Municipal Code and thereby promote the health, safety, and general welfare, the attached Conditions of Approval (Exhibit "A") shall apply to Site Plan No. SP-160-2025.

EXHIBIT "A"

Site Plan No. SP-160-2025

10150 Trask Avenue

CONDITIONS OF APPROVAL

General Conditions

1. The applicant and each owner of the property shall execute, and the applicant shall record a "Notice of Agreement with Conditions of Approval and Discretionary Permit of Approval," as prepared by the City Attorney's Office, within 30 days of approval.
2. All Conditions of Approval set forth herein shall be binding on and enforceable against each of the following, and as used herein, the term "applicant" shall refer to each of the following: the project applicant, Ernest De Leon, with the authorization of the property owner, David Simpson, the developer of the project, the future owner(s) and tenant(s) of the property, and each of their respective successors and assigns. All conditions of approval are required to be adhered to for the life of the project, regardless of property ownership. Except for minor modifications authorized to be approved by the Community Development Director pursuant to Condition No. 4, any changes to these Conditions of Approval require approval by the appropriate City hearing body.
3. Site Plan No. SP-160-2025 only authorizes approval to construct a one-story 3,625 square foot freestanding steel structure for vehicle maintenance on an existing car dealership lot, located at 10150 Trask Avenue, (APN: 099-682-02), as depicted on the plans submitted by the applicant and made part of the record of the June 19, 2025 Planning Commission proceedings. Approval of this Site Plan shall not be construed to mean any waiver of applicable and appropriate zoning and other regulations; and wherein not otherwise specified, all requirements of the City of Garden Grove Municipal Code shall apply.
4. Minor modifications to the Site Plan or these Conditions of Approval may be approved by the Community Development Director, in his or her discretion. Proposed modifications to the project or these Conditions of Approval determined by the Community Development Director not considered minor shall be subject to approval of new or amended land use entitlements by the applicable City hearing body.
5. The approved site plan and floor plan are an integral part of the decision approving this Site Plan. There shall be no additional changes in the design of the site plan and floor plan without the approval of the Community Development Department, Planning Services Division. Any additional

changes in the approved site plan and floor plan, that expanding or intensifying the present use, shall require the applicant to obtain the proper entitlement(s).

6. All conditions of approval shall be implemented at the applicant's expense, except where specified in the individual condition.

Orange County Fire Authority

7. The applicant shall comply with all applicable Orange County Fire Authority requirements, including, but not limited to the Fire Master Plan.

Building and Safety Division

8. All work shall comply with the latest California Building Standards Code, applicable City Ordinances, and Federal Regulations in effect at time of building permit application.

Planning Services Division

9. Litter shall be removed daily from the premises, including adjacent public sidewalks, and from all parking areas under the control of the applicant. These areas shall be swept or cleaned, either mechanically or manually, on a weekly basis, to control debris.
10. No outside display of merchandise shall be permitted at any time.
11. A prominent, permanent sign, stating "NO LOITERING IS ALLOWED ON OR IN FRONT OF THE PREMISES," shall be posted in a place that is clearly visible to patrons of the licensee. The sign lettering shall be four (4) to six (6) inches high with black letters on a white background. The sign shall be displayed near or at the entrance, and shall also be visible to the public.
12. The applicant/property owner shall maintain all existing landscaped areas in a neat and healthy condition. Landscaping maintenance shall include pruning or removal of overgrown weeds and vegetation.
13. The applicant/property owner shall abate all graffiti vandalism within the premises. The applicant/property owner shall implement best management practices to prevent and abate graffiti vandalism within the premises throughout the life of the project, including, but not limited to, timely removal of all graffiti, the use of graffiti resistant coatings and surfaces, the installation of vegetation screening of frequent graffiti sites, and the installation of signage, lighting, or security cameras, as necessary. Graffiti shall be removed/eliminated by the applicant/property owner as soon as reasonably possible after it is discovered, but not later than 72 hours after discovery.

14. The applicant is advised that the establishment is subject to the provisions of State Labor Code Section 6404.5 ((per State Law AB 13)), which prohibits smoking inside the establishment as of January 1, 1995.
15. Any satellite dish antennas installed on the premises shall be screened, subject to approval by the Community Development Department, Planning Services Division. No advertising material shall be placed thereon.
16. Hours and days of construction and grading shall be as established in Chapter 8.47 of the City of Garden Grove Municipal Code, except that:
 - a. Monday through Friday – not before 7:00 a.m. and not after 5:00 p.m. (of the same day).
 - b. Saturday – not before 8:00 a.m. and not after 5:00 p.m. All construction activity on Saturday shall be limited to interior construction only.
 - c. Sunday and Federal Holidays – no construction shall occur.
17. Construction activities must adhere to SCAQMD Rule 403 (Fugitive Dust), which includes dust minimization measures, using electricity from power poles rather than diesel or gasoline powered generators, and using methanol, natural gas, propane or butane vehicles instead of gasoline or diesel powered equipment, where feasible, using solar or low-emission water heaters, and using low-sodium parking lot lights, to ensure compliance with Title 24.
18. The applicant/property owner shall comply with the adopted City Noise Ordinance.
19. As a part of the finalized working drawings for the Planning Services Division, Engineering Division and Building and Safety Division, the developer shall submit a detailed and dimensioned plot plan, floor plans, and exterior elevations that reflect the conditions of approval.
20. All lighting structures shall be placed so as to confine direct rays to the subject property. All exterior lights shall be reviewed and approved by the Planning Services Division. Lighting in the common and parking areas shall be directed, positioned or shielded in such manner so as not to unreasonably illuminate the window area of nearby residences. Parking area lighting shall be provided during the hours of darkness the establishment is open at a minimum of two-foot candles of light, and one foot candle of light during all other hours of darkness.
21. The applicant shall submit detailed plans showing the proposed location of utilities and mechanical equipment to the Community Development Department, Planning Services Division, for review and approval prior to

