

SITE MAP



## CONSTRUCTION DOCUMENTS

17009.RRGC

OCTOBER 23, 2019

# RESIDENCE INN PUBLIC SPACE REMODEL

EXISTING 200 ROOM HOTEL

11931 HARBOR BOULEVARD, GARDEN GROVE, CA 92840

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### BUILDING CODE DATA

#### APPLICABLE CODES:

2016 CALIFORNIA BUILDING CODE  
 2016 CALIFORNIA PLUMBING CODE  
 2016 CALIFORNIA MECHANICAL CODE  
 2016 CALIFORNIA ELECTRIC CODE  
 2016 CALIFORNIA ENERGY CODE  
 2016 CALIFORNIA FIRE CODE  
 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE  
 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN  
 ICC/ANSI 117.1 ACCESSIBLE & USABLE BUILDINGS AND FACILITIES

DRAWINGS HAVE BEEN DESIGNED AND WORK PERFORMED SHALL BE IN COMPLIANCE WITH THE CODES LISTED ABOVE.

#### BUILDING CODE ANALYSIS:

200 EXISTING GUEST ROOMS

REMODEL PART OF INTERIOR FIRST FLOOR PUBLIC AND BACK OF HOUSE SPACES.

EXISTING LEVEL OF FIRE PROTECTION AND MEANS OF EGRESS SHALL BE MAINTAINED.

#### AREA OF RENOVATION:

INTERIOR-  
 OFFICE TO MARKET: 147 SQFT  
 LOUNGE TO BAR: 599 SQFT  
 KIDS DINING AREA: 702 SQFT  
 GAME ROOM & BUSINESS CENTER: 494 SQFT  
 MEETING ROOM & FITNESS CENTER: 1044 SQFT

EXTERIOR-  
 FIRE PIT: 195 SQFT  
 BAR AREA: 180 SQFT

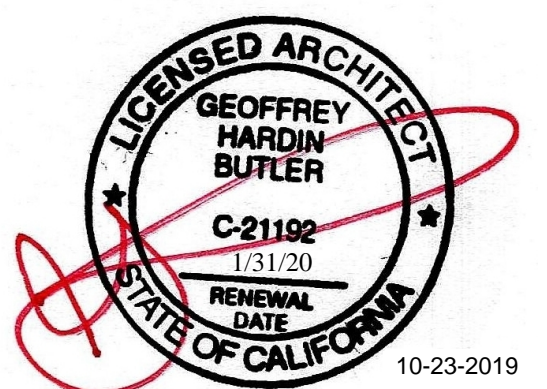
TOTAL: 3,361 SQFT

A-2 OCCUPANCY AT REMODEL AREA (INCIDENTAL USE WITH THE R-1 USE)  
 EXISTING BUILDING USE GROUP R-1  
 EXISTING 8 STORY BUILDING  
 EXISTING BUILDING HEIGHT: 99'-0"

TYPE II FIRE RESISTIVE CONSTRUCTION

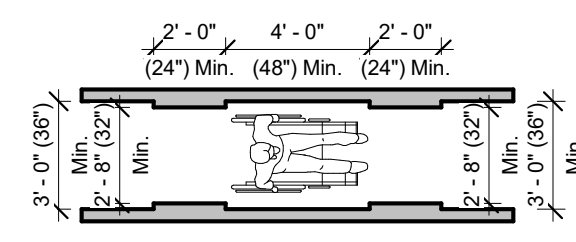
AUTOMATIC SPRINKLER SYSTEM PER NFPA 13.

319 N. Main Ave., Suite 200  
 Springfield, Missouri 65806  
 Phone: 417.521.6107

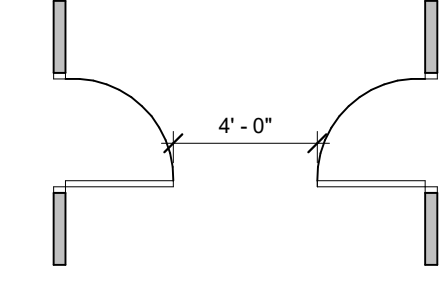
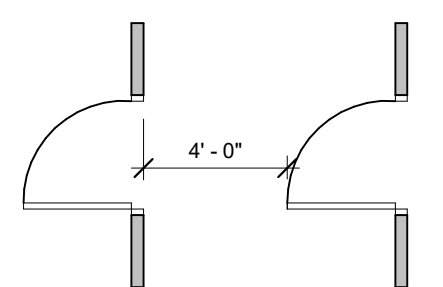
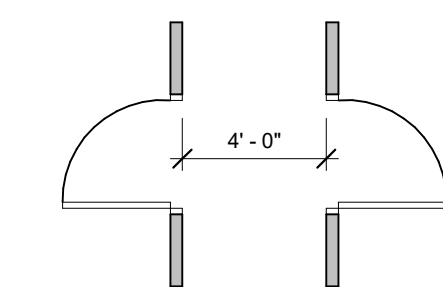




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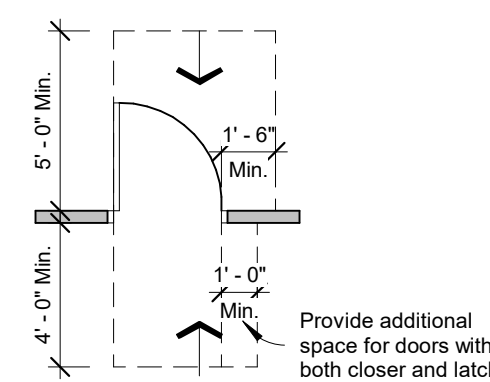




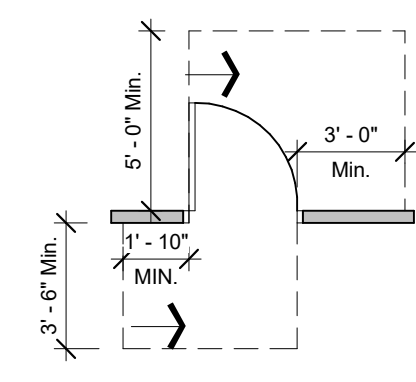
Accessible Route Clear Widths (Fig. 403.5.1)



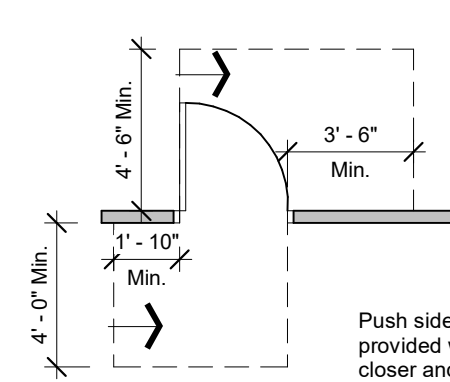
Doors & Gates in Series (Fig. 404.2.6)



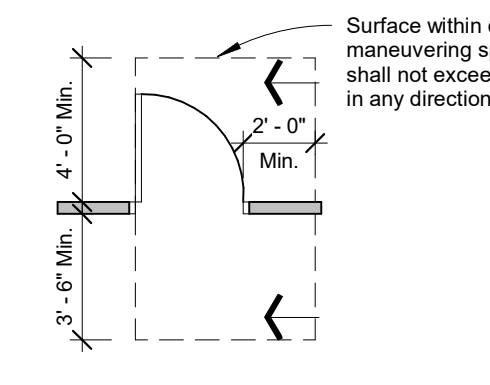
Front Approach - Swinging Doors



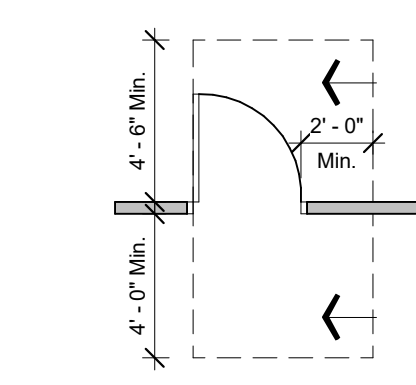
Hinge Approach - Swinging Doors



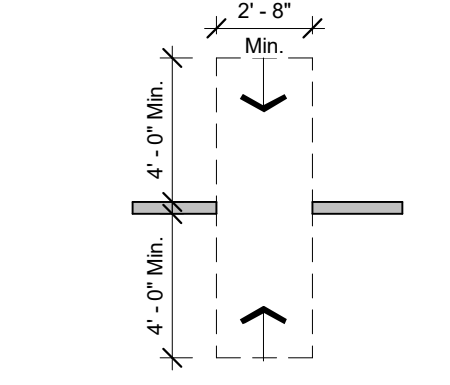
Hinge Approach - Swinging Doors



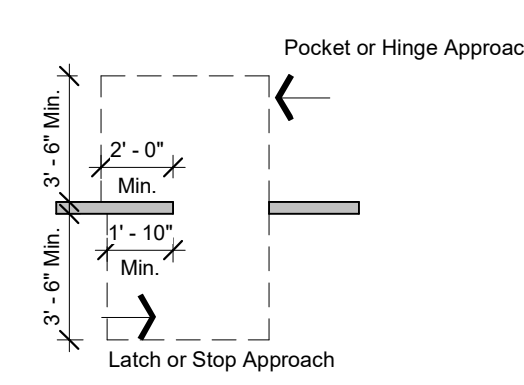
Latch Approach - Swinging Doors



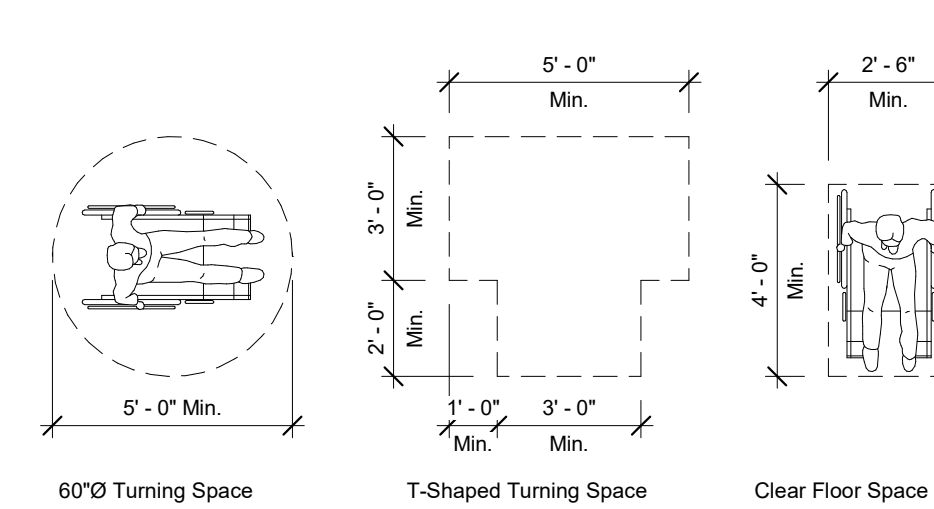
Latch Approach Closer - Swinging Doors



Front Approach - Sliding or No Doors

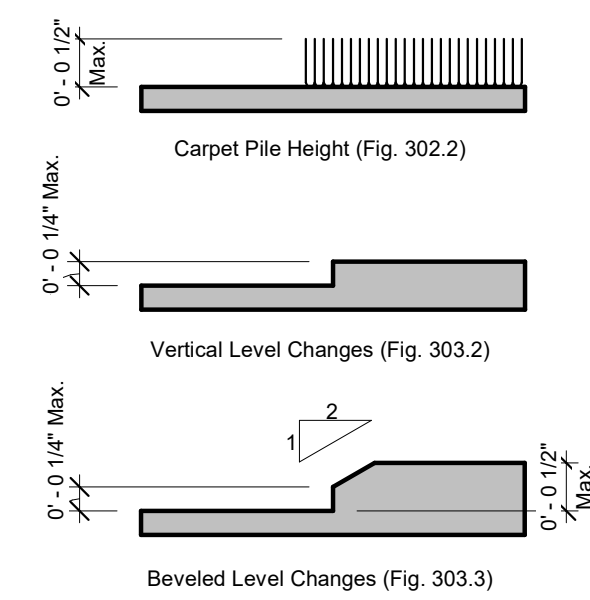


Front Approach - Sliding or No Doors



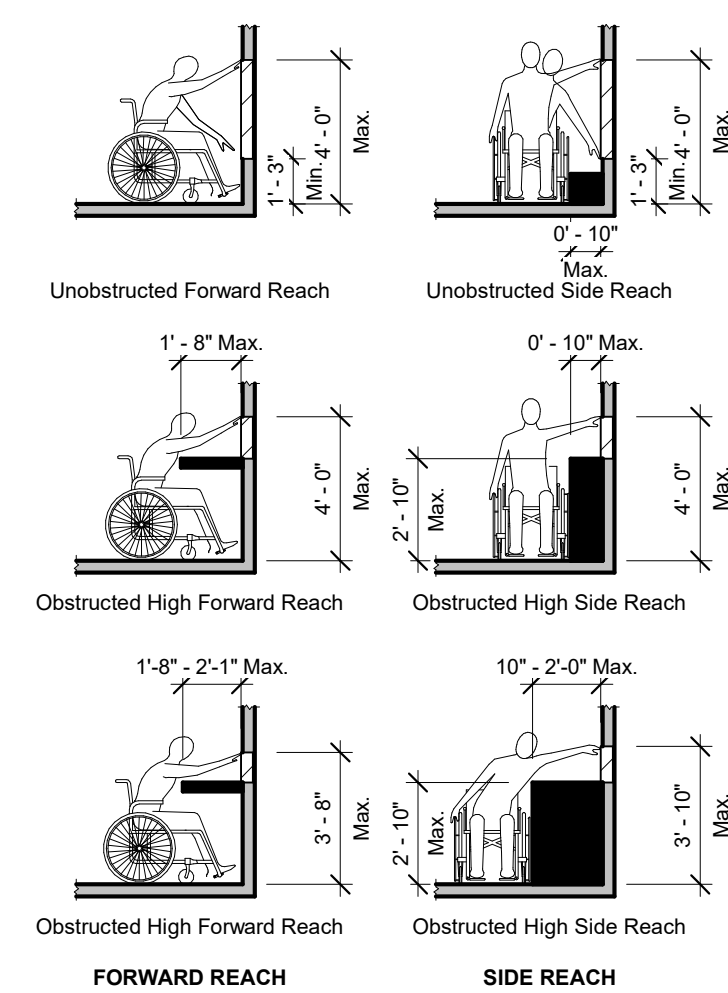
60° Turning Space T-Shaped Turning Space Clear Floor Space (305)

**1 ADA DOOR, DOORWAYS & GATES**  
3/16" = 1'-0"



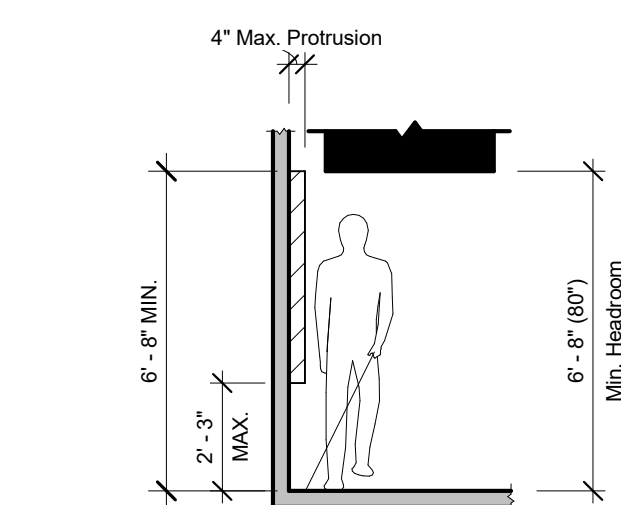
- Notes:
1. Carpet or carpet tile shall be securely attached and shall have a firm cushion, pad, or backing or no cushion or pad. Carpet or carpet tile shall have a level loop, textured loop, level cut pile or level cut/uncut pile texture.
  2. Exposed edges of carpet shall be fastened to floor surfaces and shall have trim on the entire length of the exposed edge. Carpet edge trim shall comply with fig 303.2 & 303.3.
  3. Changes in level greater than 1/2" shall comply with the ramp requirements.

**3 LEVEL CHANGES FOR ALL FLOOR AND THRESHOLD CONDITIONS**  
6" = 1'-0"



FORWARD REACH SIDE REACH

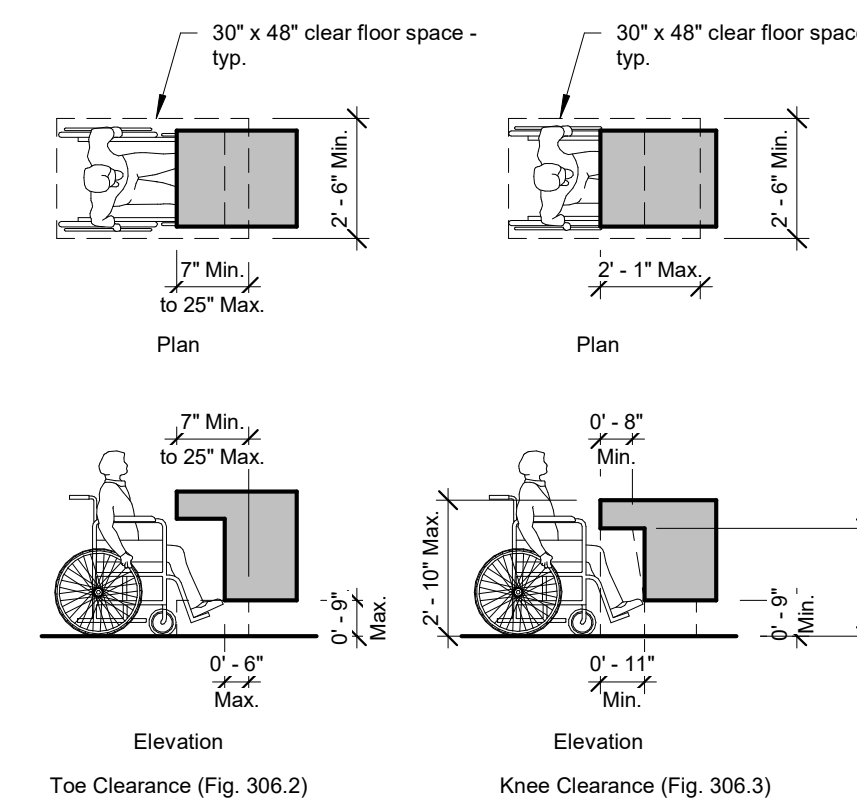
**4 FORWARD AND SIDE REACH**  
3/16" = 1'-0"



Objects with leading edges more than 2'-3" (27") and not more than 6'-8" (80 inches) above the finish floor or ground shall protrude 4 inches maximum horizontally into the circulation path.

**5 LIMITS OF PROTRUDING OBJECTS**  
1/4" = 1'-0"

**2 TURNING SPACE & CLEAR FLOOR**  
1/4" = 1'-0"



Toe Clearance (Fig. 306.2) Knee Clearance (Fig. 306.3)

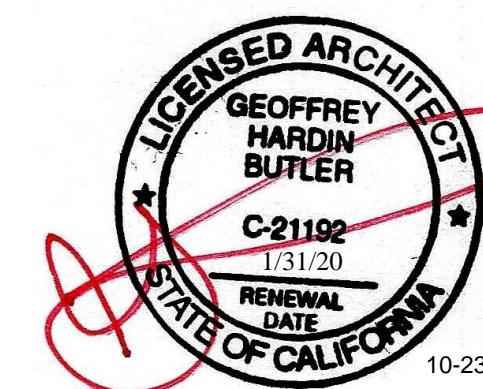
**6 KNEE & TOE CLEARANCE FOR MILLWORK**  
1/4" = 1'-0"

REVISIONS

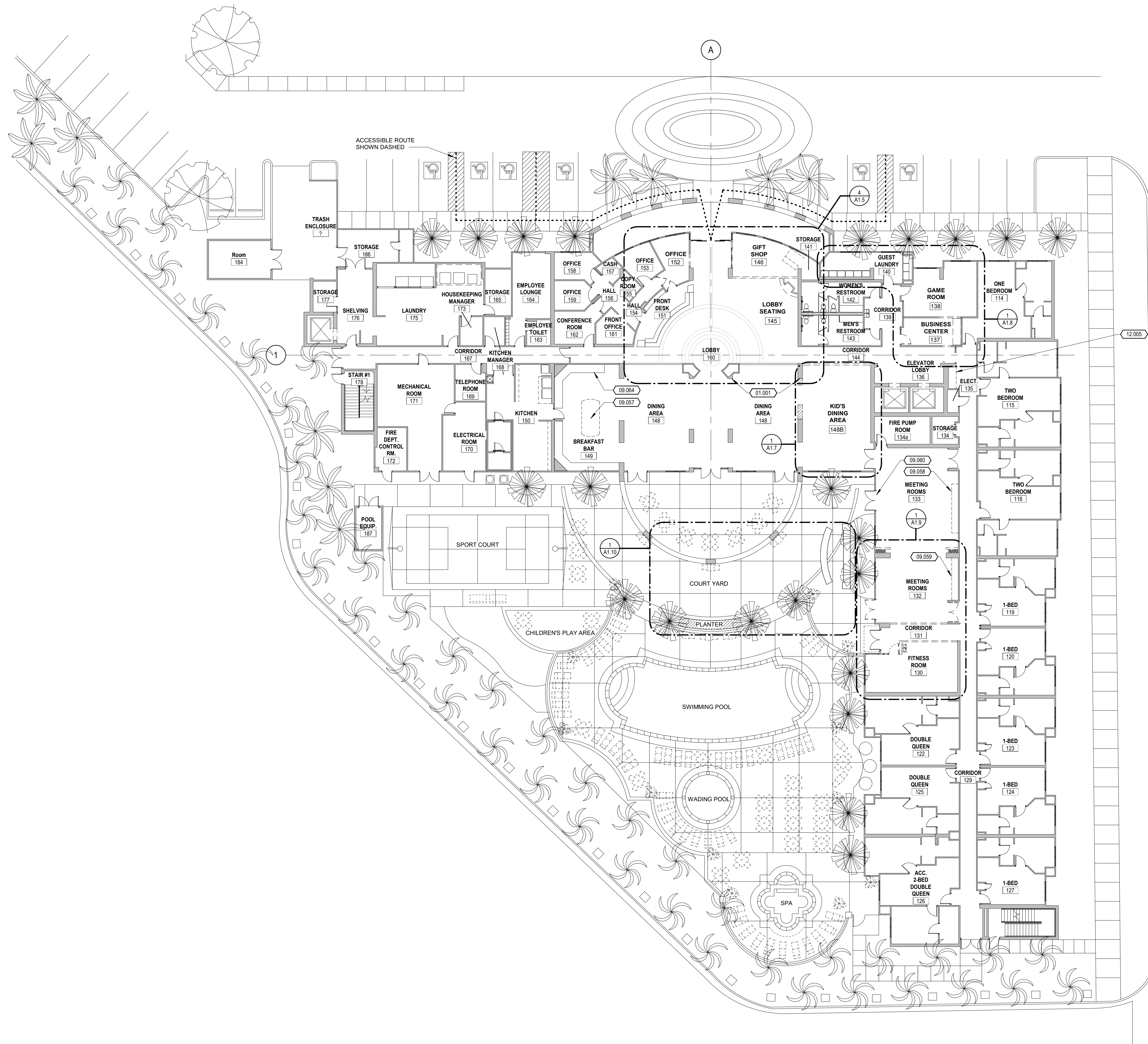
ACCESSIBILITY DIAGRAMS

RESIDENCE INN PUBLIC SPACE REMODEL  
11931 HARBOR BOULEVARD, GARDEN GROVE, CA 92840

GEOFFREY H. BUTLER, AIA  
319 N MAIN ST, SUITE 200, SPRINGFIELD, MISSOURI, 65806 T: 417-865-6100



**A0.2**



1 OVERALL DEMOLITION 1ST FLOOR PLAN  
1/16" = 1'-0"

**KEYNOTE LEGEND**

01.001	ALIGN TO FINISHED FACE.
09.057	REMOVE EXISTING BUFFET ISLAND MILLWORK AND COUNTERTOP. PATCH AND REPAIR FLOOR FOR INSTALLATION OF NEW MILLWORK PER INTERIOR DESIGNER. COORDINATE LOCATION OF ISLAND WITH INTERIOR DESIGNER.
09.058	REMOVE EXISTING GRANITE TOP AND BACKSPLASH. PATCH AND REPAIR WALLS. PROVIDE NEW COUNTERTOP PER INTERIOR DESIGNER.
09.059	REMOVE EXISTING COUNTERTOP AND MILLWORK. PATCH AND REPAIR WALLS.
09.060	REMOVE WINDOW TREATMENT ABOVE MEETING ROOM DOORS. PATCH AND REPAIR WALLS AND PREP FOR NEW FINISH. PROVIDE TINT ON GLASS DOORS AND TRANSOM PER INTERIOR DESIGNER.
09.064	REMOVE EXISTING CABINET DOORS AND SNEEZE GUARDS TO BE REPLACED WITH NEW. FINISHES PER INTERIOR DESIGNER.
12.005	REMOVE EXISTING MILLWORK. PATCH AND REPAIR EXISTING WALLS TO REMAIN AND PREP FOR NEW FINISHES PER INTERIOR DESIGNER.

**WALL TYPE LEGEND**

	EXISTING WALL
	EXISTING PARTIAL HEIGHT WALL
	DEMOLITION WALL
	NEW WALL - REFER TO WALL TYPES FOR CONSTRUCTION

**REVISIONS**

**OVERALL DEMOLITION 1ST FLOOR PLAN**

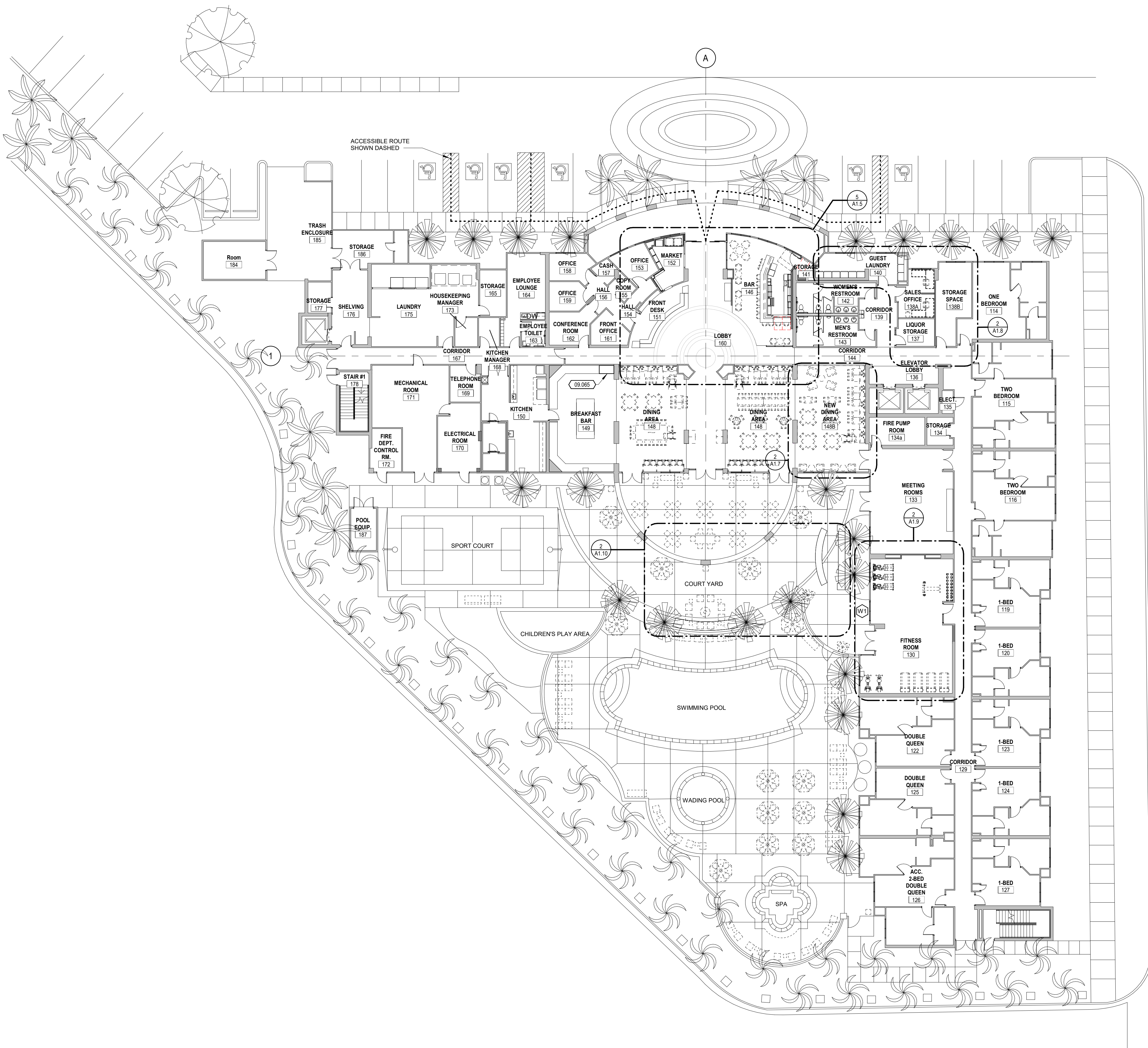
**RESIDENCE INN PUBLIC SPACE REMODEL**  
11931 HARBOR BOULEVARD, GARDEN GROVE, CA 92840

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Author	Geoffrey H. Butler	October 23, 2019	
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**A1.1**



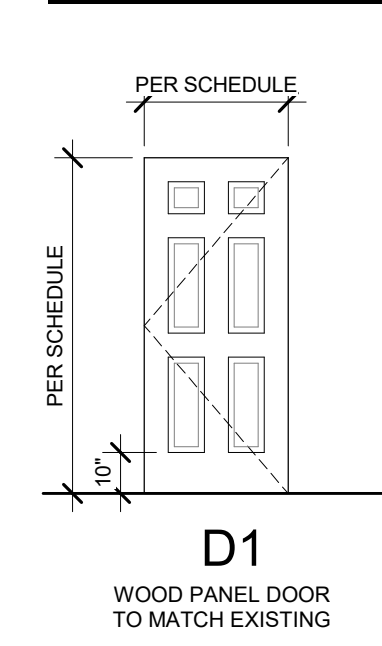
1 OVERALL NEW CONSTRUCTION 1ST FLOOR PLAN  
1/16" = 1'-0"

DOOR SCHEDULE

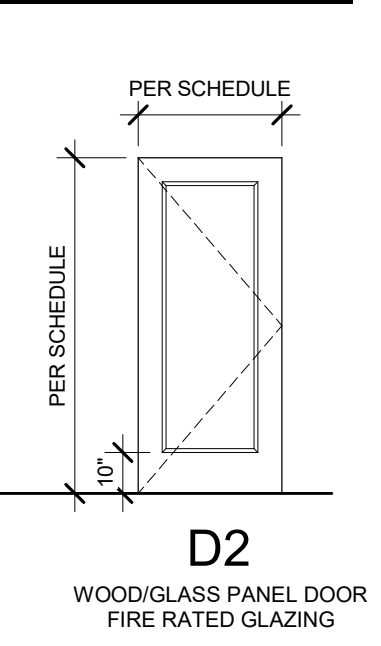
MARK	DOOR SCHEDULE								FIRE RATING	HARDWARE SET NO.	NOTES
	DOOR				FRAME						
	WD	HGT	THK	TYPE	TYPE	MATL					
131	6'-0"	6'-10"	0'-1 3/4"	EXISTING	EXISTING			20 MINUTES		1	
132C	3'-0"	6'-8"	0'-1 3/4"	D2	F2	HOLLOW METAL-PAINTED		20 MINUTES	SET 2	2	
137A	3'-0"	6'-8"	0'-1 3/8"	EXISTING	EXISTING			20 MINUTES		5	
138B	3'-0"	6'-8"	0'-1 3/8"	EXISTING	EXISTING			20 MINUTES		6	
141	3'-0"	6'-8"	0'-1 3/8"	D1	F1	HOLLOW METAL-PAINTED			SET 1	2	
150A	3'-0"	6'-8"	0'-1 3/8"	EXISTING	EXISTING			20 MINUTES		3	
152B	3'-0"	6'-8"	0'-1 3/8"	EXISTING	EXISTING			20 MINUTES		4	

- NOTES:  
 1 - EXISTING DOOR & FRAME. REMOVE SIGNAGE ON DOORS.  
 2 - NEW DOOR & FRAME TO BE PROVIDED.  
 3 - SALVAGE AND REUSE DOOR, FRAME, AND HARDWARE FOR REUSE AT 138A.  
 4 - SALVAGE AND REUSE DOOR, FRAME, AND HARDWARE FOR REUSE AT 138B.  
 5 - REUSE DOOR, FRAME, AND HARDWARE FROM 152A.  
 6 - REUSE DOOR, FRAME, AND HARDWARE FROM 152B.

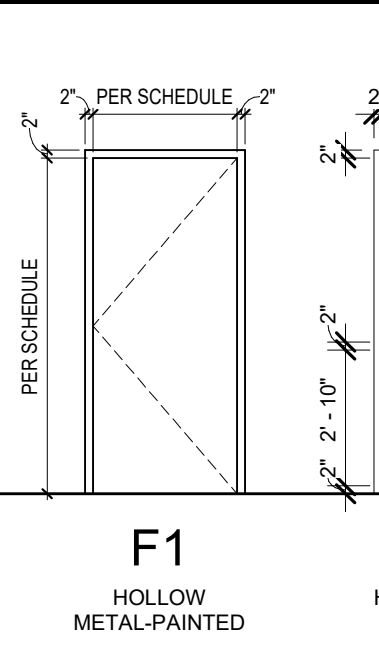
DOOR TYPES



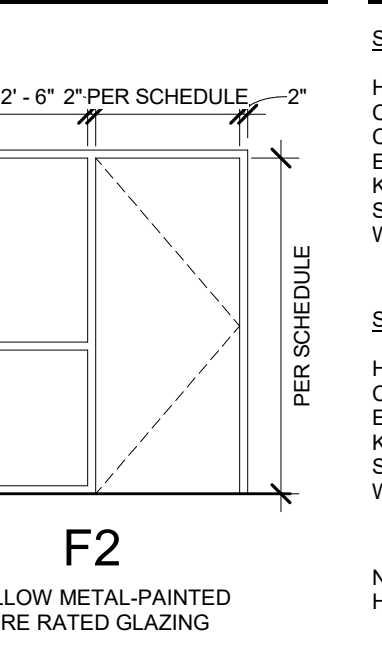
FRAME TYPES



FRAME TYPES



FRAME TYPES



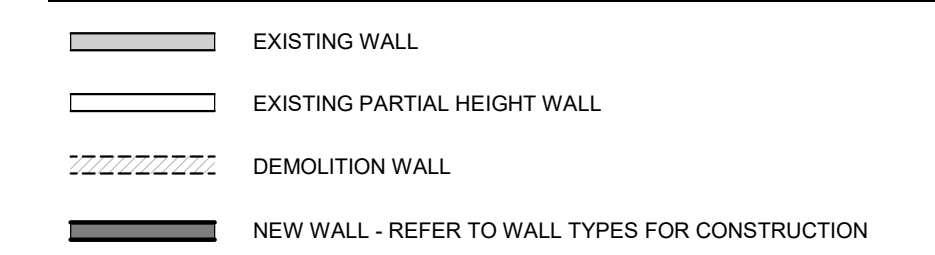
HARDWARE SETS

- SET 1  
 HINGES  
 CLOSER WITH ARM STOP EQUIVALENT TO LCN 4041  
 CUSH (MOUNTED ON STORAGE ROOM SIDE OF DOOR)  
 ELECTRONIC LOCK SET  
 KICKPLATE  
 SILENCERS  
 WALL STOP
- SET 2  
 HINGES  
 CLOSER  
 ELECTRONIC LOCK SET  
 KICKPLATE  
 SMOKE SEALS  
 WALL STOP
- NOTE: ALL HARDWARE TO MATCH EXISTING HARDWARE (EXCEPT AS NOTED)

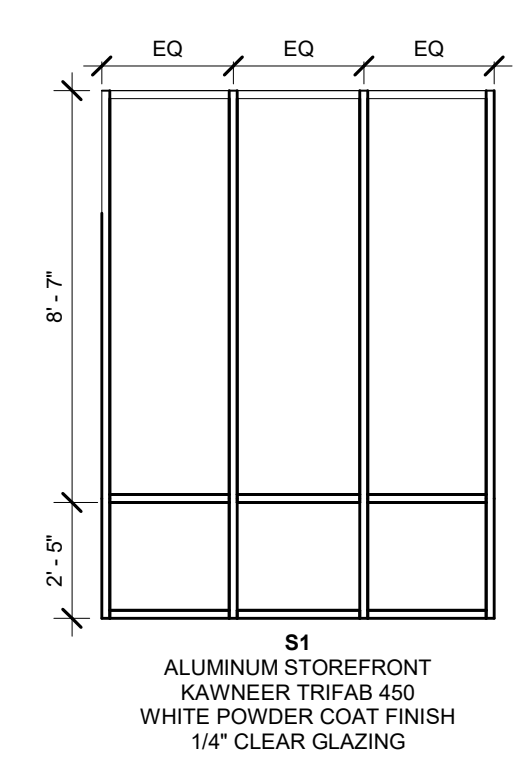
WALL TYPES

- 2'-1 1/2"  
 4'-1 1/4"  
 4'-7/8"  
 5'-3/8"  
 6'-5/8"  
 9'-7/8"
- PARTITION TYPE 11aA  
 (1) LAYER OF 5/8" GYPSUM BOARD ON ROOM SIDE ONLY OVER 1-5/8" METAL STUDS AT 16" O.C.  
 \* TIGHT TO UNDERSIDE OF STRUCTURE/ROOF DECK ABOVE.
- PARTITION TYPE 31aA  
 (1) LAYER OF 5/8" GYPSUM BOARD ON ROOM SIDE ONLY OVER 3-5/8" METAL STUDS AT 16" O.C.  
 \* TIGHT TO UNDERSIDE OF STRUCTURE/ROOF DECK ABOVE.
- PARTITION TYPE 32aA  
 (1) LAYER OF 5/8" GYPSUM BOARD EACH SIDE OVER 3 5/8" METAL STUDS AT 16" O.C.  
 \* TIGHT TO UNDERSIDE OF STRUCTURE/ROOF DECK ABOVE.
- PARTITION TYPE 32aB 1-HR RATED PER U.L. #4451  
 (1) LAYER OF 5/8" GYPSUM BOARD EACH SIDE OF WALL WITH RESILIENT CHANNEL ON ONE SIDE OVER 3 5/8" METAL STUDS AT 16" O.C. TIGHT TO UNDERSIDE OF STRUCTURE/ROOF DECK ABOVE.  
 \* FILL STUD CAVITY WITH FIBERGLASS INSULATION  
 \* PROVIDE ADDITIONAL LAYER OF 5/8" FIRE RATED GYPSUM BOARD ON THE SINGLE LAYER GYPSUM BOARD SIDE AT LIQUOR STORAGE 137 DOOR LOCATION TO MATCH EXISTING.
- PARTITION TYPE 61aA  
 (1) LAYER OF 5/8" GYPSUM BOARD ON ROOM SIDE ONLY OVER 6" GA. METAL STUDS AT 16" O.C. UP TO 6" ABOVE HIGHEST ADJACENT CEILING.  
 \* ALLOW 1/2" GAP BETWEEN CONCRETE AND STUDS.  
 \* PROVIDE 18 GA TRACK AT BASE AND TOP OF WALL WITH (1) #10 TEK EA FLANGE FROM TRACK TO STUDS. ATTACH TRACK TO SLAB WITH (2) 0.140" MIN DIA x 1/2" EMBED PAF'S AT 24" MAX O.C.  
 \* ANCHOR STUD WALL TO CONCRETE SHEARWALL THROUGH BACK STUD FLANGE WITH #10 TEK SCREWS AT 24" O.C. FROM TOP TO BOTTOM OF STUDS. PROVIDE SIMPSON SSC4.25 CLIPS FROM EA STUD TO WALL AT 36" ABOVE FLOOR, AT 48" ABOVE FLOOR, AND AT 36" MAX O.C. ABOVE. ATTACH CLIPS TO STUDS WITH (3) #10 TEK 1 MIN AND TO WALL WITH (2) 3/16" x 1/2" EMBED TAPCONS (ENLARGE HOLES IN CLIP IF REQUIRED FOR SCREWS).
- PARTITION TYPE 72aA 1-HR RATED PER U.L. #4420  
 (2) LAYER OF 5/8" GYPSUM BOARD ON ROOM SIDE OVER 3 5/8" METAL STUDS AT 16" O.C. FOLLOWED BY AIR GAP AND 3 5/8" METAL STUDS AT 16" O.C. WITH (2) LAYER OF 5/8" GYPSUM BOARD ON ROOM SIDE.  
 \* TIGHT TO UNDERSIDE OF STRUCTURE/ROOF DECK ABOVE.

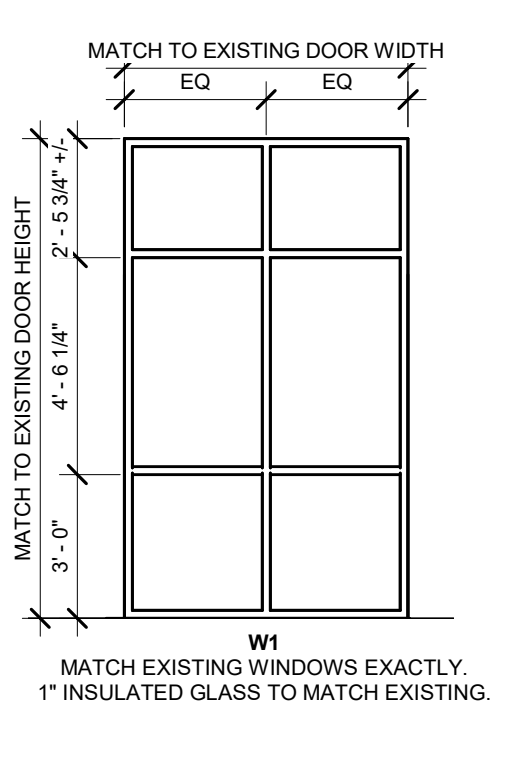
WALL TYPE LEGEND



STOREFRONT TYPES



WINDOW TYPES



KEYNOTE LEGEND

09.065 NEW CABINET AND COUNTERTOP PER INTERIOR DESIGNER.

REVISIONS

OVERALL NEW CONSTRUCTION 1ST FLOOR PLAN

RESIDENCE INN PUBLIC SPACE REMODEL  
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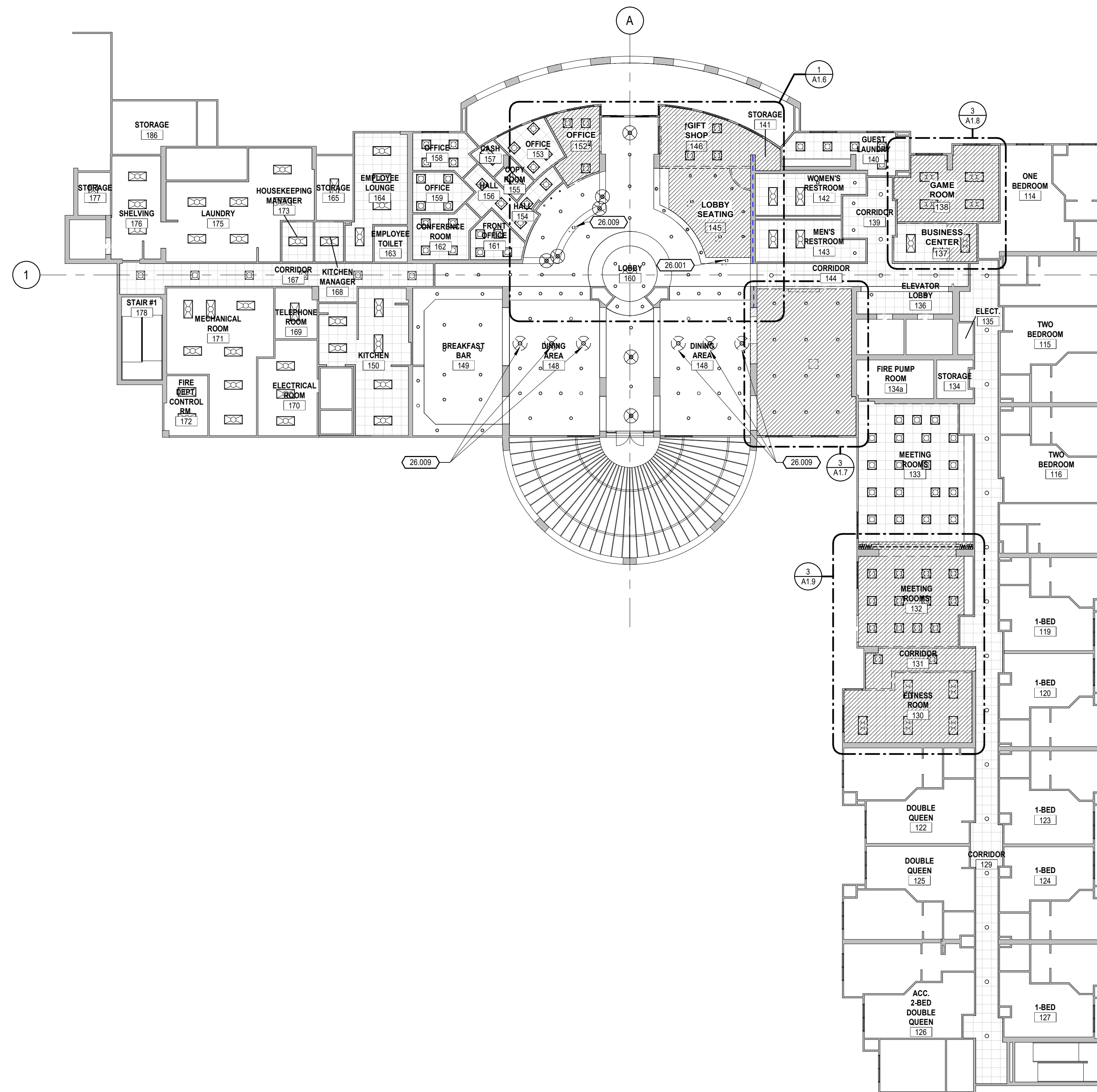
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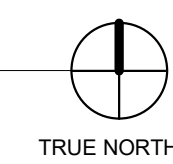
**LICENSED ARCHITECT**  
**GEOFFREY HARDIN BUTLER**  
**C-21192**  
 1/31/20  
**RENEWAL DATE**  
 10-23-2019

**A1.2**

GEOFFREY HARDIN BUTLER  
 LIC. NO. C-21192



1 OVERALL DEMOLITION 1ST FLOOR RCP  
1/16" = 1'-0"



**KEYNOTE LEGEND**

26.001	EXISTING LIGHT FIXTURE TO BE REMOVED PER MEP.
26.009	EXISTING LIGHTING TO BE REMOVED AND REPLACED BY NEW FIXTURE PER MEP DRAWINGS.

**CEILING TYPE**

	EXISTING GYPSUM BOARD/FRAMED CEILING
	NEW GYPSUM BOARD/FRAMED CEILING
	EXISTING ACOUSTICAL LAY-IN CEILING
	NEW ACOUSTICAL LAY-IN CEILING
	DEMOLISH EXISTING CEILING AS REQUIRED. PATCH AND REPAIR AS NEEDED.