submittal of plans for Building and Safety Division plan check process. The project shall also be subject to the following:

- a. All above-ground utility equipment (e.g., electrical, gas, telephone) shall not be located in the street setbacks and shall be screened to the satisfaction of the Community Development Department, Planning Services Division.
 - b. No roof or wall mounted mechanical equipment shall be permitted unless the Planning Services Division approves a method of screening complementary to the architecture of the building, prior to the issuance of building permits. Said screening shall block visibility of any roof-mounted mechanical equipment from view of public streets, including the surrounding properties.
22. No exterior piping, plumbing, roof top access ladders, or mechanical ductwork shall be permitted on any exterior facade or be visible from any public right-of-way or adjoining property.
23. Any and all correction notice(s) generated through the plan check or inspection process is/are hereby incorporated by reference as conditions of approval and shall be fully complied with by the owner, applicant and all agents thereof.
24. The applicant shall work with the Planning Services Division to ensure that the proposed building colors are appropriate and compatible. All exterior finishes of the proposed expansion shall match the existing building in terms of color, including, but not limited to, exterior finish, roofing material, etc. The applicant shall submit the actual chip samples of the proposed paint colors to the Planning Services Division for review and approval.
25. The trash bins shall be kept inside the trash enclosures, and gates closed at all times, except during disposal and pick-up. The property owner shall provide sufficient trash bins and pick-up to accommodate the site.
26. It shall be the applicant's responsibility to verify that any building or site improvements do not impermissibly interfere with any recorded easements on the subject property or the adjacent properties.
27. During construction, if paleontological or archaeological resources are found, all attempts shall be made to preserve in place or leave in an undisturbed state in compliance with applicable law. In the event that fossil specimens or cultural resources are encountered on the site during construction and cannot be preserved in place, the applicant shall contact and retain, at applicant's expense, a qualified paleontologist or archaeologist, as applicable, acceptable to the City to evaluate and determine appropriate treatment for the specimen or resource, and work in the vicinity of the discovery shall halt until

appropriate assessment and treatment of the specimen or resource is determined by the paleontologist or archeologist (work can continue elsewhere on the project site). Any mitigation, monitoring, collection, and specimen/resource treatment measures recommended by the paleontologist/archaeologist shall be implemented by the applicant at its own cost.

28. A copy of the resolution approving Site Plan No. SP-160-2025, including these Conditions of Approval, shall be kept on the premises at all times.
29. The applicant shall submit a signed letter acknowledging receipt of the decision approving Site Plan No. SP-160-2025 and his/her agreement with all conditions of the approval.
30. The applicant shall, as a condition of project approval, at its sole expense, defend, indemnify and hold harmless the City, its officers, employees, agents and consultants from any claim, action, or proceeding against the City, its officers, agents, employees or consultants, which action seeks to set aside, void, annul or otherwise challenge any approval by the City Council, Planning Commission, or other City decision-making body, or City staff action concerning Site Plan No. SP-160-2025. The applicant shall pay the City's defense costs, including attorney fees and all other litigation related expenses, and shall reimburse the City for court costs, which the City may be required to pay as a result of such defense. The applicant shall further pay any adverse financial award, which may issue against the City including, but not limited, to any award of attorney fees to a party challenging such project approval. The City shall retain the right to select its counsel of choice in any action referred to herein.
31. Unless a time extension is granted pursuant to Section 9.32.030.D.9 of Title 9 of the Municipal Code, the approval of Site Plan No. SP-160-2025, and the development authorized pursuant thereto, shall expire and become null and void if the subject use or construction necessary and incidental thereto is not commenced within two (2) years of the expiration of the appeal period for this approval and thereafter diligently advanced until completion of the project. In the event construction of the project is commenced, but not diligently advanced until completion, the rights granted pursuant to Site Plan No. SP-160-2025 shall expire if the building permits for the project expires.
32. All on-site parking areas shall be free and clear of any debris, materials, or any other obstructing objects, to ensure that all parking spaces are striped and available for the parking of vehicles, as depicted on the plans approved under Site Plan No. SP-160-2025.