**REVISIONS**

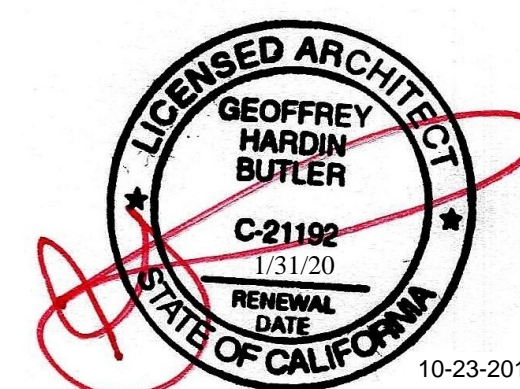
**OVERALL DEMOLITION 1ST FLOOR REFLECTED CEILING PLAN**

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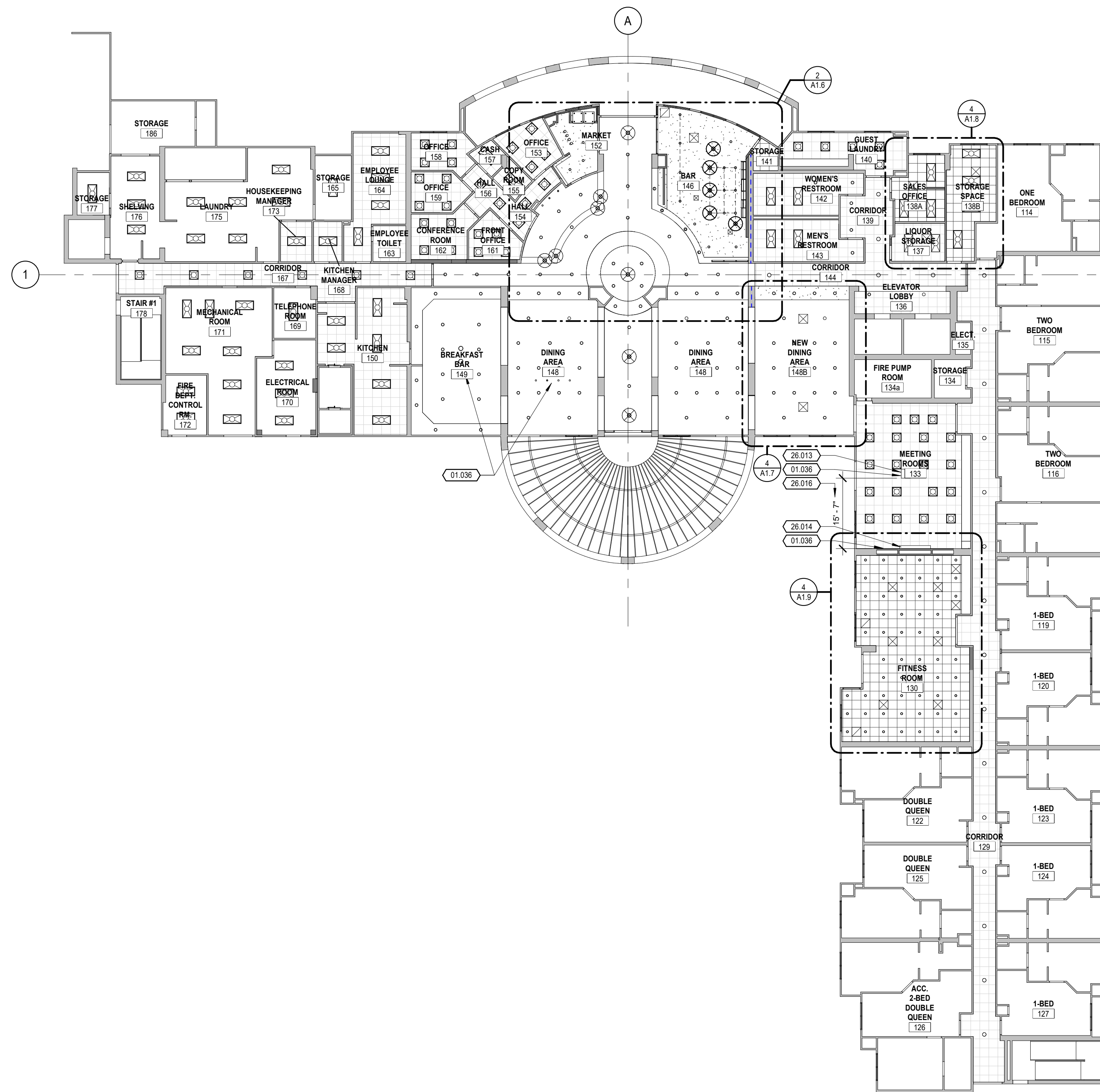
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10-23-2019

**A1.3**

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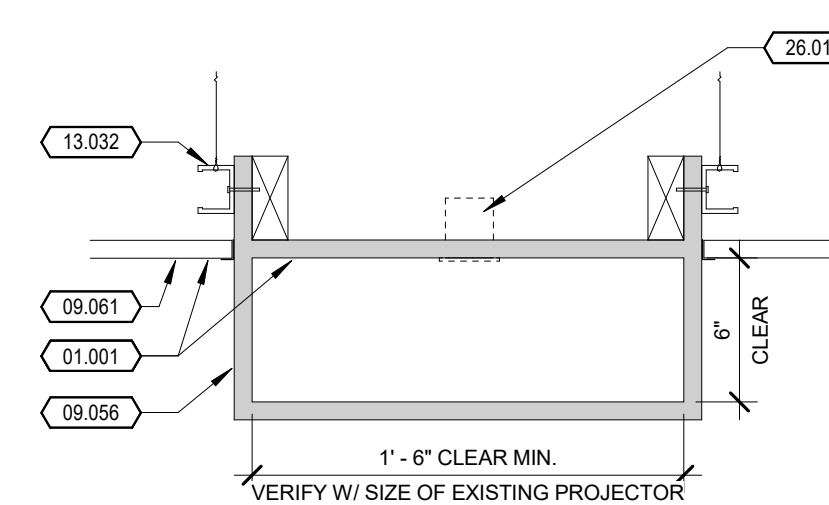
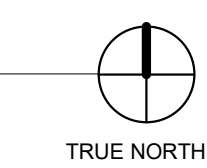


**KEYNOTE LEGEND**

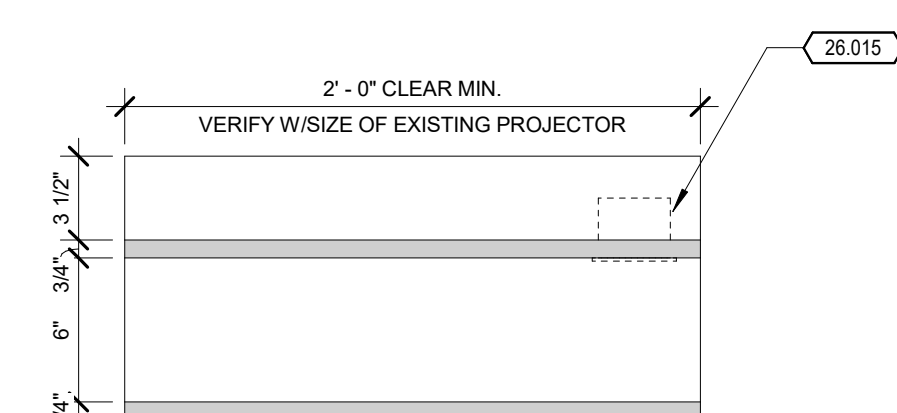
01.001	ALIGN TO FINISHED FACE.
01.036	PATCH AND REPAIR EXISTING CEILING DUE TO NEW CONSTRUCTION, MATCHING EXISTING CONSTRUCTION.
09.056	WHITE LAMINATE CLAD 3/4" THICK MDF PROJECTOR SHELF.
09.061	2X2 ACOUSTICAL TILE CEILING TO MATCH EXISTING WITH HEAVY DUTY T-BAR GRID SYSTEM EQUAL TO CHICAGO METALLIC 1200 HD GRID SYSTEM (8"X8" OR 15"X15" TO MATCH EXISTING). PROVIDE SEISMIC CEILING CONNECTIONS PER ACT SEISMIC CEILING DETAILS 3A1.4 ALSO INCLUDE COMPRESSION STRUTS ADEQUATE TO RESIST VERTICAL LOAD INDUCED BY THE GRAYED BRACING WIRES. STRUTS SHALL BE (1) 3/8" 25 GA METAL STUD FOR CEILING DROPS OF 8'-0" OR LESS. PROVIDE 1 STRUT AT EVERY MAIN RUNNER AT THE MIDPOINT, BUT NOT MORE THAN 12'-0" O.C., AND NOT MORE THAN 6'-0" FROM A PERIMETER.
13.032	UNI-STRUT SYSTEM AS REQUIRED TO ANCHOR MILLWORK SHELF TO STRUCTURE ABOVE.
26.013	INSTALL SALVAGED PROJECTOR WITH NEW SHELF SAME DISTANCE FROM WALL AND PROJECTOR AS FIELD VERIFIED. REFER TO 2A1.4 FOR NEW SHELF.
26.014	INSTALL SALVAGED RECESSED PROJECTOR SCREEN CENTERED ON WALL.
26.015	ELECTRICAL OUTLET FOR PROJECTOR INSTALLED IN TOP OF MILLWORK SHELF.
26.016	MATCH FIELD VERIFIED DIMENSION BETWEEN EXISTING SCREEN AND PROJECTOR.

**1 OVERALL NEW CONSTRUCTION 1ST FLOOR RCP**

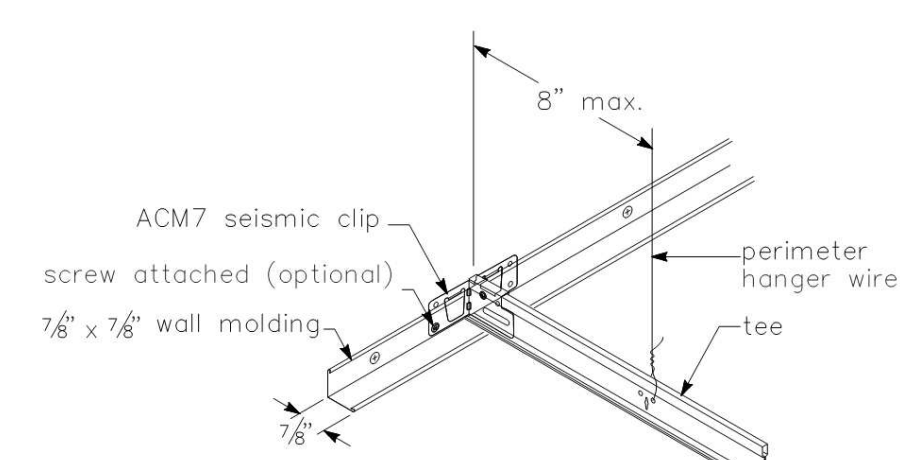
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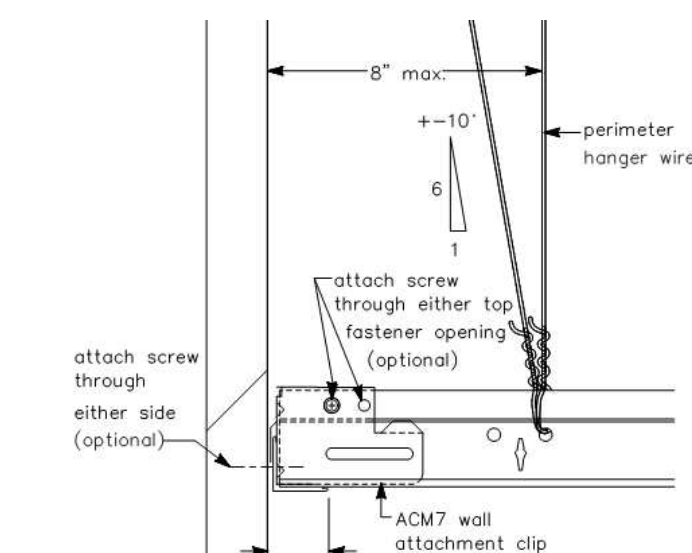
FRONT ELEVATION / SECTION



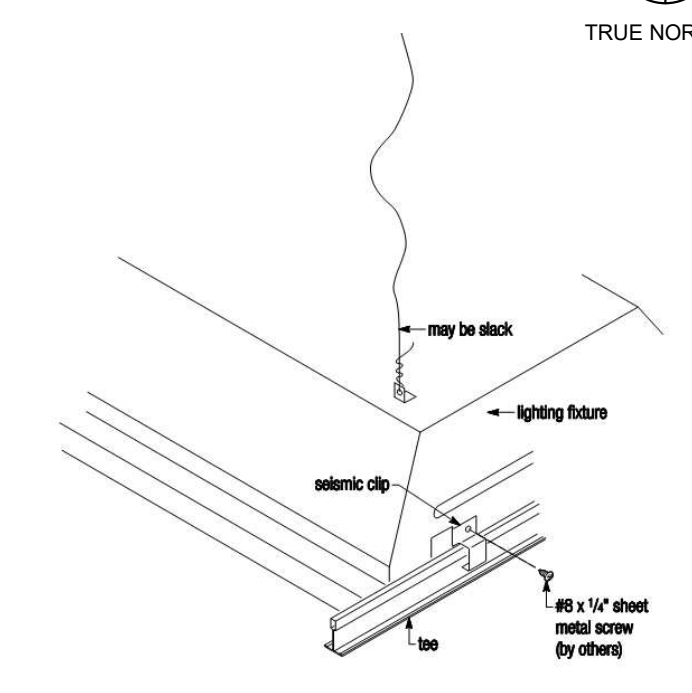
SIDE SECTION



Seismic-CAT D-F-Perimeter Treatment-ACM7 Clip



Seismic-CAT D-F-Perimeter Treatment - Seismic Clip



Seismic-CAT D-F-T-BAR-CEILING

**2 PROJECTOR SHELF DETAILS** - ALL DIMENSIONS TO BE FIELD VERIFIED WITH SIZE OF EXISTING PROJECTOR

1 1/2" = 1'-0"

**3 ACT CEILING SEISMIC DETAILS**

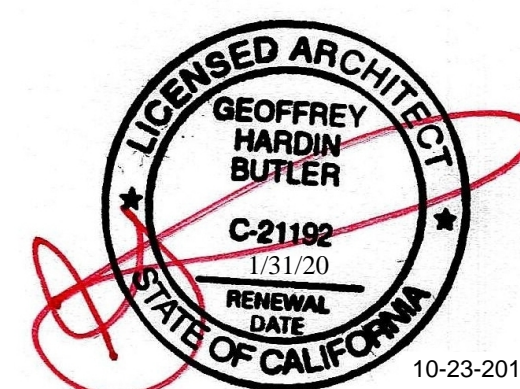
1 1/2" = 1'-0"

**REVISIONS**

**OVERALL NEW CONSTRUCTION 1ST FLOOR REFLECTED CEILING PLAN**

**RESIDENCE INN PUBLIC SPACE REMODEL**  
11931 HARBOR BOULEVARD, GARDEN GROVE, CA 92840

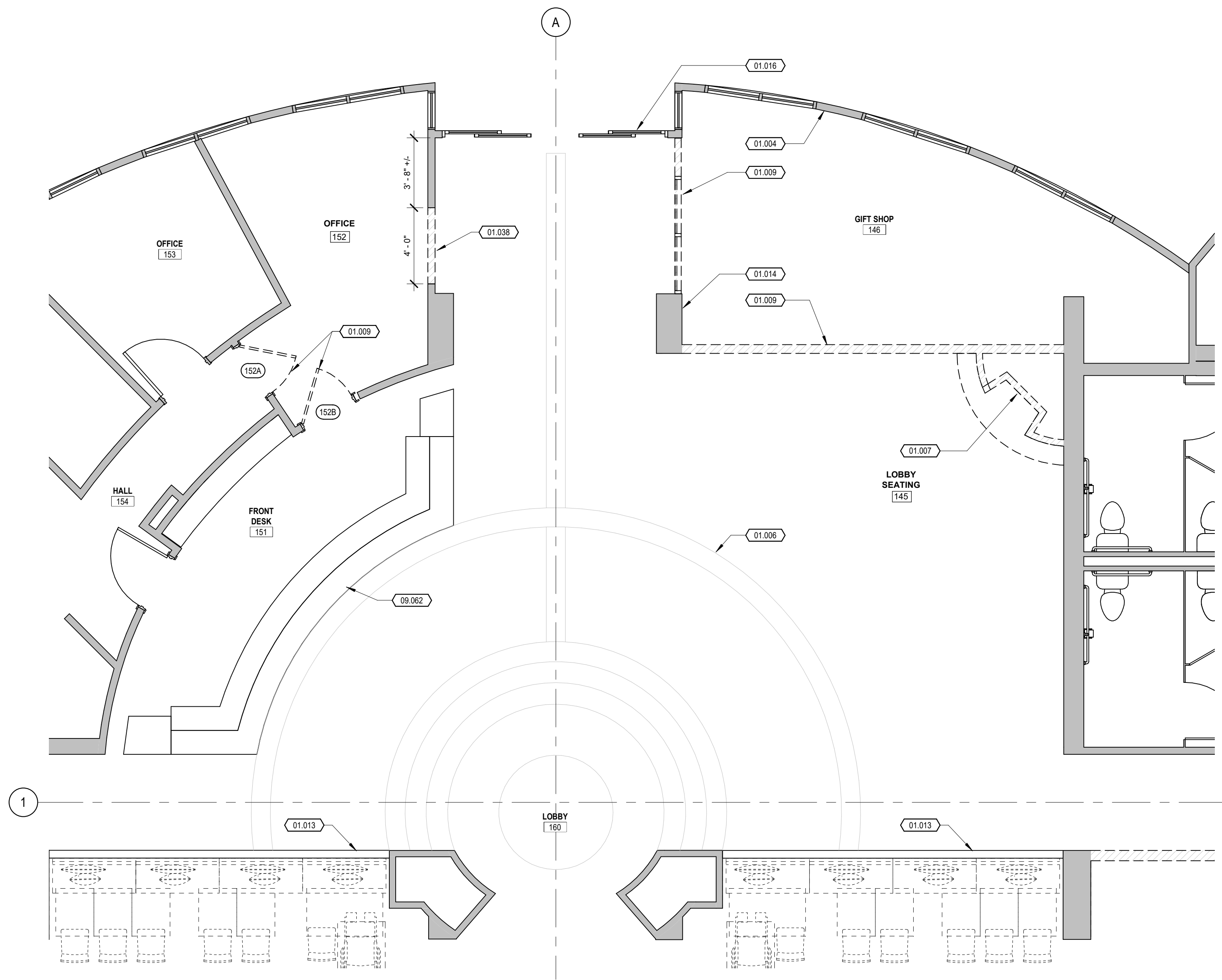
**GEOFFREY H. BUTLER, AIA**  
319 N MAIN ST. SUITE 200, SPRINGFIELD, MISSOURI, 65806 T: 417-865-6100



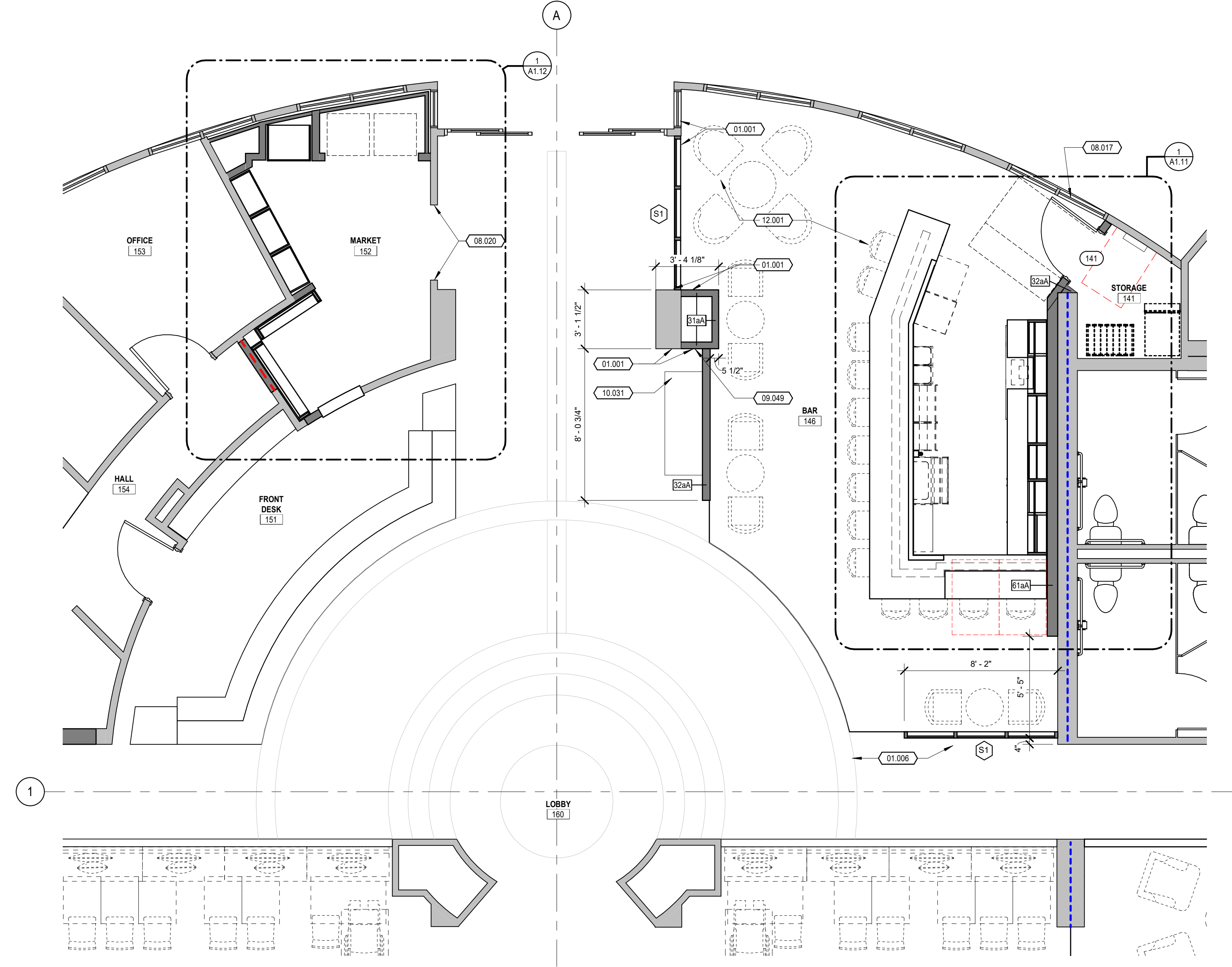
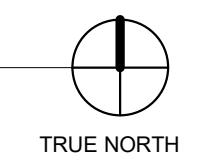
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CHECKED BY: Project  
PROJECT: 17009.RRGC  
Checked by: 17009.RRGC

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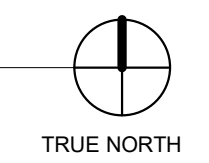
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LIC. NO. C-21192



**4 BAR/GIFT SHOP - ENLARGED DEMOLITION PLAN**  
1/4" = 1'-0"



**5 BAR/GIFT SHOP - ENLARGED NEW CONSTRUCTION PLAN**  
1/4" = 1'-0"



**KEYNOTE LEGEND**

- 01.001 ALIGN TO FINISHED FACE.
- 01.004 EXISTING BUILDING EXTERIOR WALL CONSTRUCTION.
- 01.006 EXISTING FLOOR FINISH PATTERN TO REMAIN.
- 01.007 REMOVE EXISTING FIREPLACE, FIREPLACE HEARTH, AND ASSOCIATED VENTS AND CONTROLS.
- 01.009 REMOVE EXISTING WALLS, DOORS, FRAMES, ETC. SHOWN DASHED, PATCH AND REPAIR FOR NEW CONSTRUCTION. REUSE AS NOTED ON DOOR SCHEDULE.
- 01.013 EXISTING PARTIAL HEIGHT WALL TO REMAIN. REMOVE EXISTING WALL CAP AND REPLACE PER INTERIOR DESIGNER.
- 01.014 EXISTING COLUMN WRAPS TO REMAIN.
- 01.016 EXISTING AUTOMATIC ENTRANCE DOORS TO REMAIN. DO NOT BLOCK ANY EXITS DURING CONSTRUCTION.
- 01.038 REMOVE EXISTING WALL AND PROVIDE NEW METAL STUD BOX BEAM HEADER FOR NEW CASED OPENING TO BE 6'-0" IN HEIGHT.
- 08.017 GLAZING ADJACENT DOOR SWING TO BE TEMPERED GLASS. REPLACE GLASS LITES AS REQUIRED. MATCH EXISTING GLAZING TINT, REFLECTANCE, AND COLOR.
- 08.020 NEW GYP BOARD CASED OPENING.
- 09.049 FINISH TO MATCH EXISTING.
- 09.062 RE-LAMINATE THE MILLWORK AND REPLACE STONE TOPS PER INTERIOR DESIGNER.
- 10.031 REFER TO INTERIOR DESIGNER DRAWINGS FOR MILLWORK.
- 12.001 FURNITURE PER INTERIOR DESIGN DRAWINGS.

**WALL TYPE LEGEND**

- EXISTING WALL
- EXISTING PARTIAL HEIGHT WALL
- DEMOLITION WALL
- NEW WALL - REFER TO WALL TYPES FOR CONSTRUCTION

**REVISIONS**

**ENLARGED BAR/GIFT SHOP FLOOR PLANS**

**RESIDENCE INN PUBLIC SPACE REMODEL**  
11931 HARBOR BOULEVARD, GARDEN GROVE, CA 92840

**GEOFFREY H. BUTLER, AIA**  
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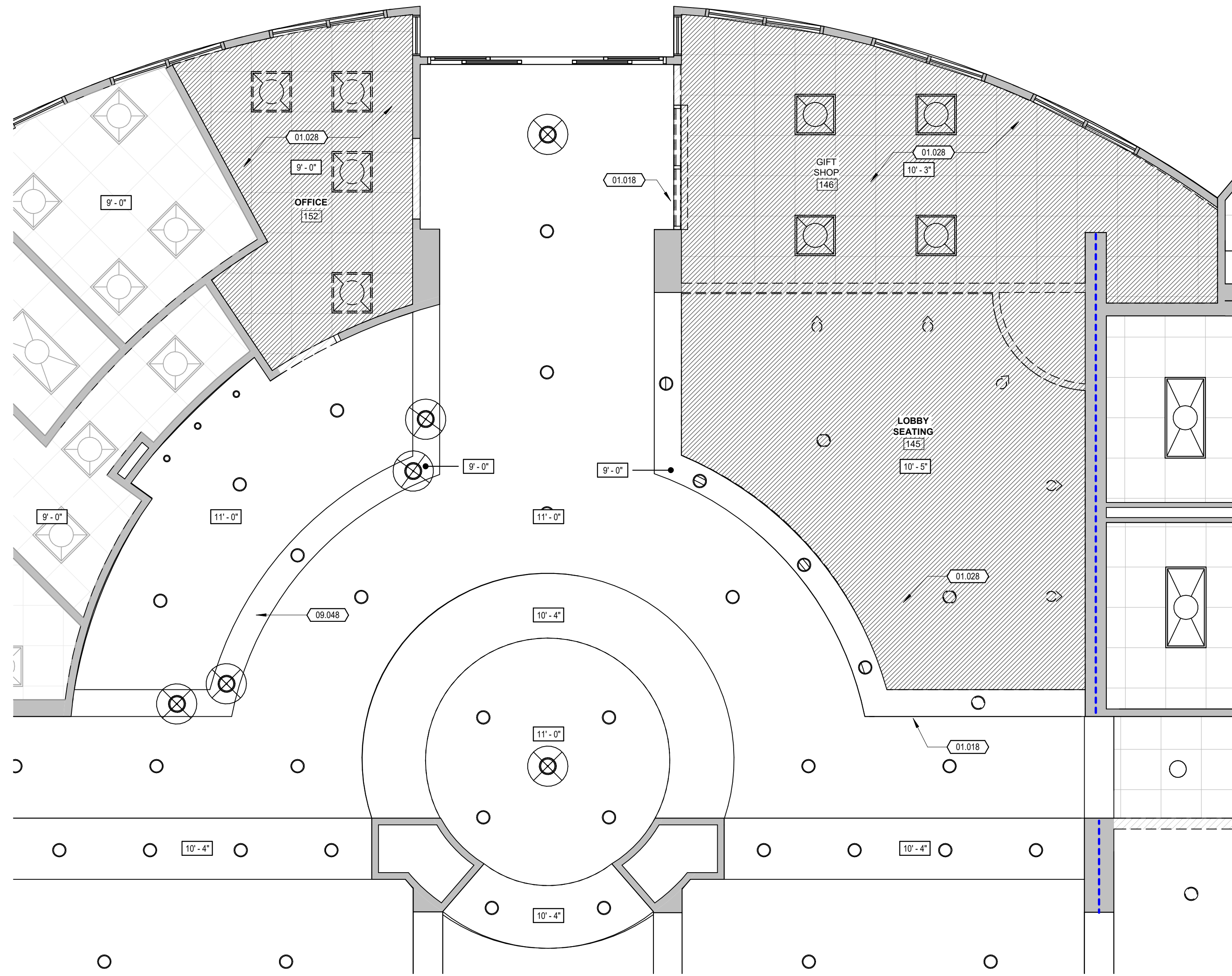
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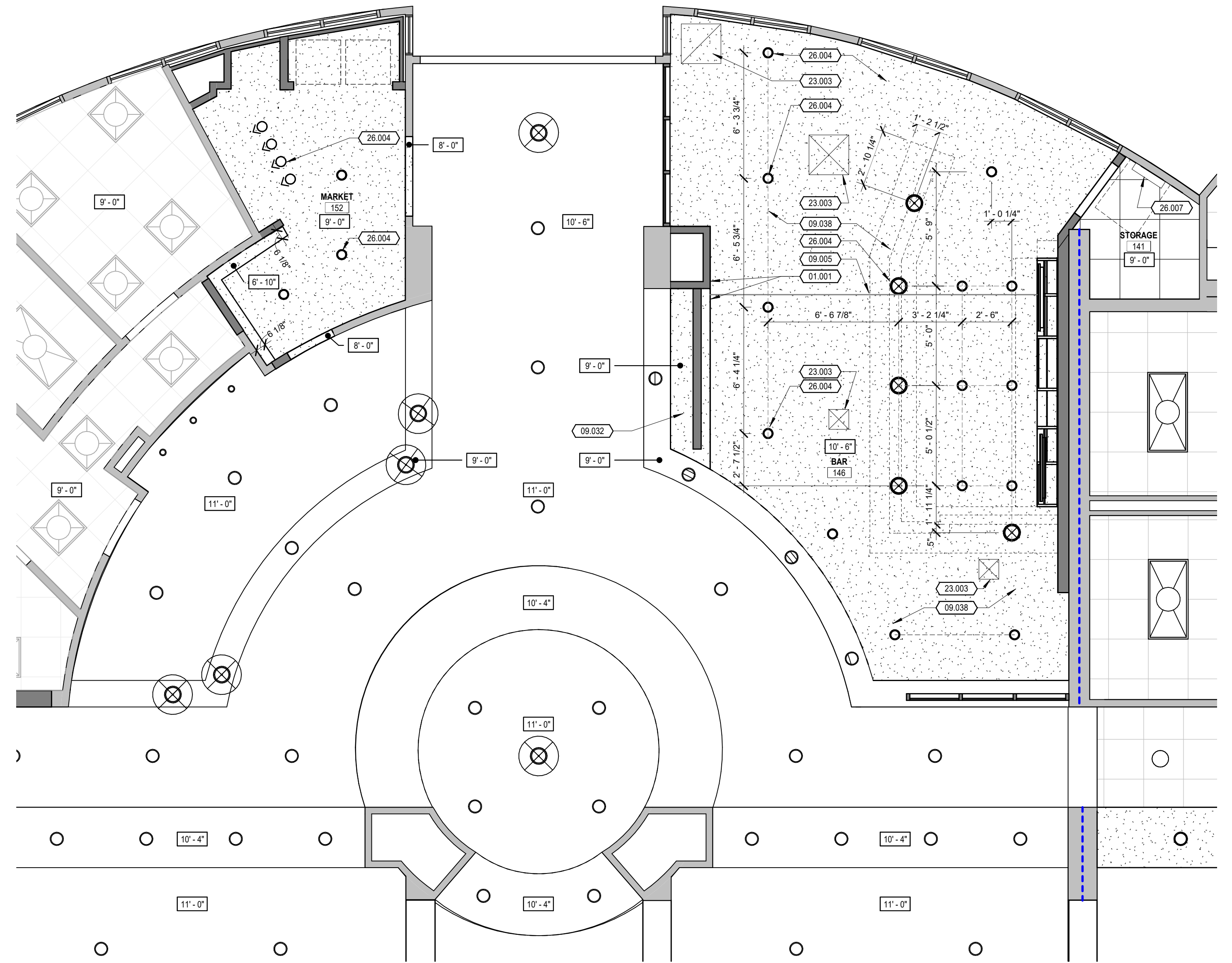
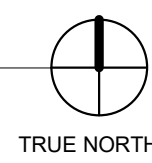
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GEOFFREY HARDIN BUTLER  
LIC. NO. C-21192





1 BAR/GIFT SHOP - ENLARGED DEMOLITION RCP  
1/4" = 1'-0"



2 BAR/MARKET - ENLARGED NEW CONSTRUCTION RCP  
1/4" = 1'-0"



KEYNOTE LEGEND

- 01.001 ALIGN TO FINISHED FACE.
- 01.018 INSTALL NEW 5/8" TYPE X GYPSUM BOARD OVER 3/8" STUD FRAMING FOR NEW SOFFIT TO MATCH EXISTING.
- 01.028 REMOVE EXISTING CEILING. SALVAGE LIGHTING FOR POSSIBLE REUSE.
- 09.005 PROVIDE GYPSUM BOARD CONTROL JOINT AS SHOWN. TYPICAL.
- 09.032 5/8" GYPSUM BOARD SOFFIT OVER 3/8" METAL STUD FRAMING AT 16" O.C. TO MATCH EXISTING SOFFIT.
- 09.038 5/8" GYPSUM BOARD CEILING OVER 3/8" METAL STUD FRAMING AT 24" O.C. SUSPENDED FROM STRUCTURE ABOVE.
- 09.048 EXISTING OVERHEAD CAGEWORK AT RECEPTION DESK.
- 23.003 NEW GRILLE PER MEP DRAWINGS. PAINT TO MATCH ADJACENT CEILINGS.
- 26.004 LIGHT FIXTURE PER MEP.
- 26.007 ELECTRICAL PANEL PER MEP DRAWINGS.

CEILING GRAPHICS LEGEND

- EXISTING GYPSUM BOARD/FRAMED CEILING
- NEW GYPSUM BOARD/FRAMED CEILING
- EXISTING ACOUSTICAL LAY-IN CEILING
- NEW ACOUSTICAL LAY-IN CEILING
- DEMOLISH EXISTING CEILING AS REQUIRED. PATCH AND REPAIR AS NEEDED.

REVISIONS

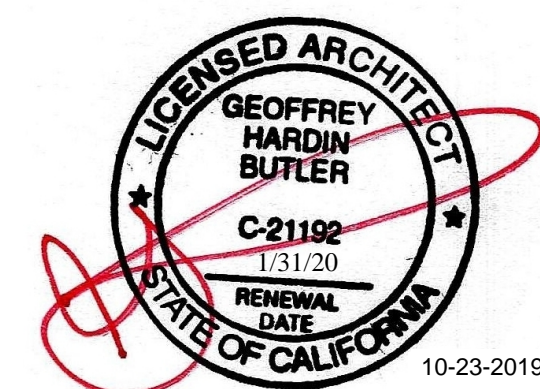
ENLARGED BAR/GIFT SHOP REFLECTED CEILING PLANS

RESIDENCE INN PUBLIC SPACE REMODEL  
11931 HARBOR BOULEVARD, GARDEN GROVE, CA 92840

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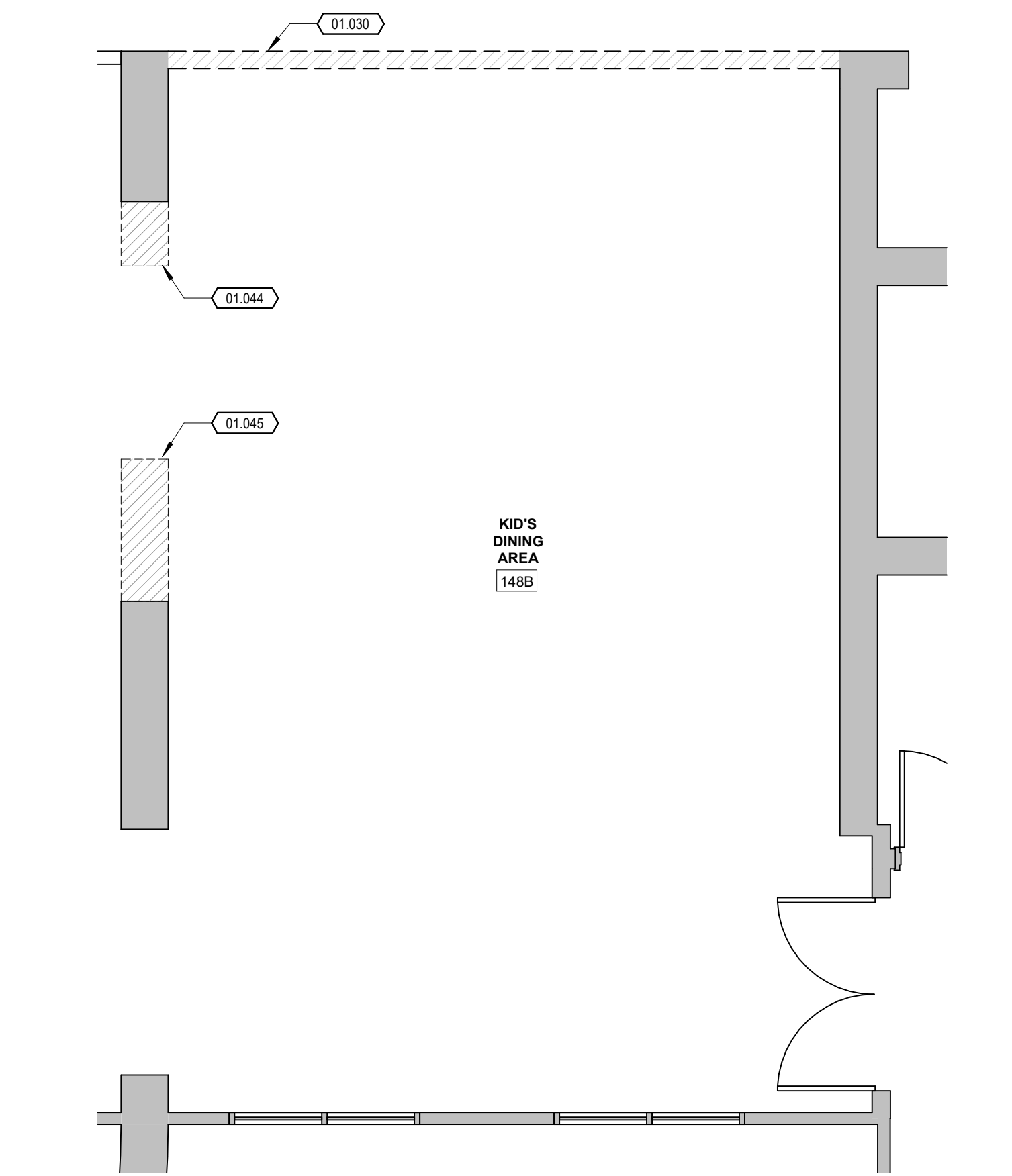
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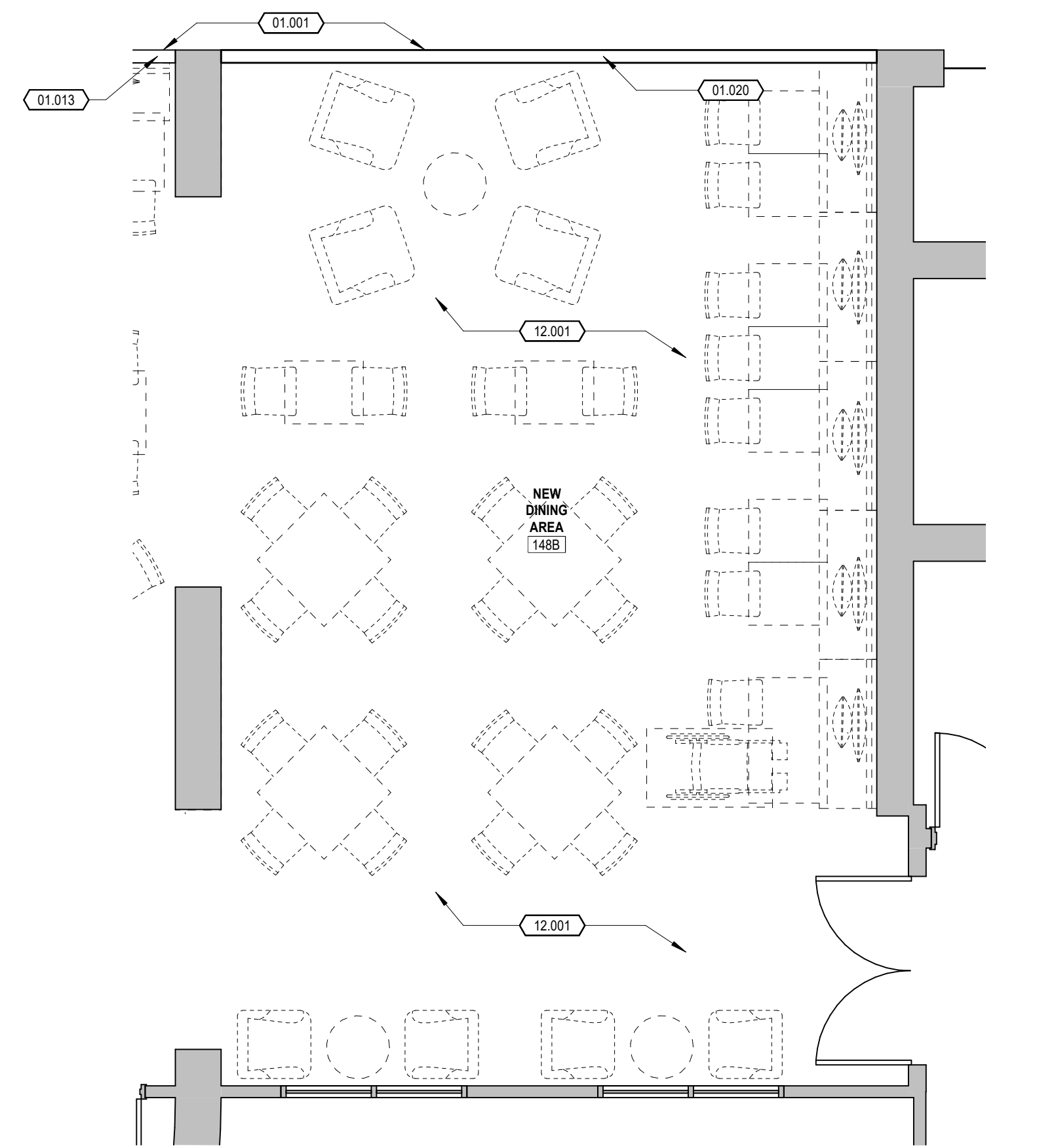
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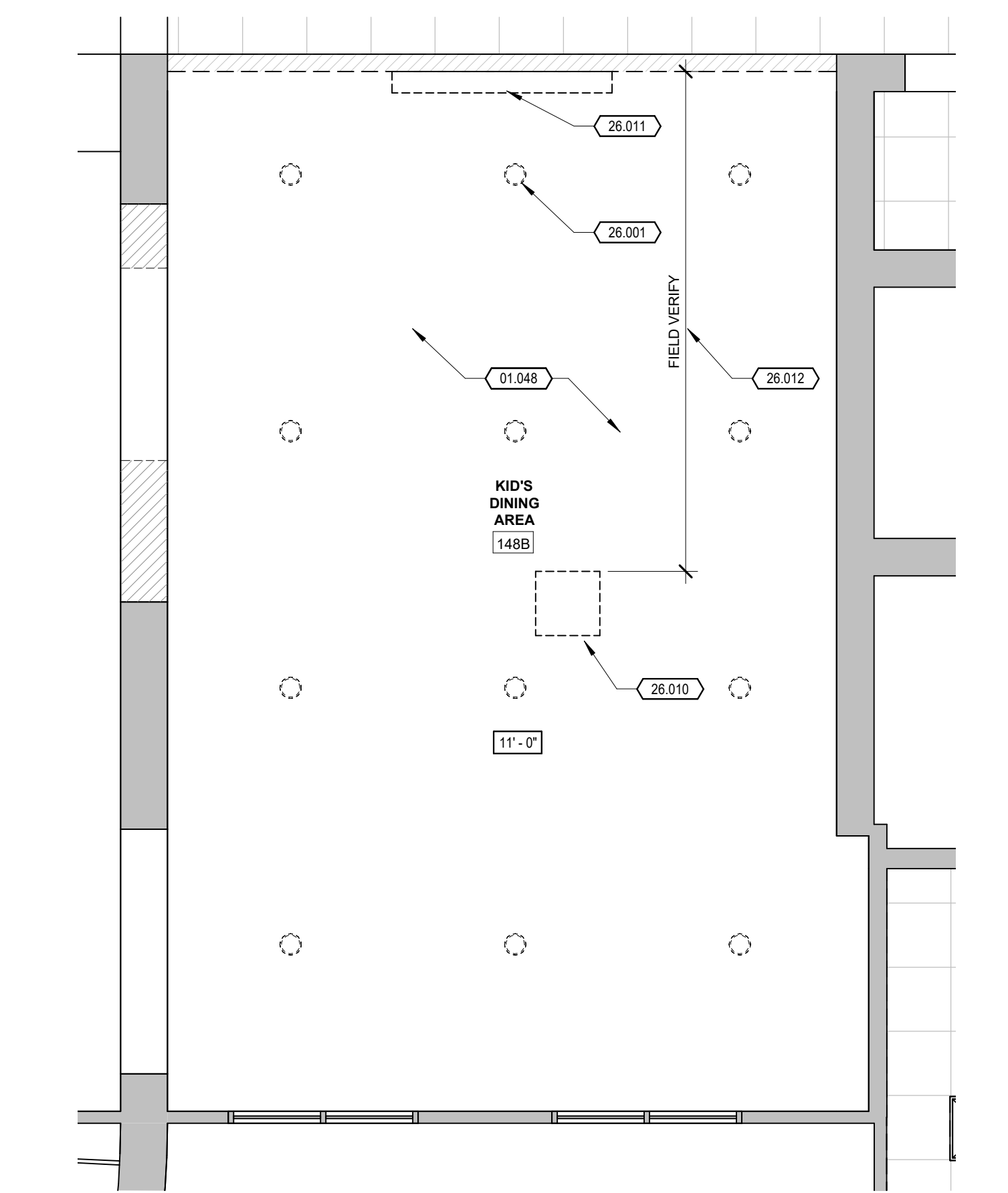
GEOFFREY HARDIN BUTLER  
LIC. NO. C-21192



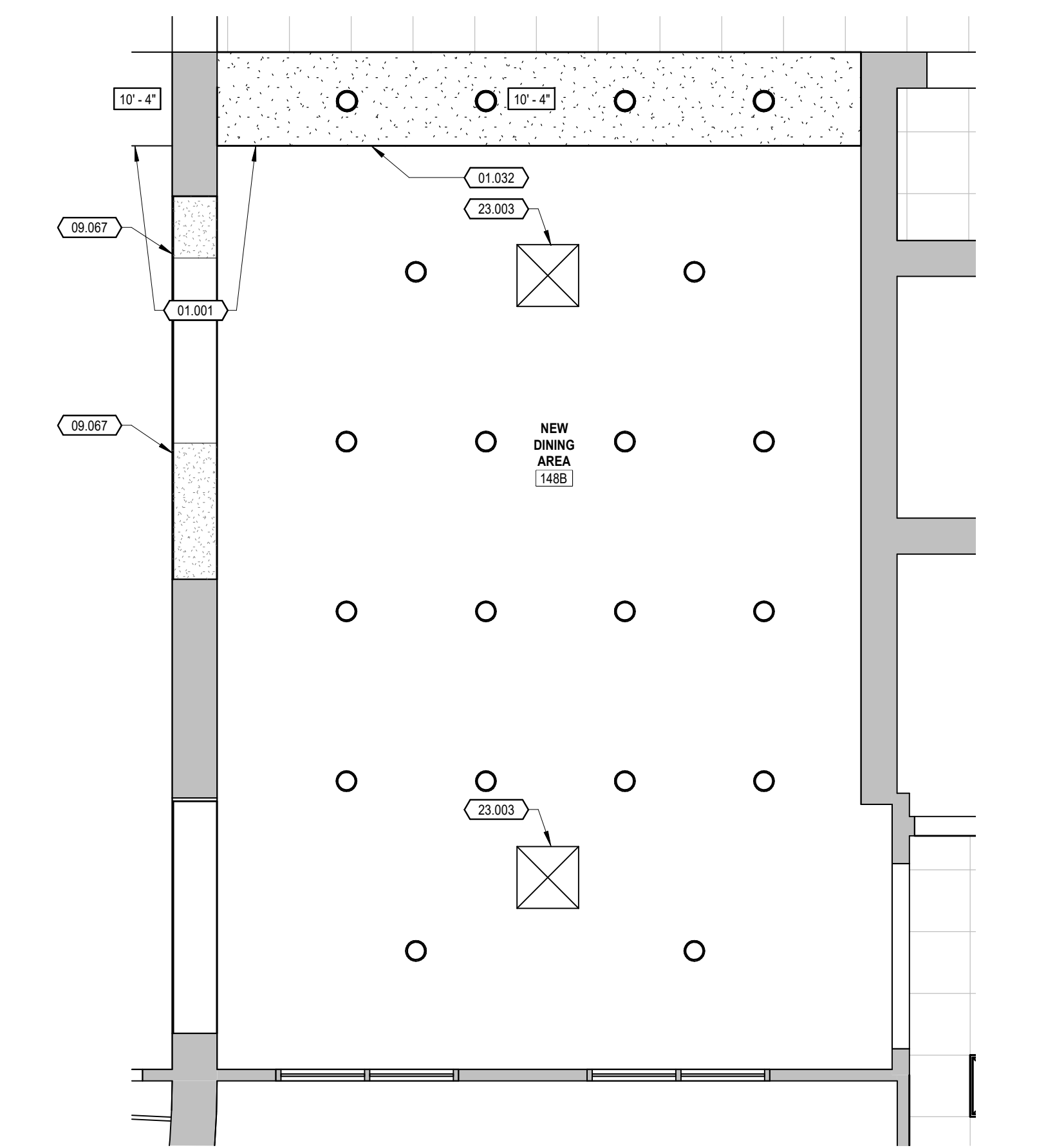
1 DINING AREA - ENLARGED DEMOLITION PLAN  
1/4" = 1'-0"



2 DINING AREA - ENLARGED NEW CONSTRUCTION PLAN  
1/4" = 1'-0"



3 DINING AREA - ENLARGED DEMOLITION RCP  
1/4" = 1'-0"



4 DINING AREA - ENLARGED NEW CONSTRUCTION RCP  
1/4" = 1'-0"

### KEYNOTE LEGEND

- 01.001 ALIGN TO FINISHED FACE.
- 01.013 EXISTING PARTIAL HEIGHT WALL TO REMAIN. REMOVE EXISTING WALL CAP AND REPLACE PER INTERIOR DESIGNER.
- 01.020 NEW PARTIAL HEIGHT WALL PER WALL TYPE 32AA. MATCH HEIGHT OF ADJACENT PARTIAL HEIGHT WALL AND PROVIDE WALL CAP PER INTERIOR DESIGNER.
- 01.030 DEMOLISH EXISTING WALL AND CUBBIES. CONSTRUCT NEW HALF HEIGHT WALL TO MATCH EXISTING ADJACENT HALF HEIGHT WALL IN DINING ROOM 148. (CONTRACTOR'S OPTION TO KEEP LOWER HALF PORTION OF WALL AND INFILL CUBBIES TO MATCH EXISTING ADJACENT HALF HEIGHT WALL)
- 01.032 INSTALL NEW CEILING TO MATCH EXISTING.
- 01.044 DEMOLISH WALL TO ALIGN WITH ADJACENT EXISTING OPENING. PATCH AND REPAIR EXISTING WALL. FINISHES PER INTERIOR DESIGNER DRAWINGS.
- 01.045 DEMOLISH WALL TO MAKE OPENING AS WIDE AS POSSIBLE. PATCH AND REPAIR EXISTING WALL. FINISHES PER INTERIOR DESIGNER DRAWINGS.
- 01.048 REMOVE ALL SURFACE DÉCOR ITEMS FROM CEILING. PATCH AND REPAIR CEILING WHERE LIGHTS ARE REMOVED AS NEEDED. PRESHIM COAT ENTIRE CEILING SURFACE READY FOR NEW PAINT FINISH PER INTERIOR DESIGNER.
- 09.067 5/8" GYPSUM BOARD OVER METAL STUD FRAMING AT NEW SOFFIT. MATCH EXISTING SOFFIT HEIGHT. PAINT TO MATCH EXISTING.
- 12.001 FURNITURE PER INTERIOR DESIGN DRAWINGS.
- 23.003 NEW GRILLE PER MEP DRAWINGS. PAINT TO MATCH ADJACENT CEILING.
- 26.001 EXISTING LIGHT FIXTURE TO BE REMOVED PER MEP.
- 26.010 REMOVE EXISTING PROJECTOR AND SHELF AFTER FIELD VERIFYING DISTANCE TO SCREEN. RELOCATE PROJECTOR TO NEW LOCATION AND PROVIDE NEW SHELF (REFER TO 2/A1.4). PATCH AND REPAIR CEILING AS NEEDED.
- 26.011 REMOVE EXISTING RECESSED PROJECTOR SCREEN. SALVAGE AND RELOCATE TO NEW LOCATION. PATCH AND REPAIR CEILING AS NEEDED.
- 26.012 FIELD VERIFY EXISTING DISTANCE BETWEEN SCREEN AND PROJECTOR IN KIDS DINING AREA BEFORE REMOVING. INSTALL AT NEW LOCATION PER THIS SAME DISTANCE.

### CEILING GRAPHICS LEGEND

- EXISTING GYPSUM BOARD/FRAMED CEILING
- NEW GYPSUM BOARD/FRAMED CEILING
- EXISTING ACOUSTICAL LAY-IN CEILING
- NEW ACOUSTICAL LAY-IN CEILING
- DEMOLISH EXISTING CEILING AS REQUIRED. PATCH AND REPAIR AS NEEDED.

### WALL TYPE LEGEND

- EXISTING WALL
- EXISTING PARTIAL HEIGHT WALL
- DEMOLITION WALL
- NEW WALL - REFER TO WALL TYPES FOR CONSTRUCTION

### REVISIONS

### ENLARGED DINING AREA FLOOR PLANS & REFLECTED CEILING PLANS

RESIDENCE INN PUBLIC SPACE REMODEL  
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GEOFFREY H. BUTLER, AIA  
319 N MAIN ST. SUITE 200, SPRINGFIELD, MISSOURI, 65806 T: 417-865-6100

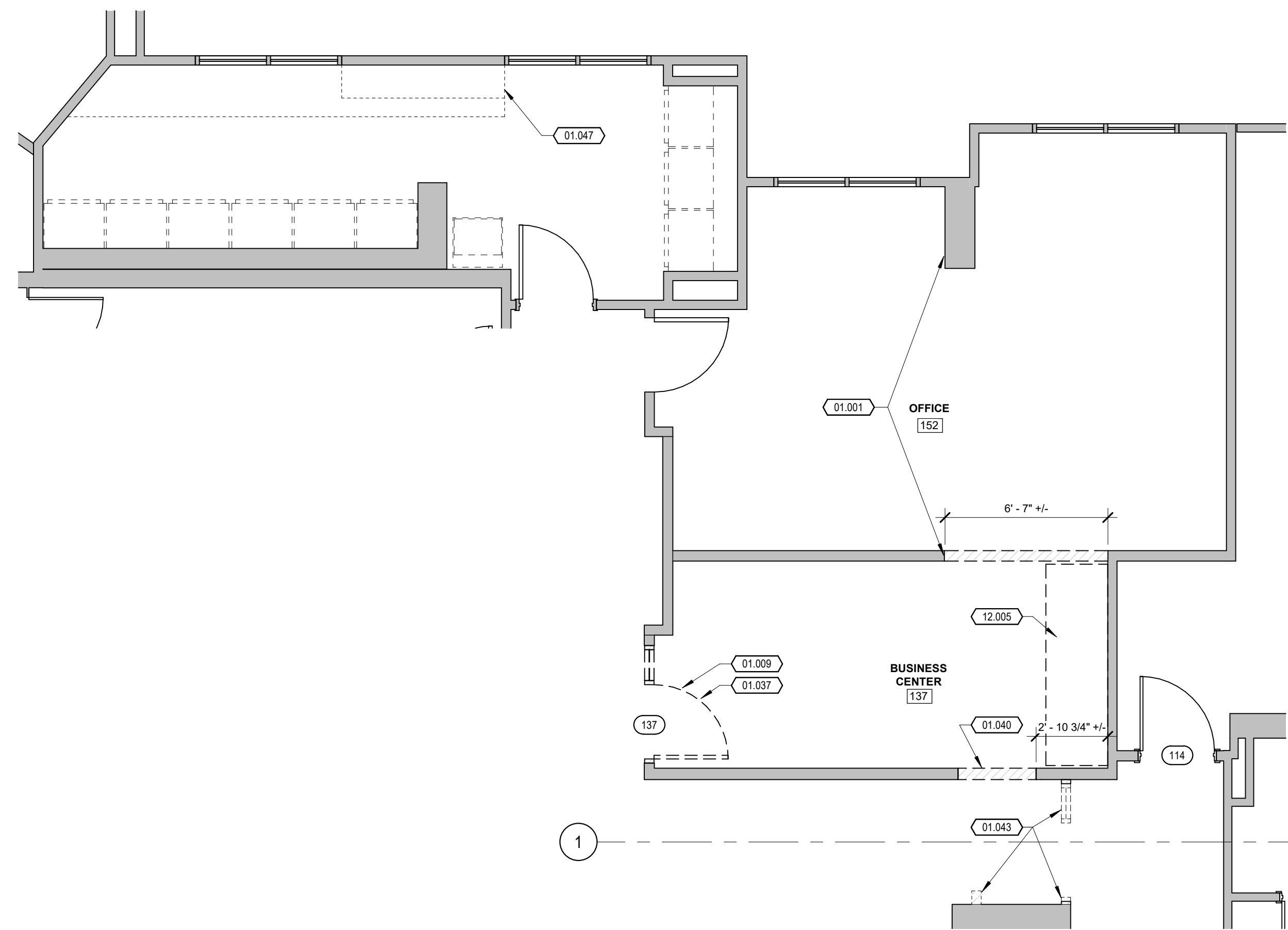
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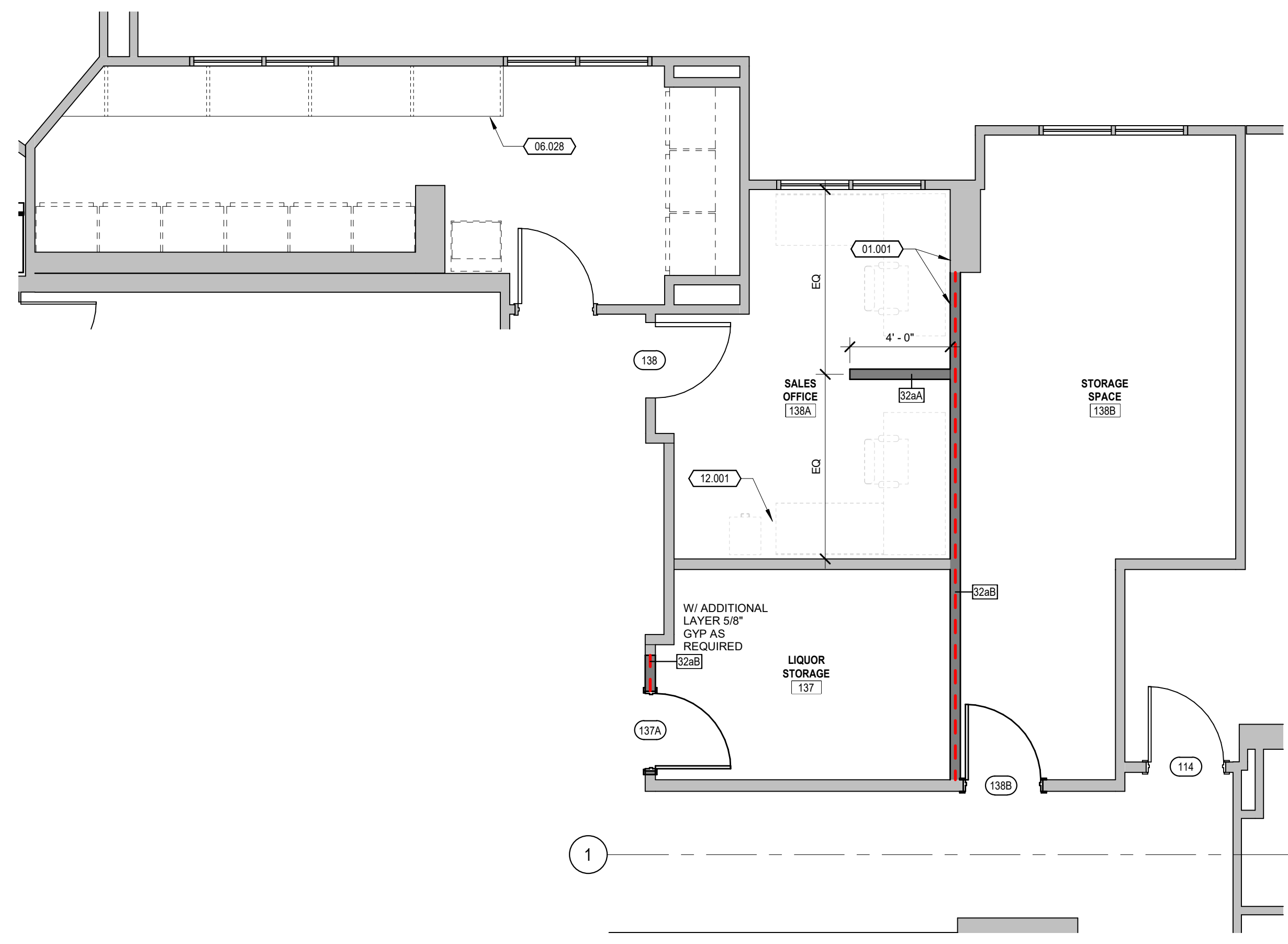
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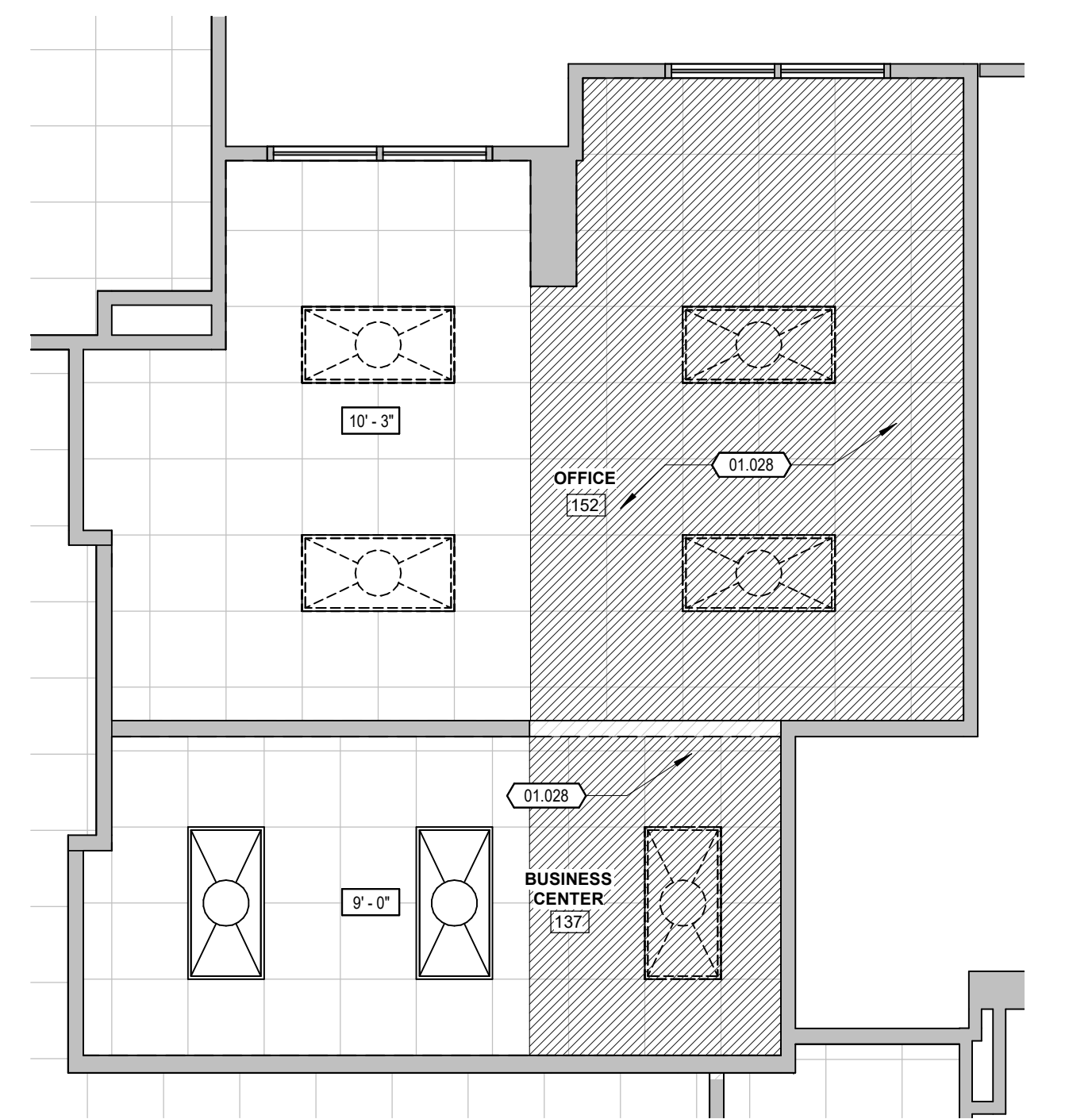
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LIC. NO. C-21192



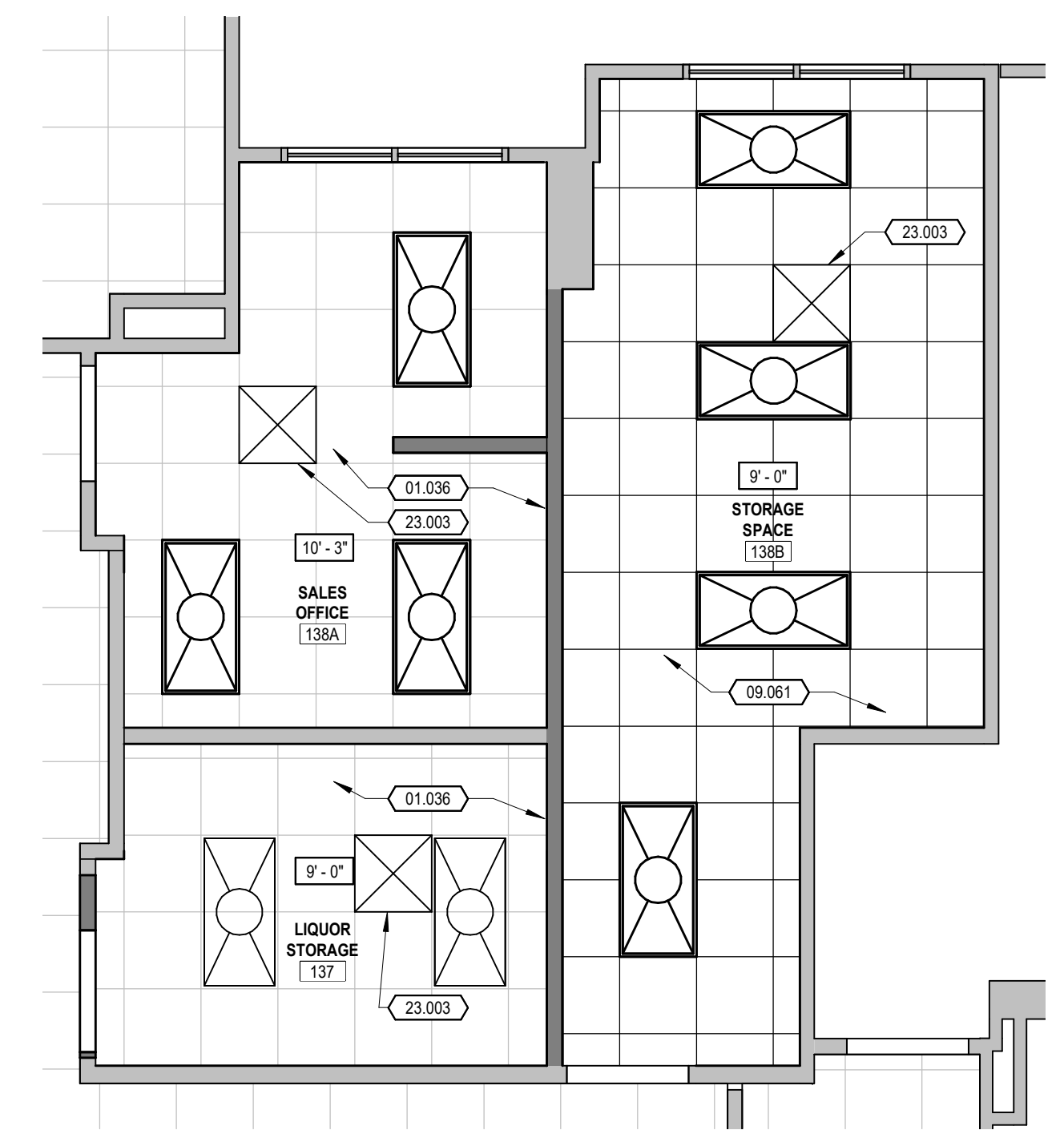
1 SALES OFFICE - ENLARGED DEMOLITION PLAN  
1/4" = 1'-0"



2 SALES OFFICE - ENLARGED NEW CONSTRUCTION PLAN  
1/4" = 1'-0"



3 SALES OFFICE - ENLARGED DEMOLITION RCP  
1/4" = 1'-0"



4 SALES OFFICE - ENLARGED NEW CONSTRUCTION RCP  
1/4" = 1'-0"

KEYNOTE LEGEND

- 01.001 ALIGN TO FINISHED FACE.
- 01.009 REMOVE EXISTING WALLS, DOORS, FRAMES, ETC. SHOWN DASHED. PATCH AND REPAIR FOR NEW CONSTRUCTION. REUSE AS NOTED ON DOOR SCHEDULE.
- 01.028 REMOVE EXISTING CEILING. SALVAGE LIGHTING FOR POSSIBLE REUSE.
- 01.036 PATCH AND REPAIR EXISTING CEILING DUE TO NEW CONSTRUCTION, MATCHING EXISTING CONSTRUCTION.
- 01.037 WALLS AND FLOOR FOR NEW FINISHES PER INTERIOR DESIGNER. TURN ALL DEMOLITION ITEMS OVER TO OWNER AS REQUESTED BY OWNER.
- 01.040 REMOVE EXISTING WALL AND PROVIDE NEW METAL STUD HEADER FOR NEW DOOR PER DOOR SCHEDULE.
- 01.043 REMOVE EXISTING DOOR FRAME AND WING WALL. PATCH AND REPAIR. PAINT TO MATCH EXISTING WALLS.
- 01.047 REMOVE EXISTING FOLDING TABLE, CLOTHES HANGING ROD, SUPPORT SHELF, AND VERTICAL WALL TRIM. PATCH AND REPAIR WALL AS REQUIRED TO MATCH EXISTING WALL FINISHES.
- 06.028 NEW COUNTER TO MATCH FORMER COUNTER PROFILE AS CLOSELY AS POSSIBLE. NEW COUNTER TO BE NO HIGHER THAN 34" AFF WITH A DEPTH OF 24" WITH A 4" TALL BACKSLASH, COUNTERTOP THICKNESS TO BE 1 1/2" BY STACKING 2 LAYERS OF 3/4" PLYWOOD. PLASTIC LAMINATE FINISH PER INTERIOR DESIGNER AT ALL EXPOSED SURFACES. SUPPORT LEGS WILL BE 1 1/2" WIDE AND TO BE SPACED AT 40" ON CENTER MAXIMUM.
- 09.061 2x2 ACOUSTICAL TILE CEILING TO MATCH EXISTING WITH HEAVY DUTY T-BAR GRID SYSTEM EQUAL TO CHICAGO METALUX 1200 HD GRID SYSTEM (9/16" OR 15/16" TO MATCH EXISTING). PROVIDE SEISMIC CEILING CONNECTIONS PER ACT SEISMIC CEILING DETAILS 3/A1.4 ALSO INCLUDE COMPRESSION STRUTS ADEQUATE TO RESIST VERTICAL LOAD INDUCED BY THE SPALLED BRACING WIRES. STRUTS SHALL BE (1) 3/8" 25 GA METAL STUD FOR CEILING DROPS OF 2'-0" OR LESS. PROVIDE 1 STRUT AT EVERY MAIN RUNNER AT THE MIDPOINT, BUT NOT MORE THAN 12'-0" O.C. AND NOT MORE THAN 6'-0" FROM A PERIMETER.
- 12.001 FURNITURE PER INTERIOR DESIGN DRAWINGS.
- 12.005 REMOVE EXISTING MILLWORK. PATCH AND REPAIR EXISTING WALLS TO REMAIN AND PREP FOR NEW FINISHES PER INTERIOR DESIGNER.
- 23.003 NEW GRILLE PER MEP DRAWINGS. PAINT TO MATCH ADJACENT CEILING.

CEILING GRAPHICS LEGEND

- EXISTING GYPSUM BOARD/FRAMED CEILING
- NEW GYPSUM BOARD/FRAMED CEILING
- EXISTING ACOUSTICAL LAY-IN CEILING
- NEW ACOUSTICAL LAY-IN CEILING
- DEMOLISH EXISTING CEILING AS REQUIRED. PATCH AND REPAIR AS NEEDED.

WALL TYPE LEGEND

- EXISTING WALL
- EXISTING PARTIAL HEIGHT WALL
- DEMOLITION WALL
- NEW WALL - REFER TO WALL TYPES FOR CONSTRUCTION

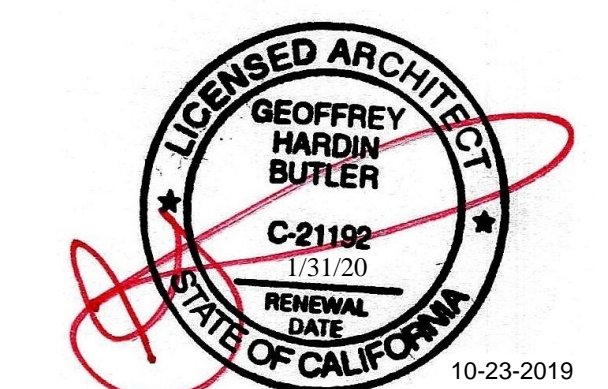
REVISIONS

ENLARGED SALES OFFICE AREA FLOOR PLANS & REFLECTED CEILING PLANS

RESIDENCE INN PUBLIC SPACE REMODEL  
11931 HARBOR BOULEVARD, GARDEN GROVE, CA 92840

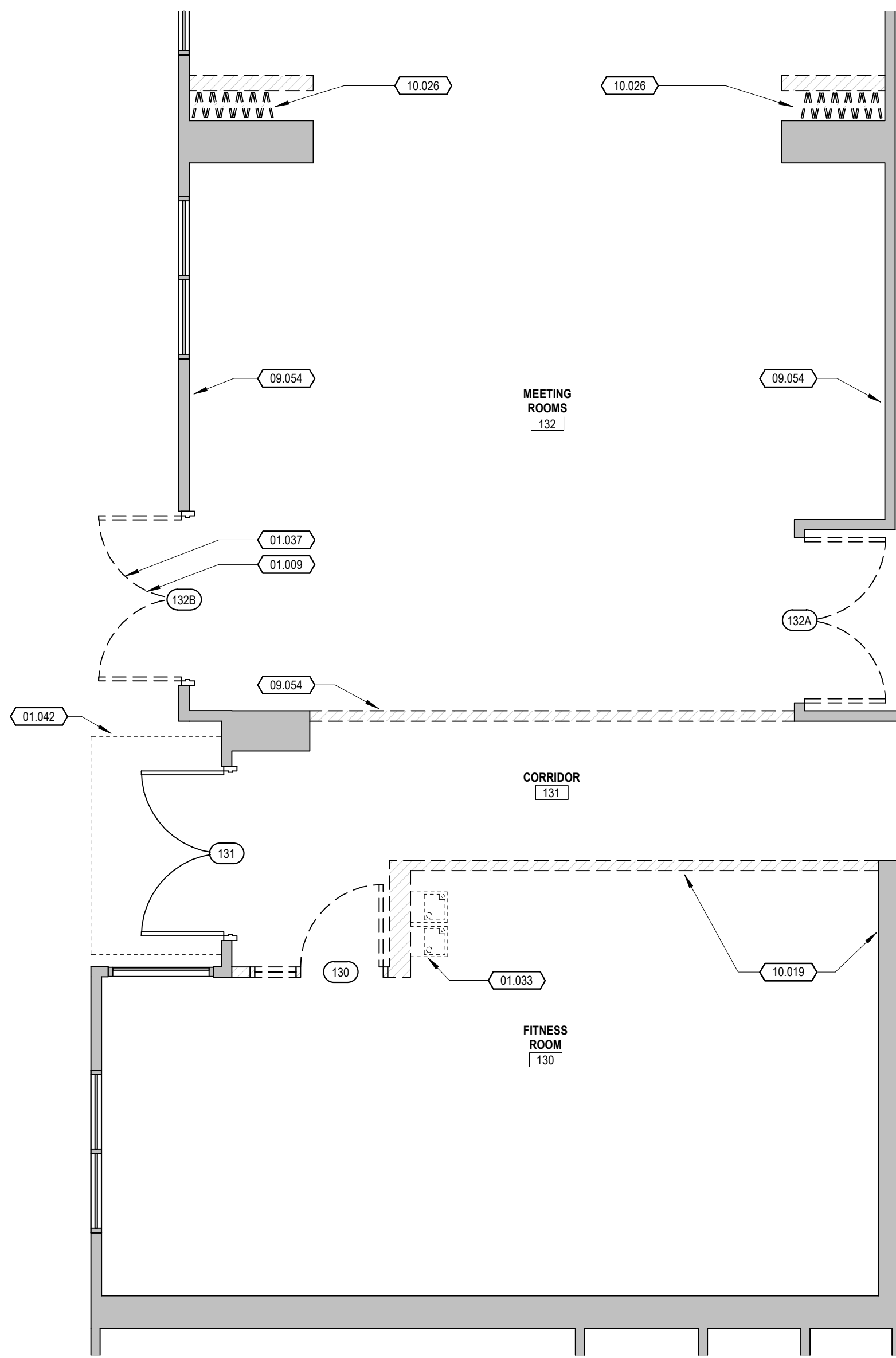
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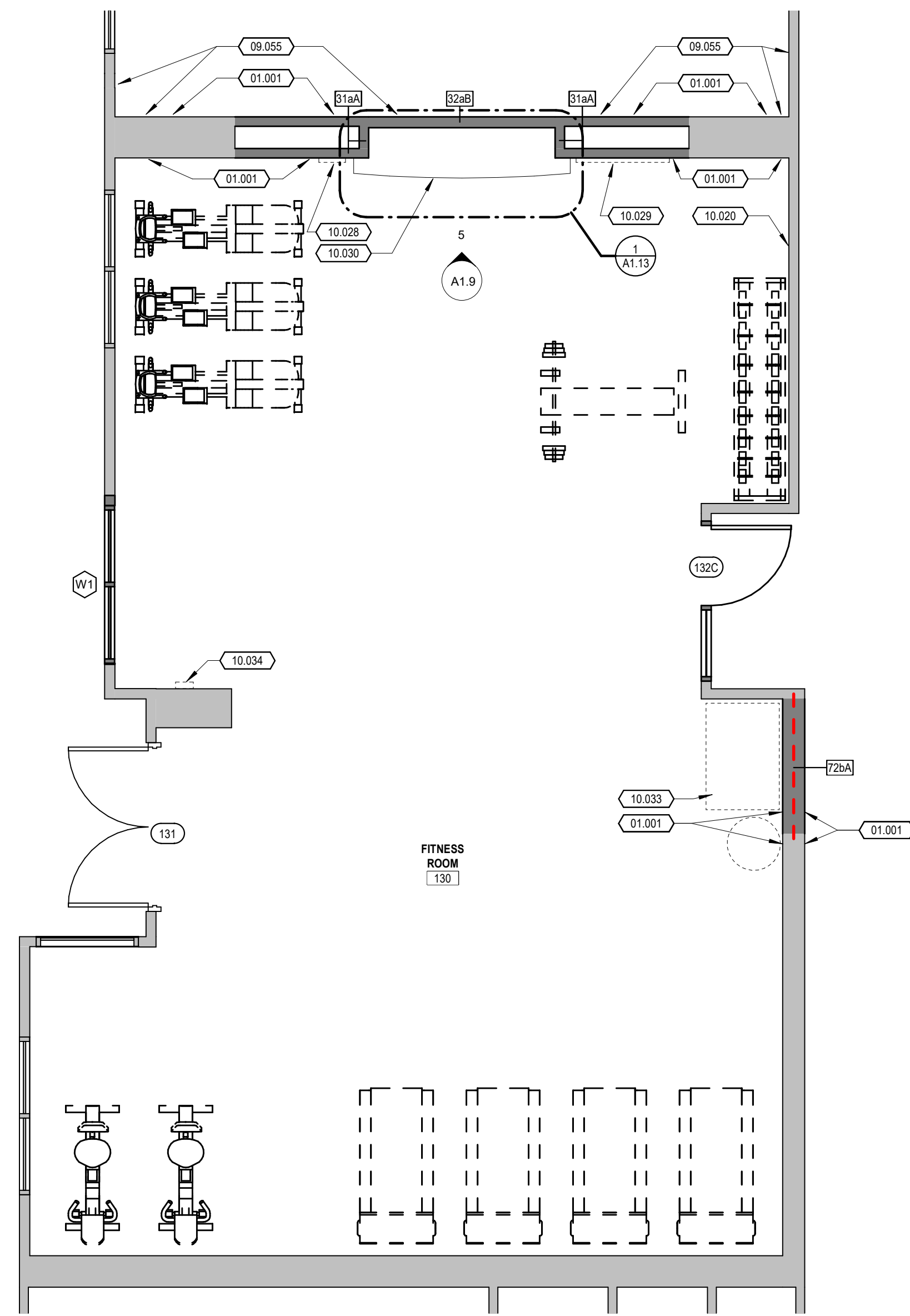
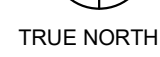


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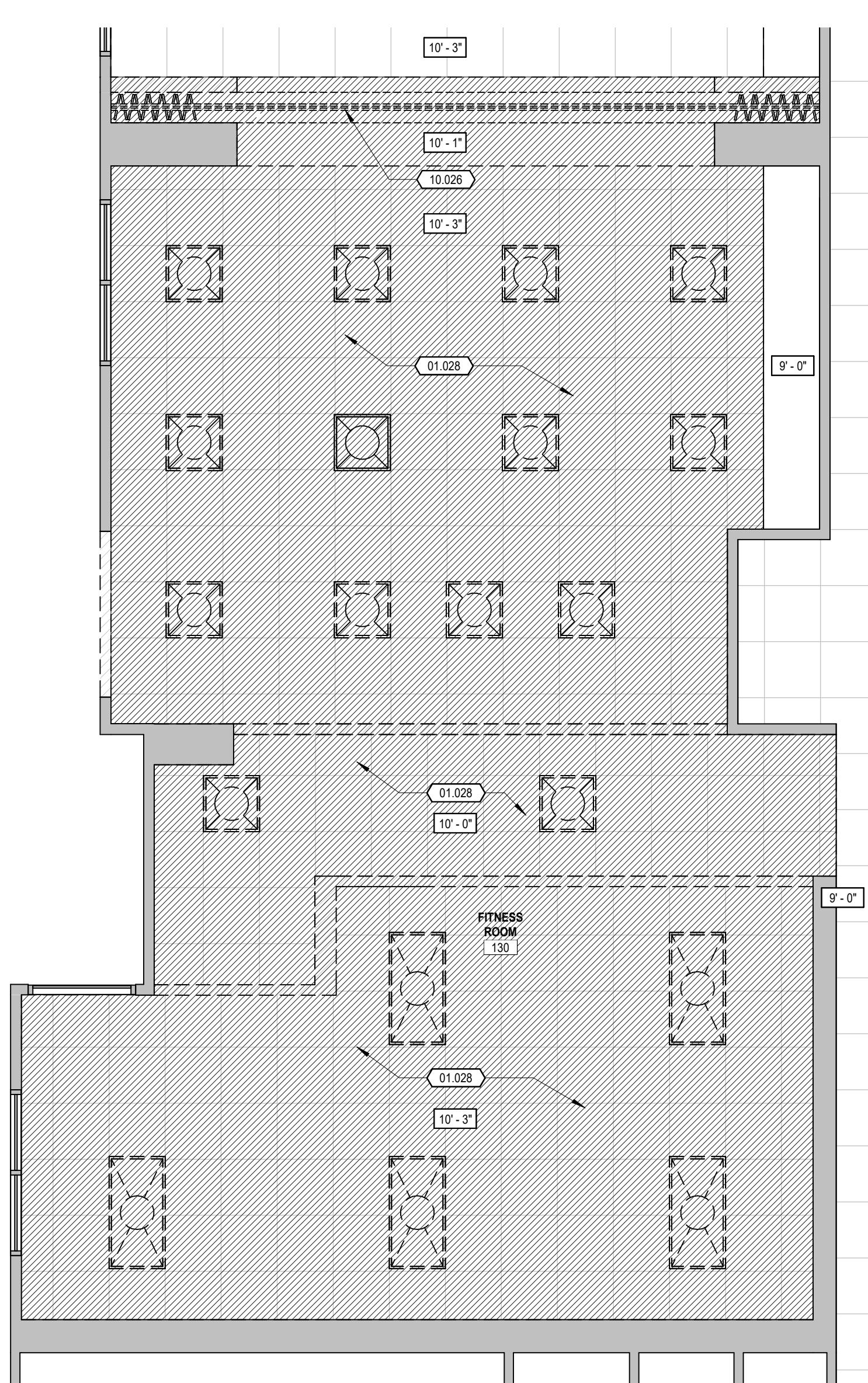
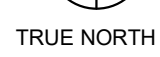
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LIC. NO. C-21192



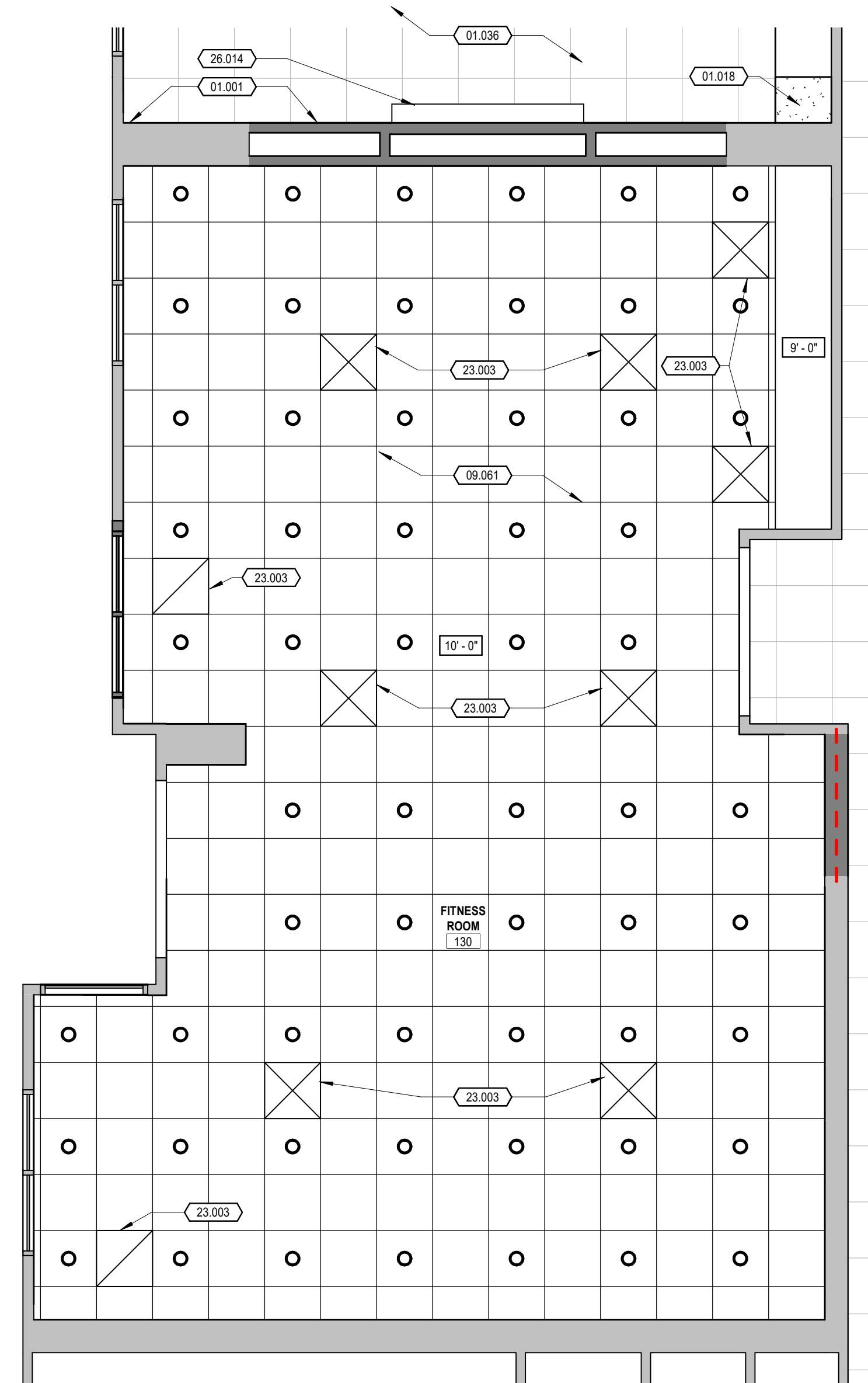
1 FITNESS CENTER - ENLARGED DEMOLITION PLAN  
1/4" = 1'-0"



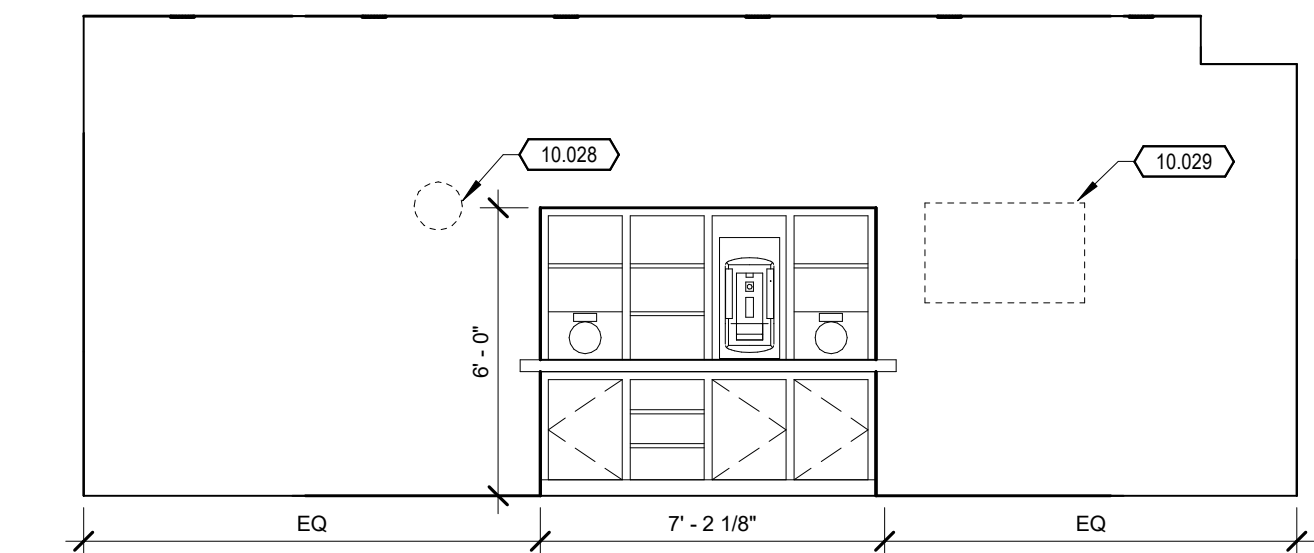
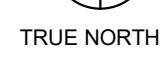
2 FITNESS CENTER - ENLARGED NEW CONSTRUCTION PLAN  
1/4" = 1'-0"



3 FITNESS CENTER - ENLARGED DEMOLITION RCP  
1/4" = 1'-0"



4 FITNESS CENTER - ENLARGED NEW CONSTRUCTION RCP  
1/4" = 1'-0"



5 FITNESS CENTER NORTH WALL - MILLWORK OPENING  
1/4" = 1'-0"

### KEYNOTE LEGEND

- 01.001 ALIGN TO FINISHED FACE
- 01.009 REMOVE EXISTING WALLS, DOORS, FRAMES, ETC. SHOWN DASHED. PATCH AND REPAIR FOR NEW CONSTRUCTION. REUSE AS NOTED ON DOOR SCHEDULE.
- 01.018 INSTALL NEW 5/8" TYPE X GYPSUM BOARD OVER 3 5/8" STUD FRAMING FOR NEW SOFFIT TO MATCH EXISTING.
- 01.028 REMOVE EXISTING CEILING. SALVAGE LIGHTING FOR POSSIBLE REUSE.
- 01.033 SALVAGE EXISTING DRINKING FOUNTAINS FOR OWNER.
- 01.034 PATCH AND REPAIR EXISTING CEILING DUE TO NEW CONSTRUCTION. MATCHING EXISTING CONSTRUCTION. PROVIDE SEISMIC PERIMETER CLIPS AT NEW SOFFIT PERIMETER. PAINT ENTIRE CEILING.
- 01.036 PATCH AND REPAIR EXISTING CEILING DUE TO NEW CONSTRUCTION. MATCHING EXISTING CONSTRUCTION.
- 01.037 WALLS AND FLOOR FOR NEW FINISHES PER INTERIOR DESIGNER. TURN ALL DEMOLITION ITEMS OVER TO OWNER AS REQUESTED BY OWNER.
- 01.042 REMOVE EXISTING AWNING. PATCH AND REPAIR EXISTING WALL TO MATCH ADJACENT FINISHES. RECOAT WALL FINISH OVER TO ADJACENT CONTROL JOINTS.
- 09.054 SALVAGE EXISTING TRIM TO BE USED FOR NEW CONSTRUCTION.
- 09.055 INSTALL SALVAGED TRIM TO MATCH EXISTING.
- 09.061 2X2 ACOUSTICAL TILE CEILING TO MATCH EXISTING WITH HEAVY DUTY T-BAR GRID SYSTEM EQUAL TO CHICAGO METALLIC 1200 HD GRID SYSTEM (9 1/2" OR 12 1/2" TO MATCH EXISTING). PROVIDE SEISMIC CEILING CONNECTIONS PER ACT SEISMIC CEILING DETAILS 3A1-4 ALSO INCLUDE COMPRESSION STRUTS ADEQUATE TO RESIST VERTICAL LOAD INDUCED BY THE SPLAYED BRACING WIRES. STRUTS SHALL BE (1) 3 5/8" 25 GA METAL STUD FOR CEILING DROPS OF 8'-0" OR LESS. PROVIDE 1 STRUT AT EVERY MAIN RUNNER AT THE MIDPOINT, BUT NOT MORE THAN 12'-0" O.C. AND NOT MORE THAN 6'-0" FROM A PERIMETER.
- 10.019 REMOVE MIRRORS. PATCH AND REPAIR WALL PREP FOR NEW FINISHES.
- 10.020 NEW LOCATION OF NEW MIRROR. PROVIDE BLOCKING IN WALL AS REQUIRED. PATCH AND REPAIR WALL. PREP FOR NEW FINISHES.
- 10.026 DEMOLISH FOLDING PARTITION AND ITS HARDWARE. PATCH AND REPAIR WALLS, FLOOR, AND CEILING IN PREP FOR NEW FINISHES.
- 10.028 CLOCK PROVIDED BY OWNER. COORDINATE MOUNTING LOCATION WITH OWNER.
- 10.029 TELEVISION PROVIDED BY OWNER. COORDINATE MOUNTING LOCATION WITH OWNER. PROVIDE BLOCKING IN WALL AS REQUIRED.
- 10.030 NEW HYDRATION STATION / TOWEL CUBBY MILLWORK.
- 10.033 MEDICINE BALL MAT / BALL PROVIDED BY OWNER.
- 10.034 ADA APPROACHABLE TELEPHONE
- 23.003 NEW GRILLE PER MEP DRAWINGS. PAINT TO MATCH ADJACENT CEILING.
- 26.014 INSTALL SALVAGED RECESSED PROJECTOR SCREEN CENTERED ON WALL.

### CEILING GRAPHICS LEGEND

- EXISTING GYPSUM BOARD/FRAMED CEILING
- NEW GYPSUM BOARD/FRAMED CEILING
- EXISTING ACOUSTICAL LAY-IN CEILING
- NEW ACOUSTICAL LAY-IN CEILING
- DEMOLISH EXISTING CEILING AS REQUIRED. PATCH AND REPAIR AS NEEDED.

### WALL TYPE LEGEND

- EXISTING WALL
- EXISTING PARTIAL HEIGHT WALL
- DEMOLITION WALL
- NEW WALL - REFER TO WALL TYPES FOR CONSTRUCTION

### REVISIONS

### ENLARGED FITNESS CENTER FLOOR PLANS & REFLECTED CEILING PLANS

RESIDENCE INN PUBLIC SPACE REMODEL  
11931 HARBOR BOULEVARD, GARDEN GROVE, CA 92840

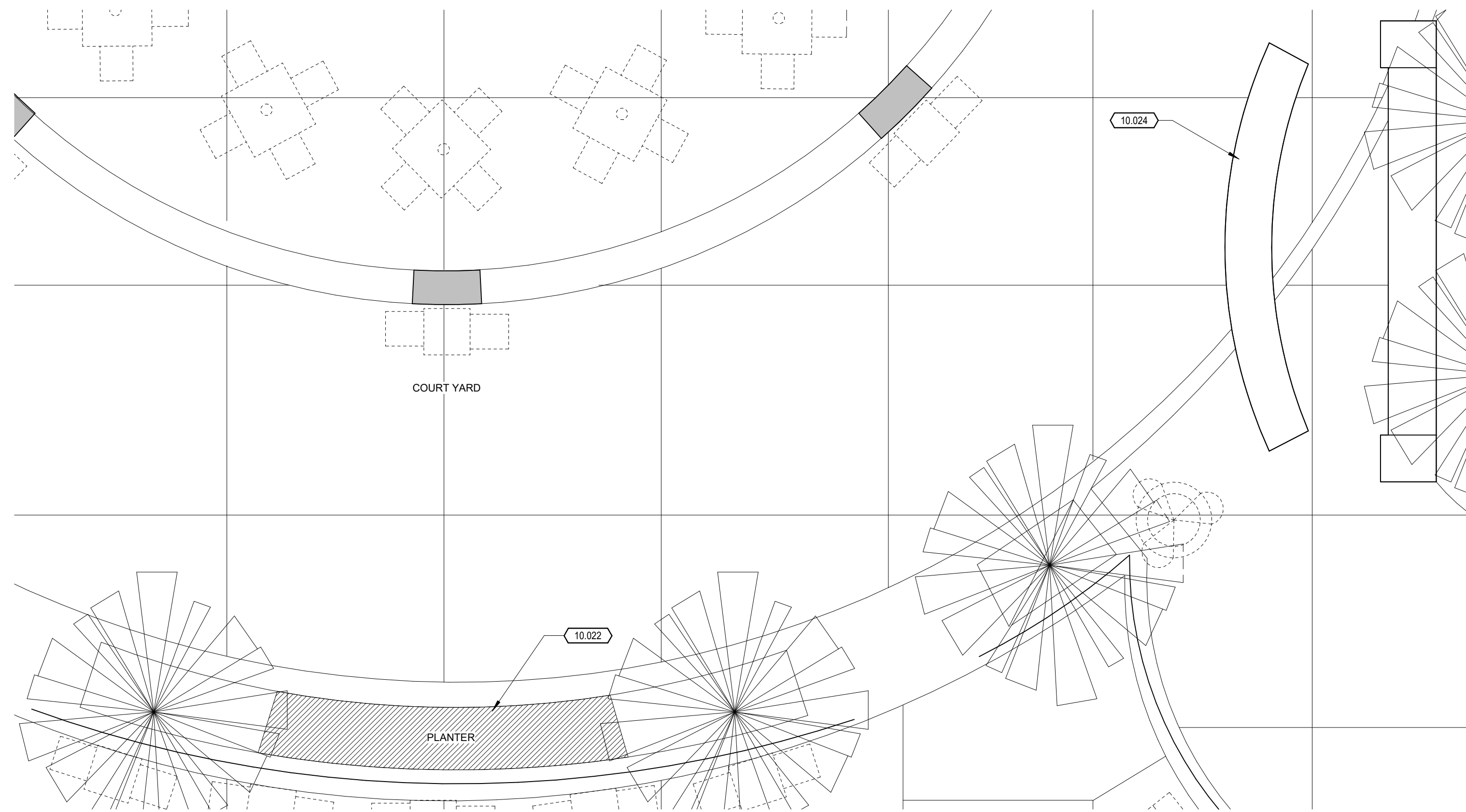
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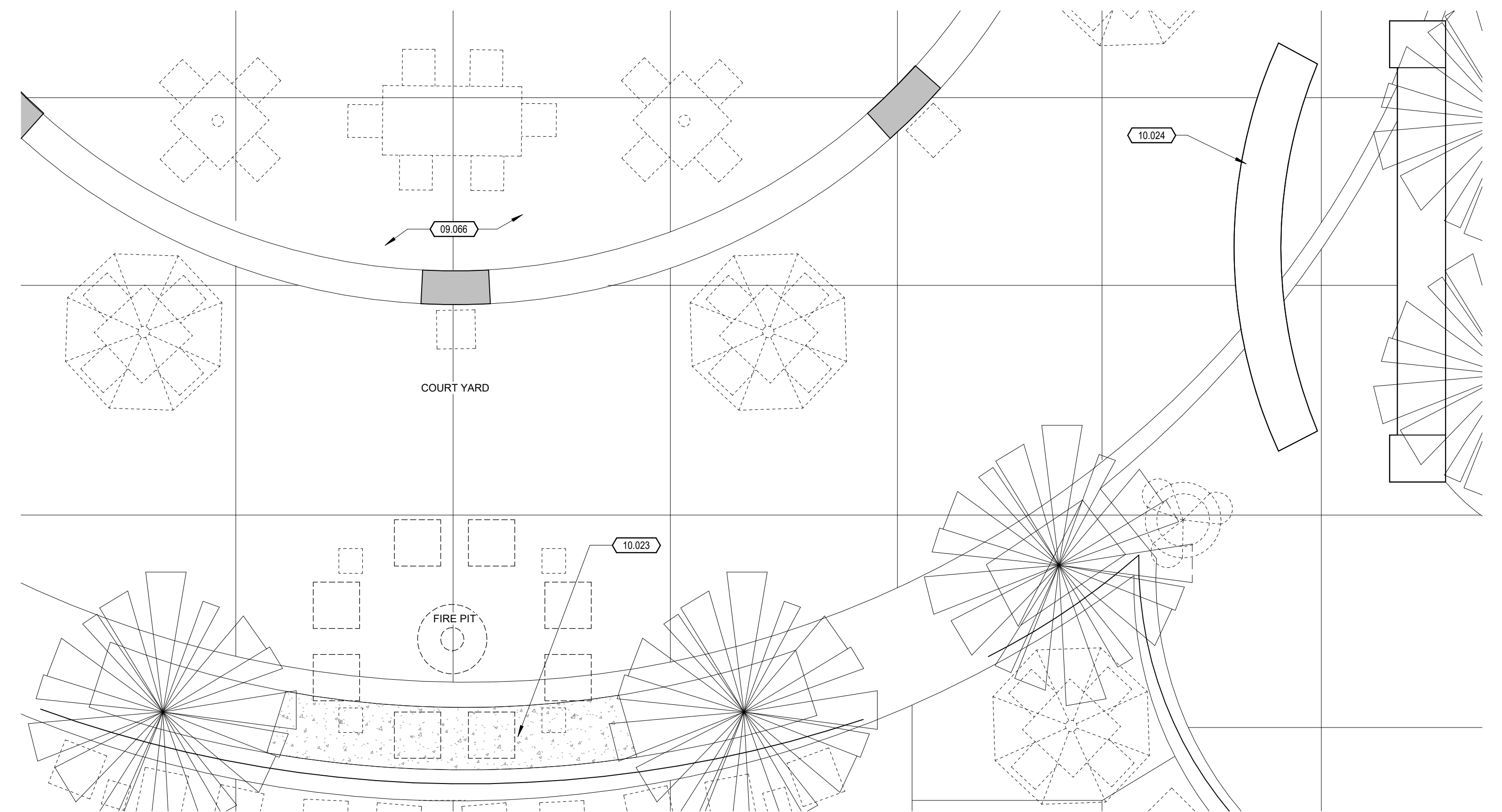
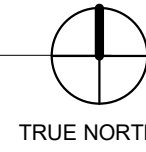
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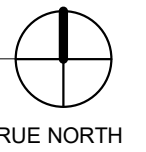
# A1.9



1 COURTYARD - ENLARGED DEMOLITION PLAN  
1/4" = 1'-0"



2 COURTYARD - ENLARGED NEW CONSTRUCTION PLAN  
1/4" = 1'-0"



**KEYNOTE LEGEND**

- 09.068 PROVIDE NEW DARK STAINCOATING ON COURTYARD CONCRETE PER OWNERS DIRECTION.
- 10.022 PLANTER AREA TO BE REPLACED WITH CONCRETE SLAB ON GRADE TO MATCH ADJACENT CONCRETE SLAB ON GRADE FOR NEW FIRE PIT AREA.
- 10.023 4" CONCRETE SLAB ON GRADE (MIN 4,000 PSF) OVER 4" ROCK BASE. CONCRETE FINISH TO MATCH ADJACENT COURTYARD CONCRETE.
- 10.024 SAWCUT THROUGH ENTIRE COUNTER TOP GRANITE AND CONCRETE SLAB AT THE JOINT LOCATIONS IN THE EXISTING COUNTER TOP. CAREFULLY REMOVE FROM FRAMING AND SET ASIDE. CUT DOWN HEIGHT OF EXISTING FRAMING BY A MINIMUM OF 2". PLACE AND ADHERE THE THREE TOP-PIECES TO ACHIEVE A FINISHED COUNTER TOP HEIGHT OF 34" OR LESS AFF.

**WALL TYPE LEGEND**

- EXISTING WALL
- EXISTING PARTIAL HEIGHT WALL
- DEMOLITION WALL
- NEW WALL - REFER TO WALL TYPES FOR CONSTRUCTION

REVISIONS

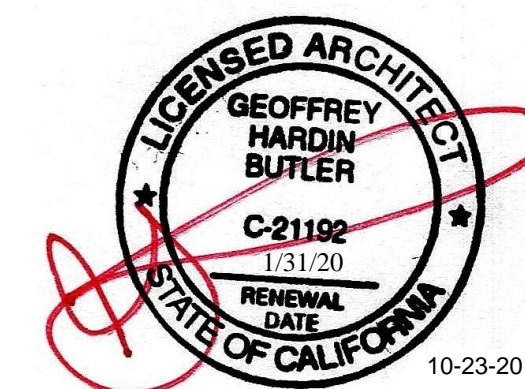
COURTYARD PLANS

RESIDENCE INN PUBLIC SPACE REMODEL  
11931 HARBOR BOULEVARD, GARDEN GROVE, CA 92840

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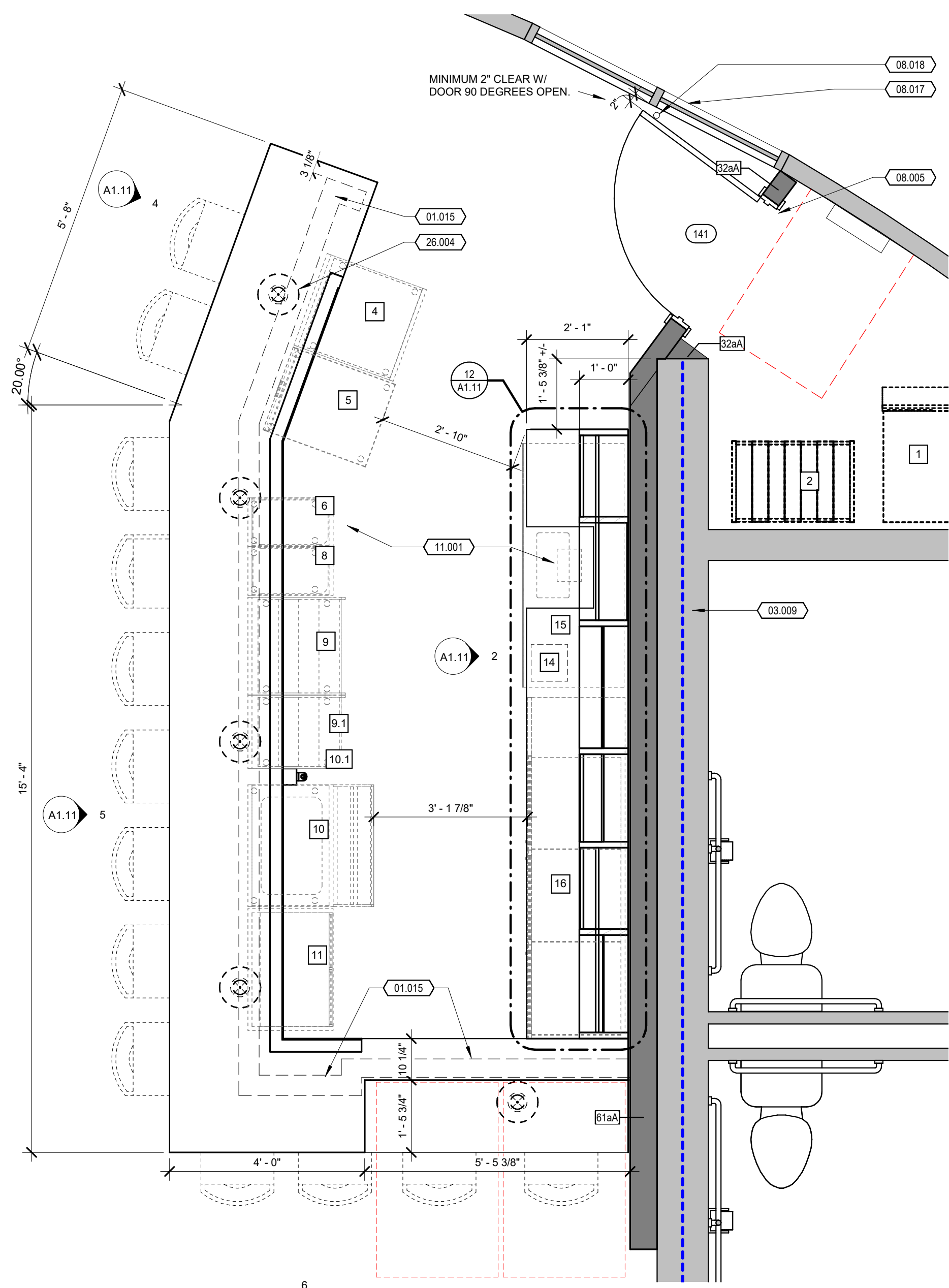
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**A1.10**

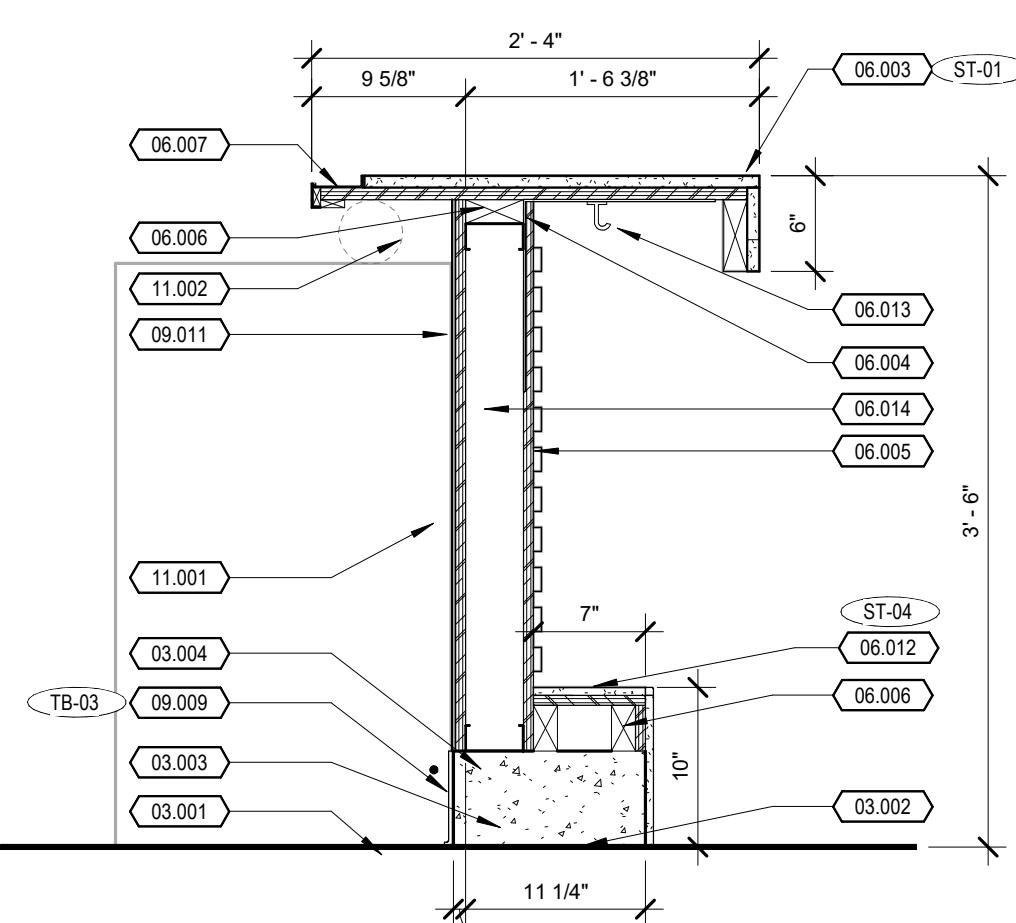
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LIC. NO. C-21192



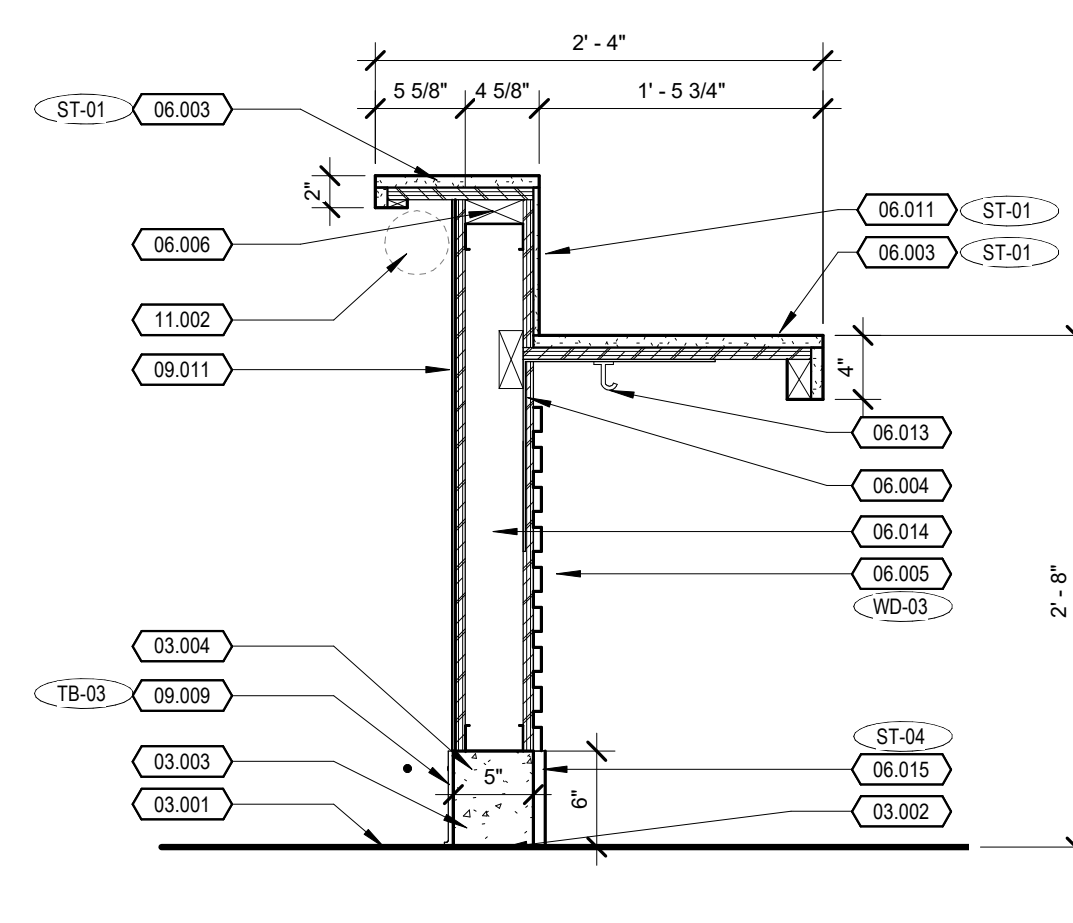
**BAR EQUIPMENT LEGEND**

1	ICE MACHINE	9.1	BOTTLE DISPLAY SMALL
2	SODA	10	ICE BIN
4	STORAGE CABINET	10.1	SODA GUN
5	GLASS WASHER	11	GLASS STORAGE CABINET
6	DUMP SINK	14	P.O.S. SYSTEM
8	HAND SINK	15	DRAFT BEER REFRIGERATOR
9	BOTTLE DISPLAY LARGE	16	SELF CONTAINED BACK BAR COOLERS

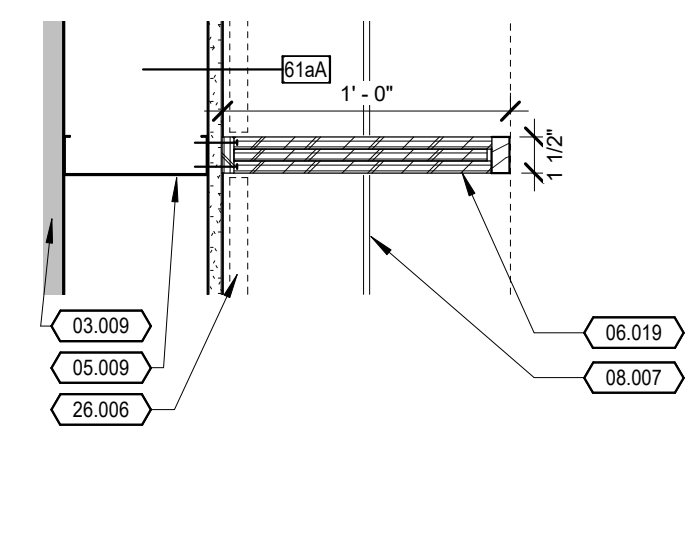
**1 ENLARGED PLAN AT BAR**  
1/2" = 1'-0"



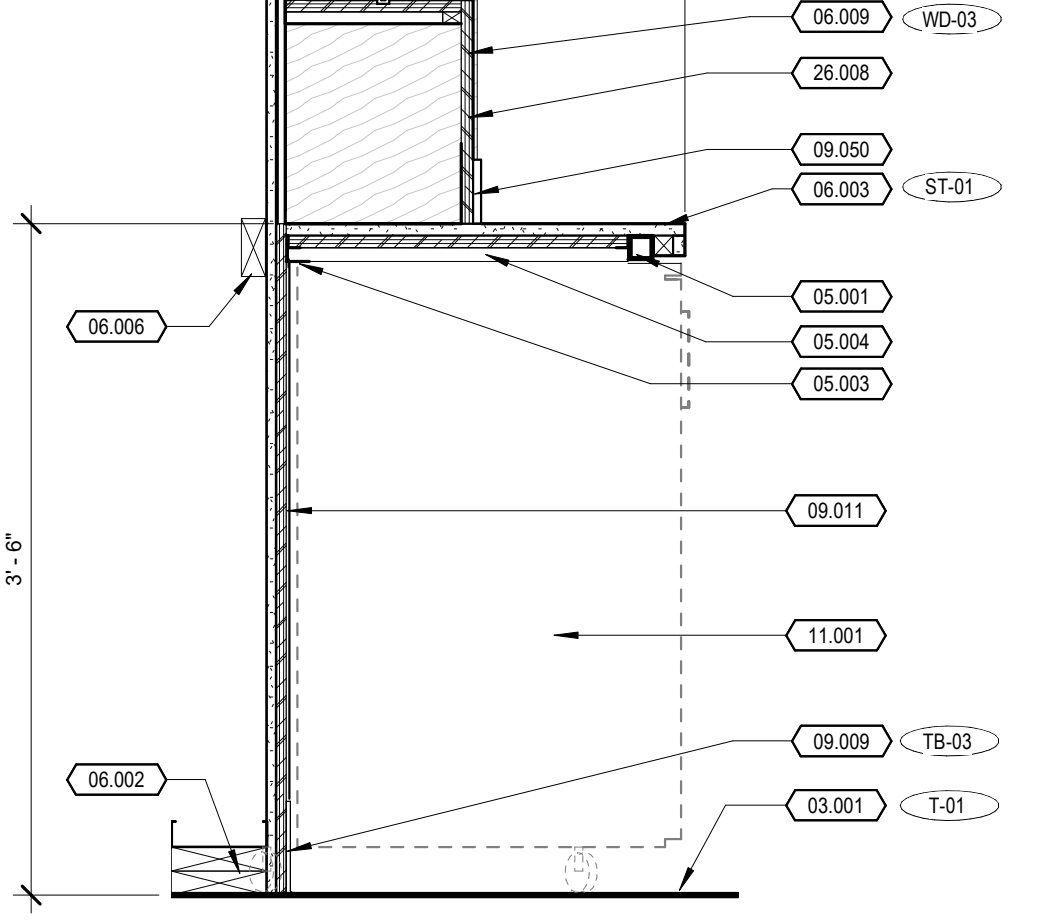
**7 SECTION AT HIGH BAR**  
1" = 1'-0"



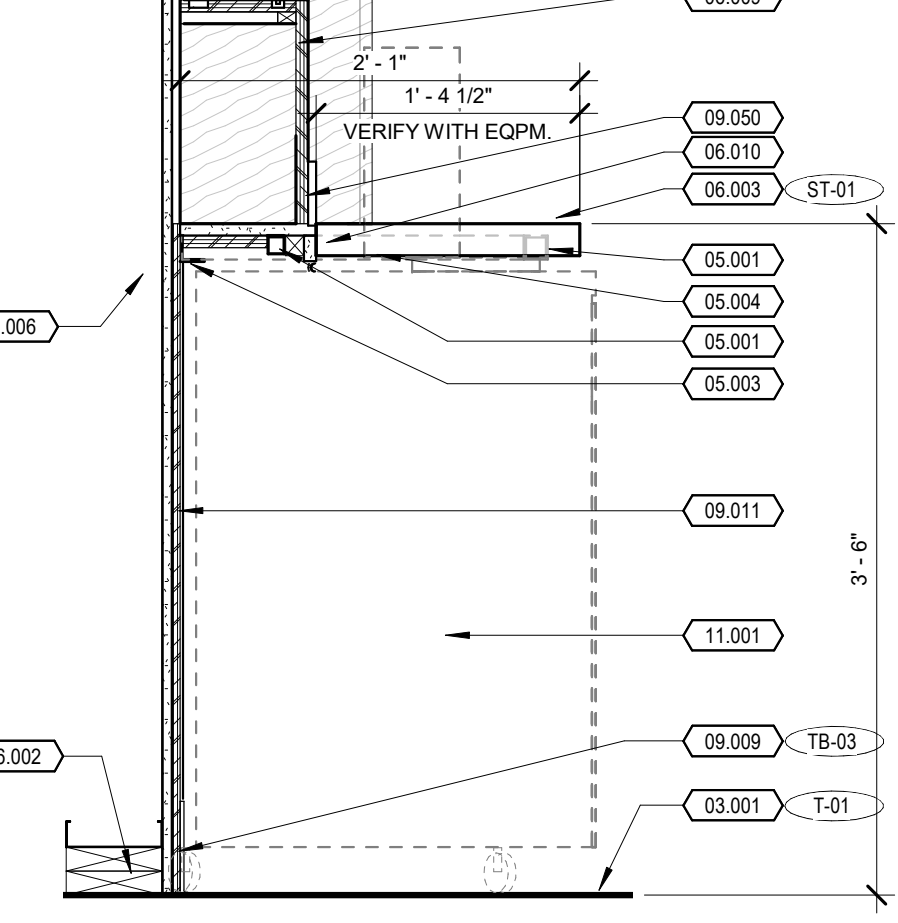
**8 SECTION AT LOW BAR NEW**  
1" = 1'-0"



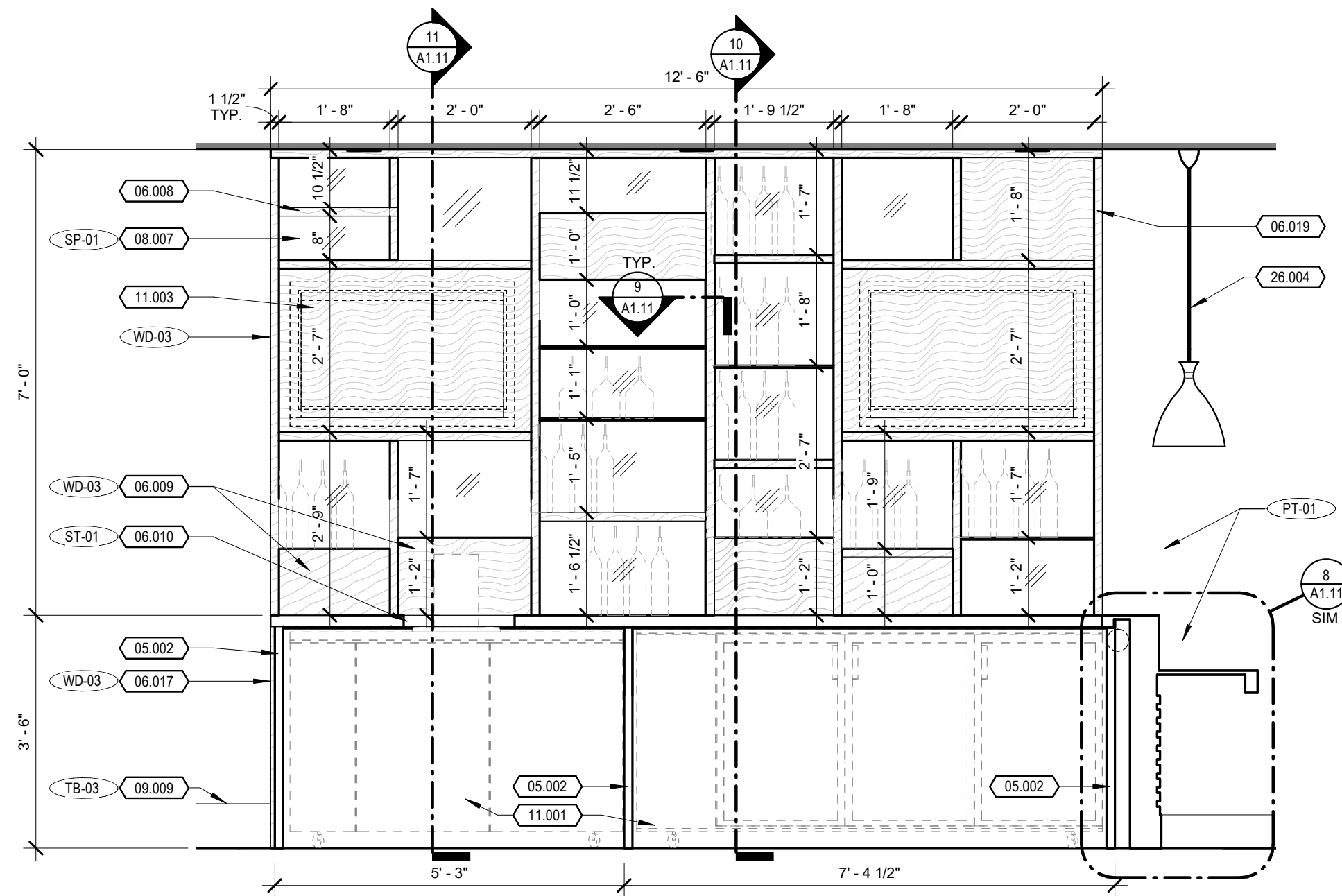
**9 BACK BAR VERTICALS**  
1 1/2" = 1'-0"



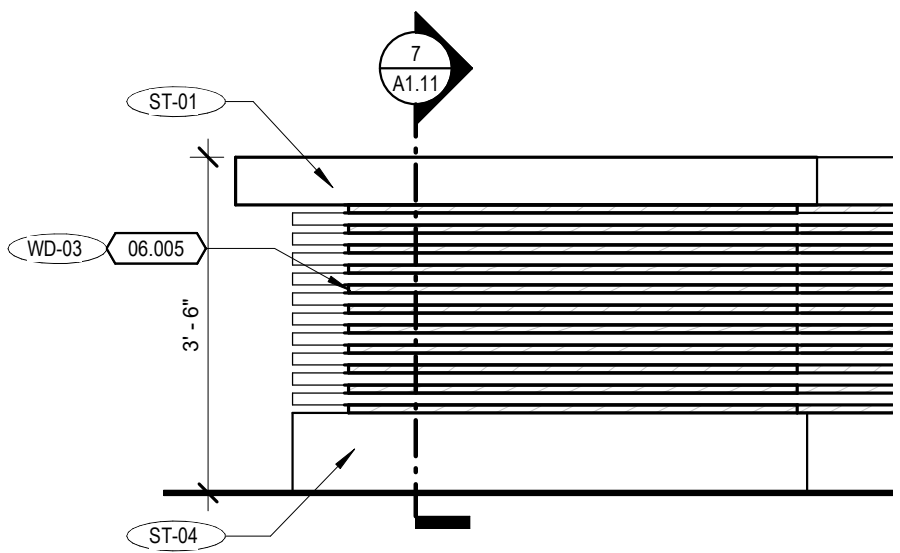
**10 BACK BAR SECTION 1**  
1" = 1'-0"



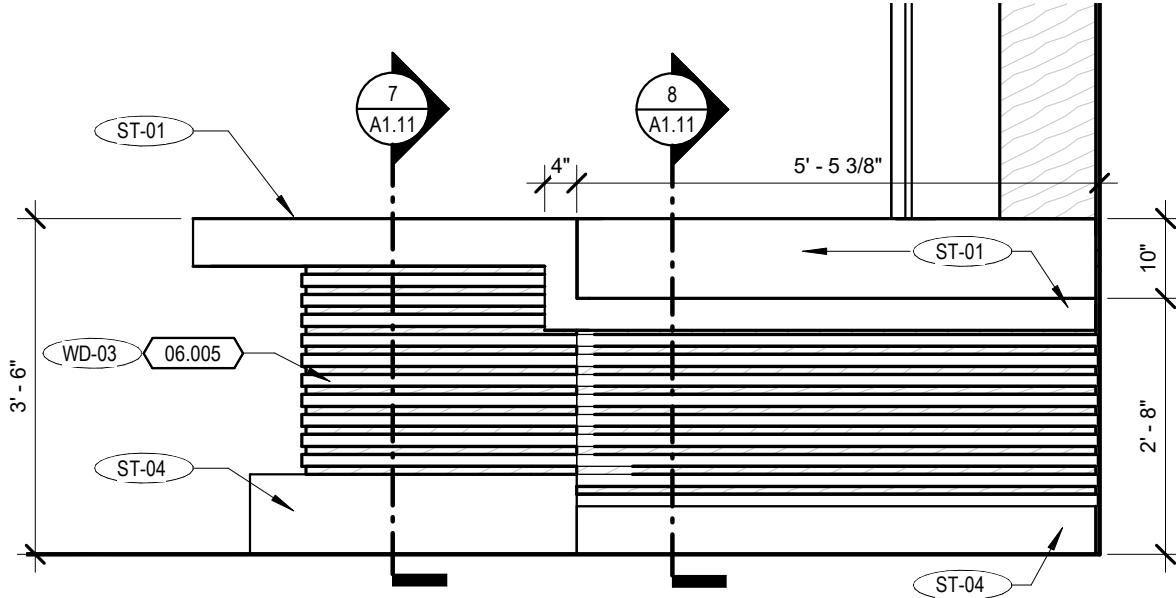
**11 BACK BAR SECTION 2**  
1" = 1'-0"



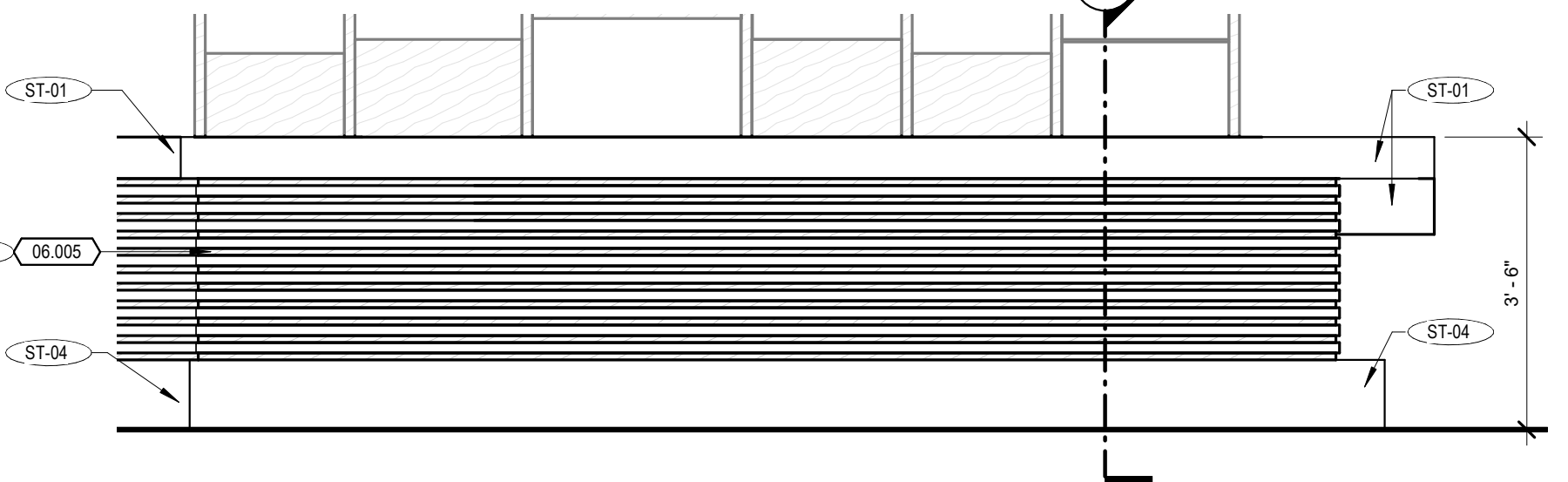
**2 BACK BAR ELEVATION**  
1/2" = 1'-0"



**4 BAR ELEVATION**  
1/2" = 1'-0"



**6 BAR ELEVATION**  
1/2" = 1'-0"



**5 BAR ELEVATION**  
1/2" = 1'-0"



**3 BAR 3D VIEW (FOR REFERENCE)**

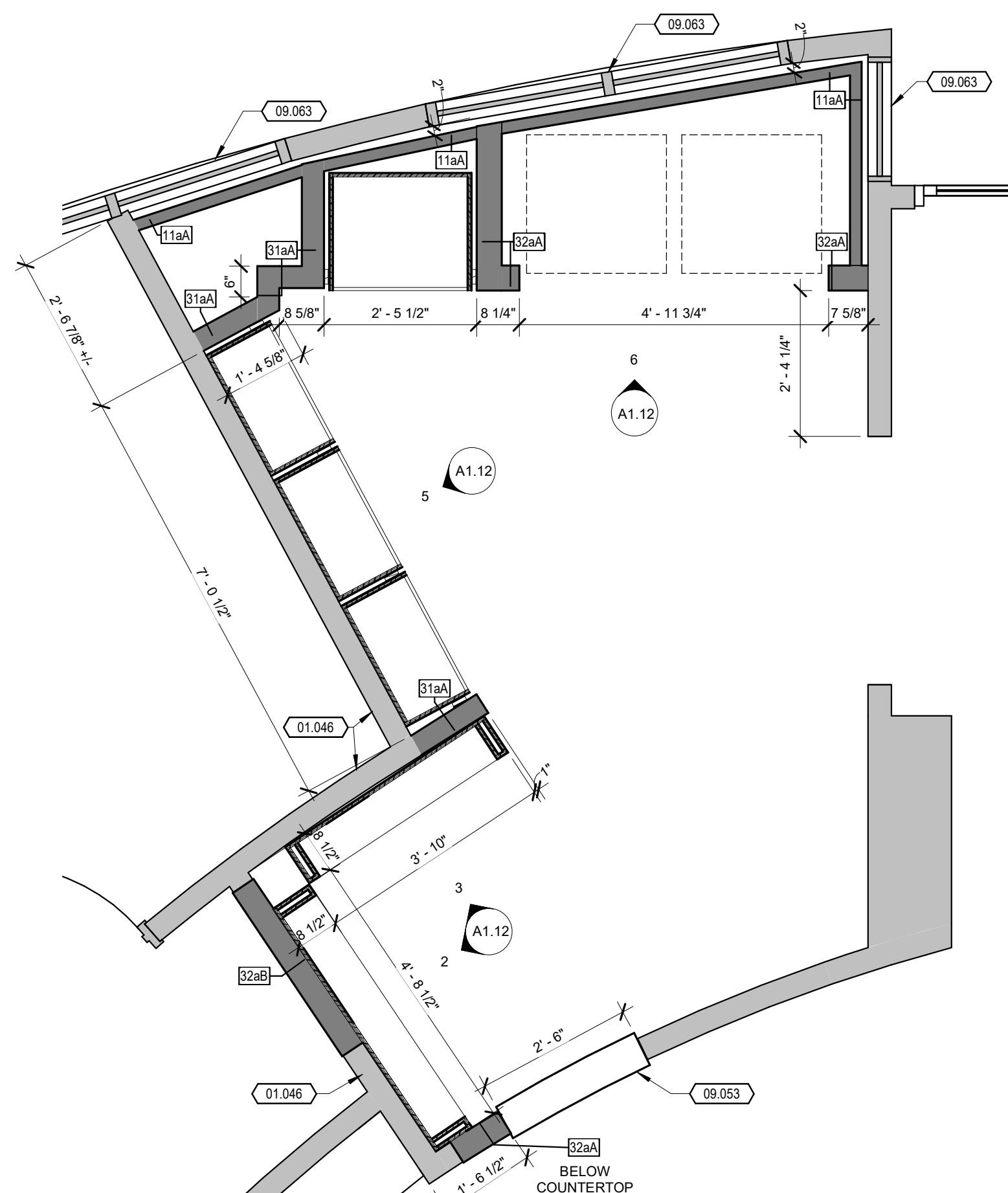
- KEYNOTE LEGEND**
- 01.015 DASHED LINE INDICATES LOCATION OF BAR DIE WALL BELOW. WALL JOGS AT LOWER ACCESSIBLE COUNTER.
  - 03.001 EXISTING CONCRETE FLOOR SLAB TO REMAIN.
  - 03.002 ROUGHEN EXISTING CONCRETE SLAB TO 1/4" AMPLITUDE AND APPLY BONDING AGENT.
  - 03.003 3000 PSI CONCRETE BAR DIE WALL CURB.
  - 03.004 (2) #4 CONT. REBAR.
  - 03.009 EXISTING CONCRETE SHEARWALL.
  - 05.001 STEEL TUBE BAR TOP FRAME. CONTINUOUS 1 1/2" SQUARE TUBE STEEL HORIZONTAL FOR SUPPORT OF COUNTERTOP. PAINT BLACK.
  - 05.002 STEEL TUBE BAR TOP FRAME. CONTINUOUS 1 1/2" SQUARE TUBE STEEL LEG FOR SUPPORT OF COUNTERTOP. PAINT BLACK.
  - 05.003 STEEL TUBE BAR TOP FRAME. CONTINUOUS 1 1/2" X 1 1/2" STEEL ANGLE BOLTED TO STUD WALL. PAINT BLACK.
  - 05.004 STEEL TUBE BAR TOP FRAME. CONTINUOUS 1 1/2" SQUARE TUBE STEEL BRACE FOR SUPPORT OF COUNTERTOP. PAINT BLACK.
  - 05.009 STRUCTURAL METAL STUD FOR SUPPORT OF BACK BAR SHELVING PER WALL TYPE.
  - 06.002 DOUBLE 2X PRESSURE TREATED WOOD BLOCKING AT BASE OF STUD WALL.
  - 06.003 3/4" SOLID SURFACE COUNTERTOP (SEALER TO BE APPLIED BY BAR TOP INSTALLER) OVER 3/4" PLYWOOD SUBSTRATE.
  - 06.004 STEEL BAR TOP SUPPORT ANGLES. CONCEALED BEHIND PLYWOOD SUBSTRATE ON VERTICAL SURFACE.
  - 06.005 WOOD VENEER FACED PLYWOOD AT FACE OF BAR DIE WALL WITH SNAP-ON STAINLESS STEEL MOLTINGS. STAIN WOOD VENEER TO MATCH WILSONART COLUMBIAN WALNUT #794K-07. STAINLESS STEEL MOLTINGS ARE 12" X 1 1/2" SNAP-ON PER NEW YORK METAL (OR EQUIVALENT), MODEL #SS228. STAINLESS STEEL FINISH.
  - 06.006 2X WOOD BLOCKING.
  - 06.007 3/4" X 3/4" DEEP STAINLESS STEEL DRINK RAIL.
  - 06.008 WOOD VENEER SHELF. 1 1/2" THICKNESS. STAINED.
  - 06.009 REMOVABLE WOOD VENEER PANEL MOUNTED 1/4" BACK FROM FACE OF VERTICALS, EXCEPT AT BEER TAP LOCATION MOUNT 4" BACK.
  - 06.010 CUTOUT STONE COUNTERTOP AROUND BEER COOLER BAR TAP AND TRAY. TURN STONE COUNTERTOP DOWN TO 1/4" ABOVE BEER COOLER AND CALK JOINT. FIELD COORDINATE EXACT CUTOUT DIMENSIONS.
  - 06.011 SOLID SURFACE APRON EXTENDING FROM HIGH BAR TOP TO LOW BAR TOP.
  - 06.012 SOLID SURFACE CLAD 10" HIGH BAR STEP RAIL. PROVIDE CONTINUOUS BEAD OF CLEAR SILICONE SEALANT AT ALL INTERSECTIONS.
  - 06.013 PURSE HOOK. EQUAL TO SUGATSUNE HJ UNDERMOUNT HOOK, SILVER. PROVIDE 1 AT EVERY OTHER CHAIR SPACE. MOUNT CLOSE TO BAR DIE WALL.
  - 06.014 BAR DIE WALL CONSTRUCTED OF 3/8" METAL STUDS AT 16" O.C. WITH 5/8" PLYWOOD SHEATHING EACH SIDE.
  - 06.015 SOLID SURFACE CLAD 1X2" HIGH BASE. PROVIDE CONTINUOUS BEAD OF CLEAR SILICONE SEALANT AT ALL INTERSECTIONS.
  - 06.016 WOOD VENEER PLYWOOD SOLID PANEL AT TV LOCATIONS. COORDINATE MOUNTING BRACKET WITH PANEL LOCATION. FRONT FACE OF TV SHALL NOT PROTRUDE FROM FACE OF BACK BAR SHELVING.
  - 06.017 FINISHED WOOD VENEER END PANEL. FINISHED TO MATCH BACK BAR MILLWORK.
  - 06.019 WOOD VENEER VERTICAL WITH 1" WOOD TRIM AT FACE. STAINED WD-01. VERTICALS TO BE BLIND MOUNTED TO THE WALL. ATTACH TO METAL STUDS. DO NOT BEAR VERTICALS ON THE BACKBAR COUNTER.
  - 06.027 1X2 WOOD TRIM. WD-01.
  - 08.005 NEW DOOR AND DOOR FRAME. PROVIDE A 3'-0" X 8'-0" X 1-3/4" FLUSH WOOD VENEER SOLID CORE DOOR WITH HOLLOW METAL FRAME. FINISH TO MATCH EXISTING DOORS. PAINT FRAME TO MATCH EXISTING FRAMES IN PUBLIC SPACE. CONFIRM COLOR WITH INTERIOR DESIGNER. DOOR HARDWARE: HINGES, STOREROOM LOCKSET WITH HANDLE THAT RETURNS TO DOOR, CLOSER, FLOOR STOP, AND SILENCERS. COORDINATE KEYING WITH OWNER.
  - 08.006 DECORATIVE RESIN PANEL (SP-01) SET IN RECESSED ALUMINUM CHANNELS. BACKLIT PER MEP DRAWINGS.
  - 08.007 GLAZING ADJACENT DOOR SWING TO BE TEMPERED GLASS. REPLACE GLASS LITES AS REQUIRED. MATCH EXISTING GLAZING TINT, REFLECTANCE, AND COLOR.
  - 08.018 FLOOR STOP.
  - 09.009 BASE PER INTERIOR DESIGN SPECIFICATIONS.
  - 09.011 FRP OVER PLYWOOD SHEATHING.
  - 09.012 PAINT WALL BEHIND GLASS WHITE.
  - 09.050 4" BACKSLASH TO MATCH COUNTER FINISH.
  - 11.001 BAR EQUIPMENT PER KITCHEN EQUIPMENT VENDOR.
  - 11.002 DASHED CIRCLE INDICATES 4" CONDUIT FOR SODA LINES. HOLD TIGHT TO UNDERSIDE OF BAR AND TIGHT TO BAR DIE WALL.
  - 11.003 OWNER PROVIDED TV. COORDINATE MOUNTING BRACKET WITH WOOD VENEER PLYWOOD BACK PANEL. FRONT FACE OF TV SHALL NOT PROTRUDE FROM FACE OF BACK BAR SHELVING.
  - 11.004 DASHED CIRCLE INDICATES SODA LINES IN METAL CONDUIT. ROUTE IN STUD WALL BEHIND BACK BAR. LIGHT FIXTURE PER MEP.
  - 26.006 LED STRIP LIGHTING PER MEP DRAWINGS FOR BACKLIT DECORATIVE GLASS.
  - 26.008 OUTLET PER MEP DRAWINGS, MOUNTED IN FACE OF WOOD VENEER PANEL.

**12 STEEL TUBE BAR TOP FRAME PLAN**  
1/4" = 1'-0"

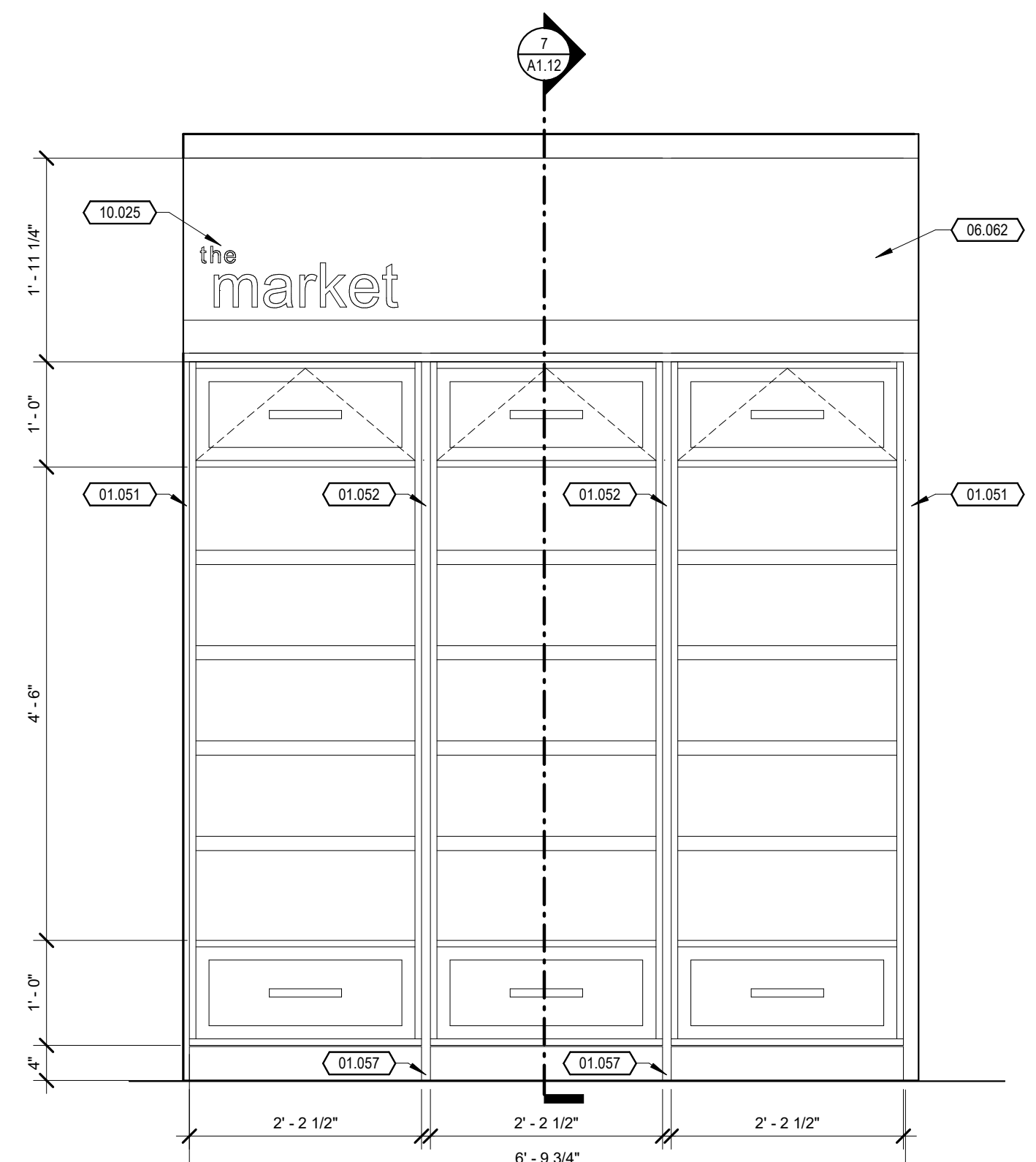
**BAR PLAN AND DETAILS**

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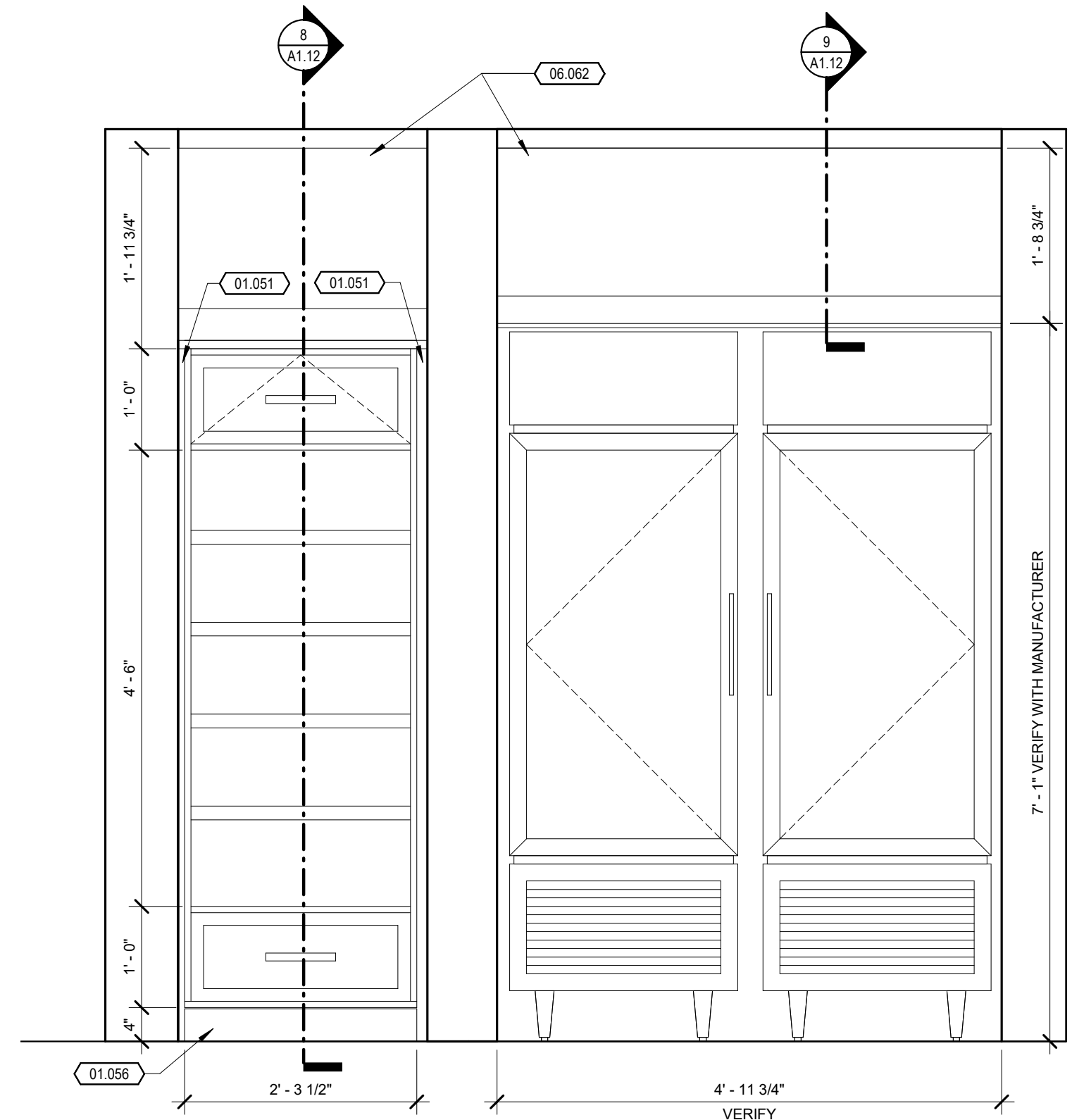
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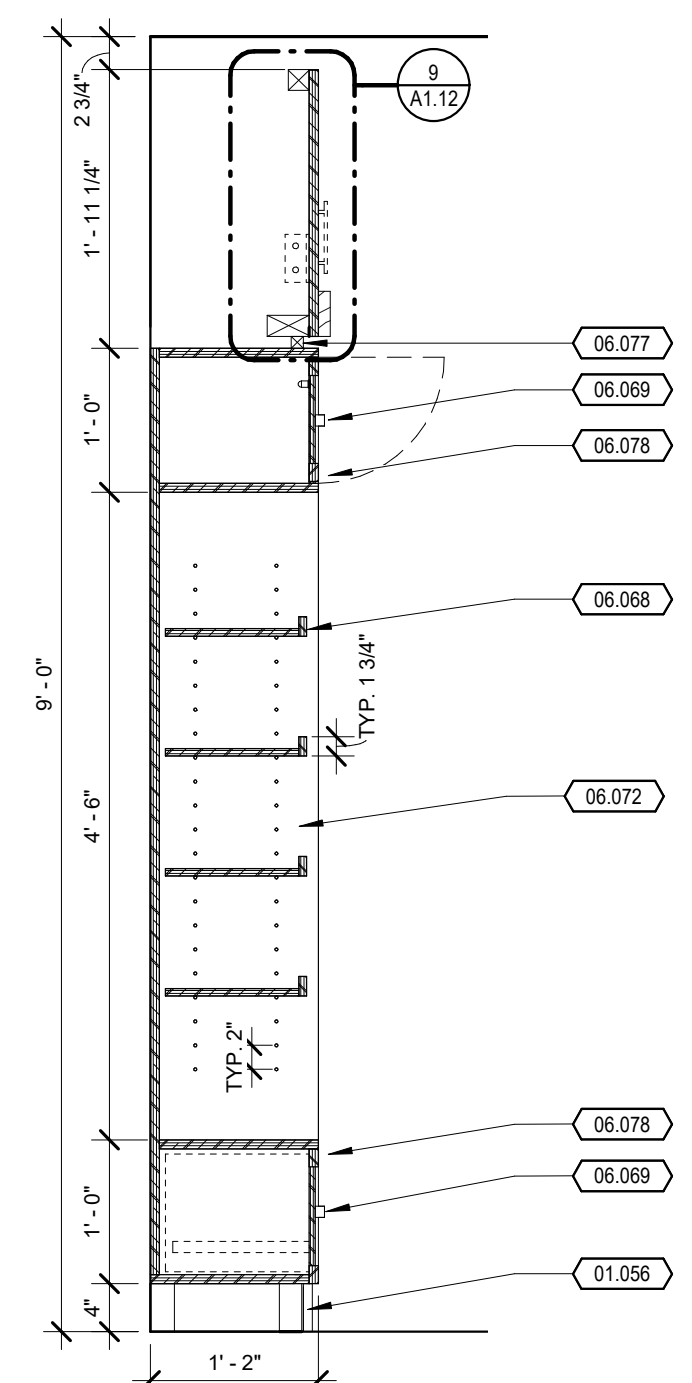
1 MARKET ENLARGED PLAN  
1/2" = 1'-0"



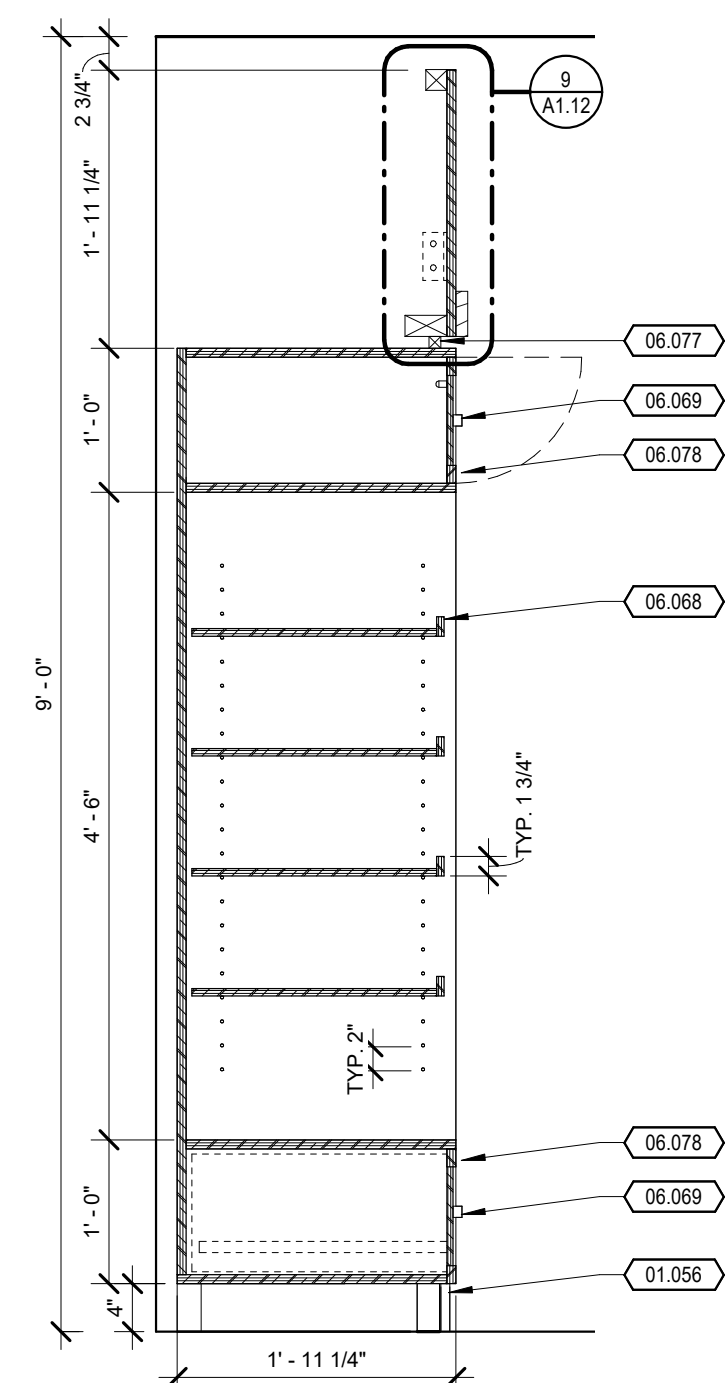
5 MARKET ELEVATION A  
3/4" = 1'-0"



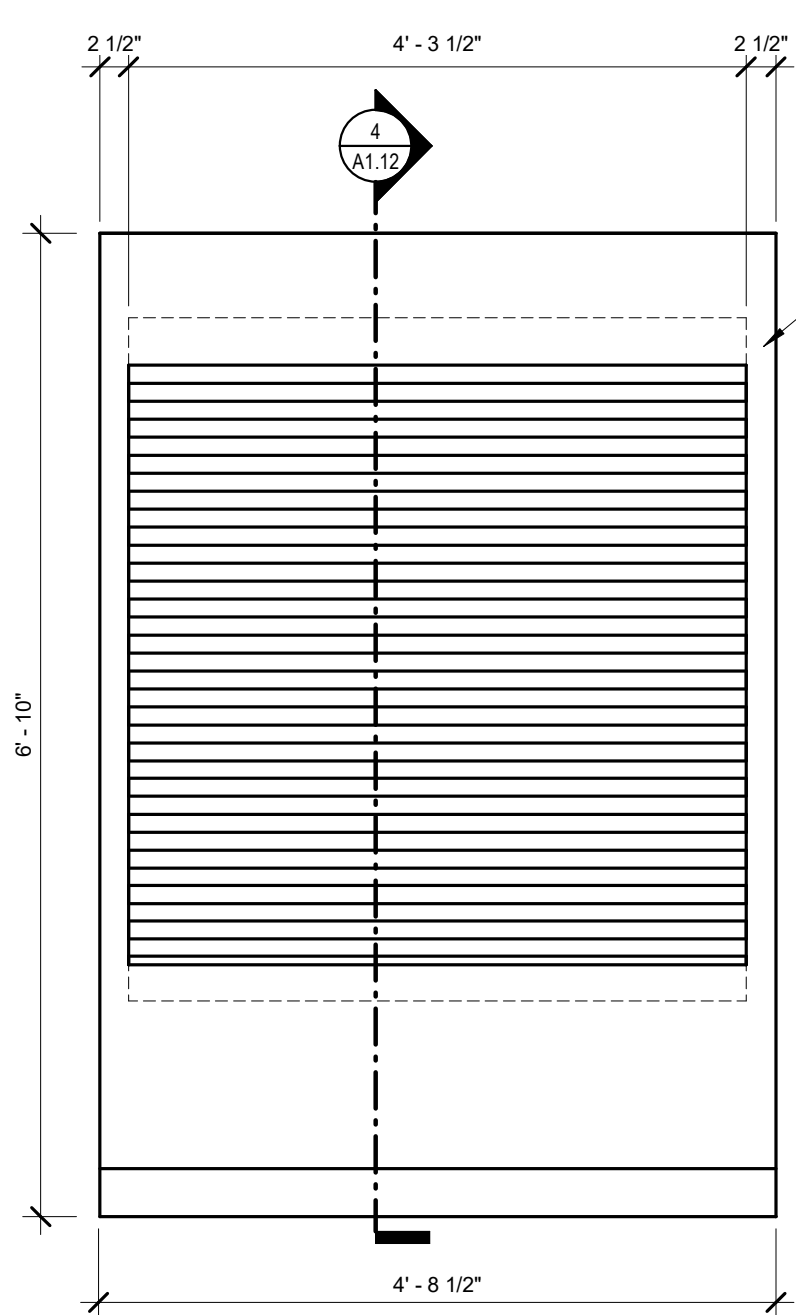
6 MARKET ELEVATION B  
3/4" = 1'-0"



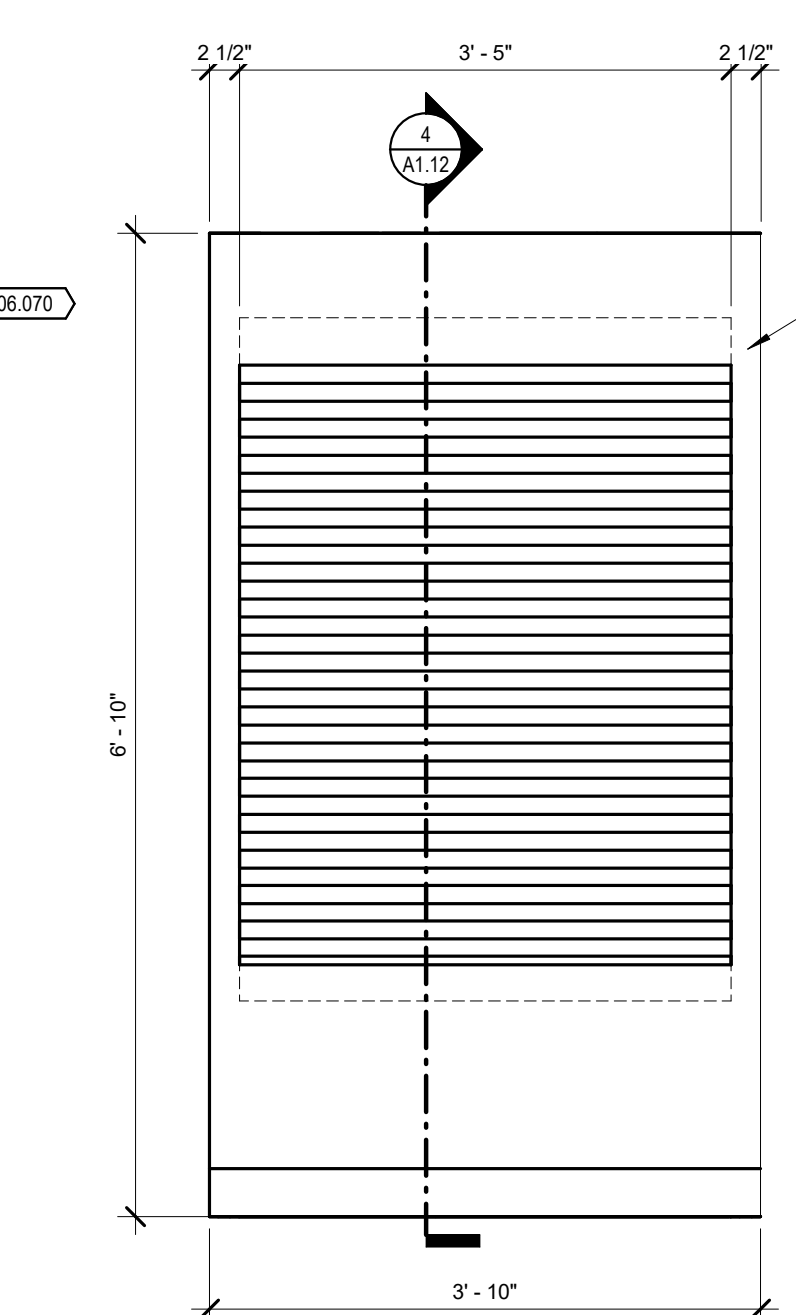
7 MARKET - STORAGE UNIT A  
3/4" = 1'-0"



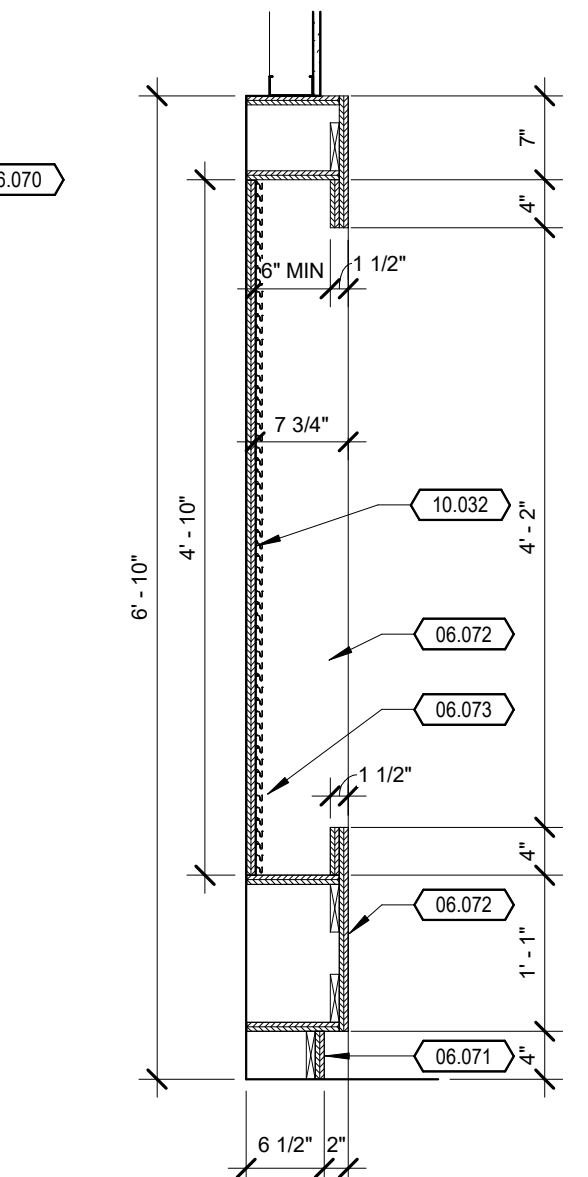
8 MARKET - STORAGE UNIT B  
3/4" = 1'-0"



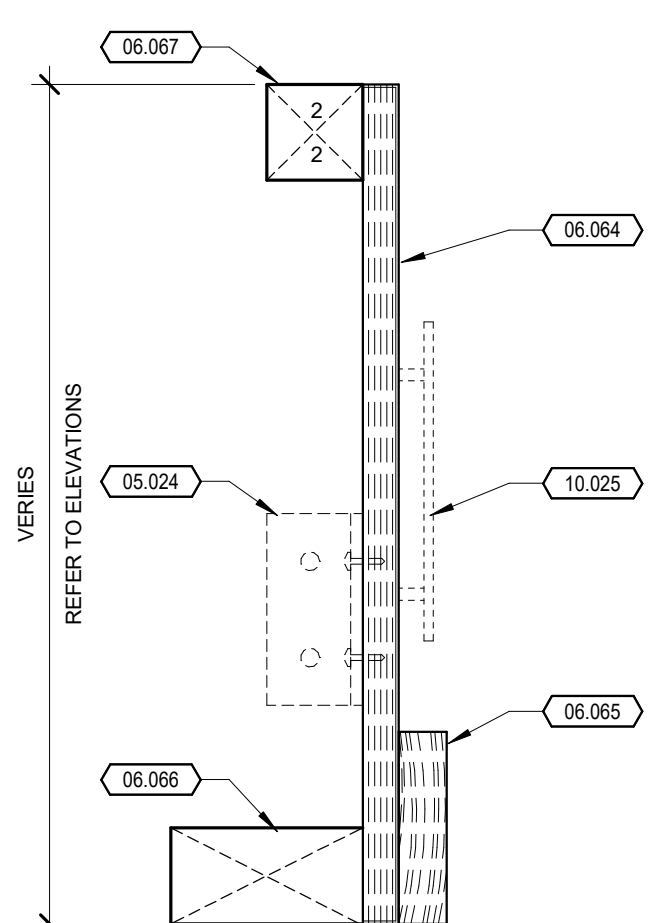
2 MARKET - AMENITIES CABINET A  
3/4" = 1'-0"



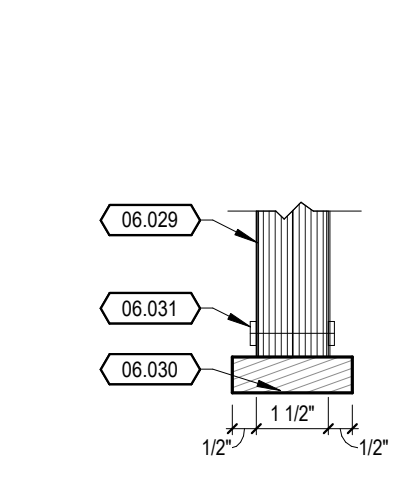
3 MARKET - AMENITIES CABINET B  
3/4" = 1'-0"



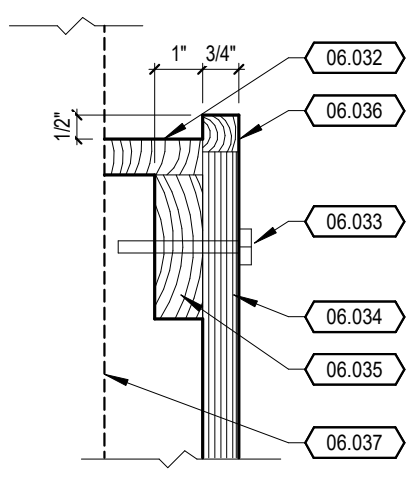
4 MARKET - AMENITIES CABINET SECTION  
3/4" = 1'-0"



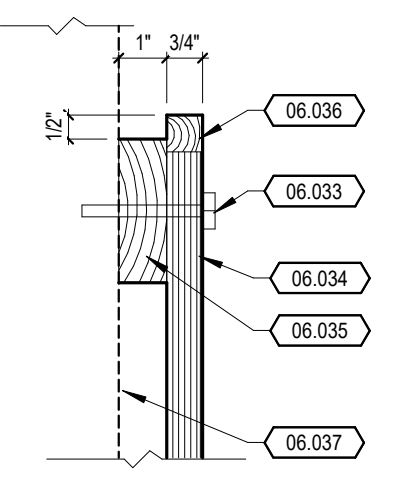
9 MARKET - FASCIA DETAIL  
3" = 1'-0"



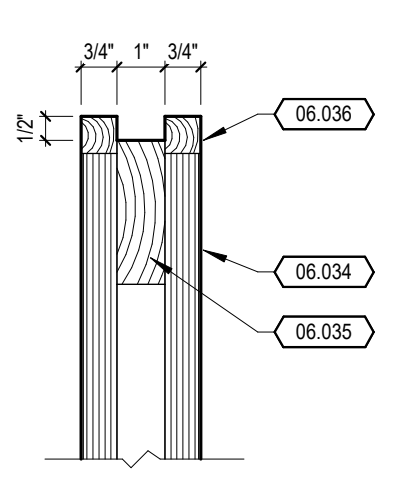
A FACE FRAME



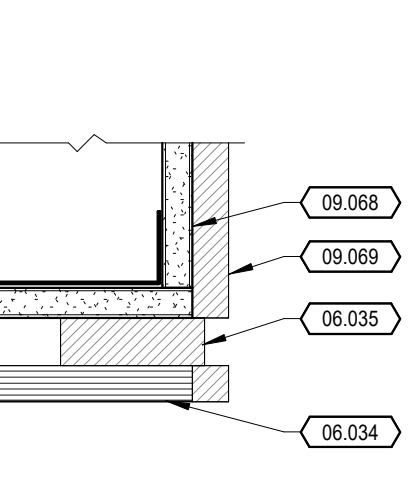
B FACE FRAME SCRIBE



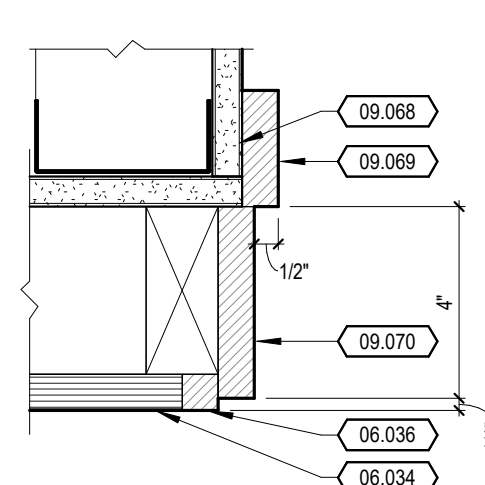
C SPLINE / SCRIBE



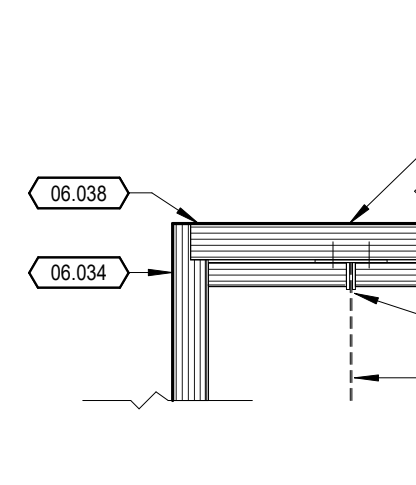
D SPLINE



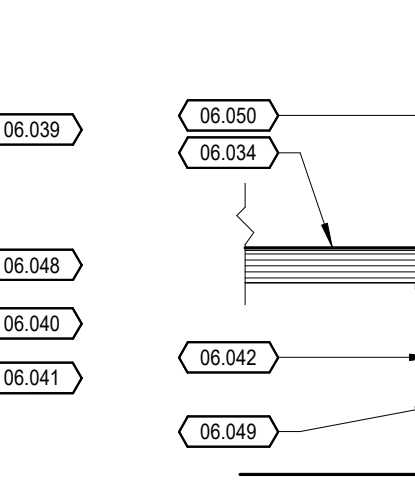
E SPLINE SCRIBE



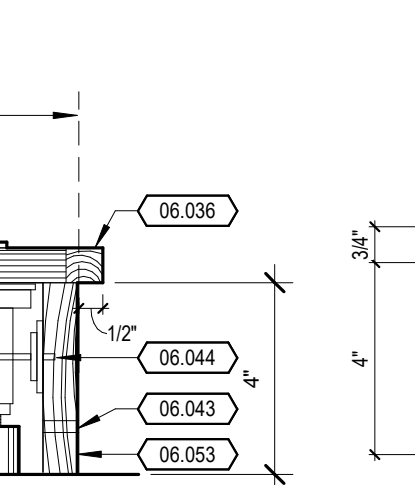
F FACE FRAME SCRIBE



G STANDARD DETAIL



H LEG / BASE



J SPLINE/FACED BASES

14 MARKET - STANDARD MILLWORK DETAILS  
3" = 1'-0"

### KEYNOTE LEGEND

01.046	EXISTING 1-HOUR RATED PARTITIONS.
01.051	SPLINE / SCRIBE BETWEEN UNIT AND WALL. REFER TO DETAIL 14C1A.12.
01.052	SPLINE. REFER TO DETAIL 14D1A.12.
01.056	LEG / BASE TOE KICK. REFER TO DETAIL 14H1A.12.
01.057	SPLINE / FACED BASES. REFER TO DETAIL 14J1A.12.
05.024	2X2 - 4" LONG STEEL ANGLE EACH END. ATTACH TO WALL.
06.029	3/4" PLYWOOD WITH WOOD VENEER TO BE STAINED.
06.030	1X2 FACE FRAME.
06.031	CHROME GROMMET AND ANCHOR BOLT.
06.032	SCRIBE.
06.033	BRONZE OR BLACK GROMMET AND ANCHOR BOLT.
06.034	3/4" PLYWOOD WITH WOOD VENEER TO BE STAINED.
06.035	5/4X3 WOOD FILLER.
06.036	WOOD BANDING.
06.037	FACE OF FINISH.
06.038	3/4" X 3/8" RABBET JOINT.
06.039	3/4" PLYWOOD (TYPICAL FOR ALL CABINET BOXES).
06.040	CONCEALED BRUSHED STAINLESS STEEL T-STANDARD.
06.041	BRUSHED STAINLESS STEEL SHELF BRACKET.
06.042	PANEL CLIP.
06.043	CONTINUOUS SLOT @ REFRIGERATOR / FREEZER FOR VENTILATION.
06.044	GROOVE FOR PANEL CLIP.
06.045	EDGE OF UNIT BEHIND FACING.
06.046	WOOD SPLINE.
06.047	BASE PER INTERIOR DESIGNER.
06.048	1/2" PLYWOOD WITH WOOD VENEER TO BE STAINED.
06.049	ADJUSTABLE CABINET LAMINATE.
06.050	SPLINE BEYOND.
06.053	BLACK PLASTIC LAMINATE.
06.062	FASCIA - REFER TO VIEW 9A1.12.
06.064	3/4" PLYWOOD STAIN EXPOSED SURFACES BEFORE ADDING TRIM.
06.065	1X4 WOOD TRIM.
06.066	2X4 WOOD STUD.
06.067	2X2 WOOD STUD.
06.068	ADJUSTABLE ROUTED SHELVING. 3/4" PLYWOOD WITH WOOD VENEER TO BE STAINED. ON RECESSED PINS AND BUSHINGS AT 2" O.C.
06.069	DOOR / DRAWER PULL BY G EISEN. NAME: LINEAR ALUMINUM BAR PULL. FINISH: GLOSS BLACK. PRODUCT NUMBER #1600-3. SIZE: OVERALL WIDTH - 5" X 1-1/4", 3" CENTER TO CENTER OF INSTALLATION HOLES. SCREWS INCLUDED.
06.070	WALL MOUNTED AMENITIES CABINET. BY G.C. FOR REQUIRED SHELF MANAGEMENT SYSTEM CONTACT TRAVADO AT WWW.TRAVADO.COM OR PH 1-888-205-5502.
06.071	BLACK PLASTIC LAMINATE OVER PLYWOOD BASE.
06.072	3/4" PLYWOOD WITH WOOD VENEER TO BE STAINED AT ALL EXPOSED SURFACES.
06.073	EXTEND MEGA WALL TO COVER ENTIRE REAR PANEL OF AMENITIES CABINET.
06.076	WOOD FACE FRAME.
06.077	1X1 WOOD TRIM.
06.078	WOOD VENEER PANEL DOOR. STAINED.
09.053	CREATE CASED OPENING AND INSTALL STONE COUNTER NO HIGHER THAN 3/4" AFF WITH 1" OVERHANG ON BOTH SIDES. REFER TO INTERIOR DESIGN DRAWINGS FOR MATERIAL.
09.063	PROVIDE DARK TINTED FILM ON ALL EXISTING GLASS (INTERIOR SIDE) TO HIDE VIEW TO INTERIOR.
09.068	5/8" GYPSUM BOARD ON 3/8" METAL STUD SOFFIT.
09.069	1X WOOD SOFFIT TRIM.
09.070	17X4" WOOD SOFFIT TRIM.
10.025	PLAQUE SIGN ON 1/2" SPACERS. PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR.
10.032	MEGAWALL POWDER COAT TO MATCH HUDSON LAMINATE. 311" T.O.C. 387X24" ONE-SIDED SLAT SYSTEM BY WWW.MEGAWALL.COM. WITH 6" STAINLESS STEEL HOOKS FROM WWW.TRAVADO.COM.

- ### MILLWORK NOTES
- ALL WOOD VENEER AND WOOD TRIM SHALL BE SELECT WHITE MAPLE
    - CUT: PLAIN SLICED/PLAIN SAWN.
    - GRAIN DIRECTION: VERTICALLY FOR DRAWER FRONTS, DOORS, AND FIXED PANELS UNLESS INDICATED OTHERWISE.
    - MATCHING OF VENEER LEAVES: BOOK MATCH.
    - VENEER MATCHING WITHIN PANEL FACE: BALANCE MATCH.
  - HINGES SHALL BE FRAMELESS CONCEALED HINGES (EUROPEAN TYPE); BHMA A156.9, B01802, 170 DEGREES OF OPENING.
  - DRAWER SLIDES: BHMA A156.9
    - GRADE 1: AND GRADE 2: SIDE MOUNTED AND EXTENDING UNDER BOTTOM EDGE OF DRAWER.
      - TYPE: FULL EXTENSION.
      - MATERIAL: ZINC-PLATED STEEL WITH POLYMER ROLLERS
    - GRADE 1HD-100 AND GRADE 1HD-200: SIDE MOUNTED, FULL EXTENSION TYPE. ZINC-PLATED-STEEL. BALL-BEARING SLIDES.
      - C. FOR DRAWERS MORE THAN 6 INCHES (150MM) HIGH OR MORE THAN 24 INCHES (600MM) WIDE, PROVIDE GRADE 1HD-100.

### REVISIONS

### MARKET MILLWORK AND DETAILS

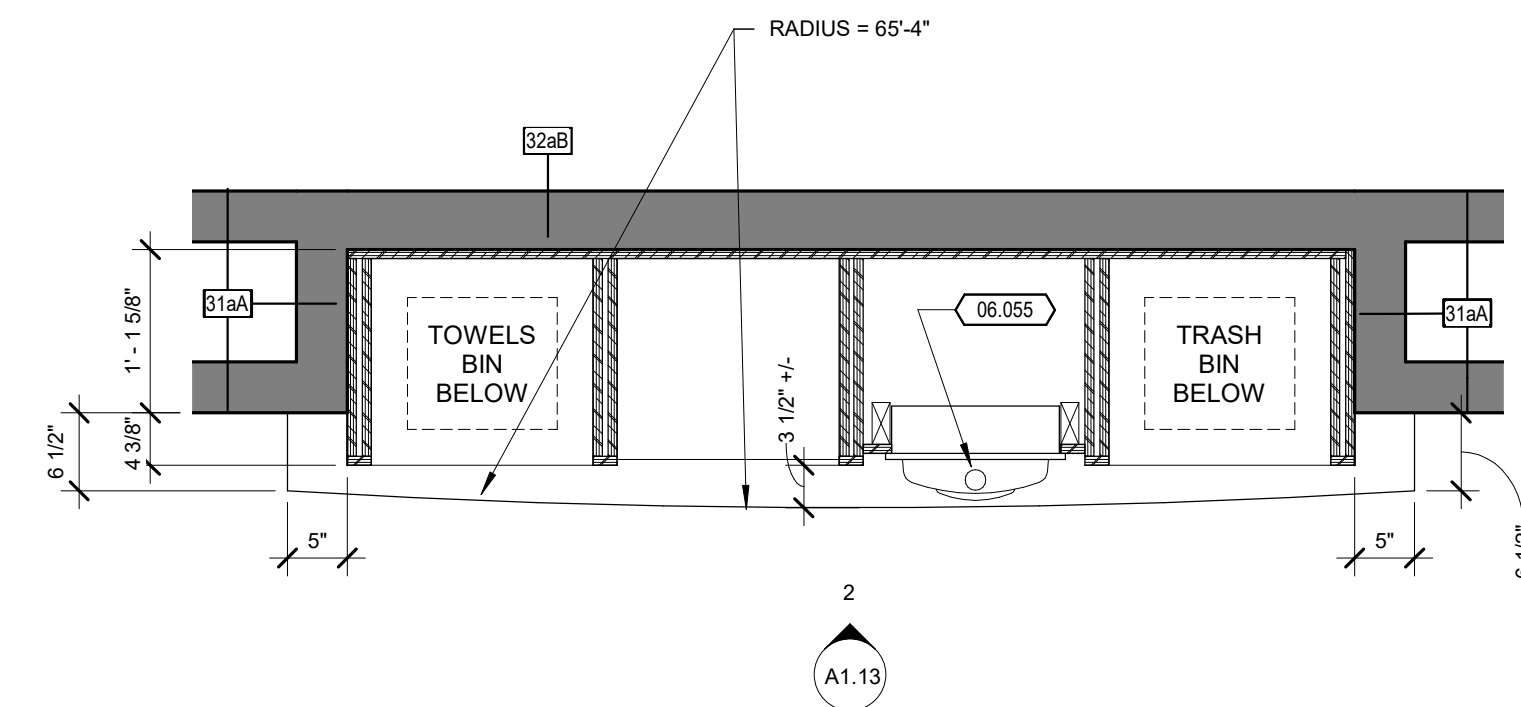
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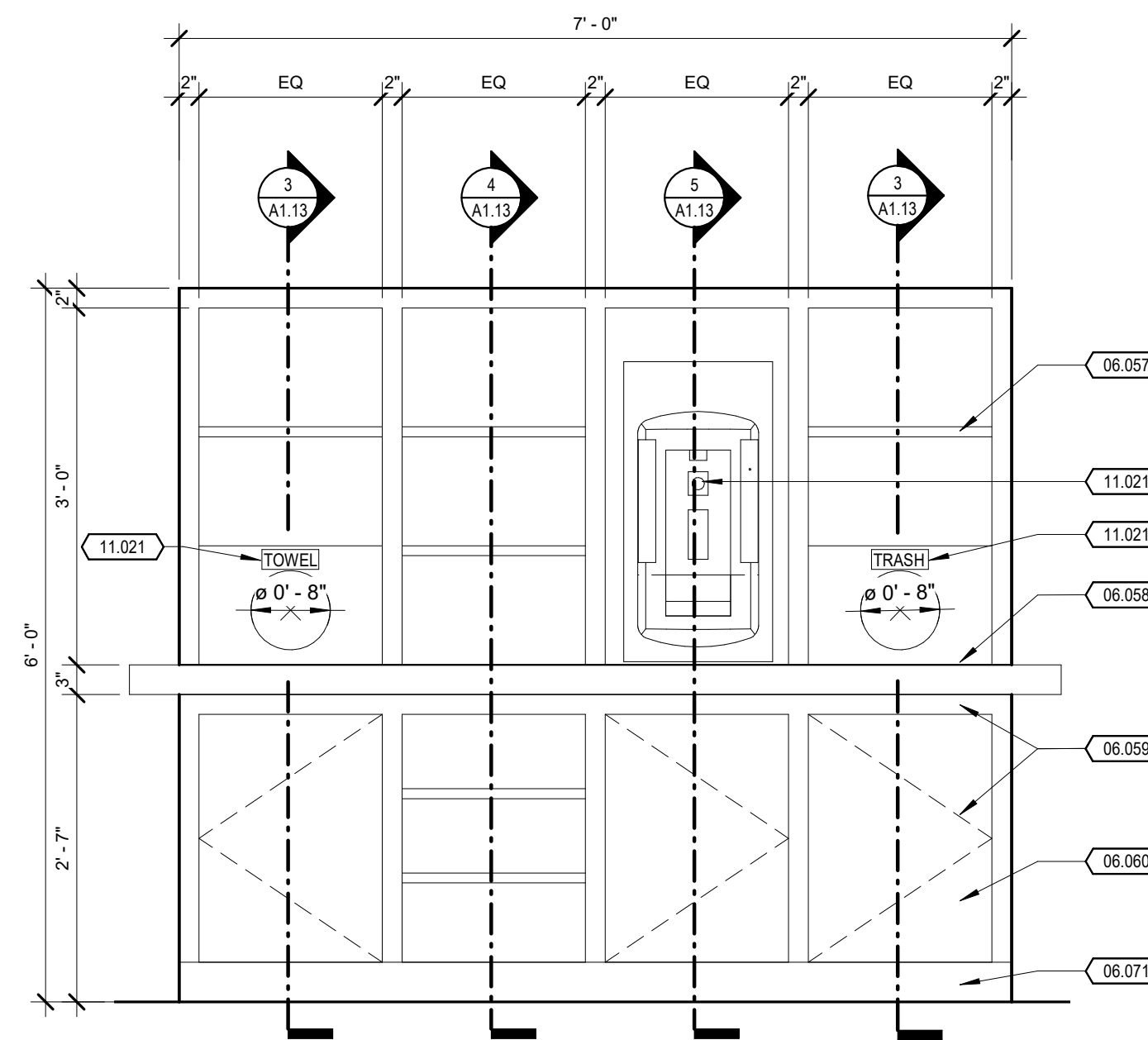
DRAWN BY: GEOFFREY H. BUTLER, AIA  
 Author: OCTOBER 23, 2019  
 CHECKED BY: PROJECT  
 Checker: 17009RRGC

**KEYNOTE LEGEND**

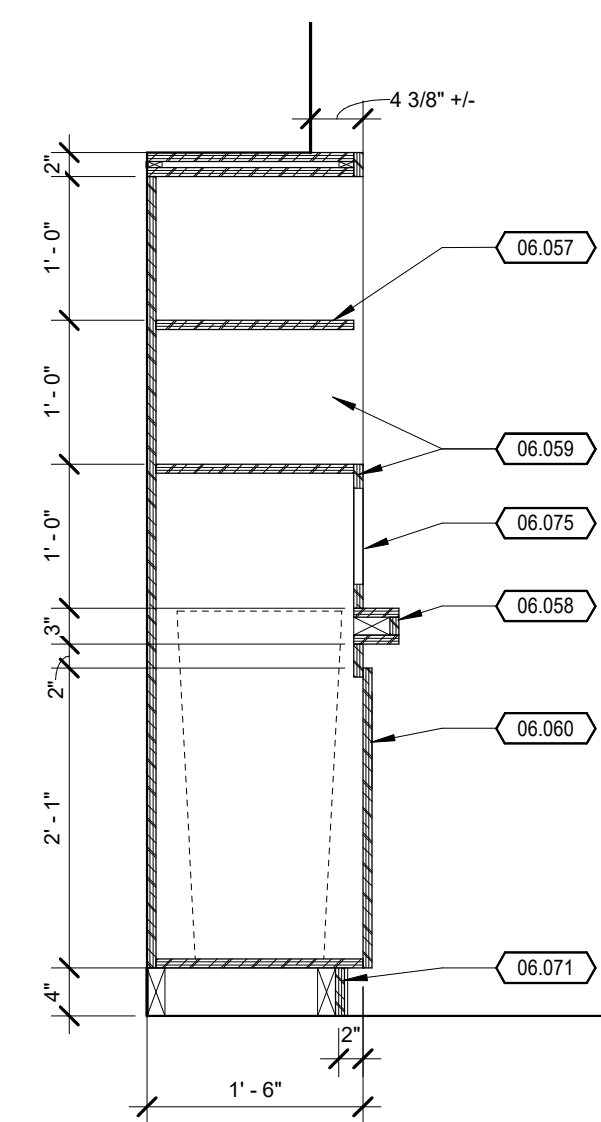
06.055	HYDRATION EQUIPMENT PER MEP. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
06.057	FIXED SHELF, 3/4" WOOD VENEER PLYWOOD WITH WOOD VENEER TO BE STAINED AT ALL EXPOSED SURFACES.
06.058	COUNTERTOP TO BE 3" THICK WITH 3/4" PLYWOOD TO BE STAINED AT ALL EXPOSED SURFACES.
06.059	3/4" PLYWOOD WITH WOOD VENEER TO BE STAINED AT ALL EXPOSED SURFACES.
06.060	DOORS TO HAVE MAGNETIC PUSH LATCH HARDWARE.
06.071	BLACK PLASTIC LAMINATE OVER PLYWOOD BASE.
06.075	8" DIAMETER OPENING.
11.021	HYDRATION EQUIPMENT WCR-S1. PROVIDE WATER SUPPLY AND WASTE PER MANUFACTURER'S INSTRUCTION.



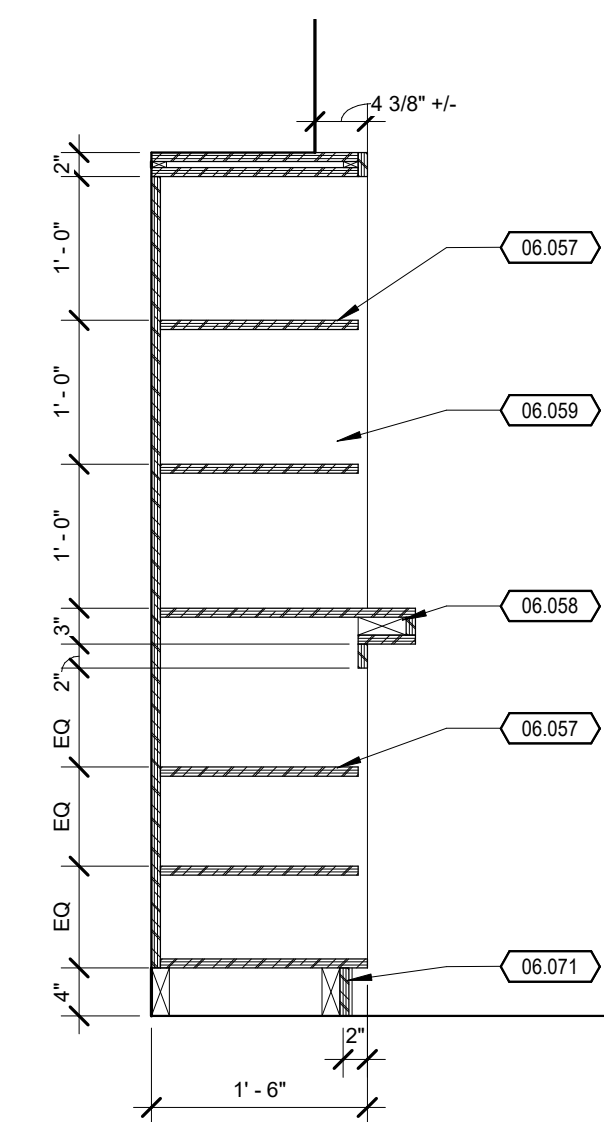
**1 HYDRATION STATION ENLARGED PLAN**  
3/4" = 1'-0"



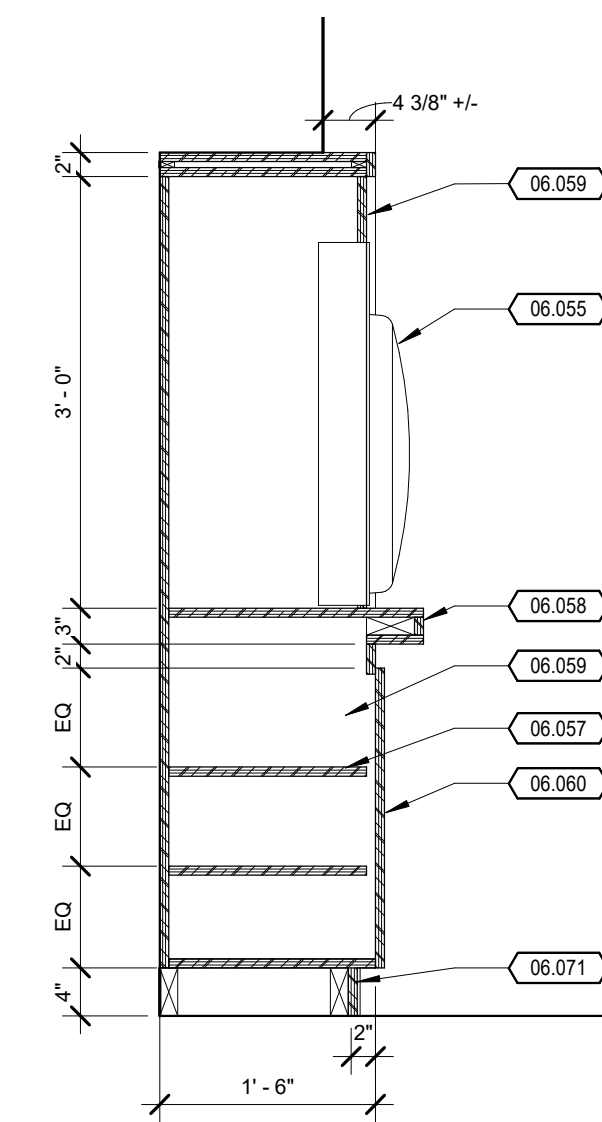
**2 HYDRATION STATION FRONT ELEVATION**  
3/4" = 1'-0"



**3 HYDRATION SECTION A**  
3/4" = 1'-0"



**4 HYDRATION SECTION B**  
3/4" = 1'-0"



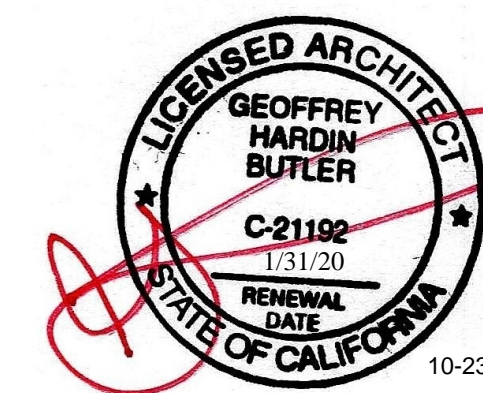
**5 HYDRATION SECTION C**  
3/4" = 1'-0"

**REVISIONS**

**FITNESS MILLWORK AND DETAILS**

**RESIDENCE INN PUBLIC SPACE REMODEL**  
11931 HARBOR BOULEVARD, GARDEN GROVE, CA 92840

**GEOFFREY H. BUTLER, AIA**  
319 N MAIN ST. SUITE 200, SPRINGFIELD, MISSOURI, 65806 T: 417-865-6100



DRAWN BY: Author  
ISSUE DATE: OCTOBER 23, 2019  
CHECKED BY: Checker  
PROJECT: 17009.RRGC

**A1.13**



**STATE OF CALIFORNIA LIMITATION**

I HEREBY CERTIFY THAT THESE ENGINEERING DOCUMENTS WERE PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF CALIFORNIA.

*Abby L. Thurman* 10/8/19  
 ABBY L. THURMAN (DATE)

LICENSE RENEWAL DATE IS JUNE 30, 2021

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**STATE OF CALIFORNIA LIMITATION**

I HEREBY CERTIFY THAT THESE ENGINEERING DOCUMENTS WERE PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF CALIFORNIA.

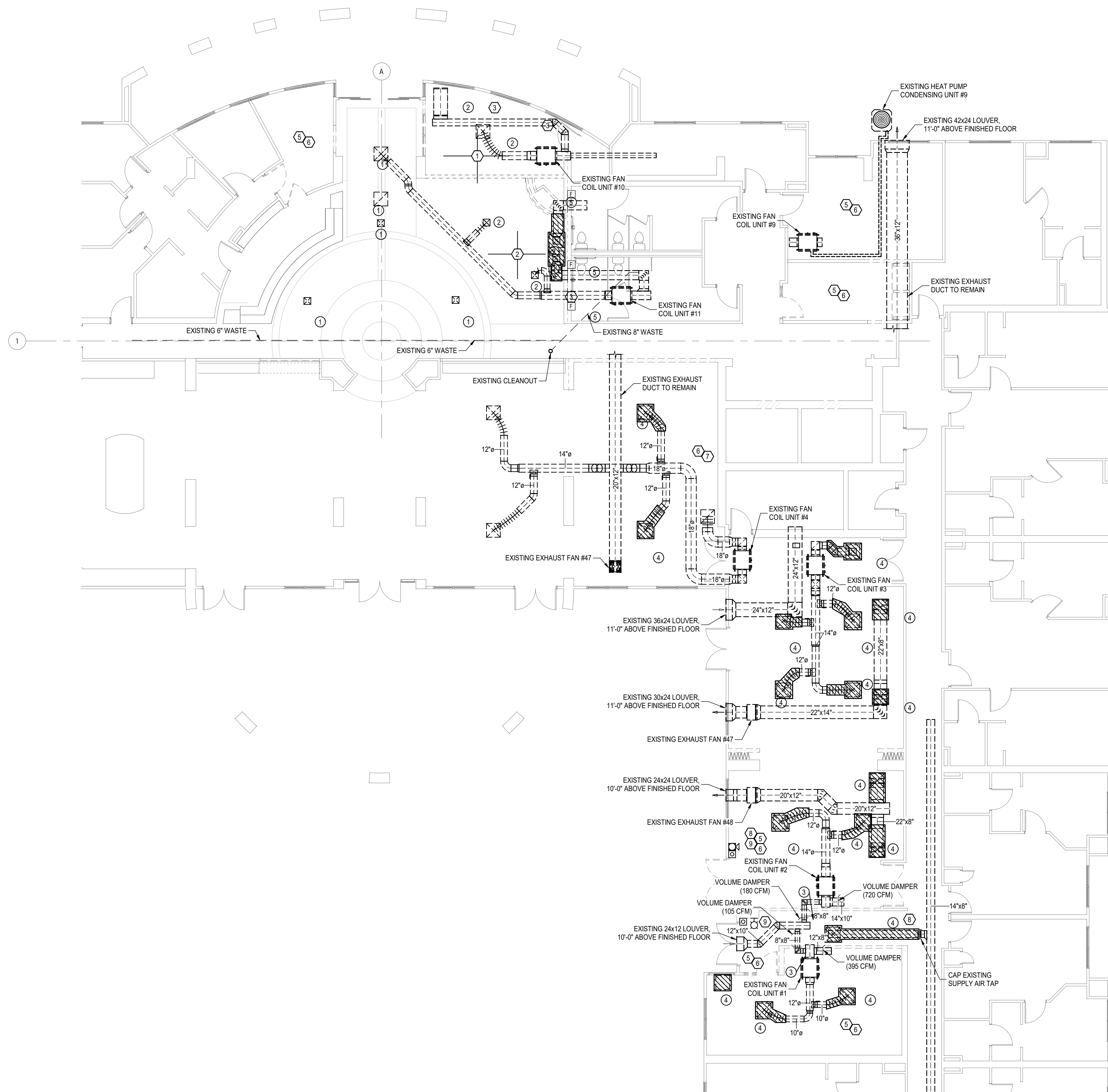
*Brent L. Courter* 10/8/19  
 BRENT L. COURTER (DATE)

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**GENERAL NOTES**

1. THE EXISTING LAYOUT IS TAKEN FROM THE ORIGINAL 2002 CONSTRUCTION DRAWINGS. FIELD VERIFY ALL EXISTING CONDITIONS.

**MECHANICAL DEMOLITION NOTES**

- ① EXISTING SUPPLY AND RETURN AIR DIFFUSERS TO REMAIN.
- ② REPLACE EXISTING SUPPLY AND RETURN AIR DIFFUSERS WITH NEW IN NEW CEILING. SEE SHEET M1.1 FOR ADDITIONAL INFORMATION.
- ③ DEMO EXISTING FSD. INSERT NEW DUCT SECTION TO MATCH EXISTING DUCT SIZE.
- ④ DEMO EXISTING AIR DEVICE AND ASSOCIATED FLEX DUCT.
- ⑤ EXISTING SMOKE/FIRE DAMPER TO REMAIN.

**ELECTRICAL DEMOLITION NOTES**

- SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTES AND INSTRUCTIONS FOR PATCHING OF ALL WALLS AND CEILING.
  - E.G. SHALL REPLACE ANY CONDUIT, RECEPTACLES, DEVICES, COVERPLATES, ETC. THAT ARE BROKEN.
  - ANY BREAKERS IN PANELS MADE AVAILABLE FROM DEMOLITION, SHALL REMAIN AND BE USED AS SPARES OR RE-USED TO FEED NEW DEVICES/EQUIPMENT.
  - MAINTAIN CIRCUIT CONTINUITY FOR RECEPTACLES OR LIGHT FIXTURES THAT REMAIN IN PLACE.
- ① REMOVE EXISTING LIGHT FIXTURES AND ASSOCIATED WIRING/CONTROLS WITHIN THIS ROOM.
  - ② REMOVE EXISTING ELECTRICAL DEVICES AND ASSOCIATED WIRING WITHIN PROJECT LIMITS, UNLESS NOTED OTHERWISE.
  - ③ EXISTING RECEPTACLE SHALL REMAIN. SEE SHEET E2.1 FOR ADDITIONAL INFORMATION.
  - ④ EXISTING ELECTRICAL DEVICES WITH ASSOCIATED CONDUIT, BOX AND WIRING SHALL BE REMOVED FROM THIS ROOM, UNLESS OTHERWISE NOTED.
  - ⑤ EXISTING LIGHTING WITH ASSOCIATED SWITCHES, CONDUIT, BOXES AND WIRING SHALL BE REMOVED FROM THIS ROOM.
  - ⑥ EXISTING PROJECTOR AND SCREEN IN THIS ROOM SHALL BE REMOVED AND RETURNED TO OWNER. REMOVE ANY COMPONENTS ATTACHED TO EXISTING PROJECTOR AND SCREEN. PATCH AND REPAIR AS REQUIRED. SEE SHEET E2.1 FOR NEW PROJECTOR AND SCREEN LOCATION.
  - ⑦ REMOVE EXISTING EXIT SIGNS FROM EXISTING MEETING ROOM 132 AND BETWEEN COORIDOR 131 AND 129 INTERSECTION. KEEP EXISTING SIGNS AT THE DOOR LEADING TO THE COURTYARD IN EXISTING COORIDOR 131.
  - ⑧ EXISTING PULL STATIONS AND FIRE ALARM DEVICES SHALL REMAIN AS IS. PROTECT DURING CONSTRUCTION.

REVISIONS

**MECHANICAL AND ELECTRICAL DEMOLITION PLAN**

**RESIDENCE INN PUBLIC SPACE REMODEL**

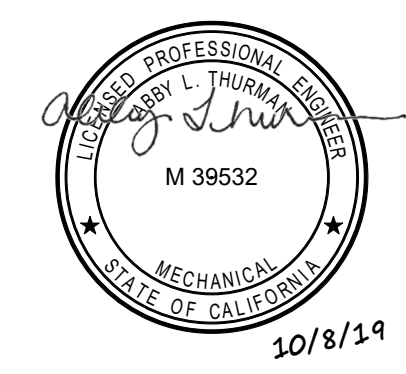
11931 HARBOR BOULEVARD, GARDEN GROVE, CA 92840

**GEOFFREY H. BUTLER, AIA**

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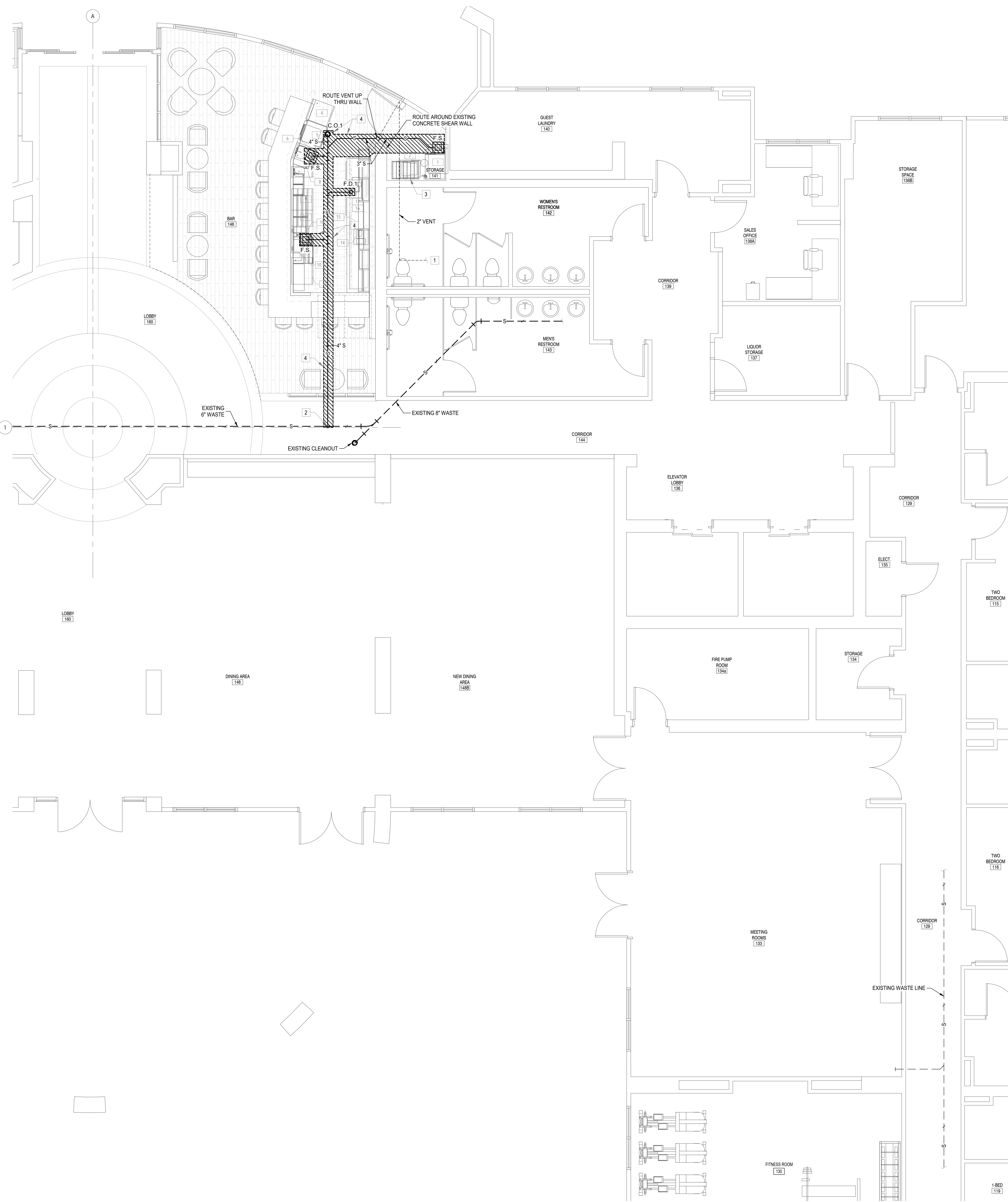
**MECHANICAL AND ELECTRICAL DEMOLITION PLAN**

D1.1 N.T.S.



**D1.1**

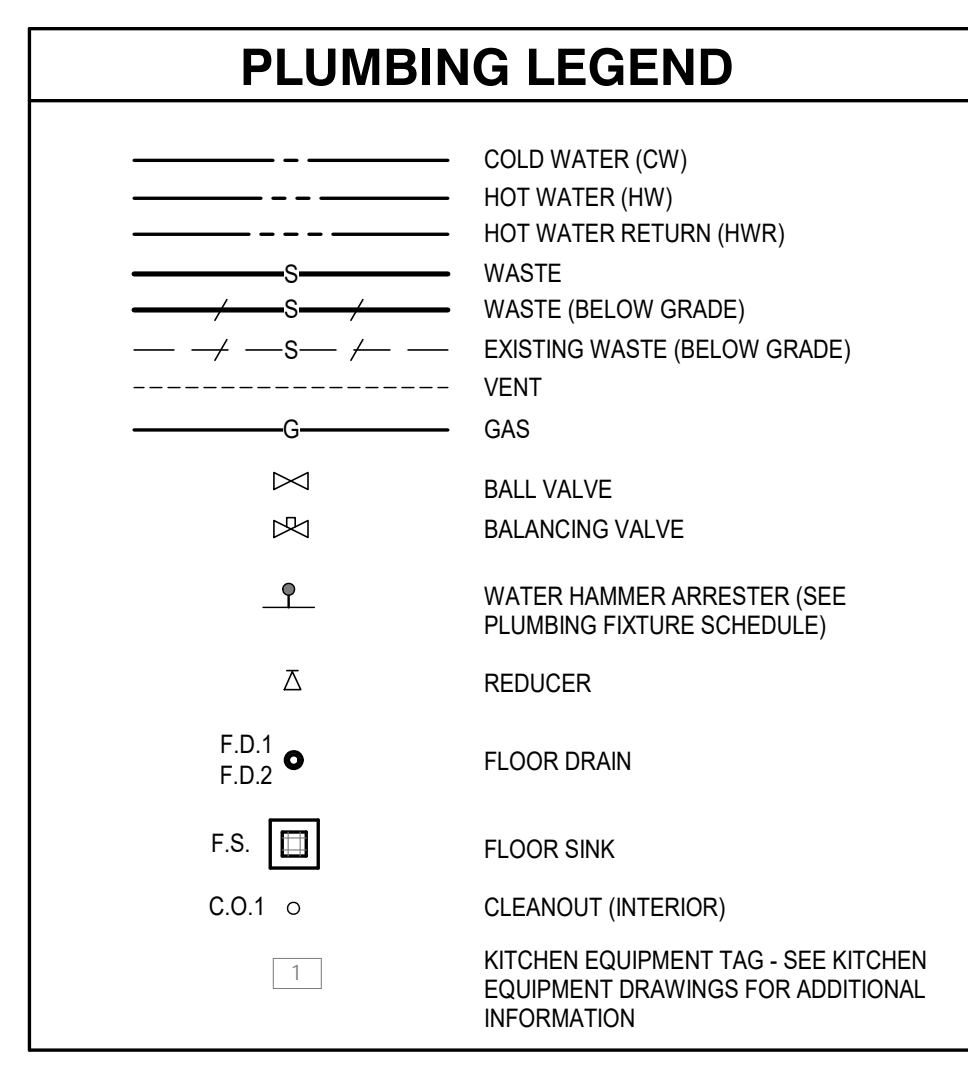
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PLUMBING FIXTURE SCHEDULE									
MARK	DESCRIPTION	MANUFACTURER	MODEL NO.	ACCESSORIES	PIPING REQUIREMENTS			REMARKS	APPROVED MANUFACTURERS
					WASTE	VENT	SUPPLY		
F.D.1	FLOOR DRAIN	ZURN	ZM15-S	TRAP GUARD TG-33 ZURN	2"	1-1/2"	-	COMBINATION WASTE VENT	WADE AND JAY R. SMITH
F.D.2	FLOOR DRAIN	ZURN	ZM15-E	WITH 4" FUNNEL	2"	1-1/2"	-	COMBINATION WASTE VENT	WADE AND JAY R. SMITH
C.O.1	INTERIOR CLEANOUT	ZURN	ZN1400-SZ	-	PER PLAN	-	-	SAME SIZE AS LINE	WADE AND JAY R. SMITH
F.S.	FLOOR SINK	ZURN	ZN1900-K-23 (CAST IRON BODY)	12-1/2" SQ. TOP, 6" DEEP, SEDIMENT BUCKET	3"	1-1/2"	-	3/4 GRATE WHERE REQUIRED	WADE AND JAY R. SMITH
W.H.A.	WATER HAMMER ARRESTER	SIOLUX CHEF	ES3-R	-	-	-	-	-	WATTS
B.F.	BOTTLE FILLER	HANS	2000 SMS	-	-	-	1/4"	-	NO SUBSTITUTIONS PERMITTED

NOTES:  
 ⚠️ COORDINATE ROUGH-IN OF ALL PLUMBING FIXTURES WITH ARCHITECTURAL DRAWINGS.  
 ⚠️ CUSTOM RESIDENCE INN LOGO STAINLESS PANEL ON FRONT OF UNIT.  
 NOTE: PIPE AND FITTING INFORMATION SHALL BE INCLUDED WITH THE PLUMBING FIXTURE SUBMITTALS. SUBSTITUTIONS MUST BE REVIEWED PRIOR TO BID DATE.

PLUMBING SCHEDULE											
CONN. NO.	CONNECT TO	QTY.	COLD WATER	HOT WATER	WASTE	FLOOR DRAINS	GAS	MBTU LOAD	STUB UP ABOVE FLOOR	TEE OFF OR RUN TO	REMARKS
P-1.1	ICE MAKER	1			3/4"	FS					PC RUN INDIRECT WASTE TO F.S.
P-1.2	ICE BIN DRAIN	1			3/4"	FS					PC RUN INDIRECT WASTE TO F.S.
P-2	CARBONATOR	1	1/2"						78"		
P-4	DRAINBOARD	1			1"	FS			*		PC RUN INDIRECT WASTE TO F.S.
P-5	GLASSWASHER	1	1/2"	1/2"					12"		140 DEG. MIN. HOT WATER SUPPLY; 12.0 GAL./HR REQUIRED
P-5.1	GLASSWASHER	1			1-1/2"	FS			*		PC RUN INDIRECT WASTE TO F.S.
P-5.2	GLASSWASHER (DRAIN TEMPERING)	1	1/2"						12"		
P-6	DUMP SINK	1	1/2"	1/2"					12"		
P-6.1	DUMP SINK	1			1-1/2"	FS			*		PC RUN INDIRECT WASTE TO F.S.
P-8	HAND SINK	1	1/2"	1/2"					12"		
P-8.1	HAND SINK	1			1-1/2"	FS			*		PC RUN INDIRECT WASTE TO F.S.
P-10	ICE CHEST	1			1/2"	FS			*		PC RUN INDIRECT WASTE TO F.S.
P-11	DRAINBOARD	1			1"	FS			*		PC RUN INDIRECT WASTE TO F.S.
P-16	BEER DRAINER	1			1/2"	FFD			*		PC RUN INDIRECT WASTE TO FFD



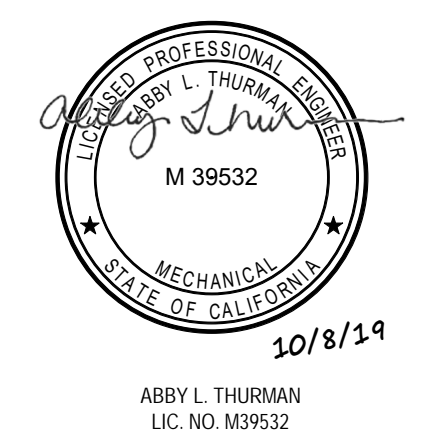
- ### GENERAL PLUMBING NOTES
- ALL DRAWINGS ARE DIAGRAMMATIC AND ARE NOT TO BE SCALED. REFER TO THE ARCHITECTURAL PLANS FOR DIMENSIONS.
  - ALL PLUMBING WORK IS TO BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2016 CALIFORNIA PLUMBING CODE.
  - THE CONTRACTOR SHALL COORDINATE WITH ALL STATE AND LOCAL BUILDING REGULATION AGENCIES AND UTILITY COMPANIES IN THE PROCUREMENT OF AND PAYMENT OF ALL PERMITS, LICENSES, FEES AND CHARGES REQUIRED FOR THE PERFORMANCE OF THE WORK.
  - THE CONTRACTOR IS RESPONSIBLE FOR ALL FEES, PERMITS, AND DIRECT EXPENSES INVOLVED IN ANY INSPECTION REQUIRED FOR THE PROJECT.
  - PIPING MATERIAL SHALL BE AS FOLLOWS:
    - HOT AND COLD WATER PIPING - TYPE "L" COPPER
    - DRAIN, WASTE AND VENT PIPING - SCHEDULE 40 PVC DWV, ASTM D-2685 DO NOT USE "FOAM CORE" PIPE. NOTE: ALL DRAIN WASTE AND VENT PIPING INSTALLED IN A RETURN AIR PLENUM SHALL BE CAST IRON.
    - WATER SERVICE - SCHEDULE 40 PVC
    - GAS PIPING - SCHEDULE 40 BLACK STEEL WITH MALLEABLE IRON FITTINGS. NOTE: ALL GAS PIPE FITTINGS IN RETURN AIR PLENUMS SHALL BE WELDED.
  - VALVES ON WATER LINES SHALL BE BRONZE BALL VALVES. DO NOT SUBSTITUTE GATE OR GLOBE VALVES. VALVES SHALL BE THE SAME SIZE AS THEIR INLET PIPING.
  - ALL PLUMBING FIXTURES ARE TO BE FURNISHED COMPLETE WITH NECESSARY STOPS, TRAPS, TAILPIECES, TRIM, ETC.
  - THE CONTRACTOR SHALL COOPERATE AND COORDINATE ALL WORK WITH THE WORK OF OTHER CONTRACTORS ON THE PROJECT. COORDINATION DOES NOT MEAN "I WAS HERE FIRST".
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING A COMPLETE AND FUNCTIONAL SYSTEM IN ACCORDANCE WITH THE INTENT OF THE PLANS, WHETHER OR NOT EVERY ELEMENT THEREOF IS SPECIFICALLY CALLED OUT.
  - DO NOT INSTALL CAPPED AIR CHAMBERS AT FIXTURES. INSTALL WATER HAMMER ARRESTERS AS CALLED FOR ON PLAN. ARRESTERS ARE TO BE RATED FOR INSTALLATION IN CONCEALED LOCATIONS.
  - ALL HOT AND COLD WATER SUPPLY PIPING CONNECTION TO FIXTURES ARE TO BE 1/2" UNLESS NOTED OTHERWISE.
  - ALL VENT PIPING IS TO BE 1-1/2" UNLESS NOTED OTHERWISE.
  - PLUMBING PIPING SHALL NOT BE INSTALLED ABOVE ELECTRICAL PANELS. PROVIDE REQUIRED CLEARANCES PER "N.E.C." COORDINATE ELECTRICAL PANELS LOCATIONS WITH THE ELECTRICAL CONTRACTOR.
  - PIPE INSULATION ON ALL DOMESTIC WATER LINES SHALL BE OF ONLY ONE(1) OF THE FOLLOWING TYPES:
    - (3 LB.) FIBERGLASS INSULATION (WITH A.S. JACKET)
    - ARMSTRONG ARMAFLEX AP (2550) INSTALLED WITH ARMAFLEX 520 ADHESIVE. SEAL ALL JOINTS. DO NOT USE ANY TAPE. PIPE INSULATION THICKNESS SHALL BE:
      - 1/2" THICK ON BRANCHES (RUNOUTS) NOT EXCEEDING 12'-0" IN LENGTH
      - 1" THICK ON ALL OTHER LINES
  - CONTRACTOR SHALL PROVIDE A ONE YEAR WARRANTY ON ALL WORK PERFORMED.
  - PROVIDE CHROME ESCUTCHEON COVERPLATES AT ALL PIPE PENETRATIONS OF FINISHED WALL SURFACES.
  - PLUMBING CONTRACTOR SHALL INFORM THE ELECTRICAL CONTRACTOR OF THE VOLTAGE AND POWER REQUIREMENTS OF ALL PLUMBING EQUIPMENT TO BE INSTALLED.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO ROUTE ALL WATER PIPING AROUND SPACES WITH TEMPERATURES BELOW FREEZING (i.e. ATTICS, CHASES, EXTERIOR WALLS, ETC.). IF FREEZING OF ANY WATER PIPING OCCURS IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR THE PIPING THRU A NON-FREEZING SPACE TO THE FIXTURE/APPLIANCE ORIGINALLY SERVED BY THE FROZEN PIPING.
  - ALL CAULKING ON BUILDING PENETRATIONS SHALL BE ELASTOMERIC POLYURETHANE (NO EXCEPTIONS) EQUAL TO "ULULKEM" 116. ANY CONTRACTOR WHO USES SILICONE OR ANY OTHER CAULKING WILL BE REQUIRED TO REMOVE AND REPLACE WITH ELASTOMERIC POLYURETHANE.
  - INSTALL ACCESS PANELS OR DOORS WHERE EQUIPMENT AND/OR VALVES ARE LOCATED IN CONCEALED SPACES.
  - ALL WATER HEATERS AND HOT WATER STORAGE TANKS SHALL HAVE A DRAIN VALVE INSTALLED AT THE BOTTOM OF THE TANK AS REQUIRED BY CODE.
  - CONTRACTOR SHALL PROVIDE THE ENGINEER WITH PLUMBING SUBMITTALS CONTAINING INFORMATION SHEETS ON ALL PLUMBING FIXTURES, PIPE, MATERIALS, VALVES, AND ALL INDIVIDUAL ITEMS SPECIFIED IN NOTES ON THE PLANS.

- ### GENERAL NOTES
- THE EXISTING LAYOUT IS TAKEN FROM THE ORIGINAL 2002 CONSTRUCTION DRAWINGS. FIELD VERIFY ALL EXISTING CONDITIONS.

- ### KEY NOTES
- CONNECT TO EXISTING 2" OR LARGER VENT IN THIS AREA. FIELD VERIFY SIZE AND LOCATION.
  - CONNECT TO EXISTING 6" WASTE IN THIS AREA. FIELD VERIFY SIZE AND LOCATION.
  - SEE KITCHEN EQUIPMENT AND ARCHITECTURAL PLANS FOR SODA LINE CHASE FROM BAG-IN-BOX.
  - SAW CUT FLOOR FOR NEW WASTE SYSTEM. FIELD VERIFY SIZE AND LOCATION OF EXISTING WASTE LINE IN THIS AREA.

REVISIONS

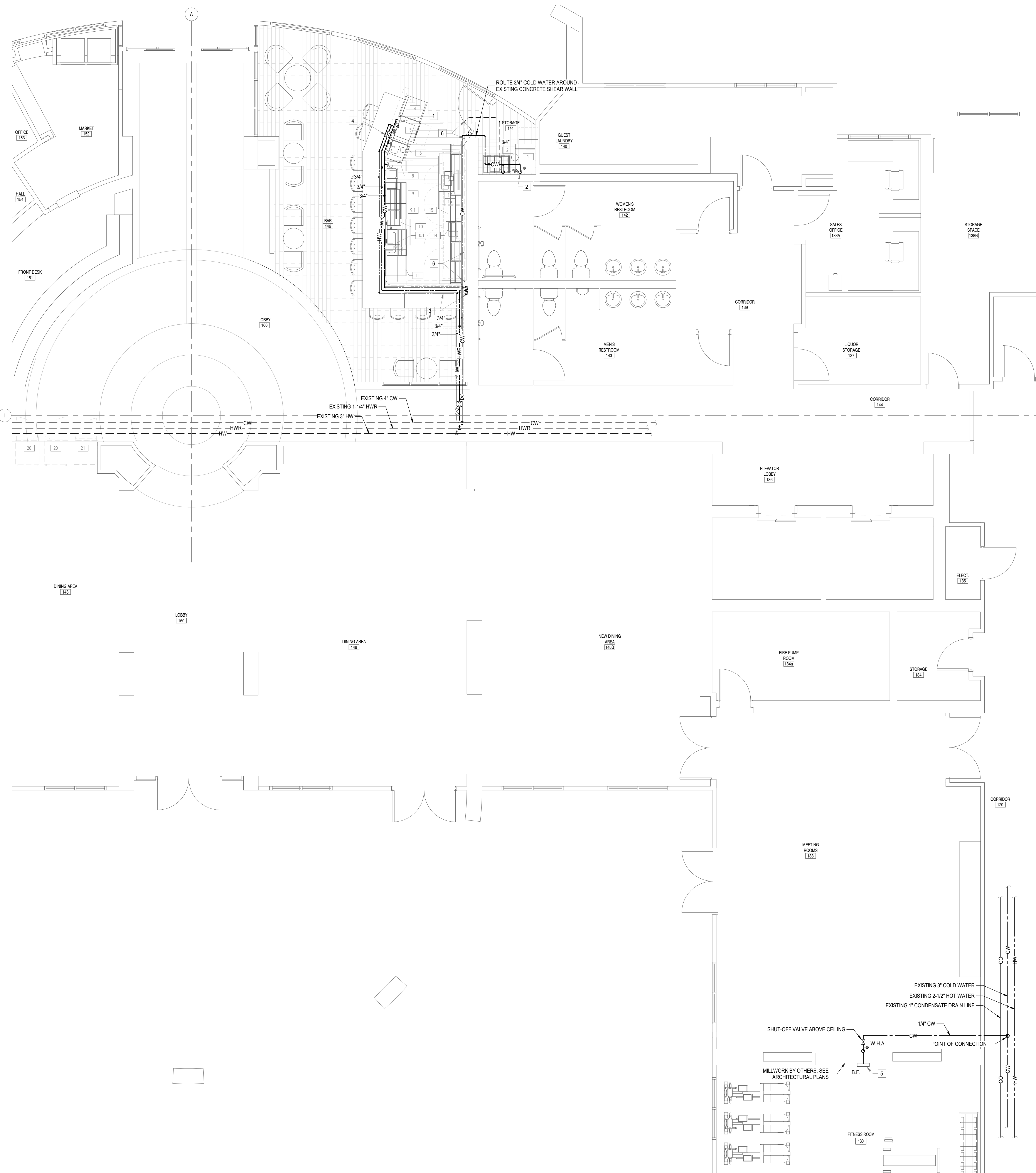
WASTE AND VENT PIPING PLAN  
 RESIDENCE INN PUBLIC SPACE REMODEL  
 11931 HARBOR BOULEVARD, GARDEN GROVE, CA 92840  
 GEOFFREY H. BUTLER, AIA  
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PLUMBING SCHEDULE							LEGEND				
CONN. NO.	CONNECT TO	QTY.	COLD WATER	HOT WATER	WASTE	FLOOR DRAINS	GAS	MISTU LOAD	STUB UP ABOVE FLOOR	TEE OFF OR RUN TO	REMARKS
P-1	ICE MAKER	1	1/2"						96"		WATER FROM FILTER; REQUIRE REDUCED PRESSURE BACKFLOW ASSEMBLY
P-1.1	ICE MAKER	1			3/4"	FS					PC RUN INDIRECT WASTE TO F.S.
P-1.2	ICE BIN DRAIN	1			3/4"	FS					PC RUN INDIRECT WASTE TO F.S.
P-2	CARBONATOR	1	1/2"						78"		
P-4	DRANBOARD	1			1"	FS			*		PC RUN INDIRECT WASTE TO F.S.
P-5	GLASSWASHER	1	1/2"	1/2"					12"		140 DEG. MIN. HOT WATER SUPPLY; 12.0 GAL./HR. REQUIRED
P-5.1	GLASSWASHER	1			1-1/2"	FS			*		PC RUN INDIRECT WASTE TO F.S.
P-5.2	GLASSWASHER (DRAIN TEMPERING)	1	1/2"						12"		
P-6	DUMP SINK	1	1/2"	1/2"					12"		
P-6.1	DUMP SINK	1			1-1/2"	FS			*		PC RUN INDIRECT WASTE TO F.S.
P-8	HAND SINK	1	1/2"	1/2"					12"		
P-8.1	HAND SINK	1			1-1/2"	FS			*		PC RUN INDIRECT WASTE TO F.S.
P-10	ICE CHEST	1			1/2"	FS			*		PC RUN INDIRECT WASTE TO F.S.
P-11	DRANBOARD	1			1"	FS			*		PC RUN INDIRECT WASTE TO F.S.
P-16	BEER DRAINER	1			1/2"	FFD			*		PC RUN INDIRECT WASTE TO FFD

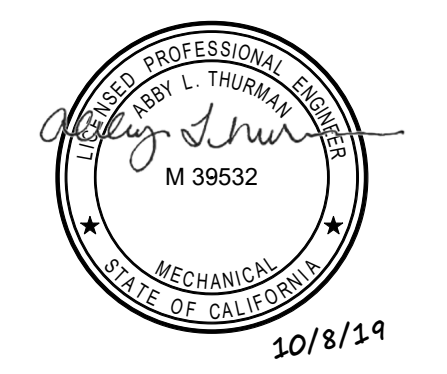
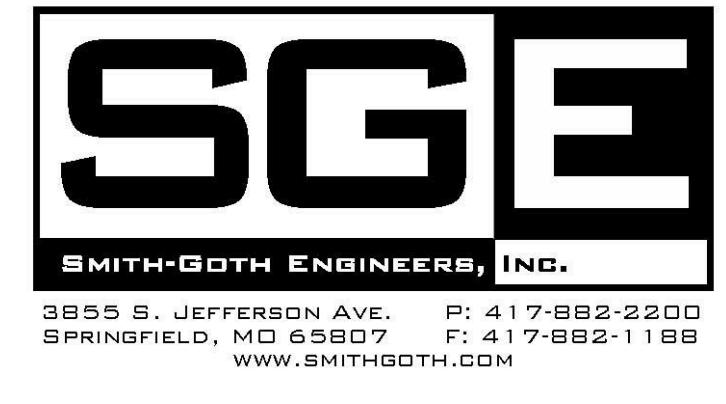
KITCHEN EQUIPMENT (SEE FOOD SERVICE DRAWINGS)		
ITEM NO.	EQUIPMENT CATEGORY	CROSS CONNECTION CONTROL DEVICE
1	ICE MAKER W/O BIN	INTERNAL AIR GAP
2	BAG-IN-BOX SODA SYSTEM, CARBONATOR	WATTS SD-3
5	GLASSWASHER	WATTS LF008PCQT
6	UNDERBAR DRY STORAGE W/ SINK	AIR GAP
8	UNDERBAR HAND SINK	AIR GAP

- KEY NOTES**
- 1 PROVIDE 1/2" COLD WATER TO GLASSWASHER SUPPLY AND DRAIN TEMPERING CONNECTIONS. COORDINATE WITH EQUIPMENT. PROVIDE BACKFLOW DEVICE PER SCHEDULE ABOVE.
  - 2 1/2" COLD WATER TO ICE MAKER THROUGH WATER FILTER. INTERNAL AIR GAP DEVICE PER SCHEDULE ABOVE.
  - 3 ROUTE WATER SUPPLY PIPING DOWN WALL TO BELOW COUNTER. ROUTE UNDER COUNTER TO EQUIPMENT. COORDINATE WITH MILLWORK AND EQUIPMENT. LOCATE PIPES TO PREVENT DAMAGE FROM MOVEMENT OF BAR EQUIPMENT.
  - 4 PROVIDE BALANCING VALVE TO REGULATE HOT WATER RECIRCULATION.
  - 5 MOUNT BOTTLE FILLER ON FACE OF MILLWORK PANEL. VERIFY LOCATION WITH OWNER.
  - 6 ROUTE BUNDLED SODA LINES IN 6" ALUMINUM CONDUIT THRU CEILING PLENUM. UTILIZE LONG SWEEP TURNS AT EACH CHANGE IN DIRECTION. RUN BUNDLED SODA LINES UP WALL BEHIND BAG-IN-BOX, THRU PLENUM, TURNING TO ENTER THE END OF THE NEW 6" METAL STUD WALL ABOVE THE CEILING BEHIND THE BACK BAR (COORDINATE WITH DUCTS). CONTINUE TUBING TO SOUTH END OF BAR AND TURN DOWN INSIDE THE WALL. PENETRATE THE WALL AND EXTEND ALONG THE UNDERSIDE OF THE COUNTERTOP, JOGGING AROUND THE SOUTH SIDE OF THE VERTICAL STEEL COUNTERTOP SUPPORT AND ENTER THE 4" PVC PPE THAT ROUTES ALONG THE UNDERSIDE OF THE COUNTERTOP AS SHOWN IN THE BAR SECTIONS ON THE ARCHITECTURAL DRAWINGS (REFER TO SECTION 7 AND SECTION 8 ON SHEET A1-11).

REVISIONS

**SUPPLY PIPING PLAN**  
**RESIDENCE INN PUBLIC SPACE REMODEL**  
 17931 HARBOR BOULEVARD, GARDEN GROVE, CA 92640  
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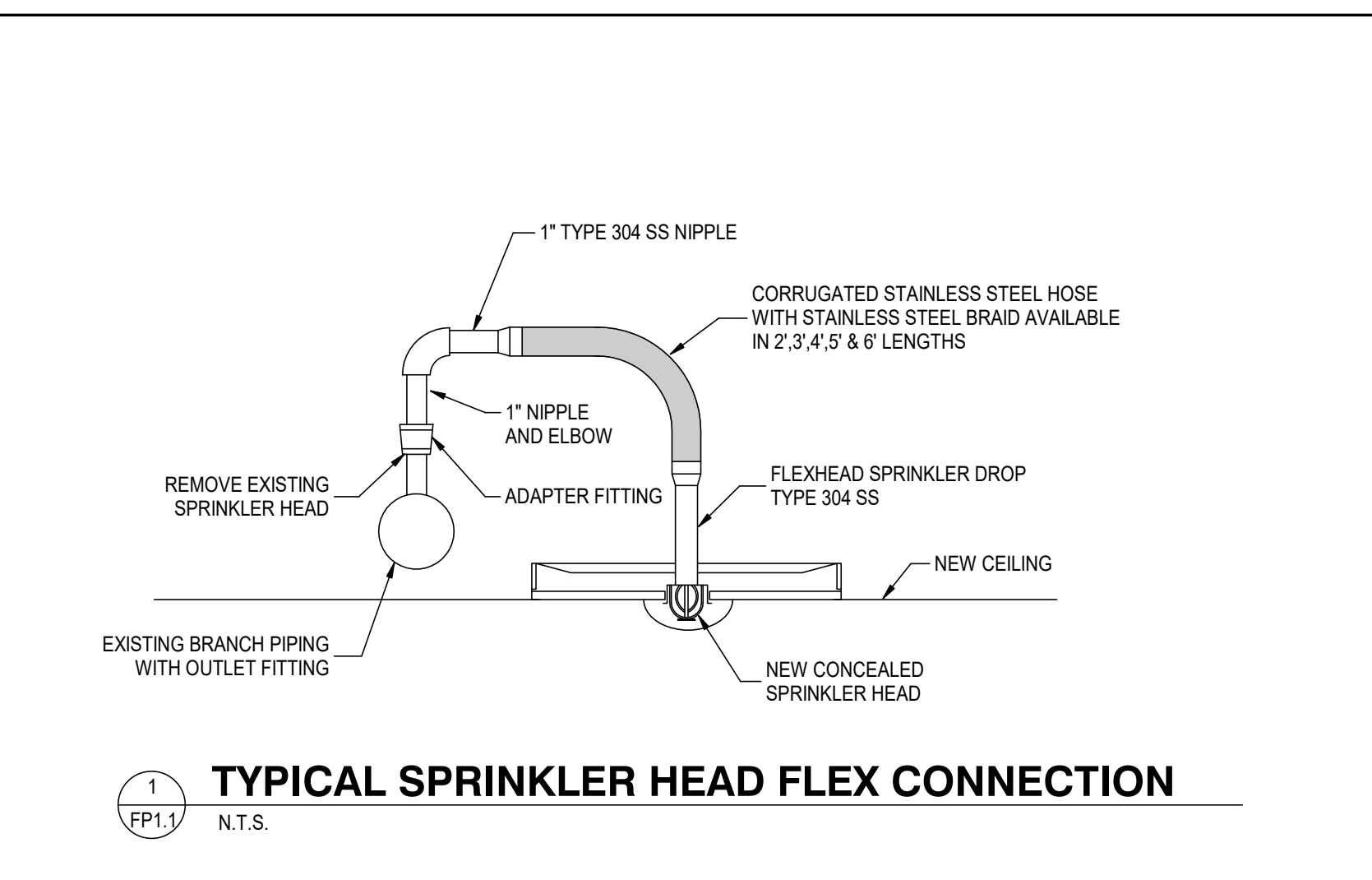
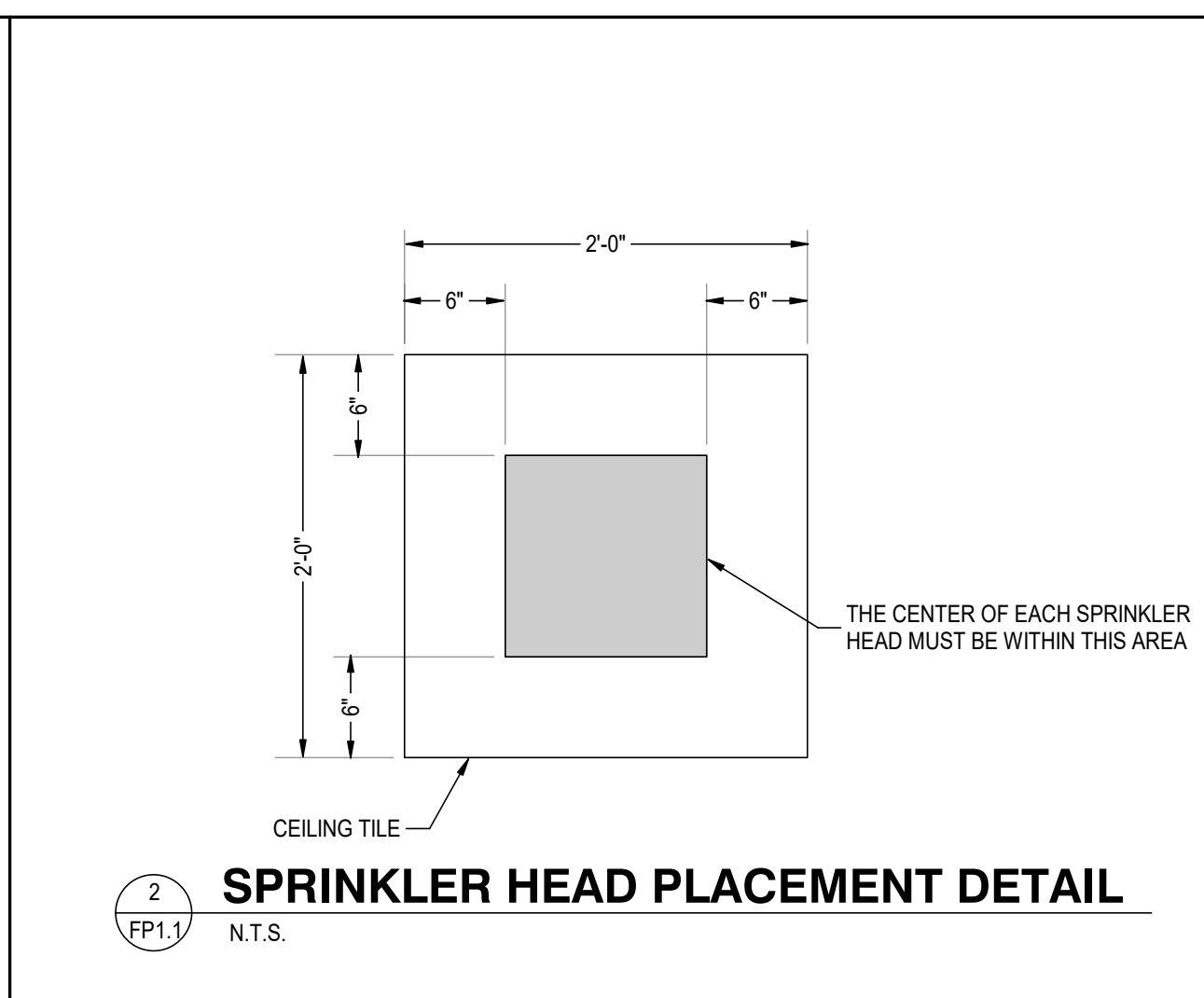
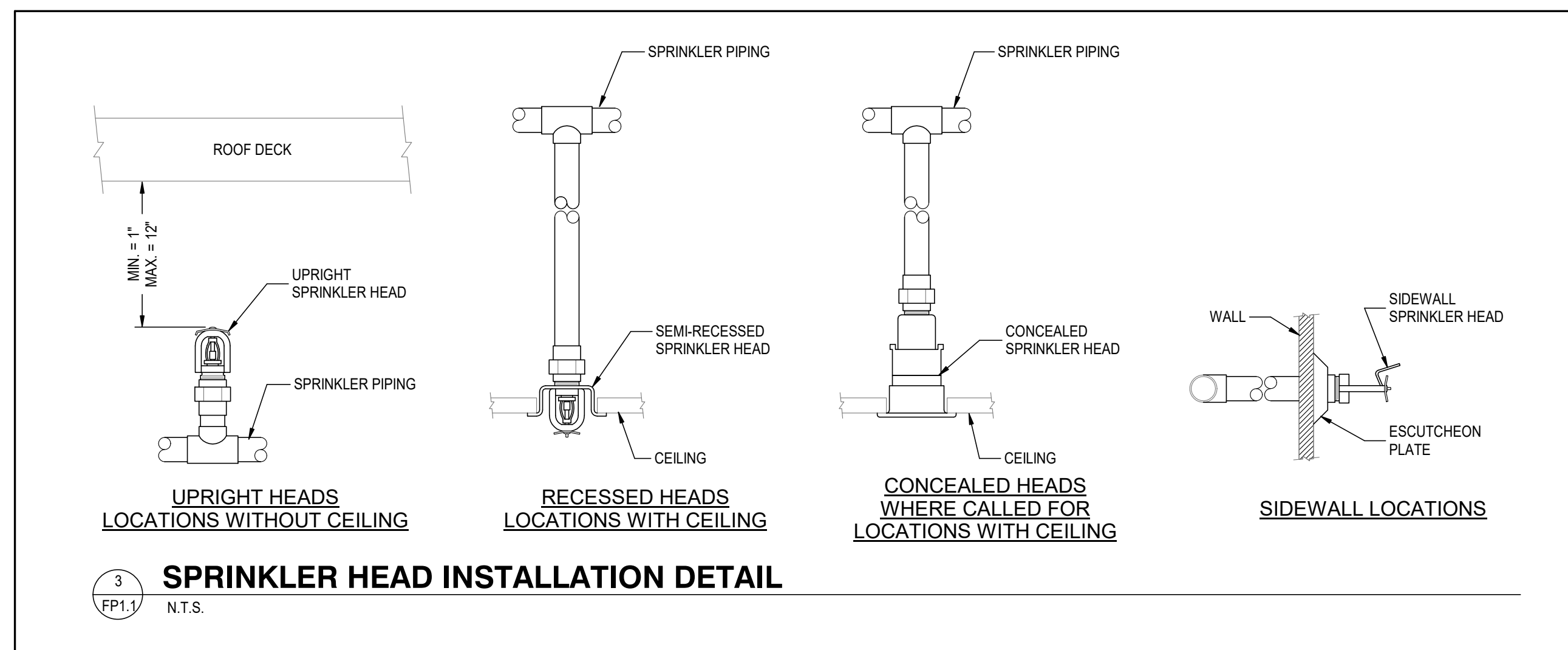
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 CHECKED BY: ALT  
 ISSUE DATE: OCTOBER 8, 2019  
 PROJECT: 17931RR-RRGZ



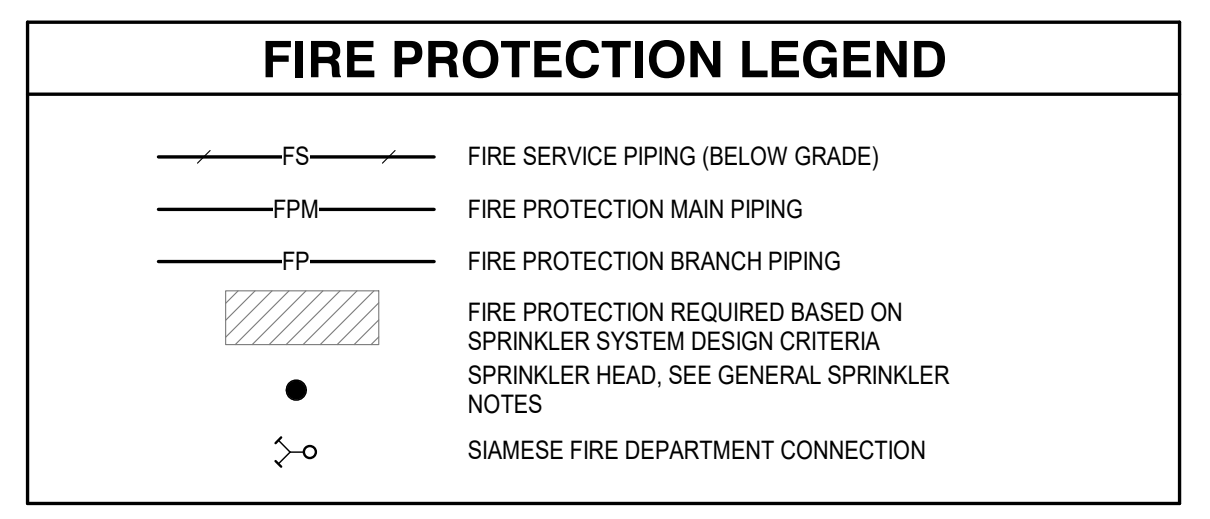
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- GENERAL FIRE PROTECTION NOTES**
- ALL DRAWINGS ARE "PRELIMINARY" (AS DEFINED BY NFPA 13), DIAGRAMMATIC AND ARE NOT TO BE SCALED. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS.
  - THE CONTRACTOR SHALL COORDINATE WITH ALL STATE AND LOCAL BUILDING REGULATION AGENCIES AND UTILITY COMPANIES IN THE PROCUREMENT OF AND PAYMENT OF ALL PERMITS, LICENSES, FEES AND CHARGES REQUIRED FOR THE PERFORMANCE OF THE WORK.
  - THE CONTRACTOR IS RESPONSIBLE FOR ALL FEES, PERMITS, AND DIRECT EXPENSES INVOLVED IN ANY INSPECTION REQUIRED FOR THE PROJECT.
  - SEE NOTES ON DRAWINGS FOR REQUIREMENTS FOR PIPING, SPRINKLER HEADS, BACKFLOW PREVENTION, SUBMITTALS, ETC.
  - SEE PLAN NOTES FOR HAZARD CLASSIFICATIONS. ALL PIPING SHALL BE SIZED BY HYDRAULIC CALCULATIONS.
  - ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF NFPA 13, 2016 CALIFORNIA FIRE CODE, AND THE APPLICABLE BUILDING CODE REQUIREMENTS FOR PIPING INSTALLATIONS INCLUDING ASCE 7 EXCLUDING CHAPTER 14 AND APPENDIX 11A (SEISMIC REQUIREMENTS).
  - PIPING MATERIALS:**  
 FIRE SERVICE LINE - C-900 PVC WITH GASKET JOINTS  
 SERVICE ENTRANCE - DUCTILE IRON PIPE WITH MECHANICAL JOINTS  
 FIRE PROTECTION MAINS - SCHEDULE 10 STEEL WITH GROOVED JOINTS  
 BRANCH PIPING - THREADABLE LIGHTWALL PIPE WITH THREADED JOINTS OR SCHEDULE 40 BLACK STEEL PIPE  
 PLASTIC PIPING OF ANY KIND SHALL NOT BE USED ON THIS PROJECT  
 HEADS - CHROME RECESSED PENDANT, 165°F, UNLESS NOTED OTHERWISE
  - COORDINATE ALL HEAD AND PIPE LOCATIONS WITH THE WORK OF OTHER TRADES. VERIFY ALL CEILING CONDITIONS. COORDINATION DOES NOT MEAN "I WAS HERE FIRST".
  - THE CONTRACTOR SHALL INSTALL A COMPLETE AND OPERABLE SYSTEM TO PROTECT THE BUILDING AS INDICATED, WHETHER OR NOT EVERY ELEMENT REQUIRED IS SPECIFICALLY CALLED OUT.
  - CONTRACTOR SHALL SUBMIT SPRINKLER SYSTEM DRAWINGS IDENTIFIED AS "WORKING PLANS" PREPARED ACCORDING TO NFPA 13. SUBMIT REQUIRED NUMBER OF SETS TO AUTHORITY HAVING JURISDICTION FOR REVIEW, COMMENT AND APPROVAL. INCLUDE MATCHING SYSTEM HYDRAULIC CALCULATION. WORKING PLANS AND HYDRAULIC CALCULATIONS SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF CALIFORNIA. DO NOT SUBMIT UNSEALED DRAWINGS, AS THEY WILL BE REJECTED.
  - DO NOT INSTALL THE FIRE SERVICE OR ANY SPRINKLER SYSTEM PIPING UNTIL THE SPRINKLER SHOP DRAWINGS AND HYDRAULIC CALCULATIONS ARE APPROVED, BY THE FOLLOWING:  
 \* OWNER  
 \* ENGINEER  
 \* CODE OFFICIALS
  - MATERIALS OF CONSTRUCTION:**  
 HEADS - CHROME RECESSED PENDANT, 165°F, UNLESS NOTED OTHERWISE  
 MAIN PIPING - SCHEDULE 10 BLACK STEEL WITH GROOVED FITTINGS  
 BRANCH PIPING - THREADABLE LIGHTWALL PIPE WITH THREADED JOINTS OR SCHEDULE 40 BLACK STEEL PIPE  
 FIRE PROTECTION SERVICE - C-900 PVC WITH GASKET JOINTS  
 SERVICE ENTRANCE - DUCTILE IRON WITH MECHANICAL JOINTS



**PRELIMINARY SPRINKLER SYSTEM DESIGN CRITERIA**

HAZARD GROUP	AREA OF PROJECT (AREA INDICATED BY HATCH)	DENSITY (GPM/SQ. FT.)	OVER MOST REMOTE AREA (SQ. FT.)	MAXIMUM AREA PER SPRINKLER (SQ. FT.)	HOSE ALLOWANCE (GPM)
LIGHT HAZARD	[Diagonal Hatch]	0.10	1,500 NOTE 1	225 NOTE 2	100
ORDINARY HAZARD GROUP 1	[Cross-hatch]	0.15	1,500 NOTE 1	130 NOTE 2	250
ORDINARY HAZARD GROUP 2	[Solid Gray]	0.20	1,500 NOTE 1	130 NOTE 2	250

**NOTES**

- OPERATION AREA MAY BE REDUCED BY USING QUICK-RESPONSE SPRINKLERS IN ACCORDANCE WITH NFPA 13 PROVISIONS.
- COORDINATE ALL HEAD AND PIPE LOCATIONS WITH THE WORK OF OTHER TRADES. VERIFY ALL CEILING CONDITIONS WITH ARCHITECTURAL PLANS.

**KEY NOTES**

▷ RELOCATE EXISTING FIRE SPRINKLER HEADS AS REQUIRED FOR NEW WALL AND CEILING LAYOUT. FIELD VERIFY EXISTING HEAD LOCATIONS, QUANTITIES AND AREA CLASSIFICATIONS.

**01**  
FP1.1  
N.T.S.

**FIRE PROTECTION PLAN**



**REVISIONS**

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**FIRE PROTECTION PLAN**

**RESIDENCE INN PUBLIC SPACE REMODEL**  
11931 HARBOR BOULEVARD, GARDEN GROVE, CA 92840

**GEOFFREY H. BUTLER, AIA**  
319 N MAIN ST, SUITE 200, SPRINGFIELD, MISSOURI, 65806 T: 417-865-6100

DRAWN BY: DLM  
CHECKED BY: ALT

ISSUE DATE: OCTOBER 8, 2019  
PROJECT: 1709-RRGZ

**MECHANICAL**  
STATE OF CALIFORNIA  
10/8/19  
ABBY L. THURMAN  
LIC. NO. M19532

**FP1.1**

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AIR DEVICE SCHEDULE									
MARK	DESCRIPTION	MFR.	MODEL NO.	SIZE (inches)	FINISH	MOUNTING	NECK SIZE	ACCESSORIES	REMARKS
(S1)	SUPPLY DIFFUSER	TITUS	TDC-AA	12x12	OFF-WHITE	SURFACE	PER PLAN	BD	△
(S2)	SUPPLY DIFFUSER	TITUS	TDC-AA	24x24	OFF-WHITE	SURFACE	PER PLAN	BD	△
(SA)	SUPPLY DIFFUSER	EXISTING	EXISTING	24x24	OFF-WHITE	SURFACE	PER PLAN	BD	△
(R1)	RETURN AIR GRILLE	TITUS	PAR	24x24	OFF-WHITE	SURFACE	PER PLAN	-	△
(X1)	EXHAUST GRILLE	KRUEGER	EGC5	24x24	OFF-WHITE	SURFACE	PER PLAN	SR	-
(V)	VOLUME DAMPER	EXISTING	EXISTING	SAME AS DUCT	-	DUCT	-	LQ	-
(F)	FIRE DAMPER	EXISTING	EXISTING	SAME AS DUCT	-	DUCT	-	BELIMO INF-24 SPRING-RETURN DAMPER MOTOR	-
(B)	BELLMOUTH FITTING WITH DAMPER	BUCKLEY	BM-D	SAME AS DUCT	-	DUCT	SEE PLAN	NEPRENE GASKET 28-GAUGE STEEL DAMPER	-
ACCESSORIES						REMARKS			
BD - AG-75 OPPOSED BLADE DAMPER LQ - LOCKING QUADRANT SR - SQUARE TO ROUND ADAPTOR						△ MATCH EXISTING DEVICES. FIELD VERIFY.			

EXHAUST FAN SCHEDULE										
MARK	DESCRIPTION	MFR.	MIN. CAPACITY CFM	S.P.	TIP SPEED	DRIVE	RPM	ELECTRICAL HP	VOLTAGE	SONES
#44	EXISTING EXHAUST FAN	EXISTING	1100	0.75	4308	BELT	1219	1.0	480/3PH	10.4
#47	EXISTING EXHAUST FAN	EXISTING	2000	0.25	4048	BELT	1031	0.334	120/190	11.1
#48	EXISTING EXHAUST FAN	EXISTING	350	0.25	-	BELT	814	0.167	120/190	7.1

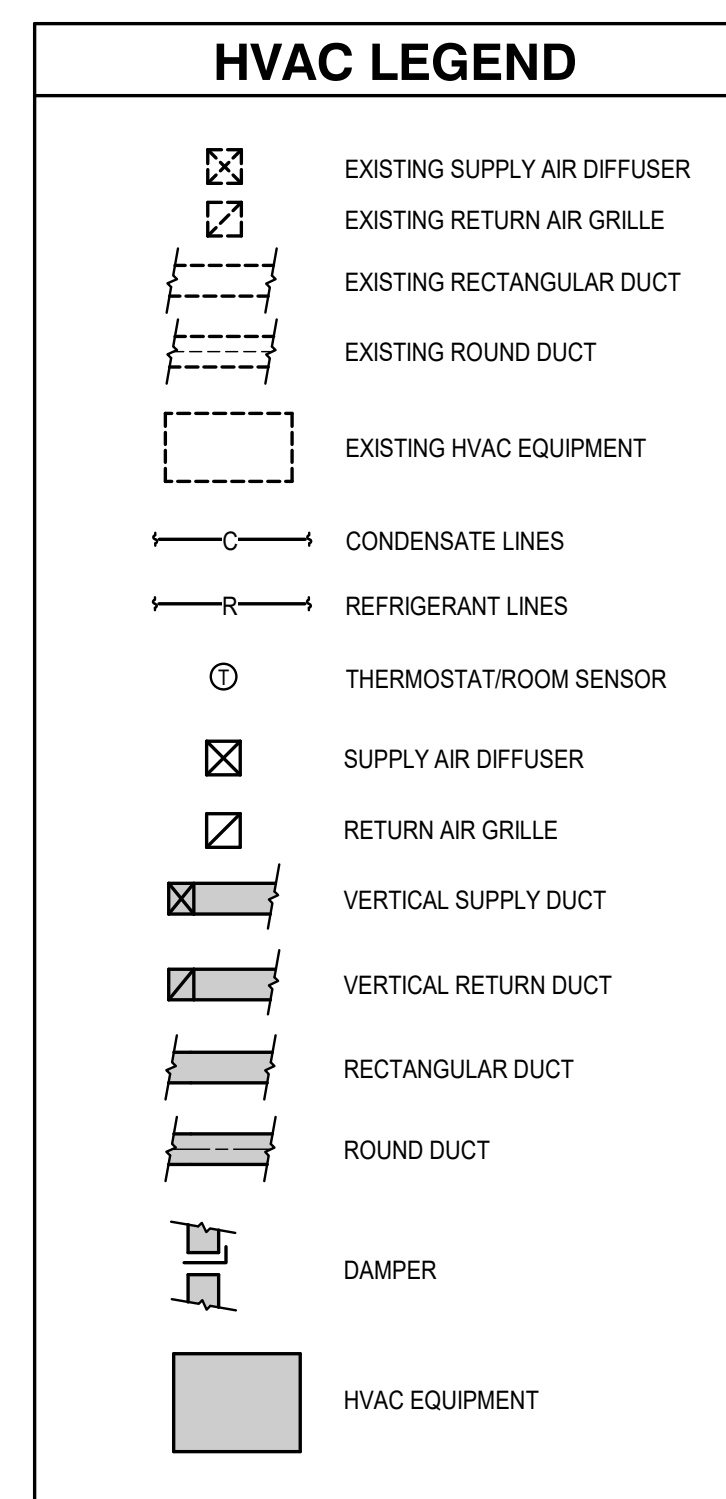
NOTES

- EXISTING EXHAUST FANS TO REMAIN. BALANCE CFM AS INDICATED ON SCHEDULE.

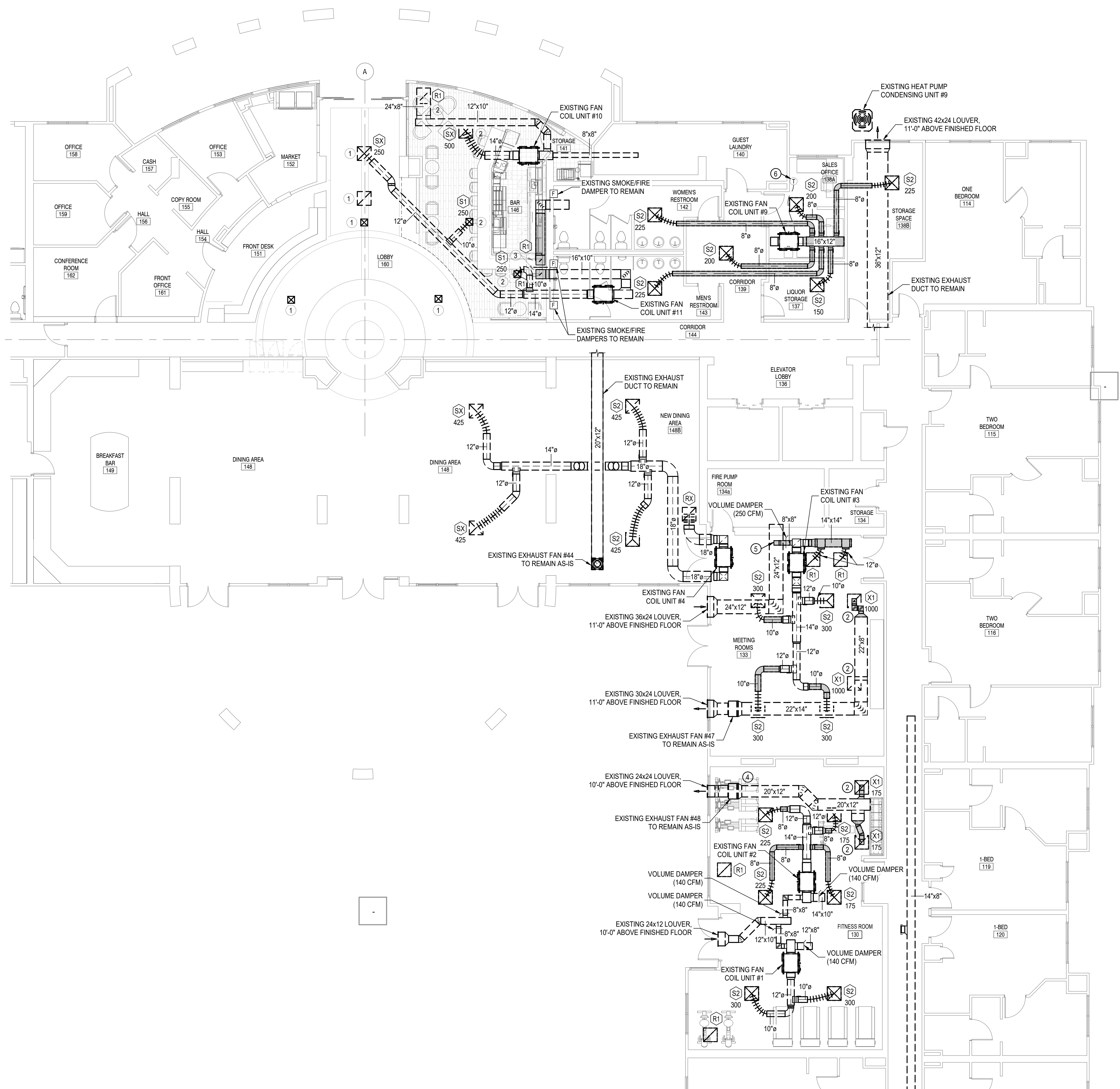
HEAT PUMP SCHEDULE									
MARK	DESCRIPTION	MFR.	COOLING		HEATING		SUPPLY CFM	O.A. CFM	
			SENS.	TOTAL	MBH	MBH			
FC-1	EXISTING FAN COIL UNIT	EXISTING	10.8	15.6	6.0	600	140		
FC-2	EXISTING FAN COIL UNIT	EXISTING	21.6	22.8	15.4	800	140		
FC-3	EXISTING FAN COIL UNIT	EXISTING	32.4	37.2	28.4	1200	250		
FC-4	EXISTING FAN COIL UNIT	EXISTING	45.6	48.0	50.0	1700	1000		
FC-9	EXISTING FAN COIL UNIT	EXISTING	31.2	40.8	19.5	1225	180		
FC-10	EXISTING FAN COIL UNIT	EXISTING	13.2	14.4	7.3	500	60		
FC-11	EXISTING FAN COIL UNIT	EXISTING	15.0	16.8	14.8	750	250		

NOTES

- EXISTING FAN COIL UNITS TO REMAIN. BALANCE SUPPLY AND OUTSIDE AIR CFM PER SCHEDULE.



- ### HVAC GENERAL NOTES
- ALL DRAWINGS ARE DIAGRAMMATIC AND ARE NOT TO BE SCALED. REFER TO ARCHITECTURAL PLANS OR FIELD MEASUREMENTS FOR DIMENSIONS.
  - ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE 2016 CALIFORNIA MECHANICAL CODE.
  - THE CONTRACTOR SHALL COORDINATE WITH ALL STATE AND LOCAL BUILDING REGULATION AGENCIES AND UTILITY COMPANIES IN THE ACQUISITION OF AND PAYMENT OF ALL PERMITS, LICENSES, FEES AND CHARGES REQUIRED FOR THE PERFORMANCE OF THE WORK.
  - THE CONTRACTOR IS RESPONSIBLE FOR ALL FEES, PERMITS, AND DIRECT EXPENSES INVOLVED IN ANY INSPECTION REQUIRED FOR THE PROJECT.
  - THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONSTRUCTION PRIOR TO SUBMITTING A BID. NO EXTRAS WILL BE PAID DUE TO UNANTICIPATED EXISTING CONDITIONS.
  - ALL ROOF AND WALL PENETRATIONS REQUIRED SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR. PROVIDE ALL SLEEVES, FLASHING, CURBS, REINFORCING ANGLES, SUPPORTING FRAMES, ETC., WHICH ARE REQUIRED UNLESS THEY ARE SPECIFICALLY CALLED OUT TO BE FURNISHED BY OTHERS.
  - A SUBMITTAL OF ALL MATERIALS AND EQUIPMENT PROPOSED TO BE USED ON THE JOB SHALL BE PREPARED AS SOON AS POSSIBLE AFTER AWARD OF THE CONTRACT. THE SUBMITTAL WILL BE REVIEWED BY THE OWNER FOR EQUAL QUALITY AND PERFORMANCE TO THE ITEMS SPECIFIED. ALL CONTROL DEVICES SHALL BE INCLUDED IN THE SUBMITTAL.
  - THE PROPER PERFORMANCE OF THE CONTROL SYSTEM IS THE RESPONSIBILITY OF THE CONTRACTOR.
  - THE CONTRACTOR SHALL COOPERATE AND COORDINATE ALL WORK WITH THE WORK OF OTHER CONTRACTORS OF THE PROJECT. COORDINATION DOES NOT MEAN "I WAS HERE FIRST".
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING A COMPLETE AND FUNCTIONAL SYSTEM IN ACCORDANCE WITH THE INTENT OF THE PLANS, WHETHER OR NOT EVERY ELEMENT THEREOF IS SPECIFICALLY CALLED OUT.
  - DUCT DIMENSIONS ON PLANS ARE TO BE FINISHED INSIDE DIMENSIONS.
  - ALL WORK IS TO BE GUARANTEED FOR ONE YEAR UPON OCCUPANCY. REFRIGERATION COMPRESSORS SHALL HAVE A 5-YEAR WARRANTY.
  - NO EQUIPMENT OR FIXTURE SUBSTITUTIONS (THAT ARE NOT CURRENTLY LISTED) WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER.
  - THE HVAC CONTRACTOR SHALL REFER TO "TYPICAL HVAC CONSTRUCTION AND INSTALLATION DETAILS" CONTAINED IN THIS PLAN SET FOR ADDITIONAL REQUIREMENTS.
  - DUCT MATERIALS SHALL BE AS FOLLOWS:  
 ROUND SUPPLY AIR DUCT - GALVANIZED "SNAPLOCK" PIPE WITH TRANSVERSE JOINTS TAPED AND WRAPPED WITH 1-1/2" 1 LB. FIBERGLASS DUCT WRAP WITH A CONTINUOUS VAPOR BARRIER.  
 SPIRAL SUPPLY AIR DUCT - GALVANIZED SINGLE WALL SPIRAL WRAPPED WITH 1-1/2" 1 LB. FIBERGLASS DUCT WRAP WITH A CONTINUOUS VAPOR BARRIER. SPIRAL SEAMS SHALL BE LOCKFORMED OR CONTINUOUS WELDED.  
 RECTANGULAR SUPPLY AND RETURN AIR DUCT WORK - GALVANIZED STEEL WITH 1" 1 LB. LINER. CONSTRUCTED IN ACCORDANCE WITH SMACNA. INSTALL TURNING VANES IN ALL ELBOWS. DO NOT SUBSTITUTE RADIUSSED ELBOWS.  
 DUCT WRAP INSULATION - DUCT WRAP INSULATION SHALL BE 1-1/2" THICK, 1 lb./cu. FOOT DENSITY, FIBERGLASS TYPE, WITH FOIL SCRM KRAFT FACING. THE INSULATION SHALL HAVE AN R-VALUE OF 5.7 AT 75°F MEAN TEMPERATURE. DUCT WRAP SHALL BE INSTALLED AT THE FOLLOWING LOCATIONS:  
 1. ALL CONCEALED ROUND RETURN, SUPPLY AND OUTSIDE AIR DUCTS.  
 2. ALL SUPPLY AND RETURN AIR DUCTS WITHIN ROOF-CEILING ASSEMBLIES (ATTICS) THAT ARE VENTED TO THE OUTSIDE AND WHERE OTHERWISE EXPOSED TO OUTSIDE AMBIENT CONDITIONS. SUCH DUCTS SHALL BE BOTH LINED AND WRAPPED.  
 3. ALL DUCTS WHERE WRAPPING IS CALLED FOR ON THE DRAWINGS.  
 RUNOUTS TO DIFFUSERS - UL LISTED CLASS 1 PREINSULATED FLEX DUCT, NOT OVER 5' LONG (SEE DIFFUSER INSTALLATION DETAIL).  
 EXHAUST DUCT - UNINSULATED SNAPLOCK PIPE OR UNLINED GALVANIZED STEEL.  
 EXHAUST DUCT FOR KITCHEN HOODS (WHERE INDICATED ON THE DRAWINGS) SHALL BE 18 GAUGE MILD STEEL OR 18 GAUGE STAINLESS STEEL (WHERE EXPOSED) WITH ALL JOINTS WELDED LIQUID-TIGHT. SIZES SHALL BE AS SHOWN ON PLAN. PROVIDE ACCESS OPENINGS AS SPECIFIED ON PLAN. DO NOT INSTALL DAMPERS OR TURNING VANES IN HOOD EXHAUST DUCTS. DO NOT LINE OR INSULATE. ALL FEATURES OF KITCHEN HOOD EXHAUST DUCTS SHALL CONFORM TO NFPA 96.  
 TRANSITIONS - SHALL CONFORM TO SMACNA STANDARDS.  
 INSULATE HVAC CONDENSATE DRAIN PIPING WITH 1/2" ARMAFLEX.  
 UPON COMPLETION BALANCE SYSTEMS TO AIR FLOWS SHOWN. REPORT THE BALANCING MEASUREMENTS ON THE "AS BUILT" DRAWINGS.  
 MOUNT ALL DUCTWORK, HVAC UNITS, CONDENSATE AND REFRIGERANT LINES AS HIGH AS POSSIBLE.  
 CONTROL WIRING BY HVAC CONTRACTOR. FINAL CONNECTIONS BY HVAC CONTRACTOR.  
 INSTALL ACCESS PANELS OR DOORS WHERE EQUIPMENT AND/OR VALVES ARE LOCATED IN CONCEALED SPACES.  
 THE HVAC CONTRACTOR SHALL SUBMIT A COMPLETE LIST OF ALL ELECTRICAL POWER REQUIREMENTS OF ALL HVAC EQUIPMENT TO THE ENGINEER AND TO THE ELECTRICAL CONTRACTOR FOR COORDINATION OF WIRING AND CIRCUITS. ANY INADEQUACY OF WIRING PROVISIONS WILL BE RECTIFIED AT THE EXPENSE OF THE HVAC CONTRACTOR UNLESS THE REQUIREMENTS ARE SHOWN CLEARLY ON THIS LIST. HVAC EQUIPMENT SUBMITTALS WILL BE REJECTED IF THIS LIST IS NOT ATTACHED.



- ### GENERAL NOTES
- THE EXISTING LAYOUT IS TAKEN FROM THE ORIGINAL 2002 CONSTRUCTION DRAWINGS. FIELD VERIFY ALL EXISTING CONDITIONS.
  - FLEX DUCT NOT TO EXCEED 5 FEET IN LENGTH PER TITLE 24 STATE OF CA.

- ### KEY NOTES
- EXISTING SUPPLY OR RETURN AIR DIFFUSER TO REMAIN.
  - PROVIDE NEW DIFFUSER IN NEW CEILING. RECONNECT TO EXISTING DUCTWORK. FIELD VERIFY SIZE AND LOCATION OF EXISTING DUCT.
  - RELOCATE RETURN AIR DUCT TO AVOID NEW MILLWORK. COORDINATE WITH ARCHITECTURE. EXTEND DUCTWORK AS REQUIRED. FIELD VERIFY SIZE AND LOCATION OF EXISTING DUCT.
  - REMOVE SMOKE CONTROL INTERLOCK BY ELECTRICAL CONTRACTOR. SET UP FAN TO RUN CONTINUOUSLY. BALANCE TO CFM INDICATED ON PLANS THRU EXISTING FAN SPEED CONTROLLER.
  - THE 8x8 OUTSIDE AIR DUCT INTO EXISTING OUTSIDE AIR INTAKE DUCTWORK. INSTALL MANUAL DAMPER AND BALANCE AS INDICATED ON PLANS.
  - INSTALL NEW FAN COIL UNIT THERMOSTAT AT LOCATION INDICATED. TITLE 24 STATE OF CA APPROVED 7-DAY PROGRAMMABLE THERMOSTAT FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR.

REVISIONS	

**HVAC PLAN**

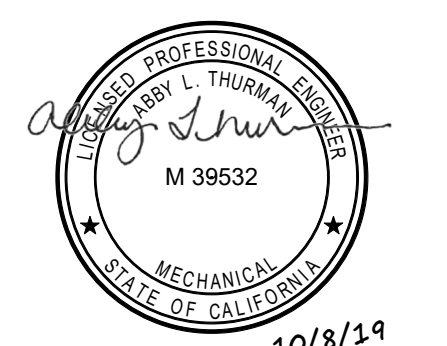
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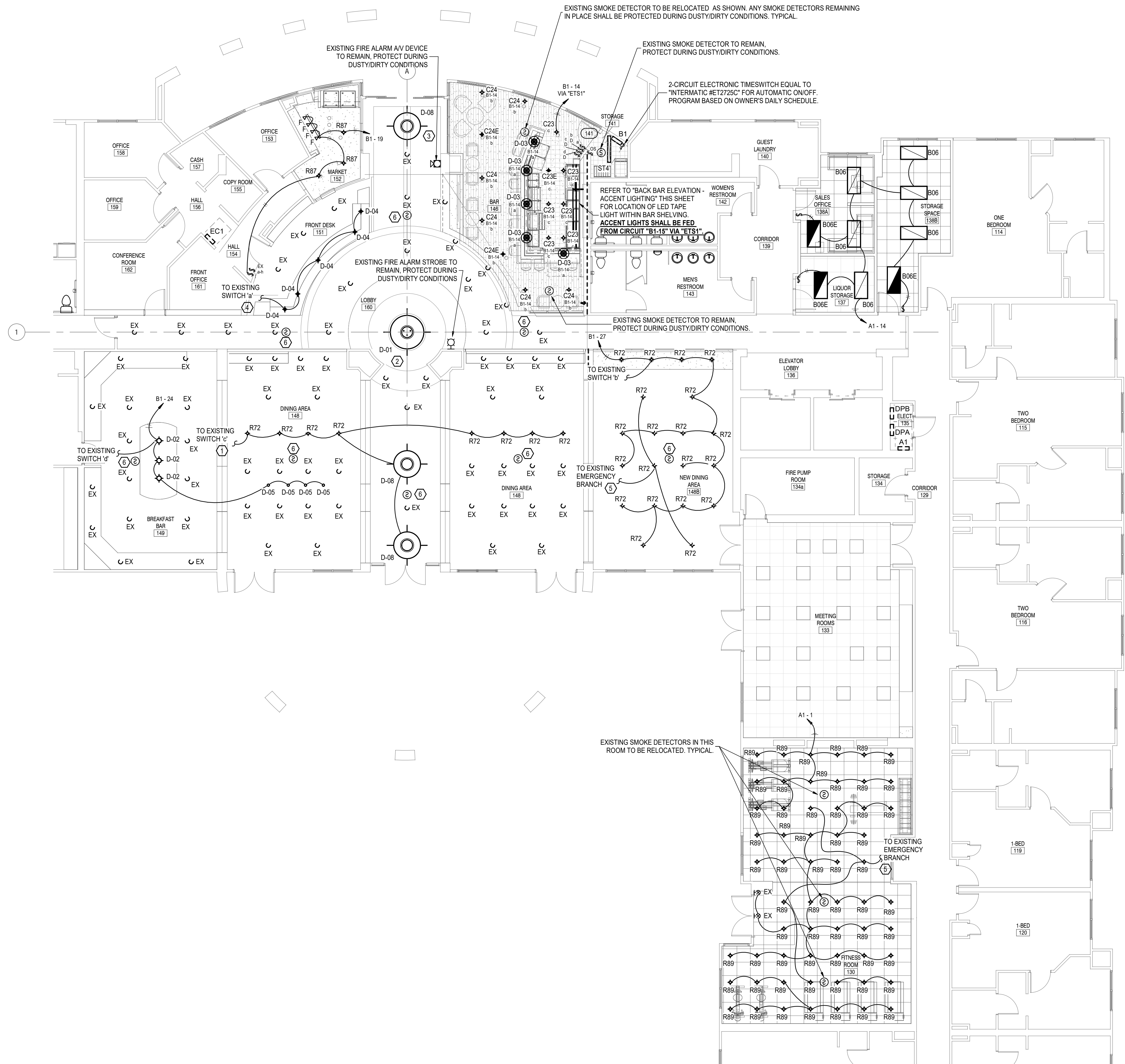
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DRAWN BY	ISSUE DATE
DLM	OCTOBER 8, 2019
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### LIGHTING SYMBOL LEGEND

- ALL SYMBOLS MAY NOT OCCUR ON THIS PROJECT
- COLOR OF ALL SWITCHES, RECEPTACLES AND COVERPLATES SHALL BE SELECTED BY OWNER/ARCHITECT.

\$	SINGLE POLE SWITCH (WITH LOWERCASE SWITCH DESIGNATION WHERE REQUIRED)
\$3	THREE-WAY SWITCH (WITH LOWERCASE SWITCH DESIGNATION WHERE REQUIRED)
\$4	FOUR-WAY SWITCH (WITH LOWERCASE SWITCH DESIGNATION WHERE REQUIRED)
\$K	KEYED SWITCH (WITH LOWERCASE SWITCH DESIGNATION WHERE REQUIRED), CONFIGURATION NOTED ON PLAN
\$D	0-10V DIMMER SWITCH COMPATIBLE WITH FIKTURE BALLAST/ DRIVER (WITH LOWERCASE SWITCH DESIGNATION WHERE REQUIRED)
\$OS	WALL BOX OCCUPANCY SENSOR EQUAL TO "WATTSTOPPER, PW-100-1" (WITH LOWERCASE SWITCH DESIGNATION WHERE REQUIRED)
\$TS1	ELECTRONIC TIME SWITCH EQUAL TO "INTERMATIC ET8000" SERIES FOR CONTROL OF OUTDOOR LIGHTING. IT SHALL SET ON AT DUSK AND TURN OFF AT DAWN. THE OWNER SHALL RECEIVE INSTRUCTION AT THE TIME OF INSTALLATION FOR COMPLETE SWITCH OPERATION.
\$OS	OCCUPANCY SENSOR EQUAL TO "WATTSTOPPER, DT-305" WITH POWER PACK, WALL MOUNT 9'-0" AFF UNLESS NOTED OTHERWISE
\$A	OCCUPANCY SENSOR EQUAL TO "WATTSTOPPER, DT-305" WITH POWER PACK (WITH LOWERCASE SWITCH DESIGNATION WHERE REQUIRED)
\$H	OCCUPANCY SENSOR EQUAL TO "WATTSTOPPER, W-2000H" WITH POWER PACK (WITH LOWERCASE SWITCH DESIGNATION WHERE REQUIRED)
\$D	ON/OFF DAY LIGHTING SENSOR EQUAL TO "WATTSTOPPER, LS-102" TO WORK IN CONJUNCTION WITH OCCUPANCY SENSOR, PROGRAM SENSOR SO THAT THERE IS A MINIMUM LIGHT LEVEL OF 30 FOOT-CANDELES ON THE STAIRS WHEN STAIRWAY OCCUPIED. FIELD VERIFY BEST LOCATION. WIRE ACCORDING TO MANUFACTURER'S INSTALLATION INSTRUCTIONS. (WITH LOWERCASE SWITCH DESIGNATION WHERE REQUIRED)

LIGHT FIXTURE AND TYPICAL CALL OUTS AS FOLLOWS:

A UPPERCASE LETTER INDICATES FIXTURE TYPE. REFER TO LIGHT FIXTURE SCHEDULE

18 = NUMBER INDICATES CIRCUIT NUMBER

a = LOWERCASE LETTER INDICATES SWITCH DESIGNATION (ONLY USED WHERE SWITCH NOT APPARENT)

NLUC = FIXTURE COMMENTS, REFER TO ELECTRICAL ABBREVIATIONS

RECESSED OR SURFACE MOUNT LIGHT FIXTURE

○ SURFACE MOUNT LIGHT FIXTURE

▭ TRACK LIGHT FIXTURE

▭ SURFACE MOUNT LIGHT FIXTURE

▭ RECESSED MOUNT LIGHT FIXTURE

▭ RECESSED MOUNT LIGHT FIXTURE WITH EMERGENCY POWER SOURCE

● WALL OR CEILING MOUNT "EXIT" SIGN

◻ WALL MOUNT "EXIT" SIGN WITH SHADING INDICATING FACE(S)

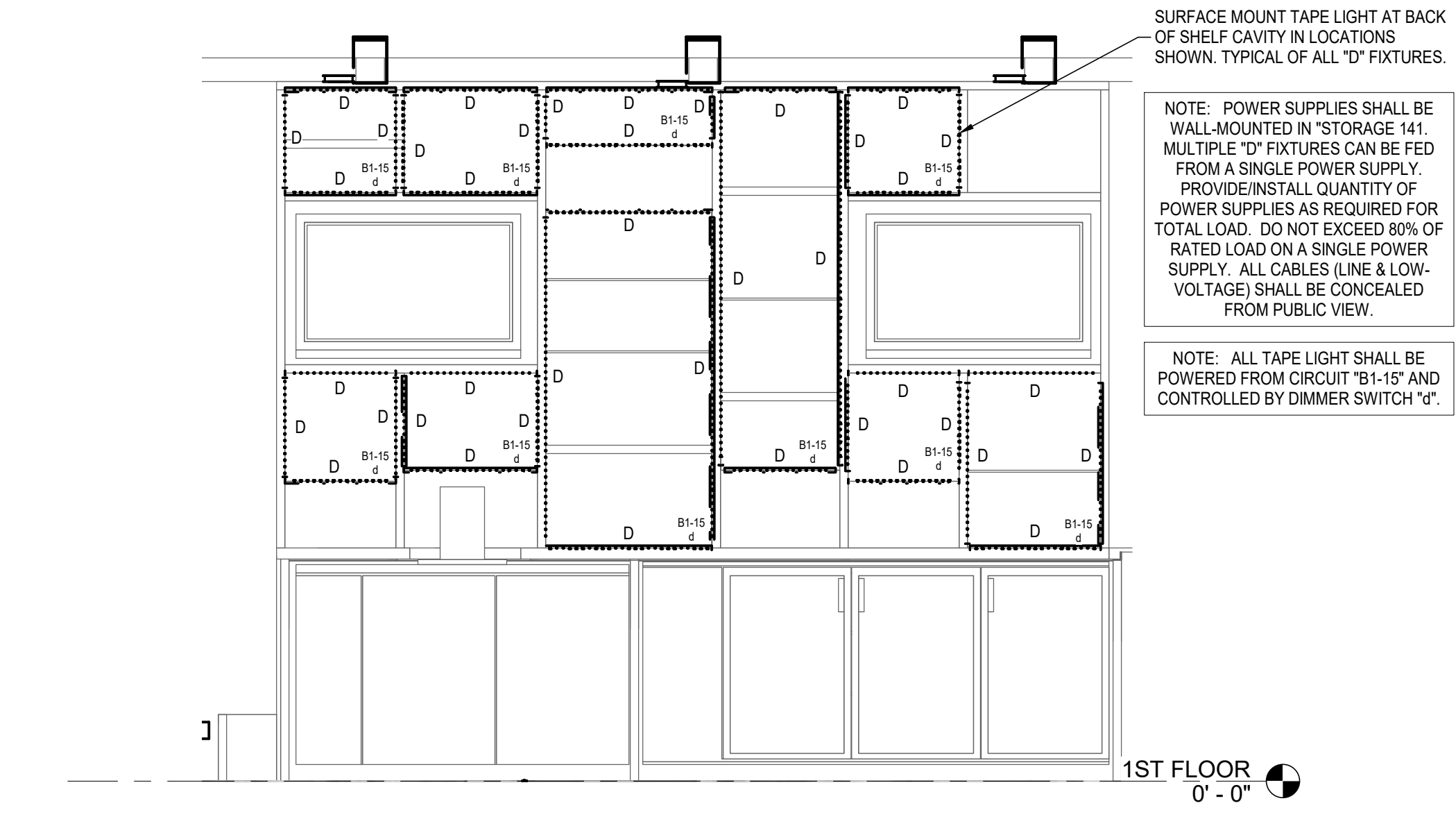
□ JUNCTION BOX

⊖ FLOOD LIGHT FIXTURE WITH A 90 MINUTE BATTERY BACKUP, MOUNT 1'-0" BELOW CEILING

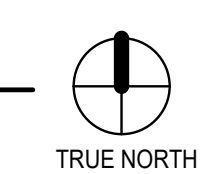
⊖ FLOOD LIGHT FIXTURE WITH A 90 MINUTE BATTERY BACKUP, CEILING MOUNTED

- ### ELECTRICAL KEYNOTES
- 1) NEW R72 AND D-08 LIGHT FIXTURES SHALL BE CIRCUITED TO EXISTING L-88 CIRCUIT WITH #12s WIRE. FIELD VERIFY ALL REQUIREMENTS BEFORE INSTALLING. IF CIRCUIT IS NOT AVAILABLE, CIRCUIT TO B1 PANEL AND PROVIDE CONTRACTOR TO KEEP ALL LIGHTS ON THIS CIRCUIT TO SWITCH 'C'.
  - 2) NEW D-01 LIGHT FIXTURE SHALL BE CIRCUITED TO EXISTING L-2 CIRCUIT WITH #12s WIRE. FIELD VERIFY ALL REQUIREMENTS BEFORE INSTALLING. IF CIRCUIT IS NOT AVAILABLE, CIRCUIT TO B1 PANEL AND PROVIDE CONTRACTOR TO KEEP ALL LIGHTS ON THIS CIRCUIT TO SWITCH 'Y'. THIS FIXTURE SHALL BE SWITCHED WITH EXISTING SWITCH 'Y'. CONFIRM CAPABILITY OF EXISTING DIMMER SWITCH TO NEW LIGHT FIXTURE. IF EXISTING SWITCH ISNT COMPATIBLE, PROVIDE NEW DIMMER SWITCH CAPABLE TO NEW LIGHT FIXTURE.
  - 3) NEW D-08 LIGHT FIXTURE SHALL BE CIRCUITED TO EXISTING L-79 CIRCUIT WITH #12s WIRE. FIELD VERIFY ALL REQUIREMENTS BEFORE INSTALLING. THIS FIXTURE SHALL BE SWITCHED WITH EXISTING SWITCH 'Y'. IF CIRCUIT IS NOT AVAILABLE, CIRCUIT TO B1 PANEL AND PROVIDE CONTRACTOR TO KEEP ALL LIGHTS ON THIS CIRCUIT TO SWITCH 'Y'. CONFIRM CAPABILITY OF EXISTING DIMMER SWITCH TO NEW LIGHT FIXTURE. IF EXISTING SWITCH ISNT COMPATIBLE, PROVIDE NEW DIMMER SWITCH CAPABLE TO NEW LIGHT FIXTURE.
  - 4) NEW D-08 LIGHT FIXTURE SHALL BE CIRCUITED TO EXISTING L-4 CIRCUIT WITH #12s WIRE. FIELD VERIFY ALL REQUIREMENTS BEFORE INSTALLING. THIS FIXTURE SHALL BE SWITCHED WITH EXISTING SWITCH 'Y'. IF CIRCUIT IS NOT AVAILABLE, CIRCUIT TO B1 PANEL AND PROVIDE CONTRACTOR TO KEEP ALL LIGHTS ON THIS CIRCUIT TO SWITCH 'Y'.
  - 5) FIELD VERIFY EXISTING EMERGENCY BRANCH. IF POSSIBLE, CIRCUIT TO EXISTING EMERGENCY BRANCH. IF NOT, PROVIDE EMERGENCY BATTERY FOR THESE FIXTURES.
  - 6) EXISTING SMOKE DETECTORS TO REMAIN.

- ### ELECTRICAL NOTES
1. ALL DRAWINGS ARE DIAGRAMMATIC AND ARE NOT TO BE SCALED. SEE THE ARCHITECTURAL PLANS AND FIELD VERIFY CONDITIONS FOR DIMENSIONS.
  2. ELECTRICAL WORK SHALL COMPLY WITH THE 2014 NEC.
  3. THE CONTRACTOR SHALL COORDINATE WITH ALL STATE AND LOCAL BUILDING REGULATION AGENCIES AND UTILITY COMPANY(S) IN THE PROCUREMENT OF AND PAYMENT OF ALL PERMITS, LICENSES, FEES AND CHARGES REQUIRED FOR THE PERFORMANCE OF THE WORK.
  4. THE CONTRACTOR IS RESPONSIBLE FOR ALL FEES AND DIRECT EXPENSES INVOLVED IN ANY INSPECTION REQUIRED FOR THE PROJECT.
  5. ALL WIRING SHALL BE IN CONDUIT. ALL UNDERGROUND CONDUIT SHALL BE PVC SCHEDULE 40 WITH RGS EELS. EXPOSED OUTDOOR LOCATIONS SHALL BE RGS. ALL INTERIOR CONDUIT SHALL BE EMT ABOVE GRADE. MC OR HFC/AC CABLE ALLOWED ONLY IN MAXIMUM 20' LENGTHS AND ONLY AT THE LOCATIONS SHOWN ON THE "ALLOWABLE RACEWAY INSTALLATIONS" DETAIL. FOOD SERVICE EQUIPMENT, APPLIANCES AND EQUIPMENT WITH MOTORS SHALL BE FLEXIBLE METALLIC CONDUIT. FLEXIBLE METALLIC CONDUIT NOT ALLOWED FOR "HOME RUN" CIRCUITS BEYOND PERIMETER OF ROOM WHERE LOAD IS SERVED.
  6. COORDINATE ALL WORK WITH OTHER TRADES TO AVOID CONFLICTS. COORDINATION DOES NOT MEAN "I WAS HERE FIRST".
  7. ALL WIRING IN FINISHED SPACES SHALL BE CONCEALED, UNLESS NOTED OTHERWISE.
  8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING A COMPLETE AND FUNCTIONAL SYSTEM IN ACCORDANCE WITH THE INTENT OF THE PLANS, WHETHER OR NOT EVERY ELEMENT THEREOF IS SPECIFICALLY CALLED OUT.
  9. COORDINATE ALL EQUIPMENT ROUGH-IN CONNECTION REQUIREMENTS.
  10. ALL OUTLET BOXES SHALL BE METALLIC.
  11. RECEPTACLES INSTALLED IN RESTROOMS AND KITCHENS SHALL BE GFCI TYPE OR SHALL BE PROTECTED BY A GFCI DEVICE.
  12. ON 240 VOLT THREE PHASE ELECTRICAL SYSTEMS ALL 120 ELECTRICAL CONNECTIONS SHALL BE VERIFIED FOR PROPER CONNECTED VOLTAGE AND PHASING BEFORE EQUIPMENT STARTUP.
  13. ALL DEVICES SHALL BE EQUAL TO THE FOLLOWING:  
SINGLE POLE SWITCHES - HUBBELL #CS1221 SERIES  
THREE WAY SWITCHES - HUBBELL #CS1223 SERIES  
RECEPTACLES - HUBBELL #CR382 SERIES
  14. USE DEVICE PLATES MANUFACTURED BY DEVICE MANUFACTURER. COLOR BY ARCHITECT OR OWNER.
  15. BRANCH CIRCUITS FEEDING EMERGENCY ILLUMINATION UNITS SHALL BE THE SAME BRANCH CIRCUIT AS THAT SERVING THE NORMAL LIGHTING IN THAT AREA AND CONNECTED AHEAD OF ANY LOCAL SWITCHES. SEE NEC ARTICLE 700.
  16. FEEDER AND BRANCH CIRCUIT CONDUCTORS SHALL BE COPPER, STRANDED, 600V THHN/THWN INSULATION. EXCEPTION: WIRE SIZES #10 AWG AND SMALLER SHALL BE SOLID.
  17. CONTRACTOR SHALL VERIFY THE POWER REQUIREMENTS OF ALL PLUMBING AND HVAC EQUIPMENT PRIOR TO ROUGHING IN AND PRIOR TO EQUIPMENT BEING INSTALLED. ELECTRICAL CHARACTERISTICS OF INSTALLED PLUMBING AND HVAC EQUIPMENT MAY VARY FROM CHARACTERISTICS OF EQUIPMENT SPECIFIED.
  18. CONTRACTOR SHALL PROVIDE A TYPED CIRCUIT DIRECTORY FOR ALL PANELS.
  19. CONTRACTOR SHALL PROVIDE A ONE (1) YEAR WARRANTY ON ALL WORK PERFORMED.
  20. CONTRACTOR SHALL PROVIDE NEW WORKING LAMPS IN ALL FIXTURES AT JOB COMPLETION.
  21. CONTRACTOR SHALL ARRANGE FOR AND INCLUDE ALL PERMITS AND FEES FOR HIS SCOPE OF WORK.
  22. APPROVED MANUFACTURERS FOR PANEL BOARDS:  
- CUTLER HAMMER - SIEMENS  
- GE - SQUARE D
  23. SUBMIT FOR APPROVAL SIX SETS OF MANUFACTURER'S DATA ON ALL LIGHTING FIXTURES, SWITCHES, RECEPTACLES, SWITCH GEAR AND SAFETY SWITCHES.
  24. GROUNDING AND BONDING SHALL BE IN COMPLIANCE WITH ARTICLE 250 OF THE NEC.
  25. LIGHTING FIXTURES SHALL BE SPECIFICATION GRADE, LAMPED AND BALLASTED AS SCHEDULED.
  26. OUTLETS BOXES SHALL BE 4" SQUARE WITH SINGLE AND DOUBLE GANG PLASTER RING. BOXES SHALL BE PRESSED STEEL KNOCKOUT TYPE. INSTALL BOXES SQUARE AND PLUMB. SECURELY FASTENED AND FLUSH WITH THE FINISHED SURFACE.
  27. INSTALL ALL CONDUIT PARALLEL AND PERPENDICULAR TO THE LINES OF THE BUILDING STRUCTURE. SUPPORT CONDUIT WITH MANUFACTURED HANGERS AND SPACED IN COMPLIANCE WITH THE NEC.
  28. COORDINATE PROPER CLEARANCE OF EQUIPMENT INDICATED WITH OTHER WORK IN THAT AREA.
  29. UNLESS NOTED OTHERWISE, THE FOLLOWING SHALL BE THE HEIGHT TO THE CENTER OF THE OUTLET FROM FINISHED FLOOR:  
LIGHT SWITCHES-48" AFF  
CONVENIENCE OUTLETS-18" AFF  
THERMOSTATS-48" AFF  
TELEPHONE OUTLETS-18" AFF  
DATA OUTLETS-18" AFF
  30. BOND ALL NON-CURRENT CARRYING METAL PARTS OF SERVICE ENTRANCE EQUIPMENT (INCLUDING METER ENCLOSURE) PER NEC.
  31. BOND ALL INTERIOR BUILDING SYSTEM PIPING PER NEC.
  32. ALL BRANCH CIRCUITS SHALL HAVE AN EQUIPMENT GROUNDING CONDUCTOR ROUTED WITH THE CIRCUIT CONDUCTORS. THIS MEANS ALL CONDUITS MUST HAVE A GREEN WIRE INSTALLED IN THEM AND SIZED IN ACCORDANCE WITH TABLE 250.122 OF THE NEC.
  33. IF THE BUILDING'S HVAC SYSTEM UTILIZES THE PLENUM ABOVE THE CEILING FOR RETURN AIR THEN THE E.C. SHALL AVOID THE INSTALLATION OF ANY COMBUSTIBLE INSULATION, PVC CONDUIT AND LOW VOLTAGE WIRING THAT IS NOT RATED FOR USE IN PLENUMS.
  34. MULTIWIRE BRANCH CIRCUITS WITH A "SHARED NEUTRAL" ARE NOT ALLOWED FOR SINGLE PHASE CIRCUITS.



2 Back Bar Elevation - Accent Lighting  
E1.1 N.T.S.



REVISIONS

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LIGHTING PLAN

RESIDENCE INN PUBLIC SPACE REMODEL

11931 HARBOR BOULEVARD, GARDEN GROVE, CA 92640

GEOFFREY H. BUTLER, AIA

319 N MAIN ST. SUITE 200, SPRINGFIELD, MISSOURI, 65806 T. 417-865-6100

DRAWN BY BLC	ISSUE DATE OCTOBER 8, 2019
CHECKED BY BLC	PROJECT 11931RR-RRGZ

E1.1

BRENT L. COURTER  
LIC. NO. E19748

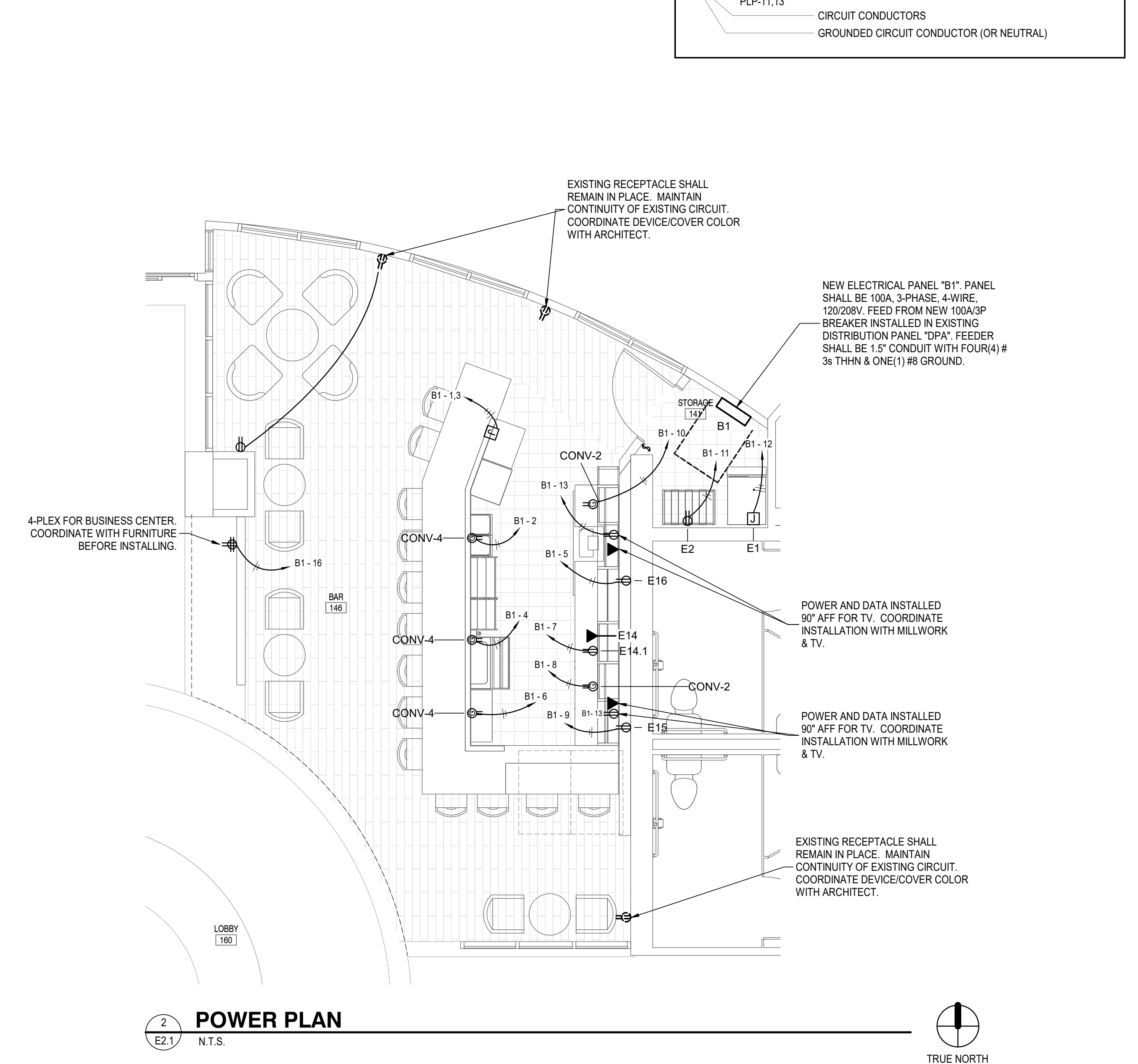
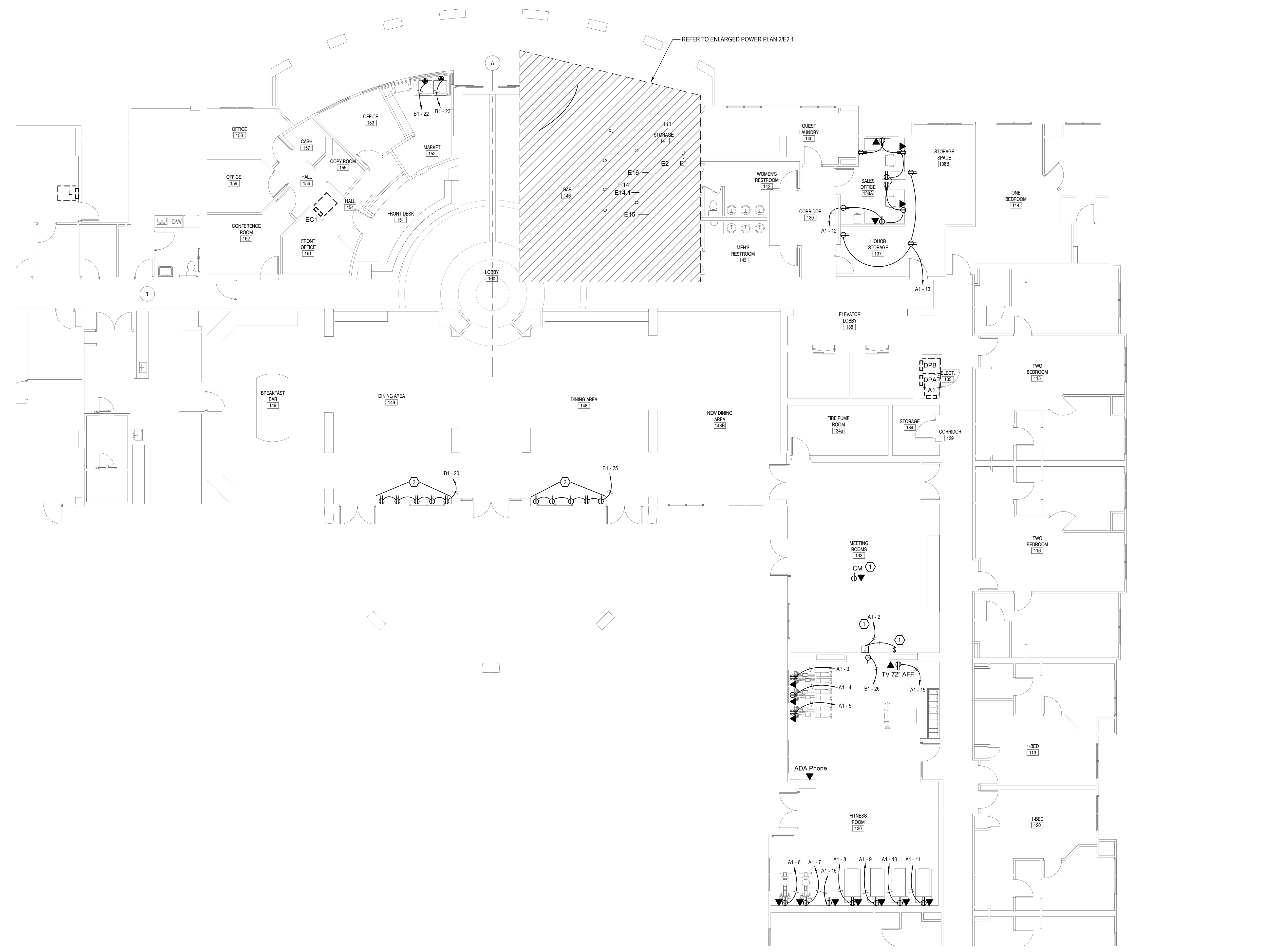
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CONN. NO.	ITEM DESCRIPTION	QTY	VOLT	PHASE	LOAD			STUB ABOVE FLOOR TO JUNC. BOX	ELECTRIC CONTR. TO MAKE FINAL CONNECTION TO:			NEMA PLUG	24 HOUR	REMARKS
					AMP.	KW.	HP.		JUNC. BOX	FLUSH OUTLET	EQ. MTD JUNC. BOX			
E-1	ICE MAKER	1	115	1	8.2			78"			*			
E-2	BAG-N-BOX SYSTEM	1	120	1	20.0			78"			*	5-15P		
E-5	GLASSWASHER	1	120/208	1	30.5	6.7		12"			*			
E-14	P.O.S. SYSTEM	1	120	1	15.0			48"			*	5-15P		(DEDICATED) - DATA CONDUIT, BRANCHED TO THIS POINT - SEE NOTE 1
E-14.1	PRINTER RECEPT(GFCI)	1	120	1	15.0			48"			*			SEE NOTE 2; VERIFY
E-15	REFRIGERATOR, BACK BAR	1	120	1	9.0			12"			*	5-15P	*	DEDICATED CIRCUIT
E-16	DRAFT BEER COOLER	1	120	1	6.0			12"			*	5-15P	*	DEDICATED CIRCUIT
E-20	REFRIGERATOR, U/C	2	120	1	4.0			12"			*	5-15P	*	DEDICATED CIRCUIT
E-21	FREEZER, U/C	1	120	1	6.0			12"			*	5-15P	*	DEDICATED CIRCUIT
CONV2	CONVENIENCE OUTLET	2	120	1	20 A CIRC.			48"			*			DEDICATED CIRCUIT; CONVENIENCE OUTLET BY ELECTRIC TRADES
CONV4	CONVENIENCE OUTLET (BAR)	3	120	1	20 A CIRC.			39"			*			DEDICATED CIRCUIT; CONVENIENCE OUTLET BY ELECTRIC TRADES; OUTLET MOUNTED HORIZONTALLY

ELECTRICAL ABBREVIATIONS			
AC	(LOCATED) ABOVE COUNTER	IG	ISOLATED GROUND
AFF	ABOVE FINISHED FLOOR	MC	INTERMEDIATE METALLIC TUBIN
AV	AUDIBLE/VISIBLE	K	KEY OPERATED
BCM	MOUNTED 1' BELOW CEILING	KP	DATA BOX FOR SECURITY KEY PAD, MOUNT AT 48" AFF
CF	CEILING FAN	LC	LIGHTING CONTACTOR
CM	CEILING MOUNTED	LS	MOTOR STARTER
D	DIMMER	NL	NIGHT LIGHT
E.C.	ELECTRICAL CONTRACTOR	NF	NON-FUSIBLE
EF	EXHAUST FAN	NSC	OWNER SUPPLIED CONTRACTOR INSTALLED
EMT	ELECTRICAL METALLIC TUBING	PEC	PHOTOELECTRIC CONTROL
ETS	ELECTRONIC TIME SWITCH	REC	RECESSED DEVICE
FACP	FIRE ALARM CONTROL PANEL	RGS	RIGID GALVANIZED STEEL
FL	FLOOR MOUNTED DEVICE	SM	SURFACE MOUNT
FUS	FUSIBLE	SSP	SECURITY SYSTEM PANEL
GB	GARBAGE DISPOSER	WH	WATER HEATER
GFI	GROUND-FAULT CIRCUIT INTERRUPTING	WP	IN-USE WEATHER-PROOF ENCLOSURE

POWER SYMBOL LEGEND	
•	ALL SYMBOLS MAY NOT OCCUR ON THIS PROJECT
•	COLOR OF ALL SWITCHES, RECEPTACLES AND COVERPLATES SHALL BE SELECTED BY OWNER ARCHITECT.
Ⓜ	STANDARD DUPLEX RECEPTACLE (WITH NUMERICAL CIRCUIT DESIGNATION WHERE REQUIRED)
Ⓜ	GFI (GROUND FAULT INTERRUPTING) DUPLEX RECEPTACLE (WITH NUMERICAL CIRCUIT DESIGNATION WHERE REQUIRED)
Ⓜ	GFI DUPLEX RECEPTACLE WITH IN USE WEATHER COVER (WITH NUMERICAL CIRCUIT DESIGNATION WHERE REQUIRED)
Ⓜ	DUPLEX RECEPTACLE MOUNTED FLUSH IN CEILING (WITH NUMERICAL CIRCUIT DESIGNATION WHERE REQUIRED)
Ⓜ	DESIGNATED ISOLATED GROUND DUPLEX RECEPTACLE (COORDINATE COLOR WITH ARCHITECT)
Ⓜ	QUADPLEX RECEPTACLE (TWO DUPLEX RECEPTACLES IN ONE 2-GANG BOX UNDER A SINGLE COVERPLATE, WITH NUMERICAL CIRCUIT DESIGNATION WHERE REQUIRED)
Ⓜ	COMBINATION COMMUNICATION DATA OUTLET BOX WITH 3/4" CONDUIT STUBBED INTO CEILING SPACE. VERIFY EXACT LOCATION. INSTALL PULL STRING WITH 12" OF EXCESS COILED AT EACH END OF CONDUIT RUN. SEE DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS
CR	E.C. SHALL PROVIDE SINGLE GANG BOX AT 48" AFF WITH 3/4" CONDUIT STUBBED INTO CEILING SPACE FOR CARD READER. VERIFY EXACT REQUIREMENTS WITH DOOR HARDWARE PROVIDER/OWNER PRIOR TO PERFORMING ANY WORK.
XX	NON FUSED DISCONNECT (SAFETY) SWITCH WITH AMPACITY AS INDICATED
XX	FUSED DISCONNECT (SAFETY) SWITCH WITH AMPACITY AS INDICATED
J	JUNCTION BOX
R	RELAY. SEE DETAIL OR DESCRIPTIVE TEXT ON PLAN FOR MORE INFORMATION
□	POWER OR LIGHTING PANEL WITH PANEL DESIGNATION SHOWN ON PLAN (SIZES AND MOUNTING INDICATED ON PLANS)
PLP-11,13	FEEDING PANEL AND CIRCUIT NUMBER(S) NOTE: EQUIPMENT GROUND CONDUCTOR NOT SHOWN
—	CIRCUIT CONDUCTORS
—	GROUNDING CIRCUIT CONDUCTOR (OR NEUTRAL)

ELECTRICAL KEYNOTES	
1	EXISTING PROJECTOR SHALL BE MEASURED FOR DISTANCE FROM SCREEN BEFORE REMOVAL. INSTALL NEW PROJECTOR AT THE SAME DISTANCE AS BEFORE FROM SCREEN. EXISTING PROJECTOR AND SCREEN SHALL BE RETURNED TO STAFF AFTER MEASUREMENTS. PROVIDE NEW CEILING MOUNTED PROJECTOR STAND, DATA AND POWER AT THE NEW LOCATION. COORDINATE NEW LOCATION WITH OWNER. PROVIDE PUSH BUTTON STATION FOR CONTROL OF NEW DEVICES.
2	E.C. SHALL WIRE OUTLETS AT COMMUNAL TABLES. COORDINATE WITH FURNITURE AND CONCEAL ALL WIRING FOR RECEPTACLES.



1  
E2.1  
POWER PLAN  
N.T.S.

2  
E2.1  
POWER PLAN  
N.T.S.

REVISIONS	

**POWER PLAN**

**RESIDENCE INN PUBLIC SPACE REMODEL**  
11931 HARBOR BOULEVARD, GARDEN GROVE, CA 92840

**GEOFFREY H. BUTLER, AIA**  
319 N MAIN ST. SUITE 200, SPRINGFIELD, MISSOURI, 65806 T: 417-865-6100

DRAWN BY BLC	ISSUE DATE OCTOBER 8, 2019
CHECKED BY BLC	PROJECT 11931-RR-02

**SGE**  
SMITH-BOOTH ENGINEERS, INC.  
3855 S. JEFFERSON AVE. P: 417-882-2200  
SPRINGFIELD, MO 65807 F: 417-882-1188  
WWW.SMITH-BOOTH.COM

REGISTERED PROFESSIONAL ENGINEER  
BRENT L. COURTER  
ELECTRICAL  
STATE OF CALIFORNIA  
10/8/19

**E2.1**

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STATE OF CALIFORNIA  
INDOOR LIGHTING  
CERTIFICATE OF COMPLIANCE  
Indoor Lighting  
Project Name: Residence Inn - Garden Grove, CA  
Date Prepared: October 8, 2019

CA Building Energy Efficiency Standards - 2016 Nonresidential Compliance April 2016

STATE OF CALIFORNIA  
INDOOR LIGHTING  
CERTIFICATE OF COMPLIANCE  
Indoor Lighting  
Project Name: Residence Inn - Garden Grove, CA  
Date Prepared: October 8, 2019

CA Building Energy Efficiency Standards - 2016 Nonresidential Compliance April 2016

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Project Name: Residence Inn - Garden Grove, CA  
Date Prepared: October 8, 2019

CA Building Energy Efficiency Standards - 2016 Nonresidential Compliance April 2016

STATE OF CALIFORNIA  
INDOOR LIGHTING  
CERTIFICATE OF COMPLIANCE  
Indoor Lighting  
Project Name: Residence Inn - Garden Grove, CA  
Date Prepared: October 8, 2019

CA Building Energy Efficiency Standards - 2016 Nonresidential Compliance April 2016

STATE OF CALIFORNIA  
INDOOR LIGHTING - LIGHTING CONTROLS  
CERTIFICATE OF COMPLIANCE  
Indoor Lighting - Lighting Controls  
Project Name: Residence Inn - Garden Grove, CA  
Date Prepared: October 8, 2019

CA Building Energy Efficiency Standards - 2016 Nonresidential Compliance January 2016

STATE OF CALIFORNIA  
INDOOR LIGHTING - LIGHTING CONTROLS  
CERTIFICATE OF COMPLIANCE  
Indoor Lighting - Lighting Controls  
Project Name: Residence Inn - Garden Grove, CA  
Date Prepared: October 8, 2019

CA Building Energy Efficiency Standards - 2016 Nonresidential Compliance January 2016

STATE OF CALIFORNIA  
INDOOR LIGHTING - LIGHTING CONTROLS  
CERTIFICATE OF COMPLIANCE  
Indoor Lighting - Lighting Controls  
Project Name: Residence Inn - Garden Grove, CA  
Date Prepared: October 8, 2019

CA Building Energy Efficiency Standards - 2016 Nonresidential Compliance January 2016

STATE OF CALIFORNIA  
INDOOR LIGHTING POWER ALLOWANCE  
CERTIFICATE OF COMPLIANCE  
Indoor Lighting Power Allowance  
Project Name: Residence Inn - Garden Grove, CA  
Date Prepared: October 8, 2019

CA Building Energy Efficiency Standards - 2016 Nonresidential Compliance April 2016

STATE OF CALIFORNIA  
INDOOR LIGHTING POWER ALLOWANCE  
CERTIFICATE OF COMPLIANCE  
Indoor Lighting Power Allowance  
Project Name: Residence Inn - Garden Grove, CA  
Date Prepared: October 8, 2019

CA Building Energy Efficiency Standards - 2016 Nonresidential Compliance April 2016

STATE OF CALIFORNIA  
INDOOR LIGHTING POWER ALLOWANCE  
CERTIFICATE OF COMPLIANCE  
Indoor Lighting Power Allowance  
Project Name: Residence Inn - Garden Grove, CA  
Date Prepared: October 8, 2019

CA Building Energy Efficiency Standards - 2016 Nonresidential Compliance April 2016

REVISIONS

TITLE-24: INTERIOR LIGHTING FORMS

RESIDENCE INN PUBLIC SPACE REMODEL  
1191 HARBOR BOULEVARD, GARDEN GROVE, CA 92640

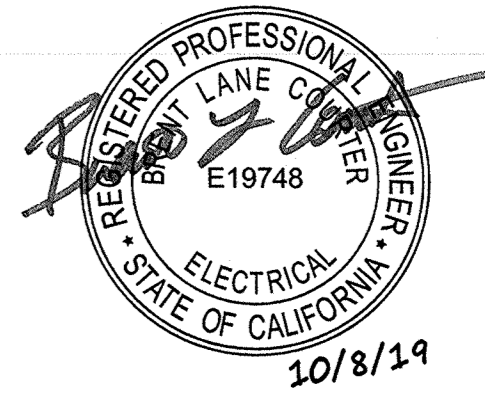
GEOFFREY H. BUTLER, AIA  
319 N MAIN ST, SUITE 200, SPRINGFIELD, MISSOURI, 65806 T: 417-865-6100

DRAWN BY: BLC  
CHECKED BY: BLC

ISSUE DATE: OCTOBER 8, 2019  
PROJECT: 1709R-PRGC

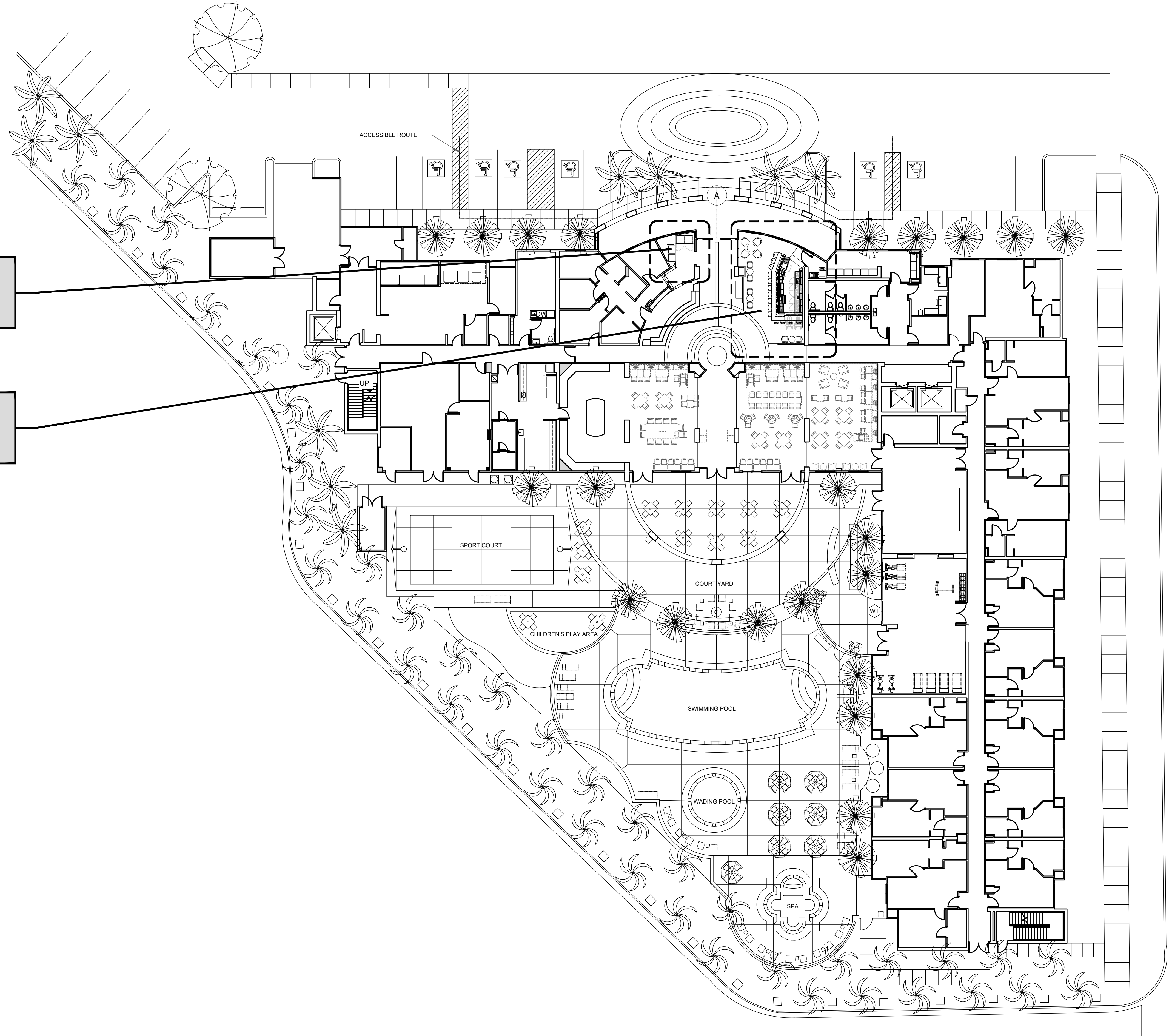
10/8/19

24.1



MARKET  
FS-1.0

BAR  
FS-1.0



1

MASTER PLAN

Scale: 1/16" = 1'-0"

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**EDD** Edward Don & Company  
 FOODSERVICE EQUIPMENT DIVISION  
 11931 HARBOR BLVD.  
 FORT MYERS, FLORIDA 33907  
 PH: (239) 437-9888 FX: (239) 437-1422

PROJECT: **BAR**  
 RESIDENCE INN - GARDEN GROVE  
 11931 HARBOR BLVD.  
 GARDEN GROVE, CA 92840

DATE	DESCRIPTION	DATE	DESCRIPTION
▲		▲	
▲		▲	
▲		▲	

DRAWN BY:  
R. LEITCH  
 CHECKED BY:  
R. LEITCH  
 SUBMITTED BY:  
R. LEITCH

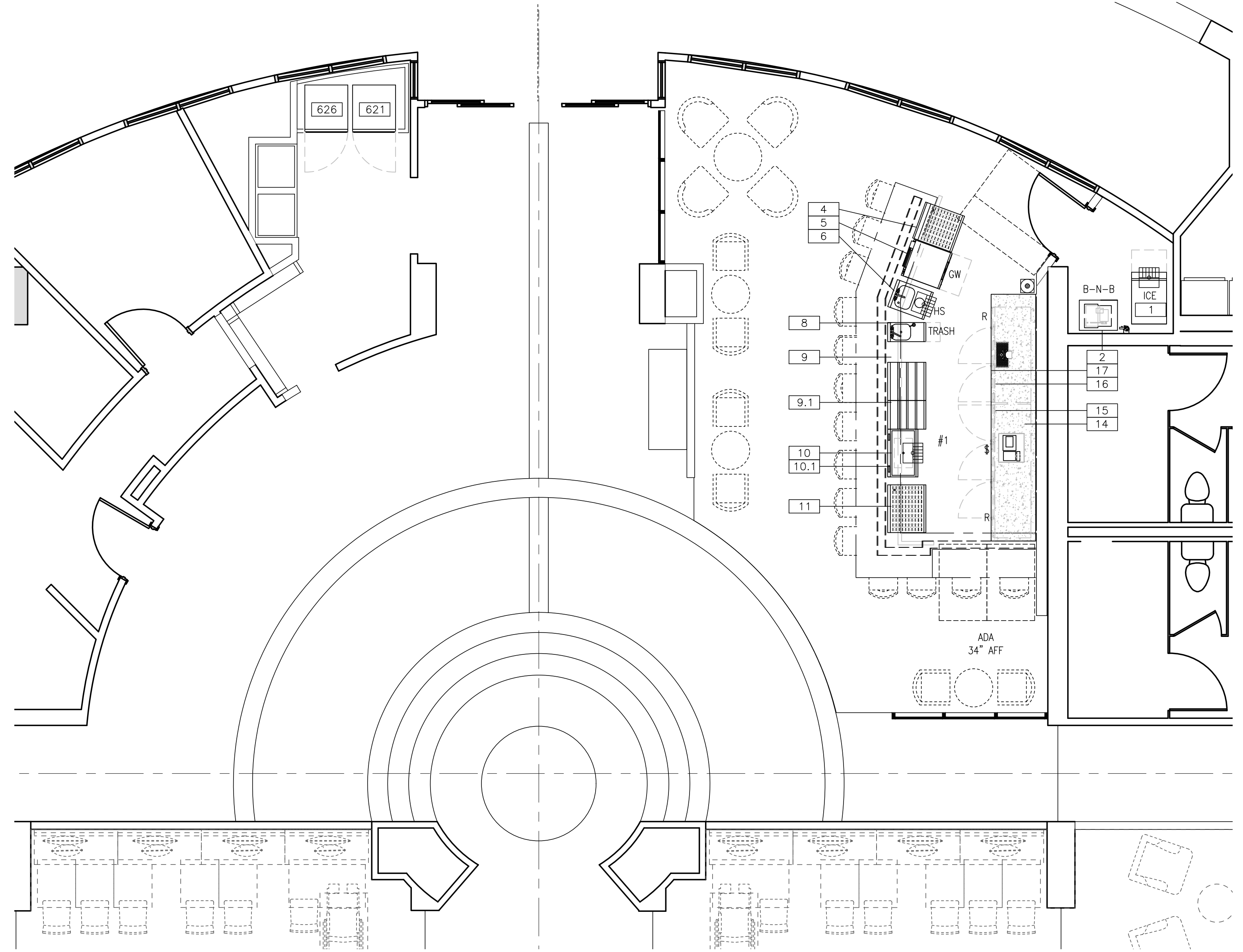
SCALE:  
1/4" = 1'-0"

ISSUE NAME:

DATE:  
09.23.19

SHEET:  
**FS-0.0**  
 FOODSERVICE  
 MASTER  
 PLAN

DRAWING NO:



1 EQUIPMENT PLAN Scale: 1/4" = 1'-0"

EQUIPMENT SCHEDULE			
ITEM NO	QTY	EQUIPMENT CATEGORY	EQUIPMENT REMARKS
BAR			
1	1	ICE MAKER W/O BIN	
2	1	BAG-IN-BOX SODA SYSTEM	BY OTHERS
3		SPARE NUMBER	
4	1	UNDERBAR DRY STORAGE	
5	1	GLASSWASHER	
6	1	UNDERBAR DRY STORAGE W/ SINK	
7		SPARE NUMBER	
8	1	UNDERBAR HANDSINK	W/SOAP & TOWEL DISPENSERS
9	1	LIQUOR BOTTLE DISPLAY	
9.1	1	LIQUOR BOTTLE DISPLAY	
10	1	UNDERBAR ICE CHEST	
10.1	1	SODA GUN / HOLDER	BY OTHERS
11	1	UNDERBAR DRY STORAGE	
12		SPARE NUMBER	
13		SPARE NUMBER	
14	1	POINT OF SALE SYSTEM	BY OWNER
15	1	BACK BAR COOLER	
16	1	DISPENSER, BEER	
17	1	BACKBAR COUNTERTOP / BASE	BY OTHERS
18		SPARE NUMBER	
19		SPARE NUMBER	
20		SPARE NUMBER	
MARKET			
621	1	REFRIGERATOR, MERCHANDISER	GLASS DOOR
626	1	FREEZER, MERCHANDISER	GLASS DOOR

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**ED** Edward Don & Company  
 FOODSERVICE EQUIPMENT DIVISION  
 FORT MYERS, FLORIDA 33907  
 PH: (239) 437-9888 FX: (239) 437-1422

**BAR**  
 RESIDENCE INN - GARDEN GROVE  
 11931 HARBOR BLVD.  
 GARDEN GROVE, CA 92840

PROJECT:

DATE:	DESCRIPTION
▲	▲
▲	▲
▲	▲

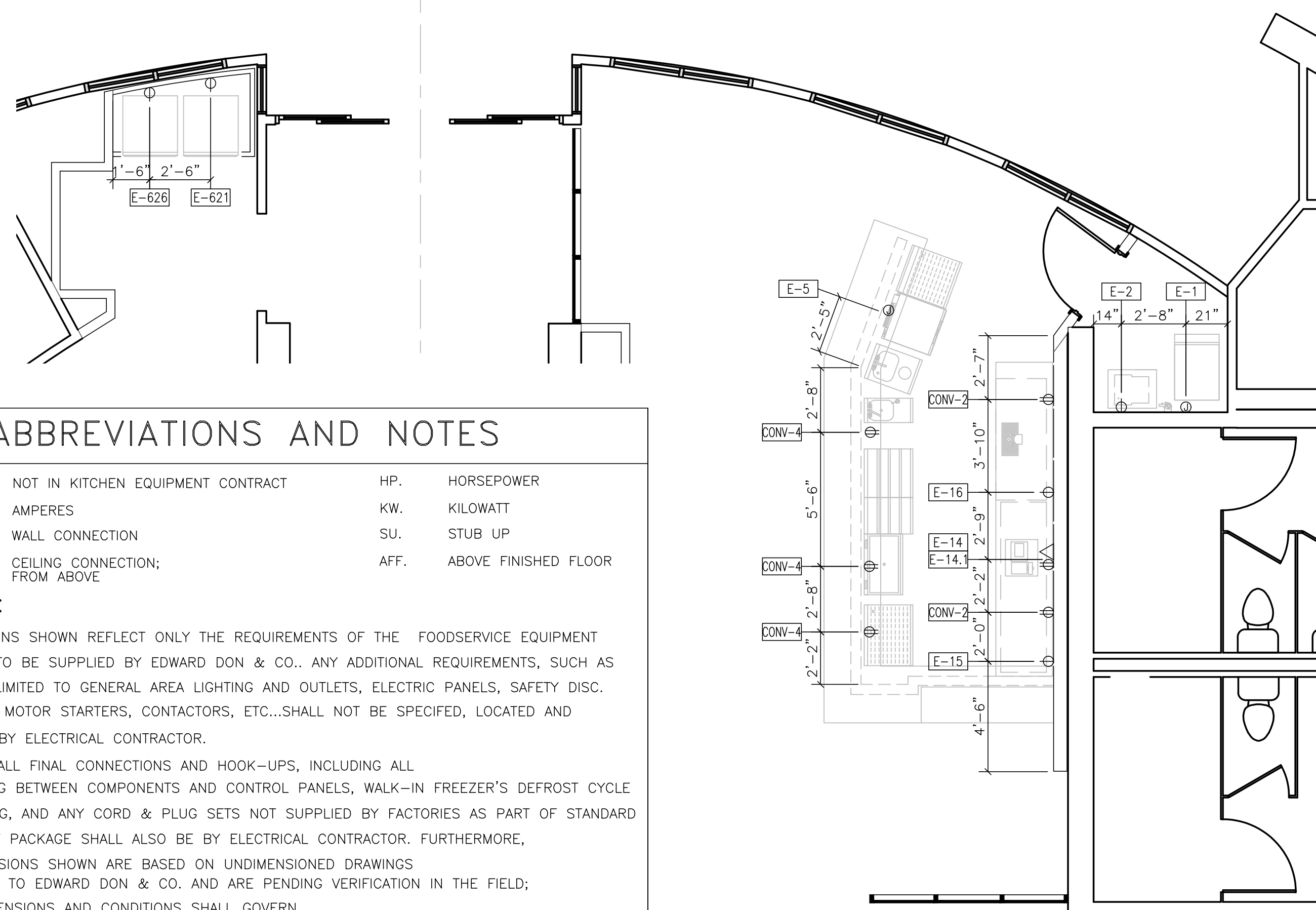
DATE:	DESCRIPTION
▲	▲
▲	▲
▲	▲

DRAWN BY:  
R. LEITCH  
 CHECKED BY:  
R. LEITCH  
 SUBMITTED BY:  
R. LEITCH

SCALE:  
1/4" = 1'-0"

ISSUE NAME:  
DATE:  
09.23.19

SHEET:  
**FS-1.0**  
 FOODSERVICE  
 EQUIPMENT  
 PLAN  
 DRAWING NO:



### ABBREVIATIONS AND NOTES

NIKEC.	NOT IN KITCHEN EQUIPMENT CONTRACT	HP.	HORSEPOWER
AMP.	AMPERES	KW.	KILOWATT
WL.	WALL CONNECTION	SU.	STUB UP
CL.	CEILING CONNECTION; FROM ABOVE	AFF.	ABOVE FINISHED FLOOR

#### NOTE:

CONNECTIONS SHOWN REFLECT ONLY THE REQUIREMENTS OF THE FOODSERVICE EQUIPMENT PACKAGE TO BE SUPPLIED BY EDWARD DON & CO.. ANY ADDITIONAL REQUIREMENTS, SUCH AS BUT NOT LIMITED TO GENERAL AREA LIGHTING AND OUTLETS, ELECTRIC PANELS, SAFETY DISC. SWITCHES, MOTOR STARTERS, CONTACTORS, ETC...SHALL NOT BE SPECIFIED, LOCATED AND SUPPLIED BY ELECTRICAL CONTRACTOR.

LIKEWISE, ALL FINAL CONNECTIONS AND HOOK-UPS, INCLUDING ALL INTERWIRING BETWEEN COMPONENTS AND CONTROL PANELS, WALK-IN FREEZER'S DEFROST CYCLE INTERWIRING, AND ANY CORD & PLUG SETS NOT SUPPLIED BY FACTORIES AS PART OF STANDARD EQUIPMENT PACKAGE SHALL ALSO BE BY ELECTRICAL CONTRACTOR. FURTHERMORE, ALL DIMENSIONS SHOWN ARE BASED ON UNDIMENSIONED DRAWINGS SUBMITTED TO EDWARD DON & CO. AND ARE PENDING VERIFICATION IN THE FIELD; FIELD DIMENSIONS AND CONDITIONS SHALL GOVERN.

NOTE 1 = NIKEC; G.C. SHALL VERIFY REQUIREMENTS WITH SUPPLIER & COORDINATE ROUGH-IN INSTALLATION WITH TRADES IN THE FIELD.

NOTE 2 = REFER TO MFG SHOP DRAWINGS FOR COMPLETE WIRING AND LOAD REQUIREMENTS.  
\* VERIFY LOCATION OF UNITS AND JUNCTION BOXES.

### 1 ELECTRICAL PLAN

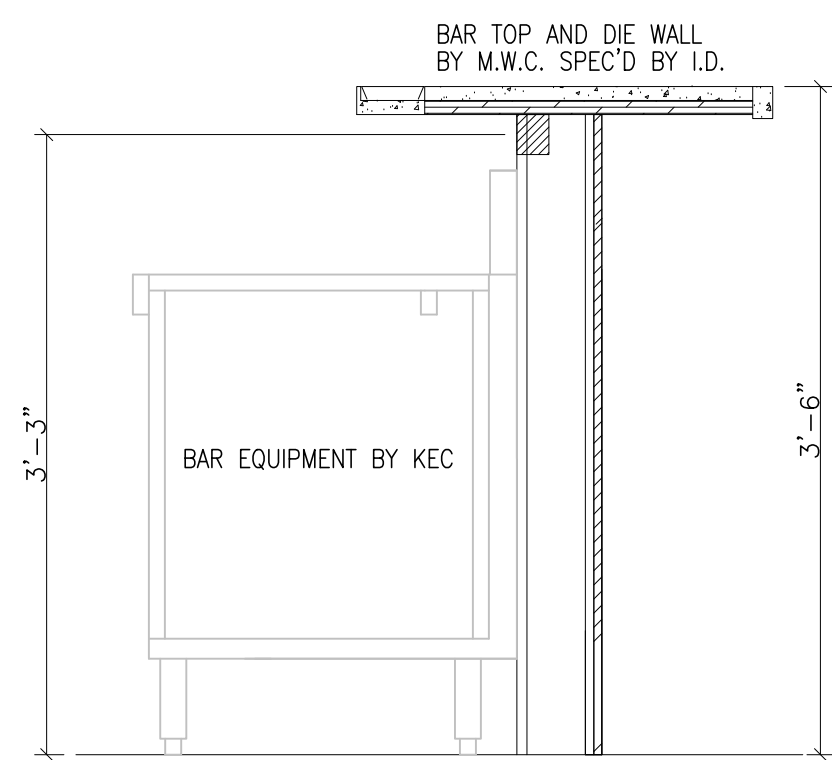
Scale: 1/4" = 1'-0"

### ELECTRIC SCHEDULE

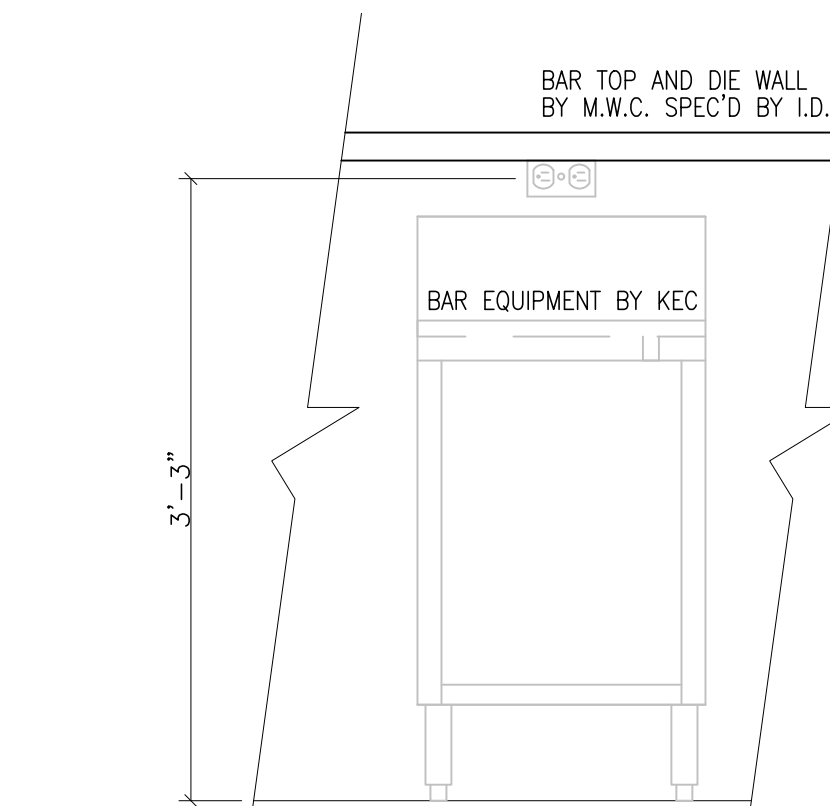
CONN. NO.	ITEM DESCRIPTION	QTY	VOLT	PHASE	LOAD			STUB ABOVE FLOOR TO		ELECTRICAL CONTR TO MAKE FINAL CONNECTION TO:			NEMA PLUG	24 HOUR	REMARKS
					AMP.	KW.	HP.	JUNC. BOX	FLUSH OUTLET	EQ. MTD JUNC. BOX	EQ. MTD OUTLET	OUTLET/AB BY E.C.			
E-1	ICE MAKER	1	115	1	8.2				78"				*	*	
E-2	BAG-N-BOX SYSTEM	1	120	1	20.0				78"				*	5-15P	
E-5	GLASSWASHER	1	120/208	1	30.5	6.7			12"				*		
E-14	P.O.S. SYSTEM	1	120	1	15.0				48"				*	5-15P	(DEDICATED) - DATA CONDUIT, BRANCHED TO THIS POINT - SEE NOTE 1
E-14.1	PRINTER RECEPT(GFCI)	1	120	1	15.0				48"				*		SEE NOTE 2; VERIFY
E-15	REFRIGERATOR, BACK BAR	1	120	1	9.0		1/3		12"				*	5-15P	* DEDICATED CIRCUIT
E-16	DRAFT BEER COOLER	1	120	1	6.0		1/4		12"				*	5-15P	* DEDICATED CIRCUIT
E-20	REFRIGERATOR, U/C	2	120	1	4.0		1/6		12"				*	5-15P	* DEDICATED CIRCUIT
E-21	FREEZER, U/C	1	120	1	6.0		1/4		12"				*	5-15P	* DEDICATED CIRCUIT
E-621	REFRIGERATOR, MERCHANDISER	1	120	1	5.2		1/3		48"				*	5-15P	* DEDICATED CIRCUIT
E-626	FREEZER, MERCHANDISER	1	120	1	13.0		3/4		48"				*	5-15P	* DEDICATED CIRCUIT
CONV2	CONVENIENCE OUTLET	2	120	1	20.0 A CIRC.				48"				*		DEDICATED CIRCUIT; CONVENIENCE OUTLET BY ELECTRIC TRADES
CONV4	CONVENIENCE OUTLET (BAR)	3	120	1	20.0 A CIRC.				39"				*		DEDICATED CIRCUIT; CONVENIENCE OUTLET BY ELECTRIC TRADES; OUTLET MOUNTED HORIZONTALLY

### LEGEND

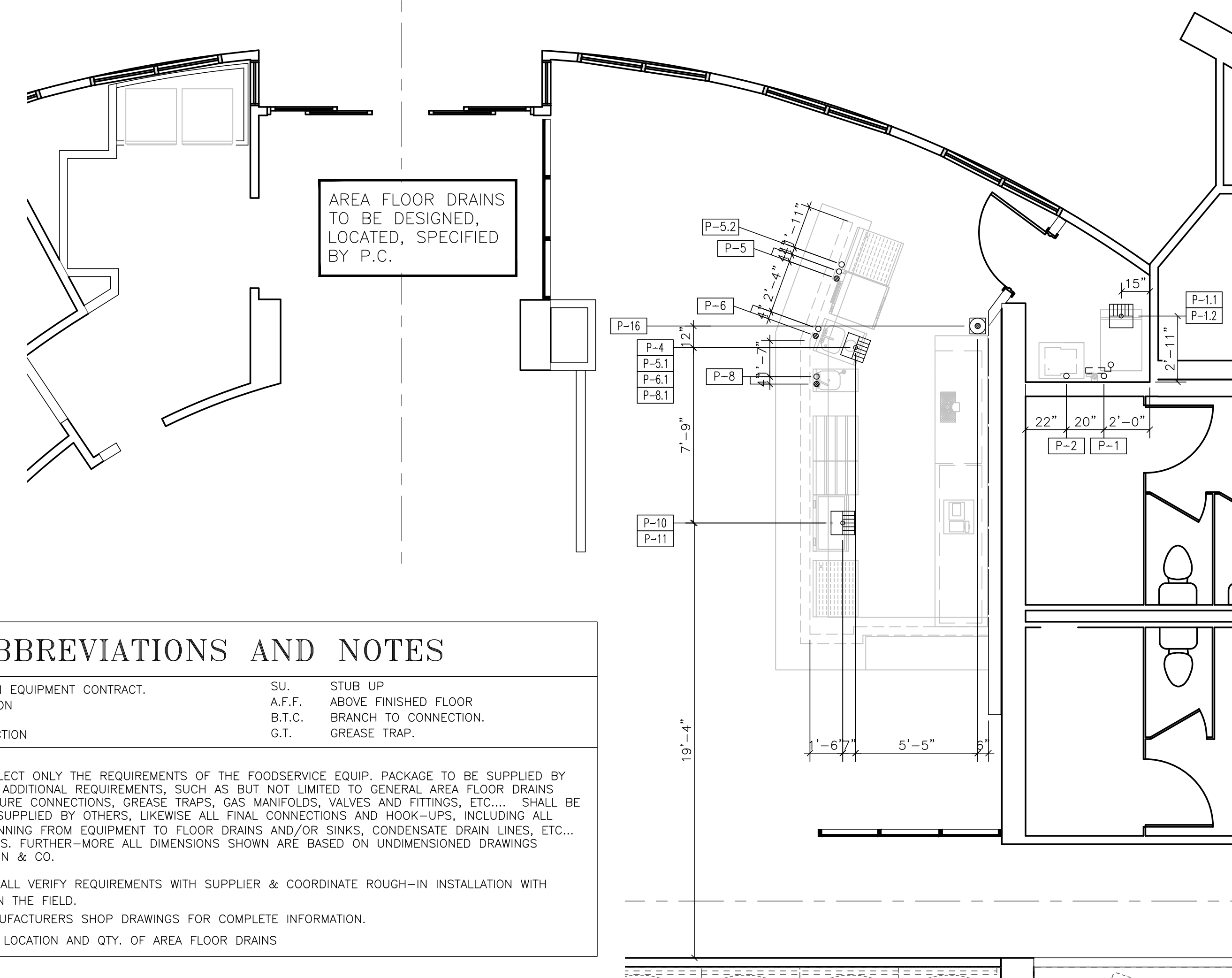
⊕	- 120V DUPLEX RECEPTACLE	⊕	- 120V SINGLE RECEPTACLE
⊕	- JUNCTION BOX	△	- NETWORK CONNECTION
⊕	- WALL SWITCH	⊕	- 208V SINGLE RECEPTACLE



SECTION - CONVENIENCE OUTLET @ 39" AFF  
1"=1'-0"



ELEVATION - CONVENIENCE OUTLET @ 39" AFF  
1"=1'-0"



### ABBREVIATIONS AND NOTES

NIKEC.	NOT IN KITCHEN EQUIPMENT CONTRACT.	SU.	STUB UP
WL.	WALL CONNECTION	A.F.F.	ABOVE FINISHED FLOOR
CL.	FROM ABOVE CEILING CONNECTION	B.T.C.	BRANCH TO CONNECTION.
		G.T.	GREASE TRAP.

\* NOTE = CONNECTIONS SHOWN REFLECT ONLY THE REQUIREMENTS OF THE FOODSERVICE EQUIP. PACKAGE TO BE SUPPLIED BY EDWARD DON & CO.. ANY ADDITIONAL REQUIREMENTS, SUCH AS BUT NOT LIMITED TO GENERAL AREA FLOOR DRAINS AND SINKS; SANITARY FIXTURE CONNECTIONS, GREASE TRAPS, GAS MANIFOLDS, VALVES AND FITTINGS, ETC... SHALL BE SPECIFIED, LOCATED AND SUPPLIED BY OTHERS, LIKEWISE ALL FINAL CONNECTIONS AND HOOK-UPS, INCLUDING ALL INDIRECT WASTE LINES RUNNING FROM EQUIPMENT TO FLOOR DRAINS AND/OR SINKS, CONDENSATE DRAIN LINES, ETC... SHALL ALSO BE BY OTHERS. FURTHER-MORE ALL DIMENSIONS SHOWN ARE BASED ON UNDIMENSIONED DRAWINGS SUBMITTED TO EDWARD DON & CO.

NOTE 1 = NIKEC; G.C. SHALL VERIFY REQUIREMENTS WITH SUPPLIER & COORDINATE ROUGH-IN INSTALLATION WITH TRADES IN THE FIELD.

NOTE 2 = REFER TO MANUFACTURERS SHOP DRAWINGS FOR COMPLETE INFORMATION.

NOTE 3 = GC. TO VERIFY LOCATION AND QTY. OF AREA FLOOR DRAINS

### 2 PLUMBING PLAN

Scale: 1/4" = 1'-0"

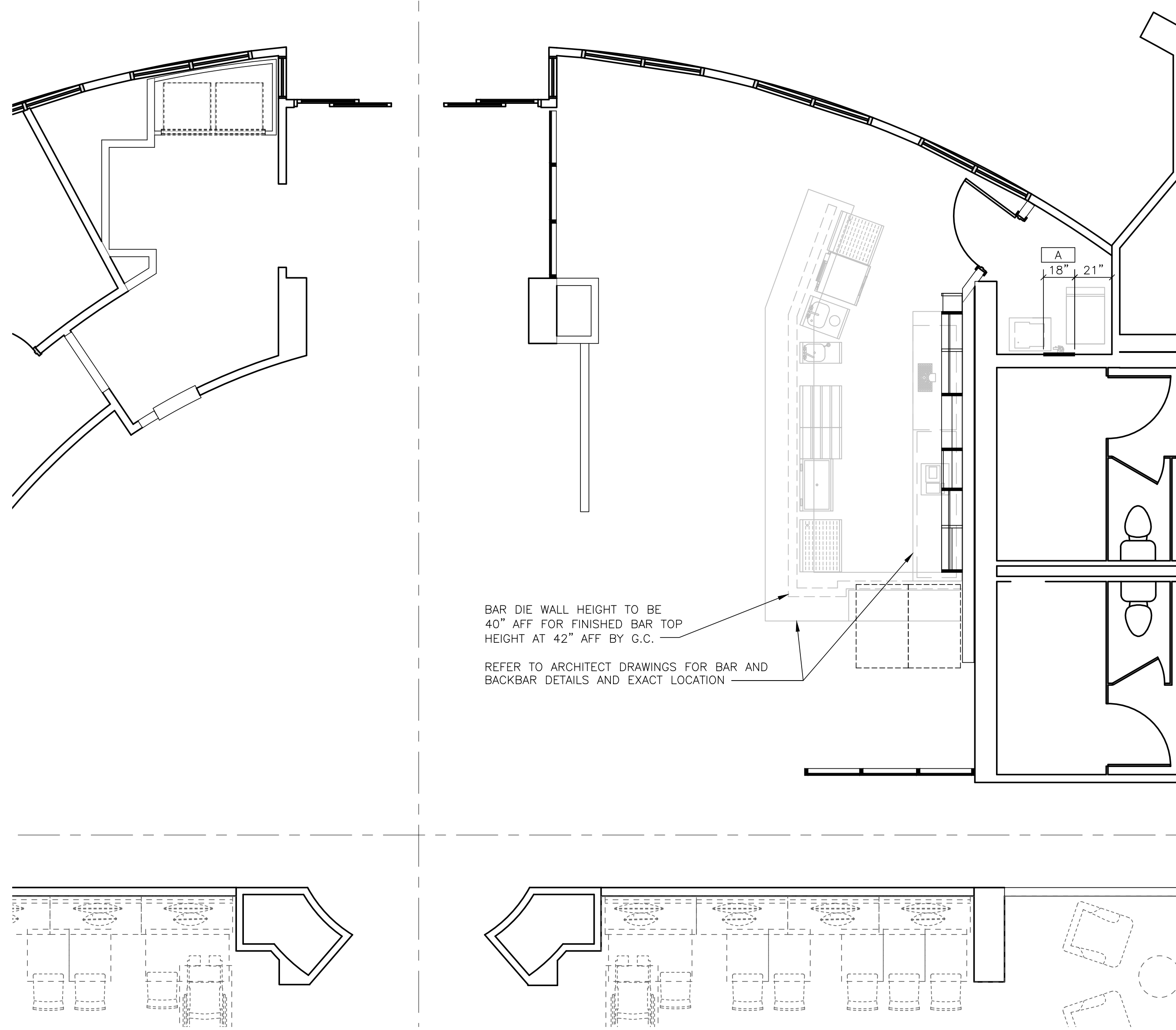
### PLUMBING SCHEDULE

CONN. NO.	CONNECT TO	QTY	COLD WATER	HOT WATER	WASTE	FLOOR DRAINS	GAS	MBTU LOAD	STUB UP ABV. FLR.	TEE OFF OR RUN TO	REMARKS
P-1	ICE MAKER	1	1/2"						96"		WATER FROM FILTER; REQUIRE REDUCED PRESSURE BACKFLOW ASSEMBLY
P-1.1	ICE MAKER	1			3/4"	FS.				PC RUN INDIRECT WASTE TO FS.	
P-1.2	ICE BIN DRAIN	1			3/4"	FS.				PC RUN INDIRECT WASTE TO FS.	
P-2	CARBONATOR	1	1/2"						78"		
P-4	DRAINBOARD	1			1"	FS.			*	PC RUN INDIRECT WASTE TO F.S.	
P-5	GLASSWASHER	1	1/2"	1/2"					12"		140 DEG. MIN. HOT WATER SUPPLY; 12.0 GAL./HR REQUIRED
P-5.1	GLASSWASHER	1			1-1/2"	FS.			*	PC RUN INDIRECT WASTE TO F.S.	
P-5.2	GLASSWASHER (DRAIN TEMPERING)	1	1/2"						12"		
P-6	DUMP SINK	1	1/2"	1/2"					12"		
P-6.1	DUMP SINK	1			1-1/2"	FS.			*	PC RUN INDIRECT WASTE TO F.S.	
P-8	HAND SINK	1	1/2"	1/2"					12"		
P-8.1	HAND SINK	1			1-1/2"	FS.			*	PC RUN INDIRECT WASTE TO F.S.	
P-10	ICE CHEST	1			1/2"	FS.			*	PC RUN INDIRECT WASTE TO F.S.	
P-11	DRAINBOARD	1			1"	FS.			*	PC RUN INDIRECT WASTE TO F.S.	
P-16	BEER DRAINER	1			1/2"	FFD			*	PC RUN INDIRECT WASTE TO FFD	

### LEGEND

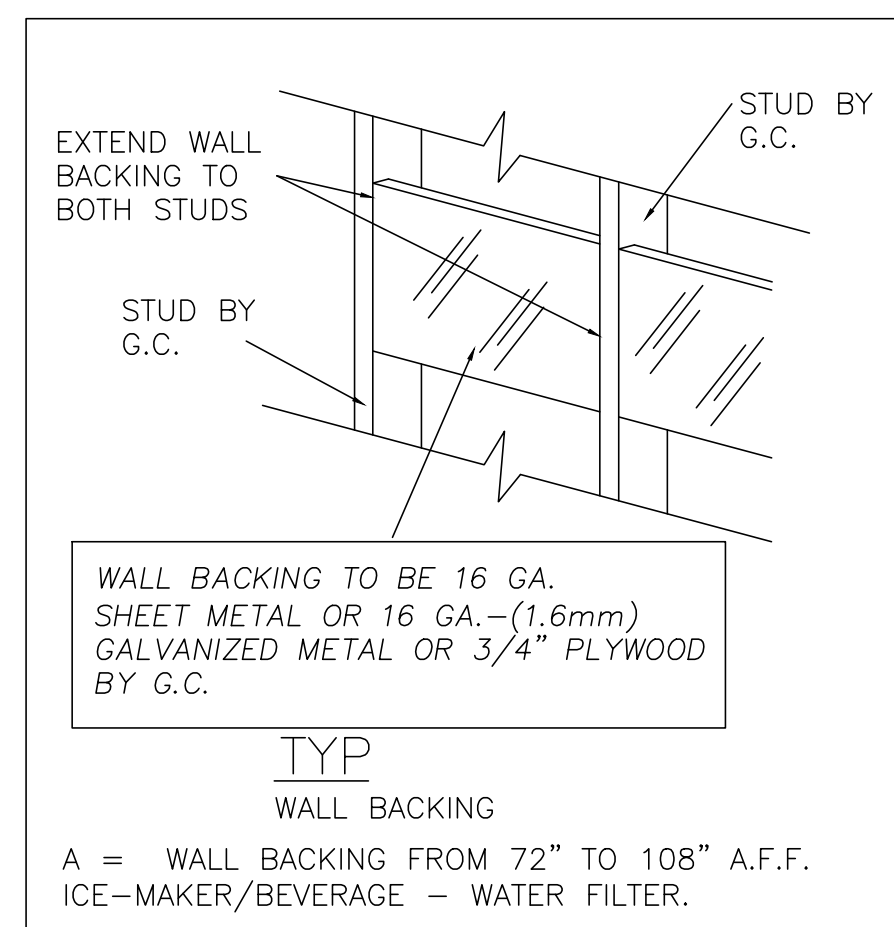
○	- COLD WATER	⊕	- INDIRECT WASTE	⊕	- AREA DRAIN (AD)
●	- HOT WATER	⊕	- DIRECT WASTE	⊕	- GAS
⊕	- WATER-COOLED RETURN/SUPPLY	⊕	- FLOOR SINK (FS)	⊕	- FUNNEL DRAIN (FFD)

PROJECT: BAR RESIDENCE INN - GARDEN GROVE 11831 HARBOR BLVD. GARDEN GROVE, CA 92840  
 DRAWN BY: R. LEITCH  
 CHECKED BY: R. LEITCH  
 SUBMITTED BY: R. LEITCH  
 SCALE: 1/4" = 1'-0"  
 ISSUE NAME:  
 DATE: 09.23.19  
 SHEET: FS-1.1 FOODSERVICE UTILITY PLAN  
 DRAWING NO:  
 PROJECT: Edward Don & Company FOODSERVICE EQUIPMENT DIVISION 11831 HARBOR BLVD. GARDEN GROVE, FLORIDA 33047 PH: (209) 437-9888 FX: (209) 437-1422  
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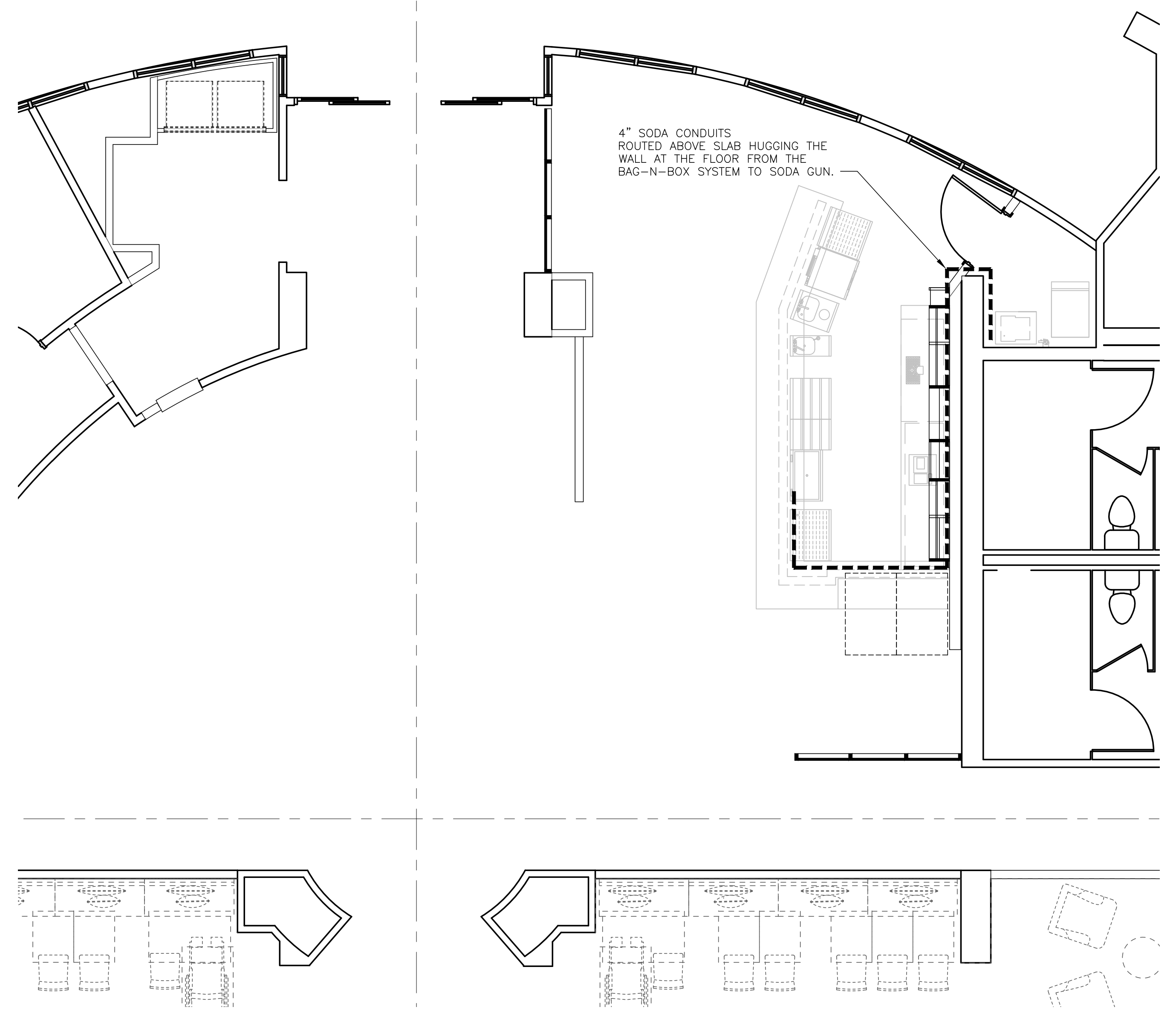


BAR DIE WALL HEIGHT TO BE 40" AFF FOR FINISHED BAR TOP HEIGHT AT 42" AFF BY G.C.  
 REFER TO ARCHITECT DRAWINGS FOR BAR AND BACKBAR DETAILS AND EXACT LOCATION

1 WALL BACKING PLAN Scale: 1/4" = 1'-0"



A = WALL BACKING FROM 72" TO 108" A.F.F. ICE-MAKER/BEVERAGE - WATER FILTER.



4" SODA CONDUITS ROUTED ABOVE SLAB HUGGING THE WALL AT THE FLOOR FROM THE BAG-N-BOX SYSTEM TO SODA GUN.

2 CONDUIT PLAN Scale: 1/4" = 1'-0"

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**EDD** Edward Don & Company  
 FOODSERVICE EQUIPMENT DIVISION  
 FORT MYERS, FLORIDA 33907  
 PH: (239) 437-9888 FX: (239) 437-1422

**BAR**  
 RESIDENCE INN - GARDEN GROVE  
 11931 HARBOR BLVD.  
 GARDEN GROVE, CA 92840

PROJECT:

DATE	DESCRIPTION
▲	▲
▲	▲
▲	▲

DRAWN BY:  
R. LEITCH  
 CHECKED BY:  
R. LEITCH  
 SUBMITTED BY:  
R. LEITCH

SCALE:  
1/4" = 1'-0"

ISSUE NAME:

DATE:  
09.23.19

SHEET:  
**FS-1.2**  
 FOODSERVICE BLDG. WORKS PLAN  
 DRAWING NO: