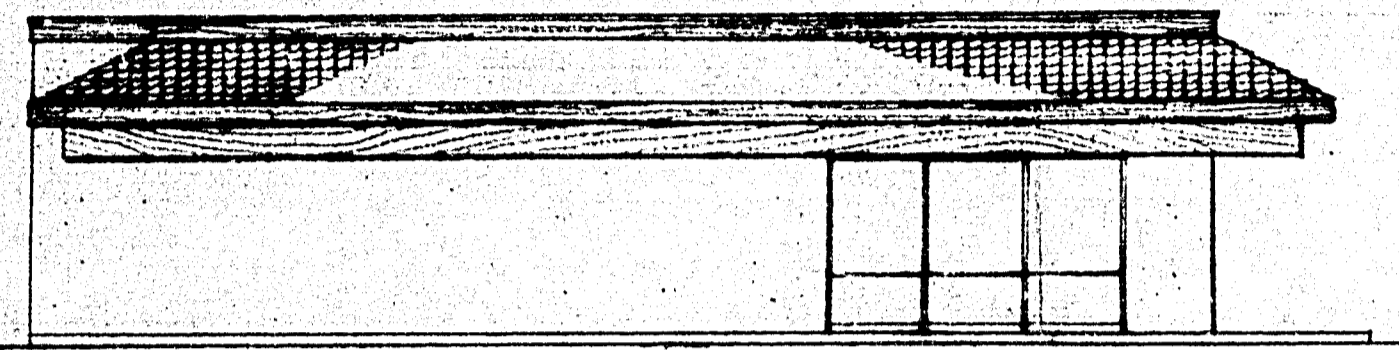
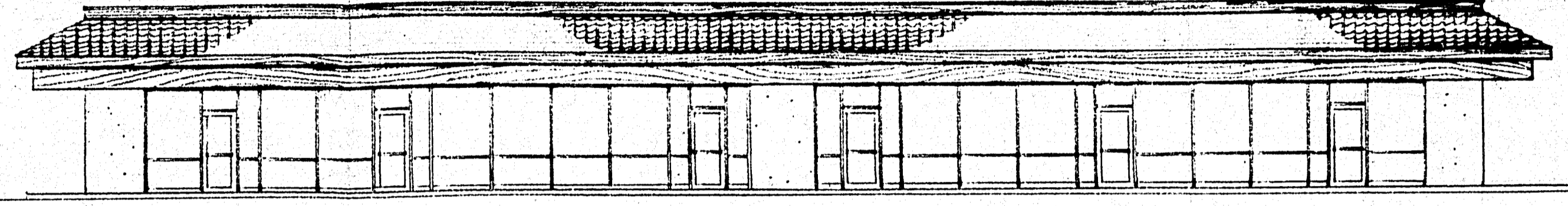


SP-163-73

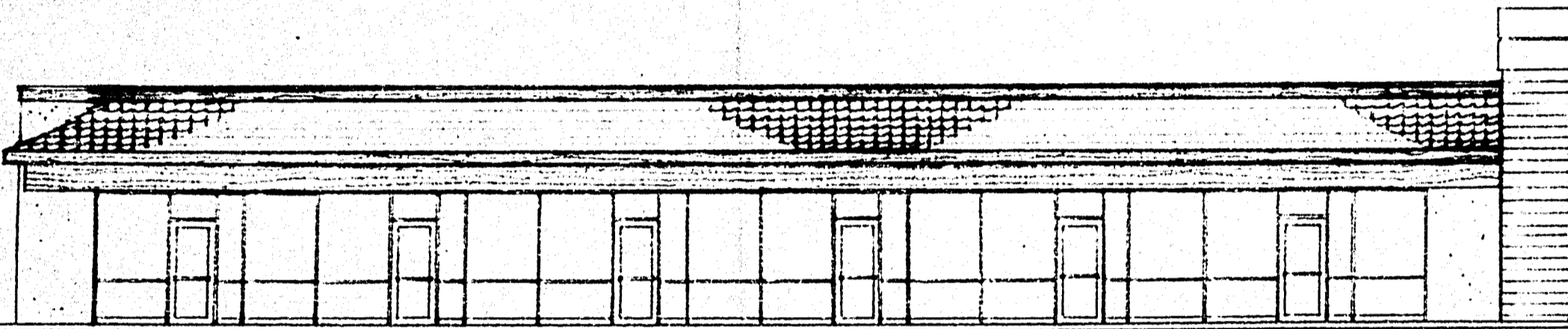
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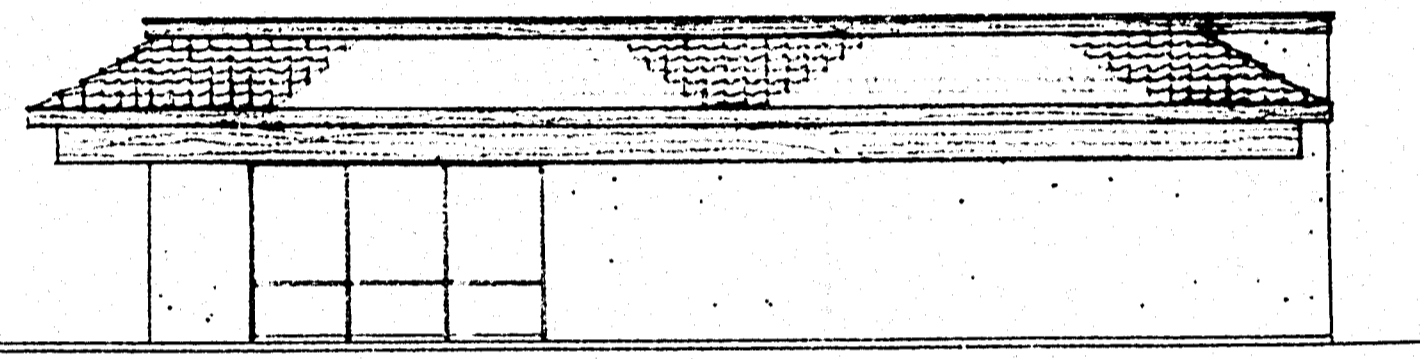
BUILDING 1 - EAST ELEVATION
SCALE: 1/8" = 1'-0"



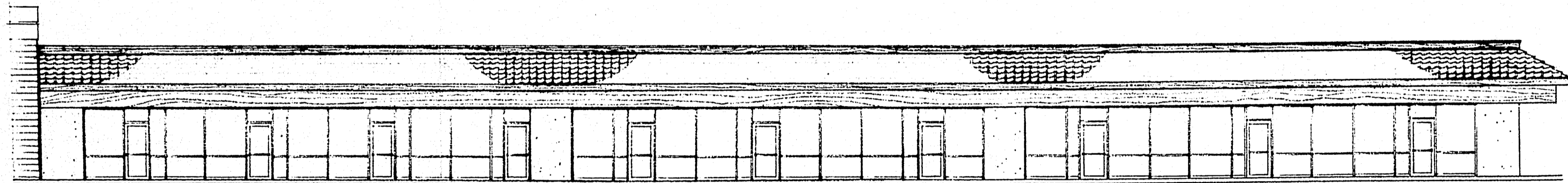
BUILDING 1 - NORTH ELEVATION
SCALE: 1/8" = 1'-0"



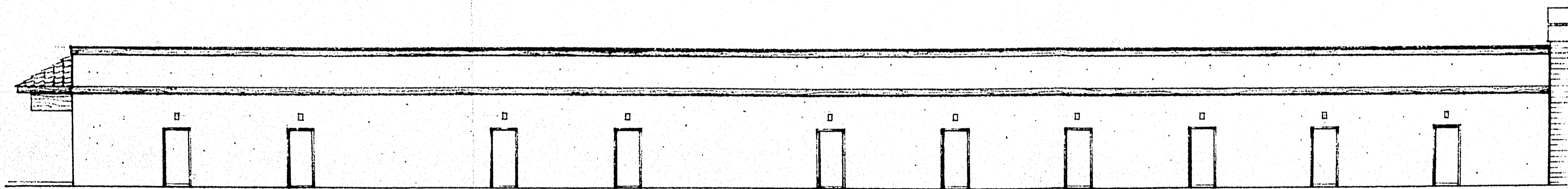
BUILDING 2 - EAST ELEVATION
SCALE: 1/8" = 1'-0"



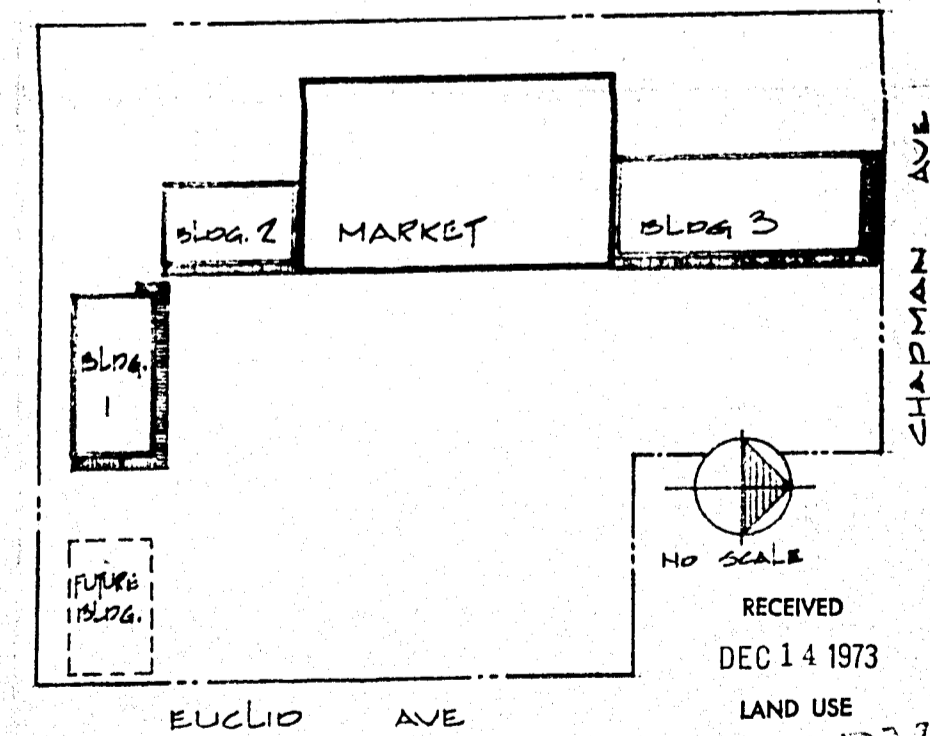
BUILDING 3 - NORTH ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 3 - EAST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 3 - WEST ELEVATION
SCALE: 1/8" = 1'-0"



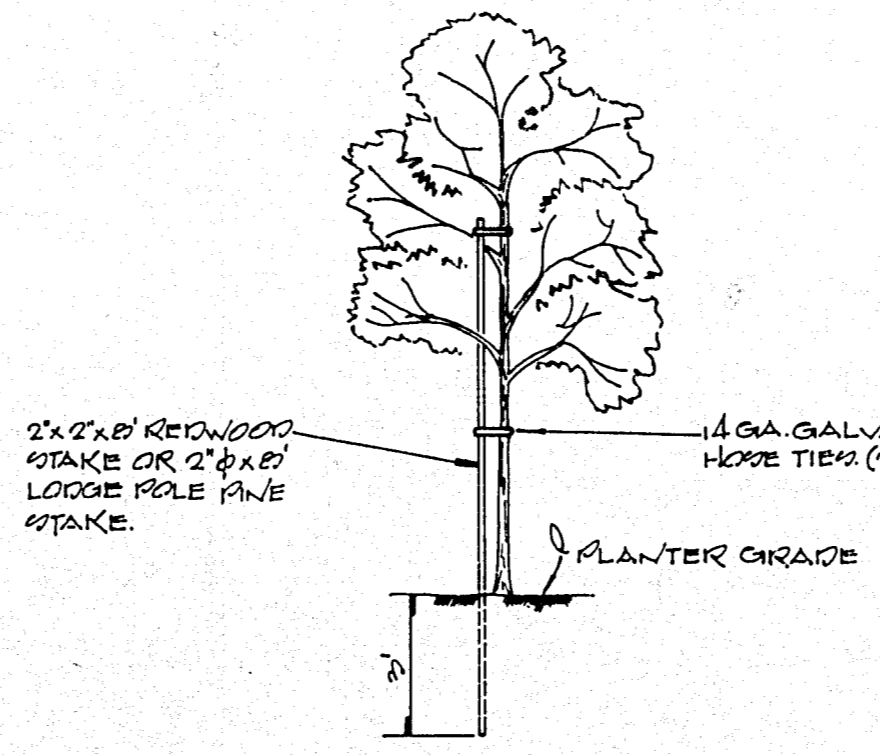
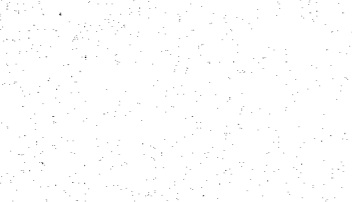
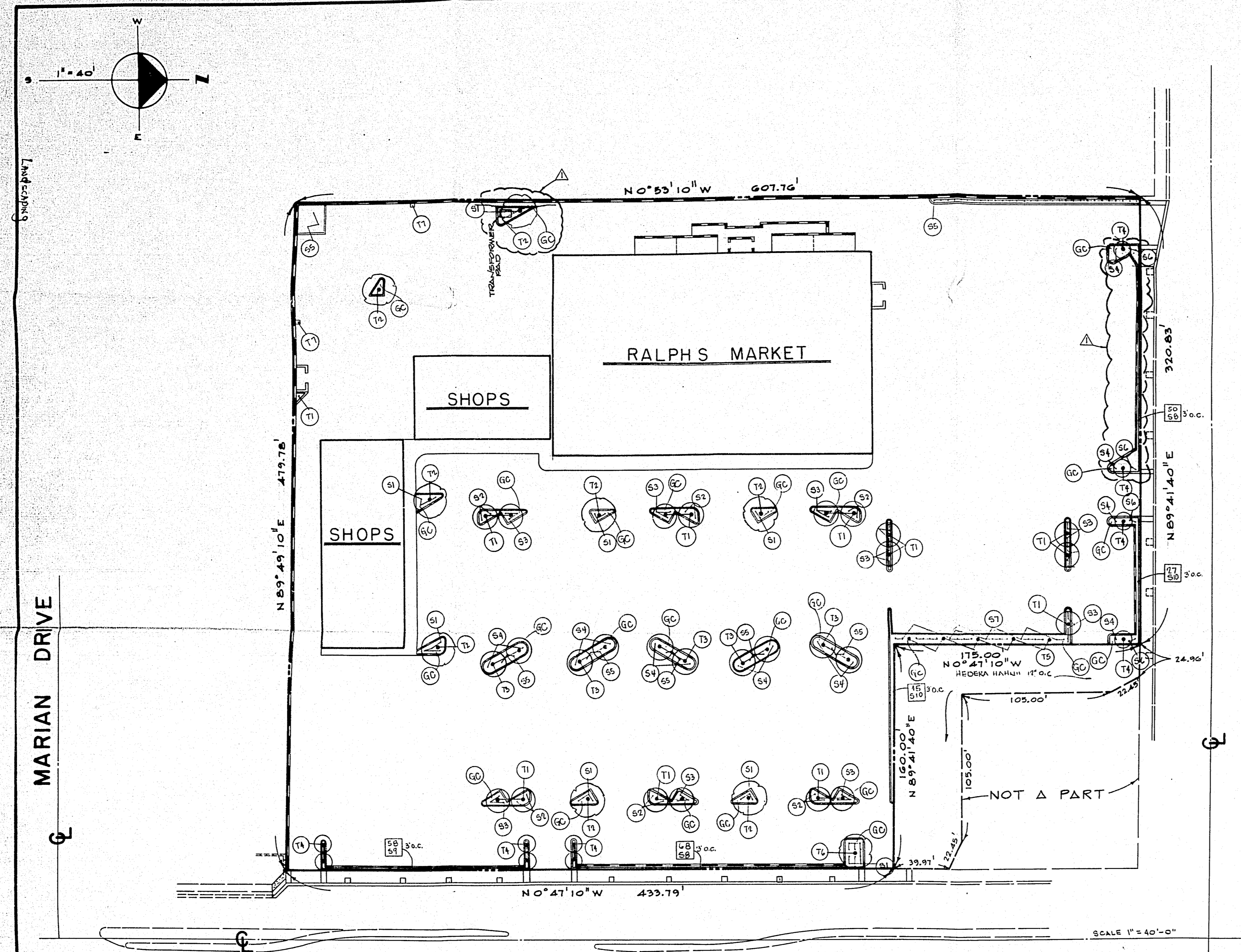
OFFICIAL COPY
SEE REVISION
SP18373
116-71

Phone: (714) 944-6440
sdic
SANTA ANITA DEVELOPMENT CORPORATION
A subsidiary of Santa Anita Development, Inc.
200 San Miguel Pk., Newport Center, Newport Beach, Calif. 92660

| REV. NO. | REVISION | DATE |
|----------|----------|------|
| | | |
| | | |
| | | |
| | | |

DATE: 12.10.73
SHEET TITLE: SERVICE SPRE ELEVATIONS

CENTER: RALPH'S CENTER
STONE: S.W. CORNER EUCLID & CHAPMAN
SHEET NO.: GARDEN GROVE



10 SCALE
TREE STAKING DETAIL

| KEY | QTY | SIZE | PLANT LIST | COMMON NAME |
|-----|-----|-------|----------------------------------|---------------------|
| T1 | 18 | 15G | FICUS NITIDA | INDIAN LAUREL |
| T2 | 8 | 15G | CUPANIA ANACARDIODES | CARROTWOOD |
| T3 | 10 | 15G | PODOCARPUS GRACILIOR | FERU PINN |
| T4 | 10 | 15G | CALLESTEADON LANGELOTIS STANDARD | BOTTLEBRUSH |
| T5 | 5 | 5G | JUNIPER TORULOSA | HOLLYWOOD JUNIPER |
| T6 | 1 | 15G | CUPANIA ANACARDIODES | MULTI-STEM |
| T7 | 2 | 15G | PINUS CANARIENSIS | CANARY ISLAND PINE |
| S1 | 31 | 5G | VARIGATED JUNIPER PROSTRATA | PROSTRATE JUNIPER |
| S2 | 12 | 5G | ILEX CORNUTA ROTUNDA | DWARF CHINESE HOLLY |
| S3 | 38 | 5G | JUNIPER TAMARISCIFOLIA | TAMARIX JUNIPER |
| S4 | 14 | 5G | LIRIOPE MUSCARI | GIANT LILY TURF |
| S5 | 48 | 5G | RAPHIOLEPS ROSEA | INDIAN HAWTHORNE |
| S6 | 8 | 5G | GOLD COAST JUNIPER | GOLDEN JUNIPER |
| S7 | 20 | 5G | PITTDSPORUM TOMBA VARIGATA | MOCK ORANGE |
| S8 | 118 | 1G | VAR OPHIOPOGON | LILY TURF |
| S9 | 38 | 1G | AGAPANTHA FETER PAN | DWARF LILY OF NILE |
| S10 | 72 | 1G | " AFRICANUS | LILY OF NILE |
| GC | | FLATS | HEDERA HANNII | HAWNS IVY |

GENERAL NOTES - REQUIREMENTS
 ALL PLANTER AREAS TO RECEIVE FINE BARK MULCH - 2" OF COVER
 ALL TREES TO RECEIVE 2x2x8' REDWOOD STAKING OR LODGE POLES WITH 14GA GALVANIZED WIRE & HOSE TIES - 2 PER TREE

FOR REFERENCE ONLY

PLAN PREPARED BY:
 Homer Rose Jr.
 Landscape Contractor
 5928 Lorelei St.
 Lakewood Ca. 90712
 Tel. (213) 866-2151
 Lic. No. 235087

Phase I (only) Attached: Land Use by Greg S. Lewis 5/14/04

| | | | |
|---|------|------|------|
| ACCEPTED AND APPROVED FOR CONSTRUCTION | | DATE | BY |
| OWNER | DATE | DATE | DATE |
| TEAMANT | DATE | DATE | DATE |
| CONTRACTOR | DATE | DATE | DATE |
| THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION WITHOUT THE APPROVALS AND PERMITS OF THE ENGINEER WHO HAS DRAWN THIS PROJECT. | | | |

REVISIONS

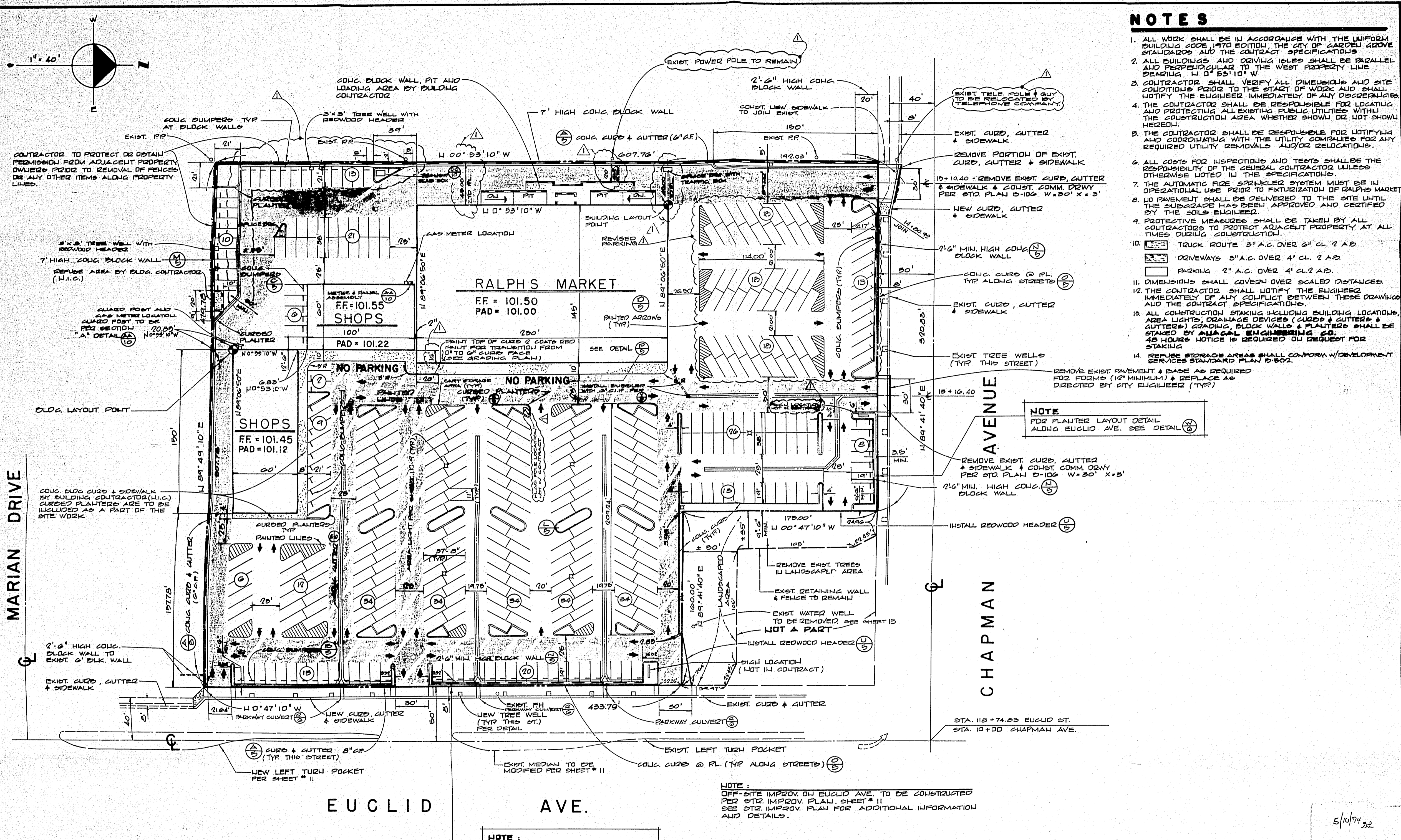
| NO. | DESCRIPTION | DATE | BY |
|-----|-------------|------|----|
| 1 | | | |

PROJECT ENGINEER
ANACAL ENGINEERING CO.
 P. O. BOX 3668 (222 E. LINCOLN AVE.)
 ANAHEIM, CALIFORNIA 92803
 PHONE: (714) 774-1763

SHEET TITLE
LANDSCAPING PLAN

PROJECT
RALPHS CENTER
 S. W. CORNER EUCLID AVENUE AND CHAPMAN AVE., GARDEN GROVE, CAL.

SHEET NO. **7** OF **13**



- ### NOTES
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE UNIFORM BUILDING CODE, 1970 EDITION, THE CITY OF GARDEN GROVE STANDARDS AND THE CONTRACT SPECIFICATIONS.
 2. ALL BUILDINGS AND DRIVEWAYS SHALL BE PARALLEL AND PERPENDICULAR TO THE WEST PROPERTY LINE MEASURING 110° 55' 10" W.
 3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO THE START OF WORK AND SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING PUBLIC UTILITIES WITHIN THE CONSTRUCTION AREA WHETHER SHOWN OR NOT SHOWN HEREON.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING AND COORDINATING WITH THE UTILITY COMPANIES FOR ANY REQUIRED UTILITY REMOVALS AND/OR RELOCATIONS.
 6. ALL COSTS FOR INSPECTIONS AND TESTS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS OTHERWISE LISTED IN THE SPECIFICATIONS.
 7. THE AUTOMATIC FIRE SPRINKLER SYSTEM MUST BE IN OPERATIONAL USE PRIOR TO FURTHERIZATION OF RALPHS MARKET.
 8. NO PAVEMENT SHALL BE DELIVERED TO THE SITE UNTIL THE SURFACE HAS BEEN APPROVED AND CERTIFIED BY THE SOILS ENGINEER.
 9. PROTECTIVE MEASURES SHALL BE TAKEN BY ALL CONTRACTORS TO PROTECT ADJACENT PROPERTY AT ALL TIMES DURING CONSTRUCTION.
 10. TRUCK ROUTE 3" A.C. OVER 6" CL. 2 A.B. DRIVEWAYS 5" A.C. OVER 4" CL. 2 A.B. PARKING 2" A.C. OVER 4" CL. 2 A.B.
 11. DIMENSIONS SHALL GOVERN OVER SCALED DISTANCES.
 12. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY CONFLICT BETWEEN THESE DRAWINGS AND THE CONTRACT SPECIFICATIONS.
 13. ALL CONSTRUCTION STAKING INCLUDING BUILDING LOCATIONS, AREA LIGHTS, DRAINAGE DEVICES (CURBS & GUTTERS) & GUTTERS, GRADING, BLOCK WALLS & PLANTERS SHALL BE STAKED BY ANACAL ENGINEERING CO. 48 HOURS NOTICE IS REQUIRED ON REQUEST FOR STAKING.
 14. REMOVE STORAGE AREAS SHALL CONFORM W/DEVELOPMENT SERVICES STANDARD PLAN D-502.

NOTE
FOR PLANTER LAYOUT DETAIL ALONG EUCLID AVE. SEE DETAIL (V)

NOTE:
OFF-SITE IMPROV. ON EUCLID AVE. TO BE CONSTRUCTED PER SITE IMPROV. PLAN, SHEET # 11. SEE STR. IMPROV. PLAN FOR ADDITIONAL INFORMATION AND DETAILS.

NOTE:
FOR PLANTER LAYOUT DETAIL ALONG EUCLID AVE. SEE DETAIL (V)

SITE SUMMARY

| | | |
|-------------------|---------|--------|
| NET SITE AREA | 764.144 | SF |
| BUILDING AREA | 48,300 | SF |
| BLOA/ SITE RATIO | 4.80% | |
| REQUIRED PARKING | 274 | SPACES |
| PARKING SHOWN | 300 | SPACES |
| REQ'D LANDSCAPING | 9,478 | SF |
| LANDSCAPING SHOWN | ± 9,420 | SF |

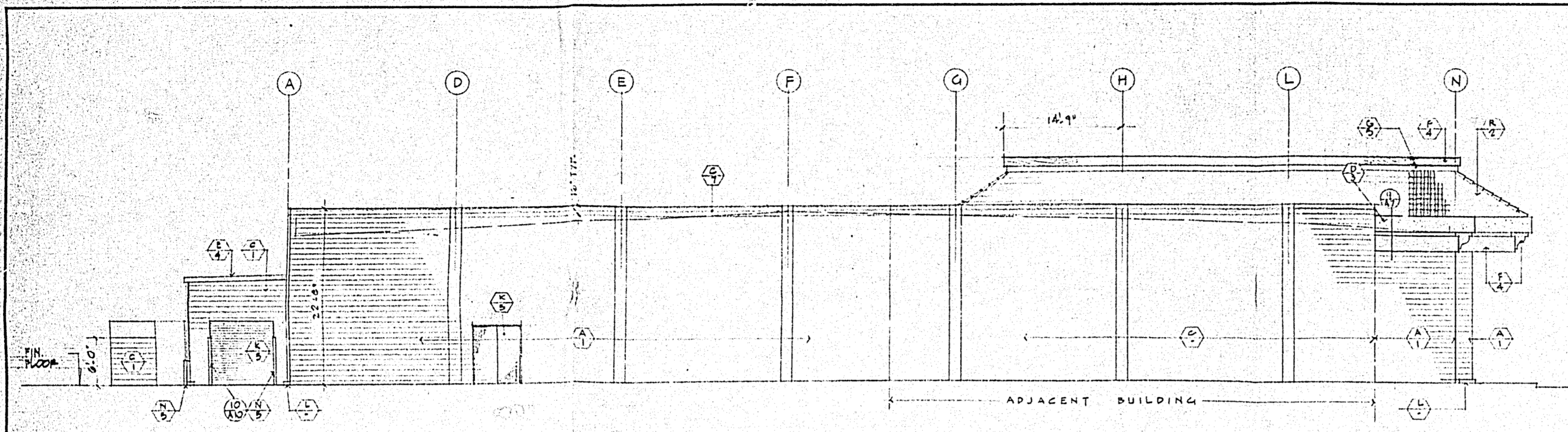
ENGINEER'S NOTE TO CONTRACTOR

Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this Project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the Contractor shall defend, indemnify and hold the Owner and the Engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this Project, excepting for liability arising from the sole negligence of the Owner or the Engineer.

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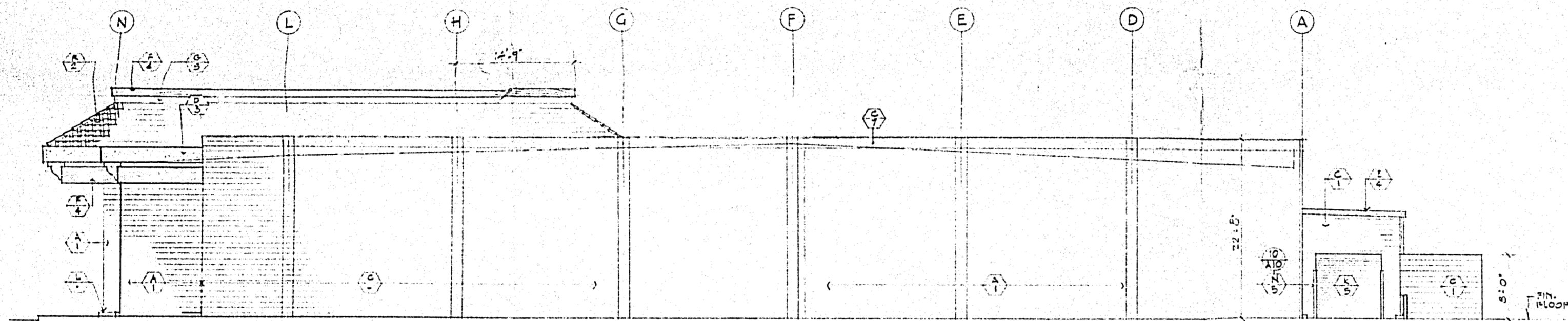
Phase I (Only) Approved: Land Use by the City
5/10/74

| | | | | | | | |
|--|--|-------------|----------|--|------|---------|------|
| DATE | PER. 2/1974 | SCALE | 1" = 40' | DRAWN | J.D. | CHECKED | B.C. |
| PROJECT | RALPHS CENTER S.W. CORNER EUCLID AVENUE AND CHAPMAN AVE., GARDEN GROVE, CAL. | | | | | | |
| SHEET TITLE | PLOT PLAN | | | | | | |
| SHEET NO. | 2 OF 13 | | | | | | |
| PROJECT ENGINEER | ANACAL ENGINEERING CO. P.O. BOX 3668 (222 E. LINCOLN AVE.) GARDEN GROVE, CALIFORNIA 92603 PHONE: (714) 774-1763 | | | | | | |
| NO. | REV. | DESCRIPTION | DATE | APPRO. | DATE | APPRO. | DATE |
| | | | 5/10/74 | | | | |
| ACCEPTED AND APPROVED FOR CONSTRUCTION | | | | ACCEPTED AND APPROVED FOR CONSTRUCTION | | | |
| OWNER | | | | OWNER | | | |
| BY | | | | BY | | | |
| DATE | | | | DATE | | | |
| CONTRACTOR | | | | CONTRACTOR | | | |
| BY | | | | BY | | | |
| DATE | | | | DATE | | | |
| THIS DRAWING MAY NOT BE USED FOR APPROVALS OR REVISIONS WITHOUT THE REQUIRED PERMITS BEING OBTAINED. | | | | | | | |



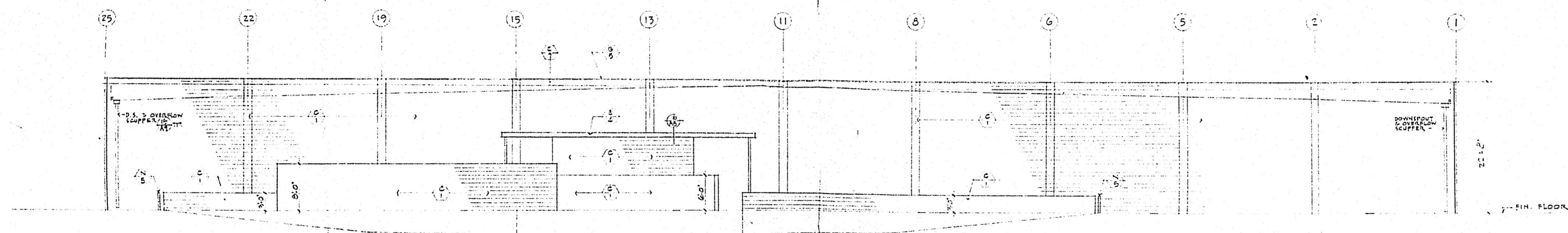
ELEVATION AT COLUMN LINE "I"

SCALE 1/8" = 1'-0" A4



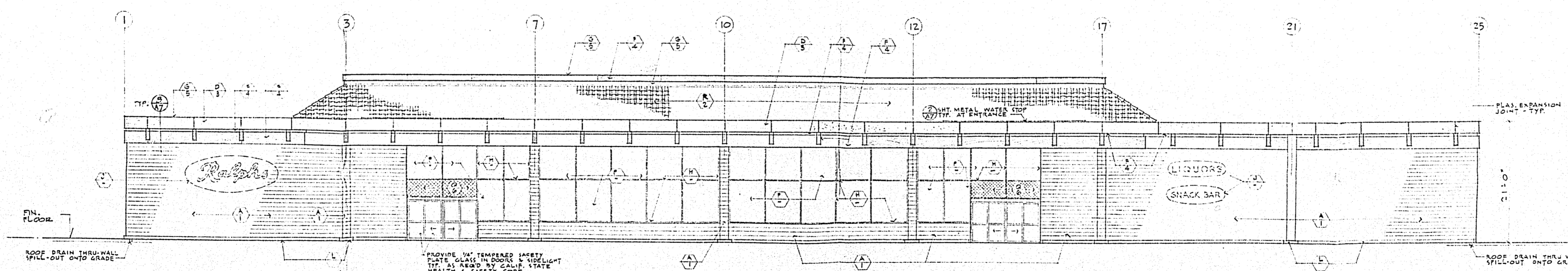
ELEVATION AT COLUMN LINE "25"

SCALE 1/8" = 1'-0" A4



ELEVATION AT COLUMN LINE "A"

SCALE 1/8" = 1'-0" A4



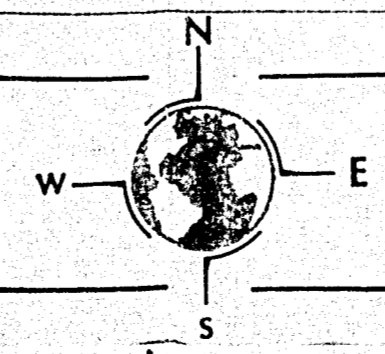
ELEVATION AT COLUMN LINE "N"

METERIAL & COLOR SCHEDULE

| DESCRIPTION OF MATERIALS | | DESCRIPTION OF COLORS | |
|--------------------------|---|-----------------------|--------------------------------------|
| 1 | 8" x 8" x 16" SPLIT FACE CONG. BLOCK - EXT. ONLY INTEGRAL COLOR | 17 | COLOR TO MATCH ANGELOU # 151 |
| 2 | 8" x 8" x 16" SPLIT FACE CONG. BLOCK - BOTH SIDES INTEGRAL COLOR | 18 | MISSION NATURAL RED |
| 3 | 8" x 8" x 16" STANDARD CONG. BLOCK | 19 | FLOORBARS # 08 |
| 4 | SPANISH TEXTURED STUCCO | 20 | OLYMPIC STAIN # 712 |
| 5 | ROUGH SAWN WOOD TRIM | 21 | FLOORBARS # 0-17 |
| 6 | ROUGH SAWN PLYWOOD CORBELS & FASCIA BEAM | 22 | AMBER |
| 7 | 24 GA. SHEET METAL | 23 | PAINTED TO MATCH OLYMPIC STAIN # 712 |
| 8 | ALUMINUM STOREFRONT | 24 | |
| 9 | SIGNS - N.I.C. | 25 | |
| 10 | METAL DOOR & FRAME | | |
| 11 | CONCRETE CURB - INTEGRAL NATURAL COLOR | | |
| 12 | CANOPY SOFFIT | | |
| 13 | MISCELLANEOUS METALS | | |
| 14 | 1/4" POL PLATE GLASS | | |
| 15 | 1/4" HAMMER GLASS | | |
| 16 | ROOF TILE "SAN VALLS" TEJA SANDER ONE-PIECE, MIDDON TILE | | |

NOTES:
 STOREFRONT
 ALL ALUMINUM SECTIONS REFERED TO ARE THOSE AS MANUFACTURED BY "NORTHROP ARCHITECTURAL SYSTEMS."
 GLASS & GLAZING CONTRACTOR SHALL PROVIDE ALL REINFORCEMENTS FOR STOREFRONT METAL AS
 REQUIRED BY APPLICABLE BUILDING CODES & LOCAL AUTHORITIES FOR SUFFICIENT LATERAL SUPPORT
 OF WIND LOAD
 ALL MULLIONS ARE 2 1/4" x 5/8" 22-500 SERIES

| | | | | | |
|-----------------|----------|-----------|----|--|--|
| DRAWN R.S. | CHECKED | | | | |
| DATE 1-16-74 | APPROVED | | | | |
| | DATE | REVISIONS | BY | | |



NOVIKOFF ENGINEERS
 3520 CAHUENGA BLVD. LOS ANGELES, CALIF. 90068, (213) 851-4450

EXTERIOR ELEVATIONS
RALPHS MARKET
 EUCALID AVE. & CHAPMAN AVE.
 GARDEN GROVE, CALIFORNIA.

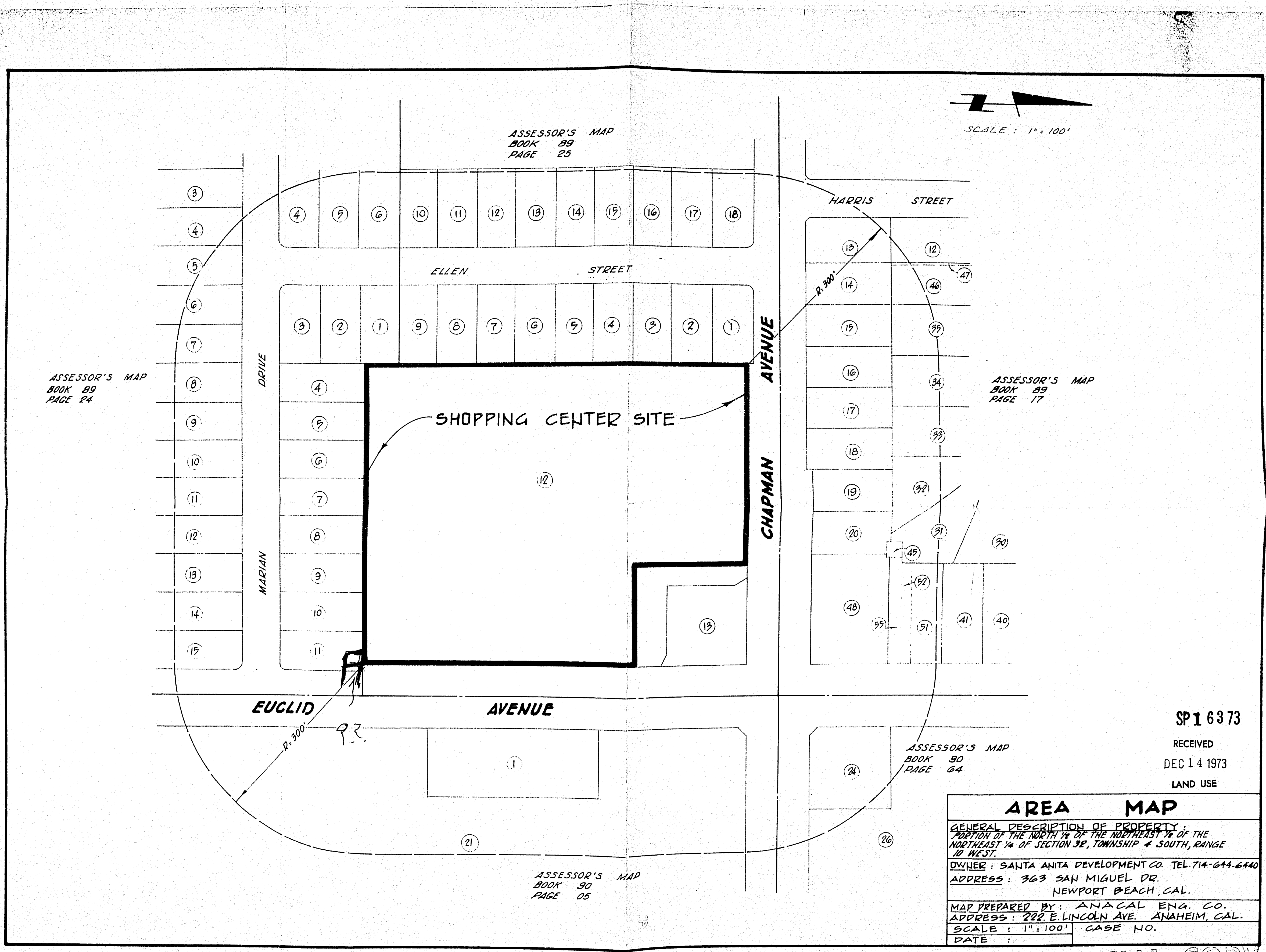
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 JAN 16 1974
 LAND USE

REVISED
 OFFICIAL COPY

SCALE 1/8" = 1'-0" A4

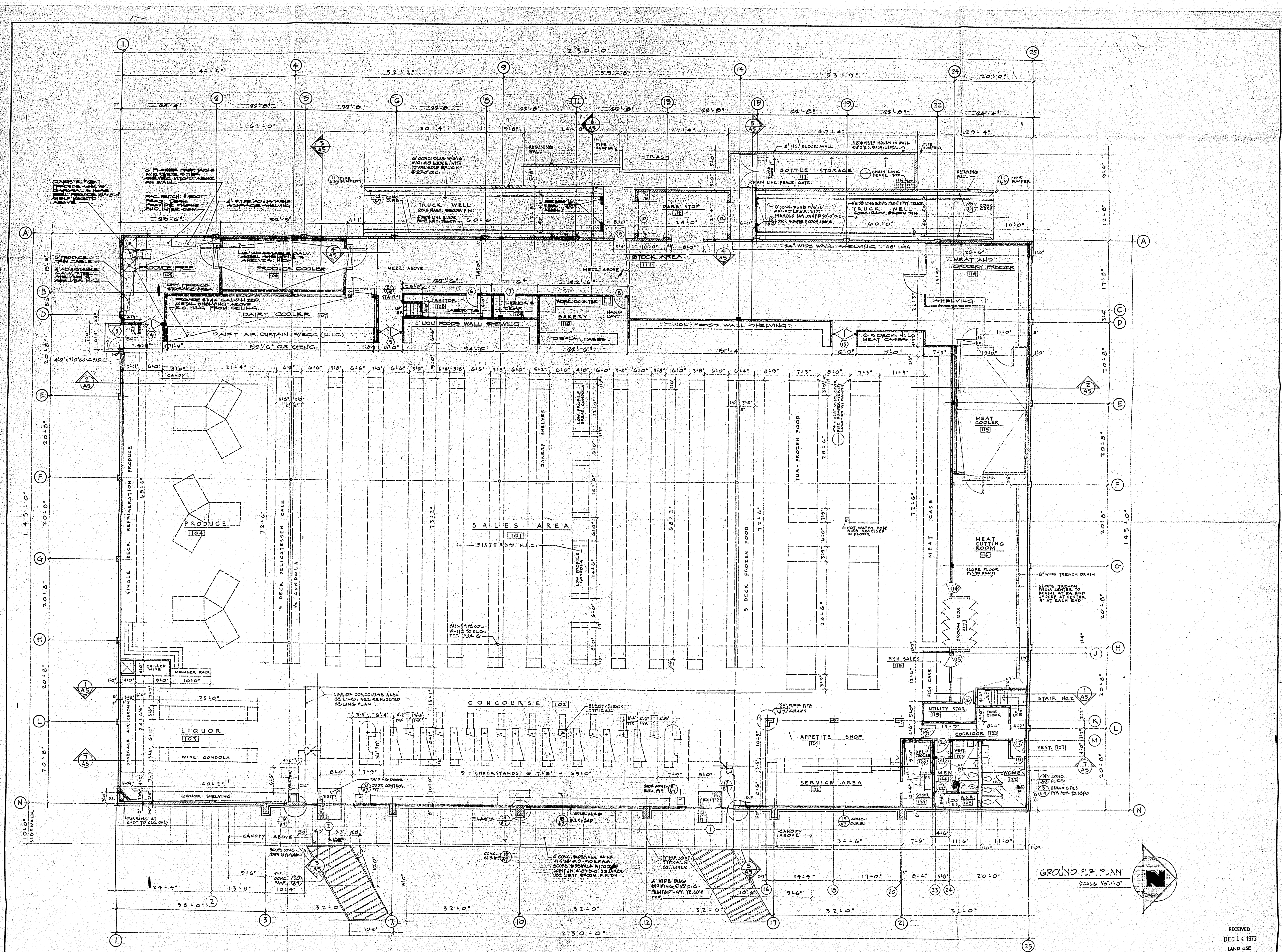




SP16373
RECEIVED
DEC 14 1973
LAND USE

| AREA MAP | |
|--|----------|
| GENERAL DESCRIPTION OF PROPERTY: PORTION OF THE NORTH 1/4 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 10 WEST. | |
| OWNER: SANTA ANITA DEVELOPMENT CO. TEL. 714-644-6440 | |
| ADDRESS: 363 SAN MIGUEL DR. NEWPORT BEACH, CAL. | |
| MAP PREPARED BY: ANACAL ENG. CO. | |
| ADDRESS: 222 E. LINCOLN AVE. ANAHEIM, CAL. | |
| SCALE: 1" = 100' | CASE NO. |
| DATE: | |

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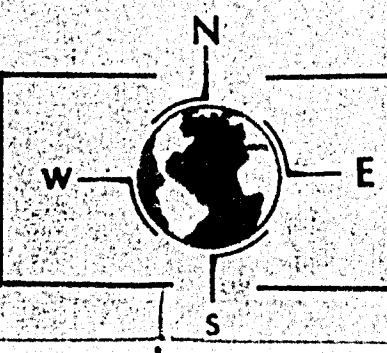


GROUND FLOOR PLAN
SCALE 1/8"=1'-0"

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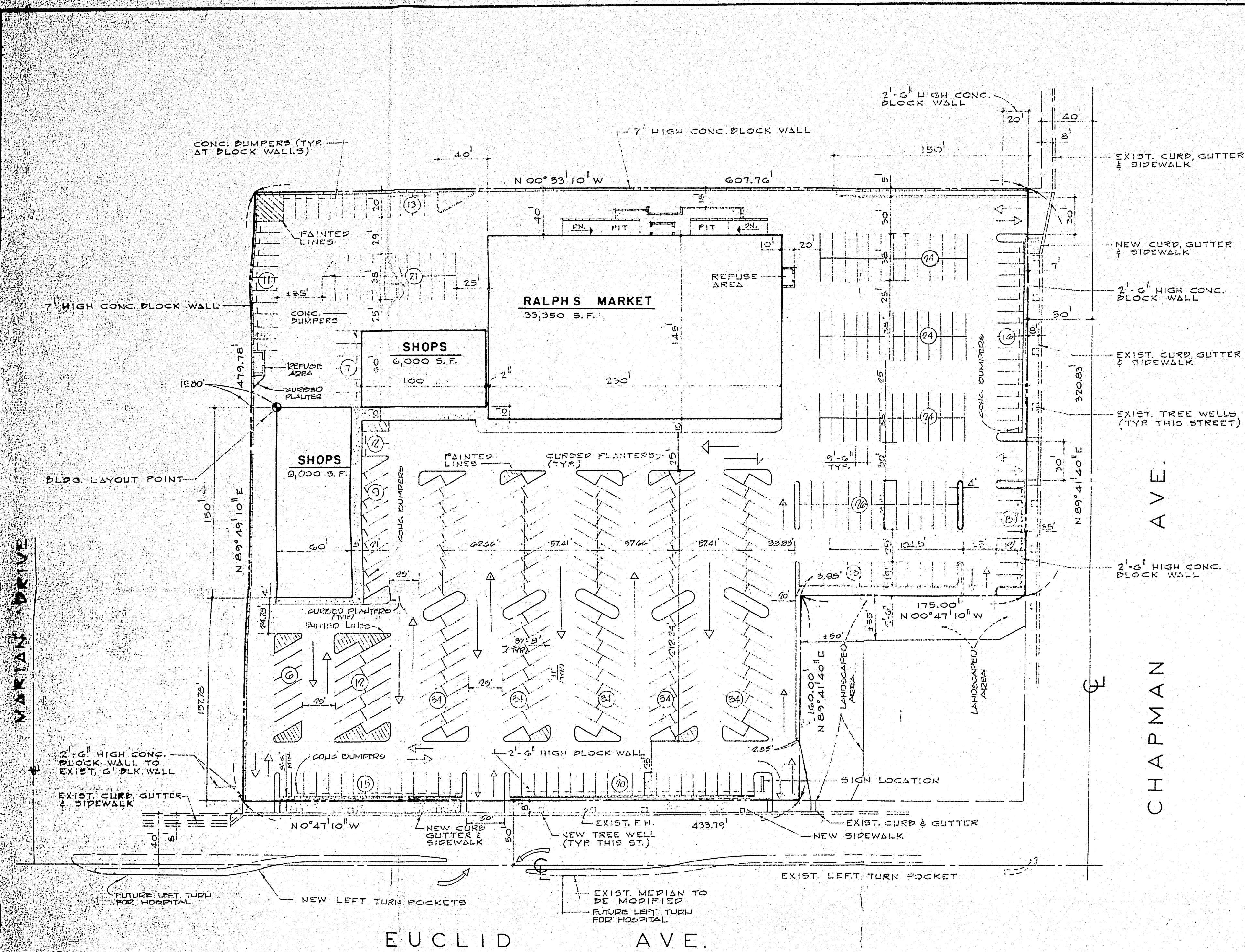
| DATE | APPROVED | DATE | REVISIONS | BY |
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NOVIKOFF ENGINEERS
3520 CAHUENGA BLVD. LOS ANGELES, CALIF. 90068, (213) 851-4450

GROUND FLOOR PLAN
RALPHS MARKET
5300 AVENUE 41 CHAPMAN AVENUE
GARDEN GROVE, CALIFORNIA

100 NO. 1330
SHEET
A2
11



SUMMARY (TOTAL DEVELOPMENT)

| | |
|-------------------|--------------|
| NET SITE AREA | 264,144 S.F. |
| BUILDING AREA | 48,350 S.F. |
| BLDG./SITE RATIO | 4.50% |
| REQUIRED PARKING | 274 SPACES |
| PARKING SHOWN | 472 SPACES |
| REQ'D LANDSCAPING | 5,975 S.F. |
| LANDSCAPING SHOWN | 19,420 S.F. |

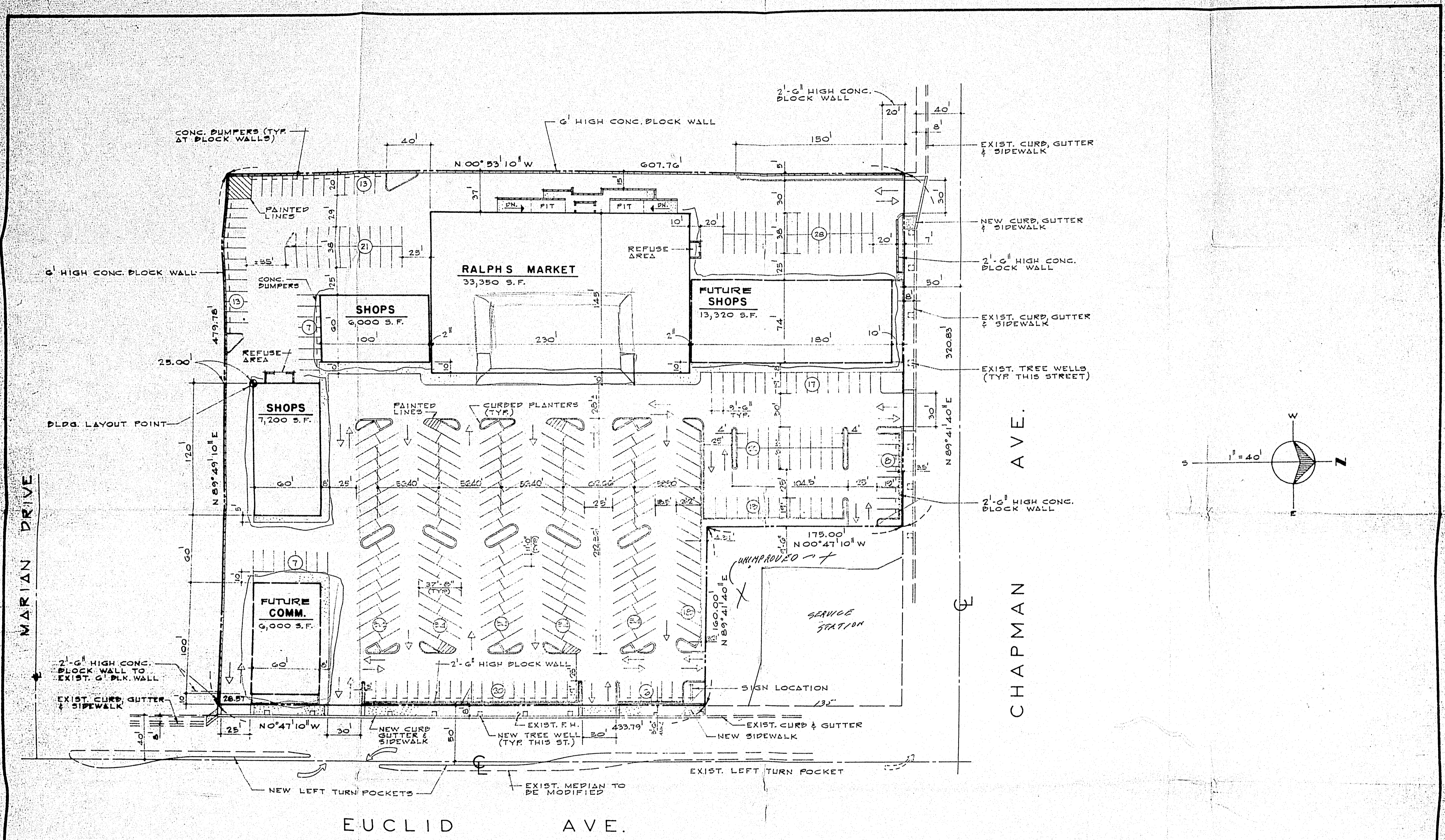
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 JAN 16 1974
 LAND USE
 SP16373

PHASE I

| NO. | DESCRIPTION | DATE | APPROVED | OWNER | BY | DATE |
|-----|-------------|------|----------|-------|----|------|
| | | | | | | |

| | |
|----------------|---|
| PROJECT NUMBER | ANACAL ENGINEERING CO. |
| DATE | |
| SCALE | |
| DRAWN | |
| CHECKED | |
| SHEET TITLE | PLOT PLAN |
| PROJECT | RALPHS CENTER S. W. CORNER EUCLID AVENUE AND CHAPMAN AVE., SAKIN, ALBUQUERQUE, N.M. |
| SHEET NO. | |

| | |
|--|--|
| ACCEPTED AND APPROVED FOR CONSTRUCTION | |
| OWNER | |
| DATE | |
| BY | |
| DATE | |
| CONTRACTOR | |
| DATE | |



SUMMARY

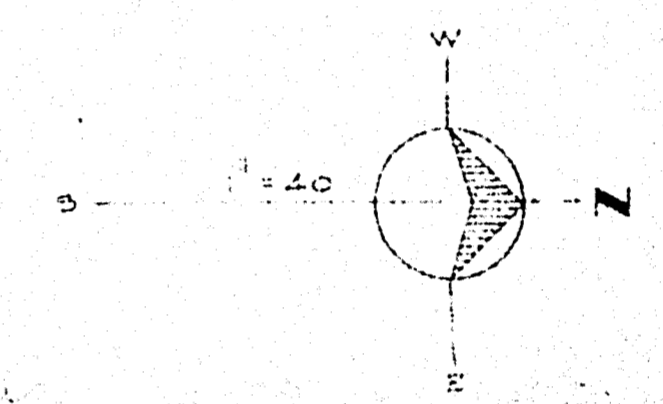
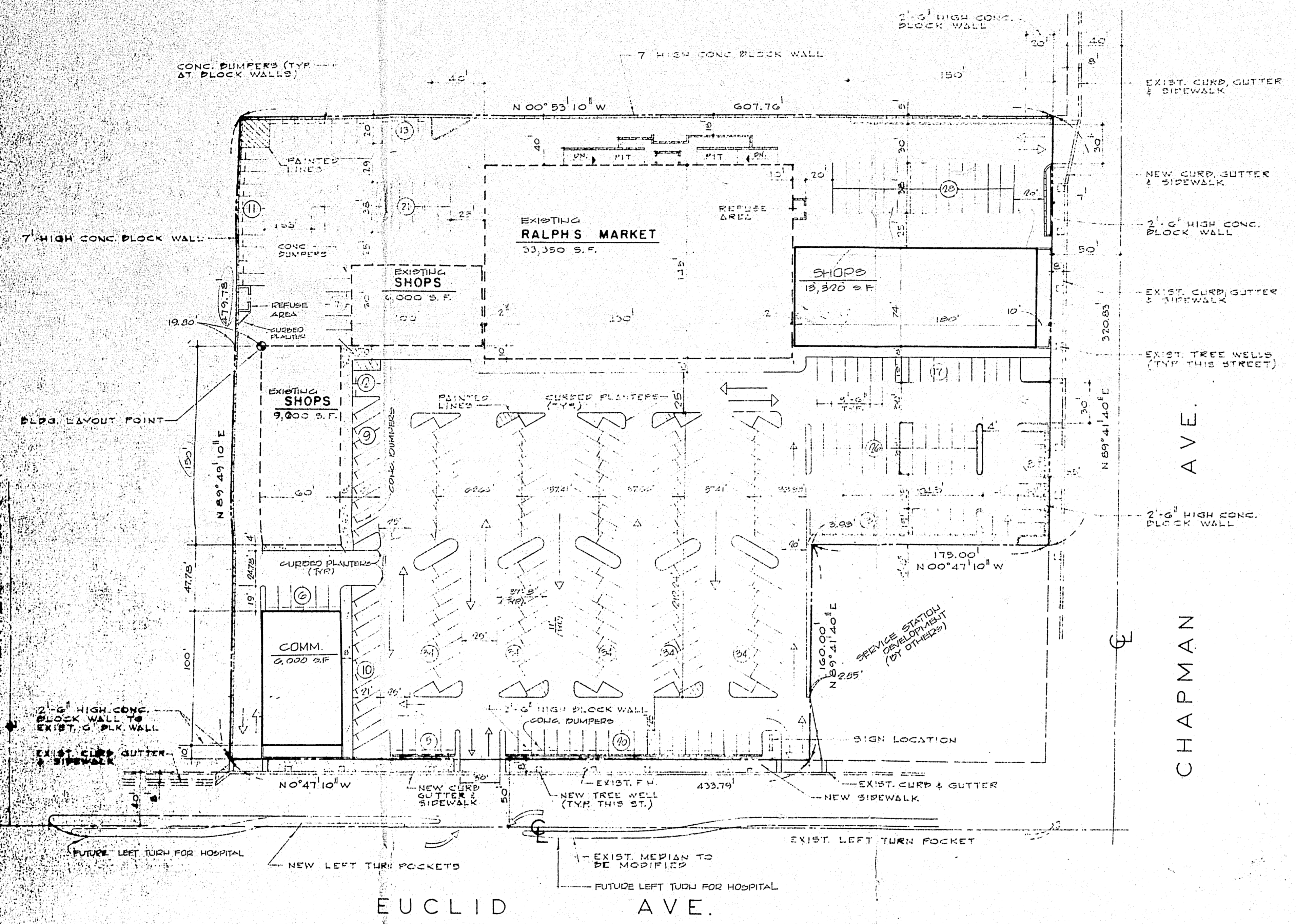
| | |
|-------------------|------------------------|
| NET SITE AREA | 264,144 S.F. |
| BUILDING AREA | 63,870 |
| PLDG./SITE RATIO | 3.01% |
| REQUIRED PARKING | 373 SPACES |
| PARKING SHOWN | 361 SPACES <i>OK</i> |
| REQ'D LANDSCAPING | 5,978 S.F. |
| LANDSCAPING SHOWN | ± 9,420 S.F. <i>OK</i> |

SEE REVISION 1-16-79
\$14373

RECEIVED
 DEC 14 1973
 LAND USE

OFFICIAL COPY

| | | | |
|--|-----------------|--|--|
| SHEET TITLE PLOT PLAN | DATE 10-9-73 | PROJECT ENGINEER ANACAL ENGINEERING CO. | ACCEPTED AND APPROVED FOR CONSTRUCTION |
| | SCALE 1"=40' | P.O. BOX 3668, 1822 E. LINCOLN AVE., ANAHEIM, CALIF. 92808 PHONE: (714) 774-1743 CARL SZEP, LICENSED E.G.E. 6417 | DATE |
| PROJECT RALPHS CENTER S.W. CORNER EUCLID AVENUE AND CHAPMAN AVE., GARDEN GROVE, CAL. | DATE 11-1-73 | BY [Signature] | DATE |
| | DATE 1-16-79 | BY [Signature] | DATE |
| PROJECT S.W. CORNER EUCLID AVENUE AND CHAPMAN AVE., GARDEN GROVE, CAL. | DATE 1-16-79 | BY [Signature] | DATE |
| SHEET NO. | | | |



SUMMARY (TOTAL DEVELOPMENT)

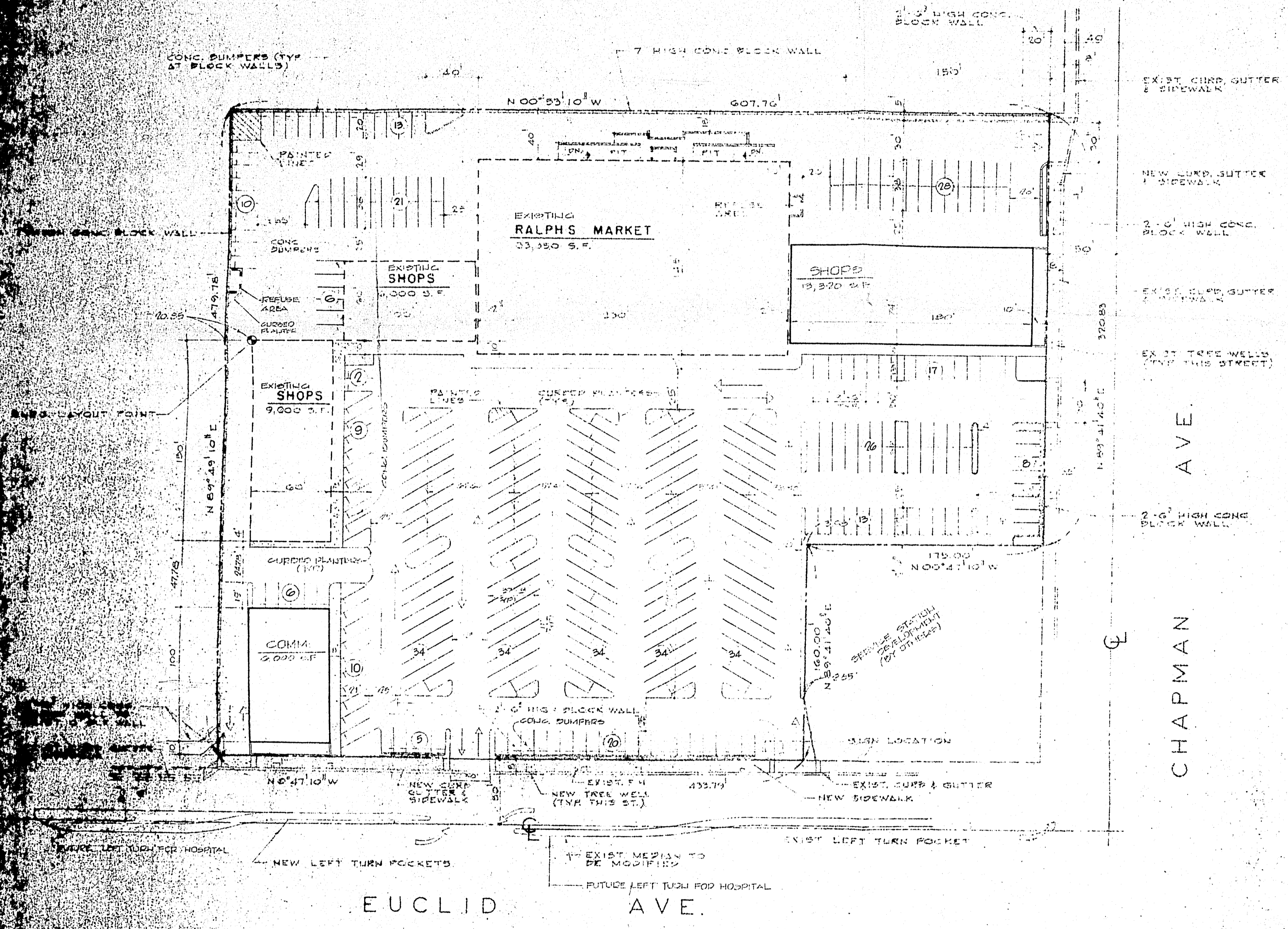
| | |
|-------------------|-----------------|
| NET SITE AREA | 264,143 S.F. |
| BUILDING AREA | 67,670 S.F. |
| BLDG./SITE RATIO | 2.90% |
| REQUIRED PARKING | 333 SPACES |
| PARKING SHOWN | 366 SPACES (37) |
| REQ'D LANDSCAPING | 5,975 S.F. |
| LANDSCAPING SHOWN | 19,420 S.F. |

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JAN 16 1974
LAND USE

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PHASE II

SP 14373

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SUMMARY (TOTAL DEVELOPMENT)

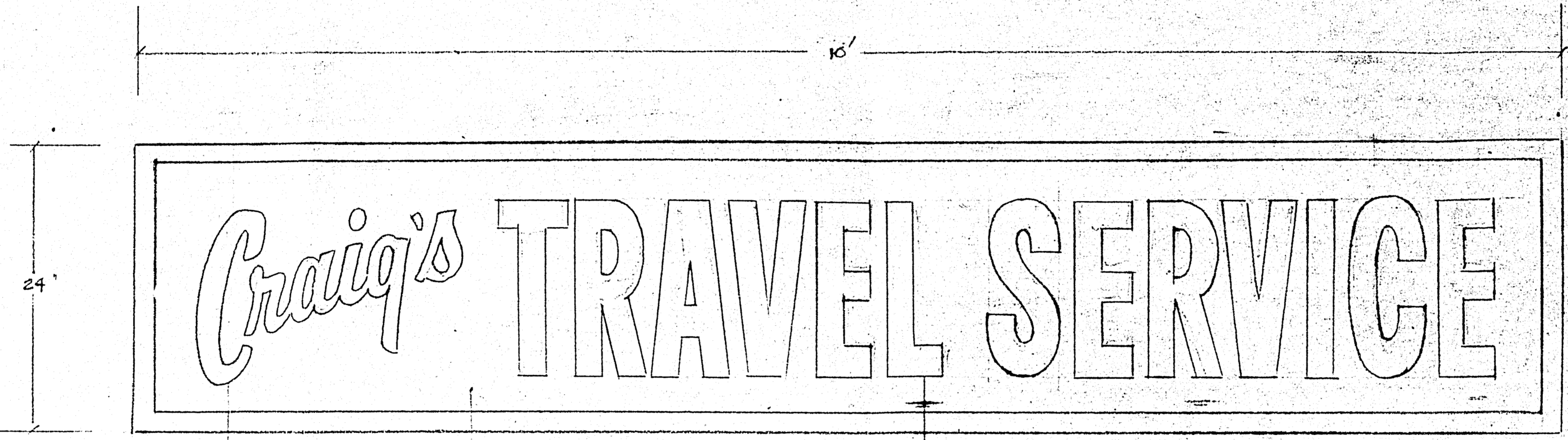
| | |
|-------------------|--------------|
| NET SITE AREA | 264,148 S.F. |
| BUILDING AREA | 67,670 S.F. |
| GRASSY SITE AREA | 1.80% |
| REQUIRED PARKING | 203 SPACES |
| PARKING SHOWN | 204 SPACES |
| REST. LANDSCAPING | 5,478 S.F. |
| LANDSCAPING SHOWN | 19,420 S.F. |

red 5/10/74 gjs

Note: Lack of two spaces from 306 req'd in case file has not yet been officially resolved.

Not an official copy of site plan.

PHASE



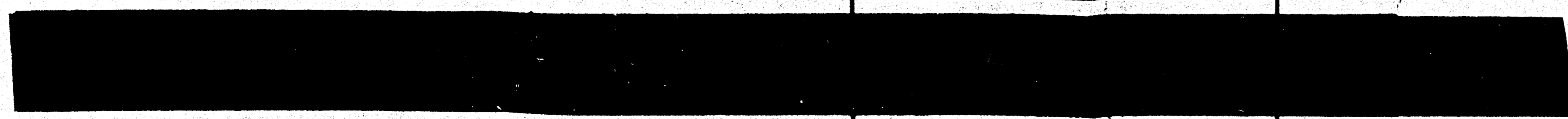
2325 YELLOW
9146 INDRY PLEX

6" TO 15" F.O.O. 2418 BROWN PLEX
3/4" GOLD TRIM CAP EDGE

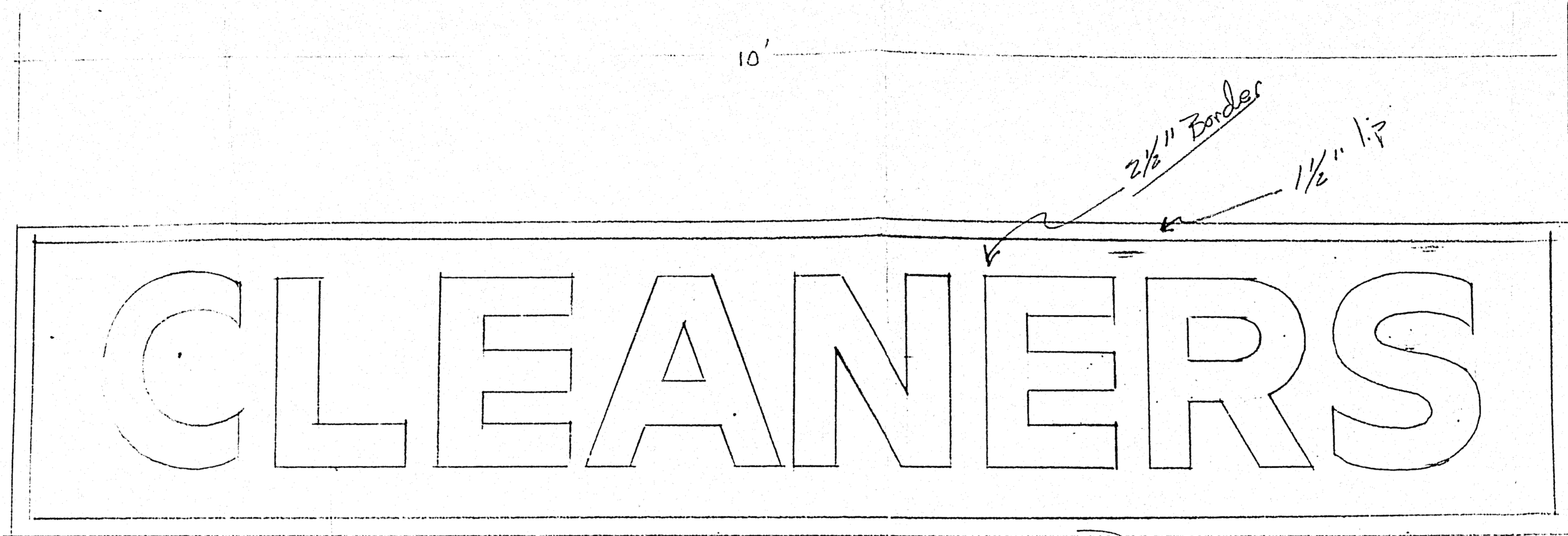
15" F.O.O. 2418 BROWN PLEX
3/4" GOLD TRIM CAP EDGE

SINGLE FACE INTE. ILLUM. @ SCALE 1/2" = 1' 0"

APPROVED BY ZONING ADMINISTRATOR
Date: 2-12-75
Stewart O. Miller
Stewart O. Miller



| | | |
|--------|--------------|-----------------|
| SCALE: | APPROVED BY: | DRAWN BY: |
| DATE: | | REVISED: |
| | | DRAWING NUMBER: |



14' F.B.O LET. GOLD TRIM-2AP
 3/4" EDGE
 2325 Yellow Bkgd. 2418 Brown Ltrs.

Sign can be painted
 of Sinclair Hacienda # 96

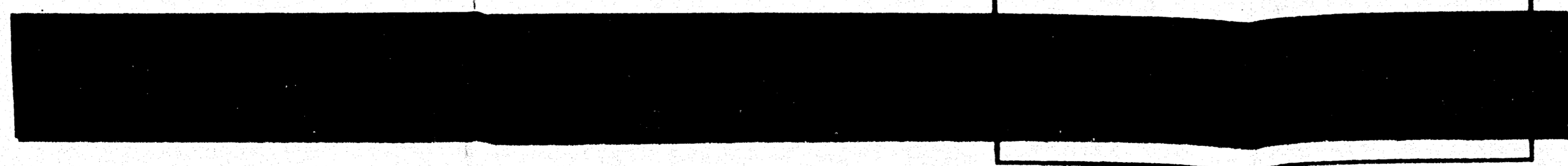
SINGLE FACED SIGN INTER. ILLUM. SCALE 1/2" = 1'0"

| | |
|-------------------------------------|-----------------------|
| <input type="checkbox"/> | APPROVED |
| <input type="checkbox"/> | NOT APPROVED |
| <input checked="" type="checkbox"/> | APPROVED AS NOTED |
| <input type="checkbox"/> | RESUBMIT FOR APPROVAL |
| <input type="checkbox"/> | APPROVED FOR PAYMENT |
| BY <u>J. Downey</u> | |
| DATE <u>2-12-75</u> | |
| SANTA ANITA DEVELOPMENT CORP. | |

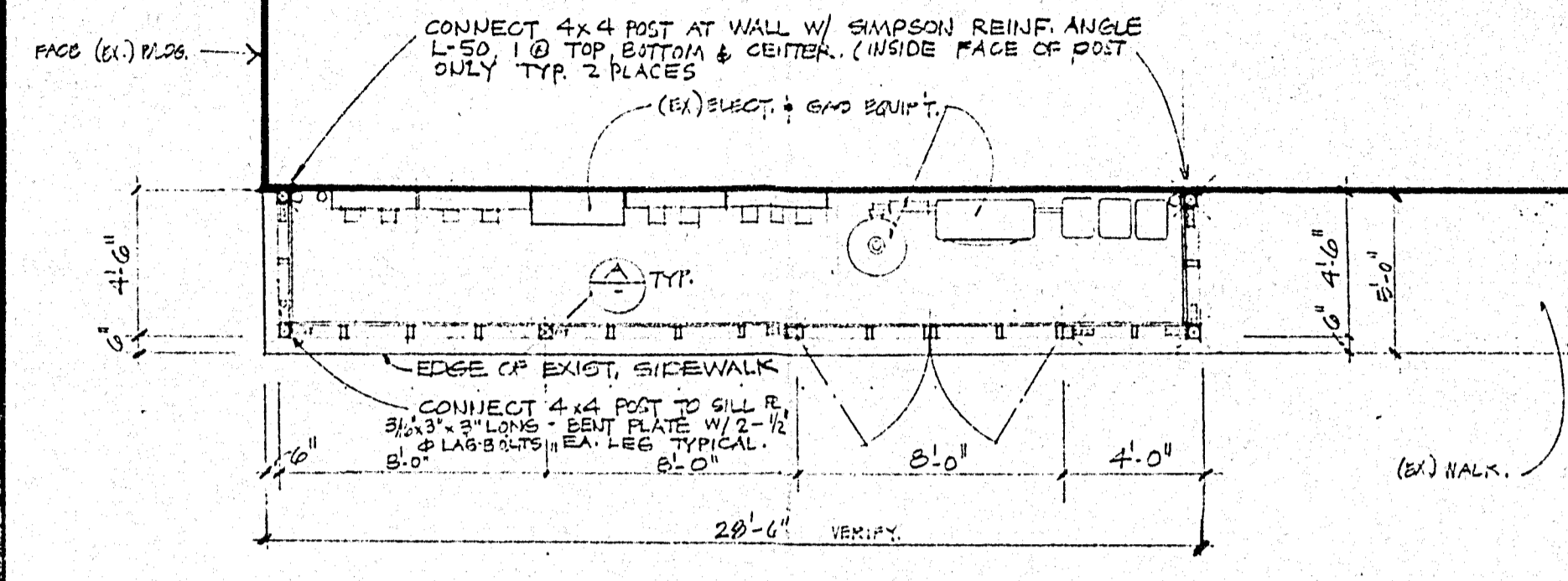
Subject to Approval of
 City of Grandon Grove -

APPROVED BY ZONING ADMINISTRATOR
 Date 2-13-75
[Signature]
 Zoning Administrator

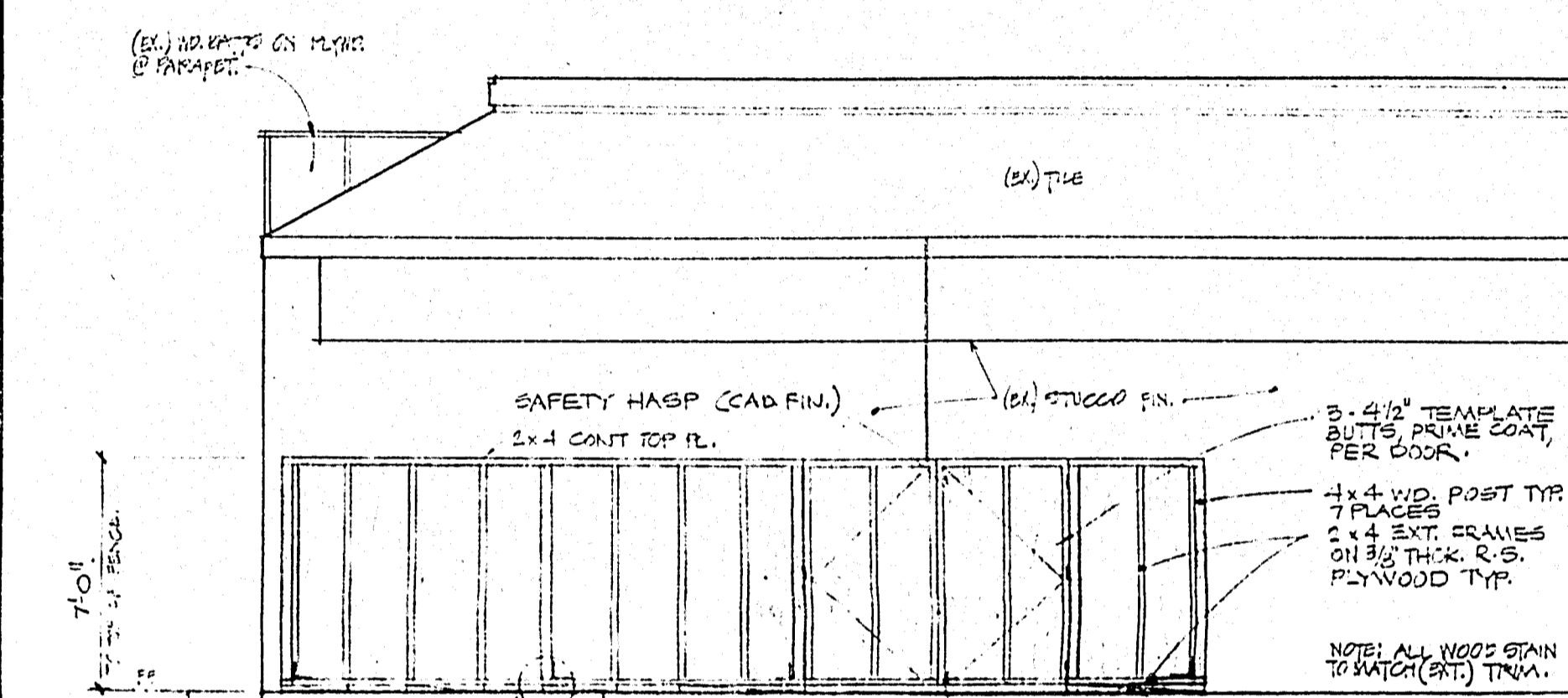
[Signature]
 APPROVED BY ZONING ADMINISTRATOR



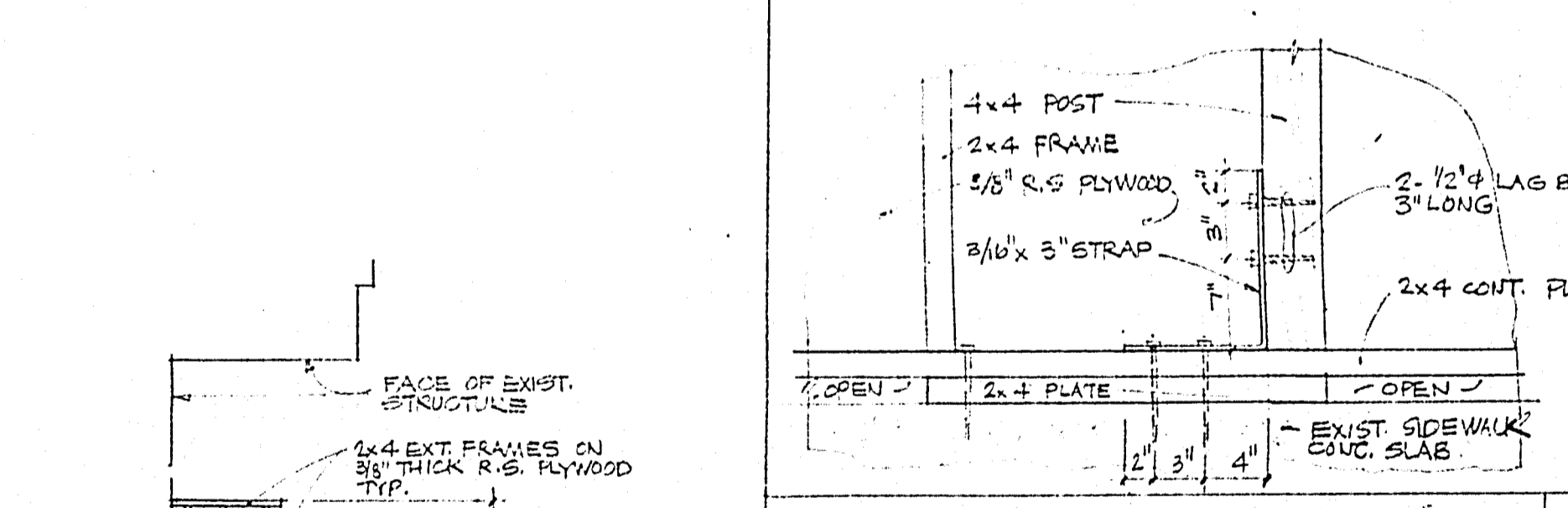
| | | |
|--------|--------------|-----------------|
| SCALE: | APPROVED BY: | DRAWN BY: |
| DATE: | | REVISED: |
| | | DRAWING NUMBER: |



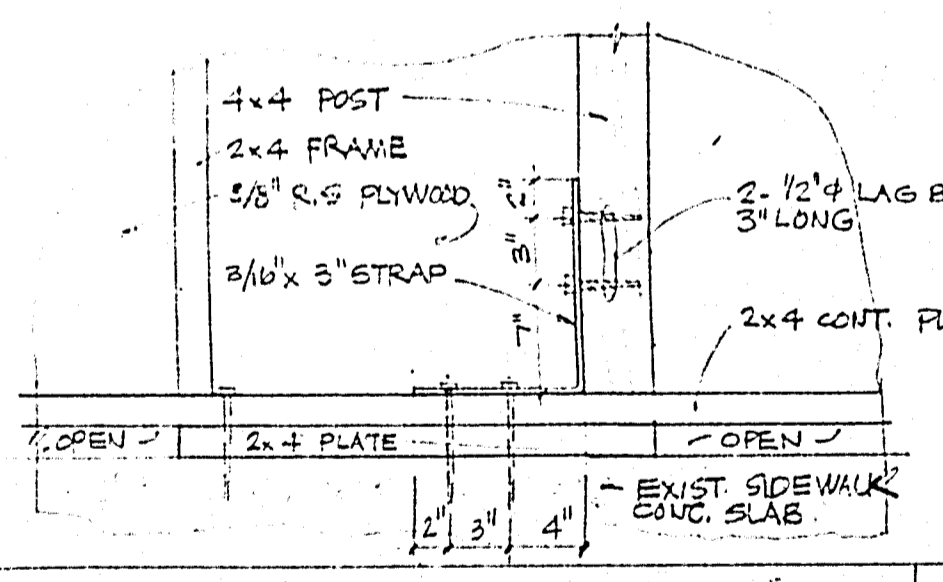
PLAN @ EQUIPT ENCLOSURE. SCALE: 1/4" = 1'-0"



EQUIPMENT ENCLOSURE @ SOUTH END EAST ELEVATION SCALE: 1/4" = 1'-0"



SIDE ELEVATION SCALE: 1/4" = 1'-0"



DETAIL OF POST CONN. SCALE: 1/2" = 1'-0"

APPROVED AS A MINOR CHANGE TO S.P. 163-73
Roy Miller
 Zoning Administrator

Phone: (714) 544-5440

SAC

SANTA ANITA DEVELOPMENT CORPORATION
 A subsidiary of Santa Anita Consolidated, Inc.
 303 San Miguel Dr., Newport Center, Newport Beach, Calif. 92660

| REV. NO. | REASON | DATE |
|----------|--------|------|
| | | |
| | | |
| | | |
| | | |

SHEET TITLE: EQUIPMENT ENCLOSURE

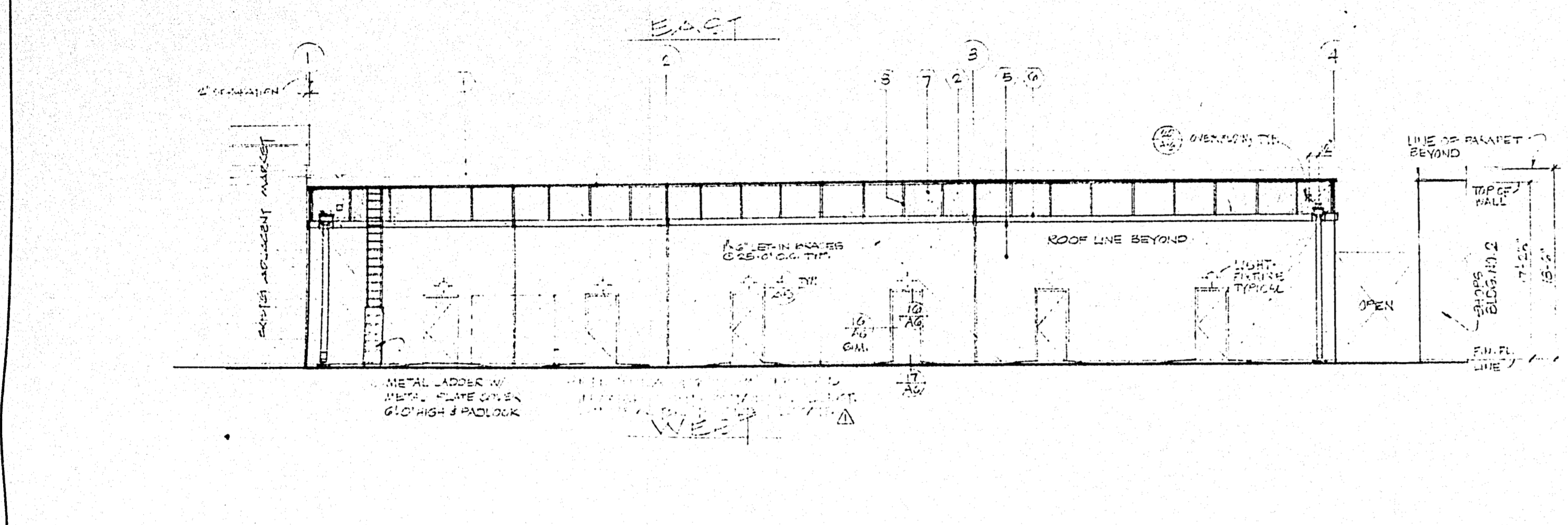
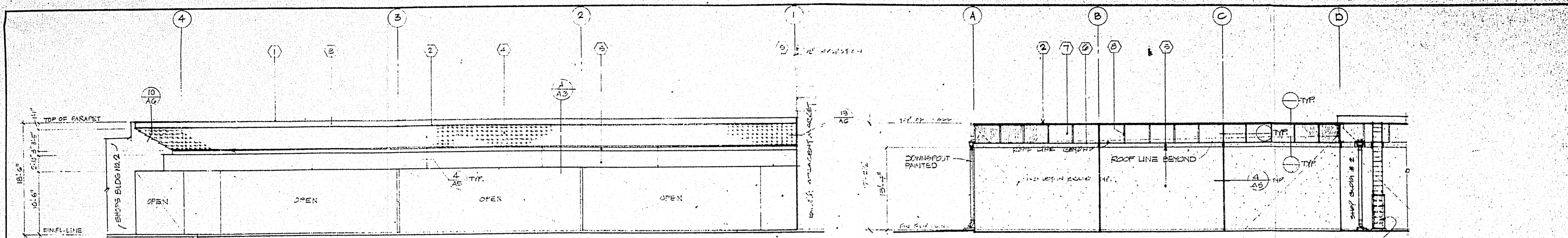
DATE: JAN. 20, 1975

MA CKEL Associates, Engineers
 306 S. LINCOLN PLACE, LOS ANGELES, CALIFORNIA 90007
 Telephone 213-483-9311

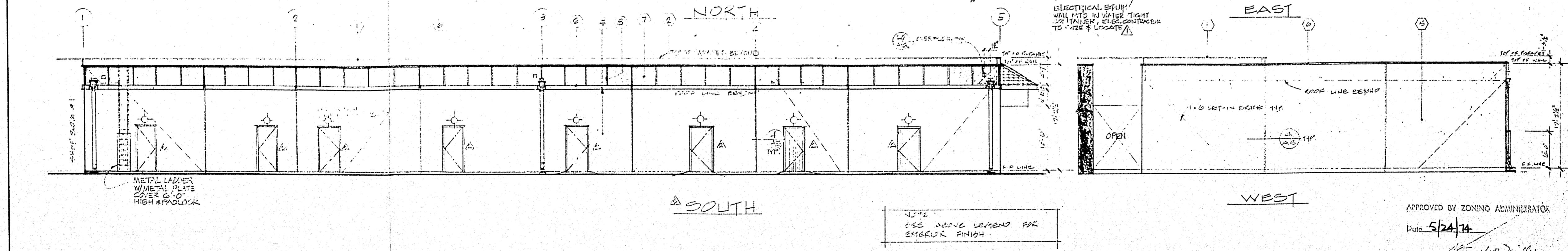
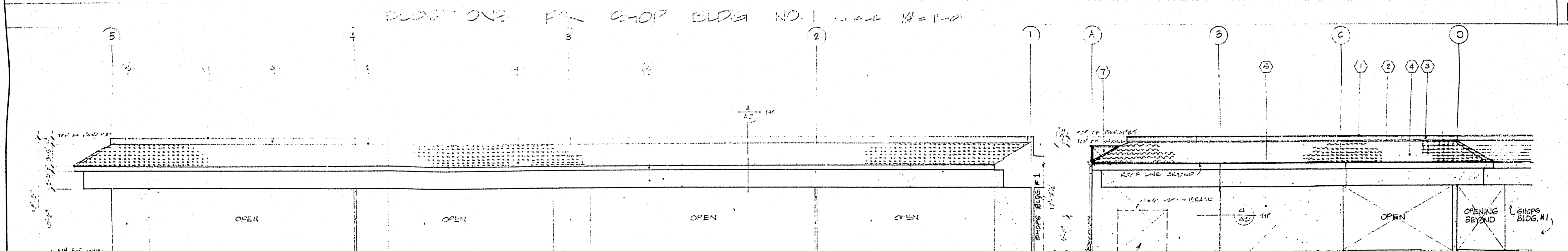
CENTER: RALPH'S CENTER SHOP BLDG.
 5111 CORNER BOLID AVENUE & CLAYMAN AVE.
 GAYLEN GROVE, CALIFORNIA

| | |
|-------|-----------|
| STORE | SHEET NO. |
| | |

OF



- LEGEND**
- (1) 2x4 RAFTER, SHIT MTL. COPING PAINTED TO MATCH OLYMPIC STAIN # 712.
 - (2) 2x4 RAFTER, SHIT MTL. FLASHING PAINTED TO MATCH OLYMPIC STAIN # 712.
 - (3) 2x10 RIBBED CHAIN W/ OLYMPIC STAIN # 712.
 - (4) CHOPPING TILE - 8" X 16" x 3/4" GROUND, 5 SHED ONE-PIECE MISSION TILE, REGULAR ROP, 16" LONG, 12" WIDE, 1/2" BIRDSEAL, OVER 20# FELT OVER 1/2" PLUMB, ATTACH PER MANUFACTURER'S SPECIFICATIONS.
 - (5) 1x4 EXT. STAIRWAY - HIGHLAND # 21 OFF WHITE - SPANISH TEXTURE - INTEGRAL COLOR TO MATCH EXISTING SUSSEX STONE.
 - (6) 2x4 RAFTER, SHIT MTL. COPING PAINTED TO MATCH OLYMPIC STAIN # 712.
 - (7) ROUGH BAWN FLYWOOD W/ OLYMPIC STAIN # 712.
 - (8) 1x2 BATT @ 4'-0" W/ OLYMPIC STAIN # 712.



ELEVATIONS FOR SHOP BLDG NO. 2 SCALE 1/8" = 1'-0"

APPROVED BY ZONING ADMINISTRATOR
Date 5/24/74
Thomas O. Miller

Phone: (714) 644-4444

sdc
SANTA ANITA DEVELOPMENT CORPORATION
A subsidiary of Santa Anita Corporation, Inc.
305 San Anselmo Dr., Newport Canyon, Newport Beach, Calif. 92658

| REV. NO. | REASON | DATE |
|----------|----------------------|---------|
| 1 | APPROVED 2. APPROVED | 3/15/74 |
| 2 | | 3/15/74 |
| 3 | | 3/15/74 |

SHEET TITLE: SUBSTITUTIONS EXT. FINISHED SCHEDULE

Romackel
MACKEL Associates, Engineers
14400 Wilshire Blvd., Suite 100
Beverly Hills, California 90210

DATE: MARCH 15, 1974

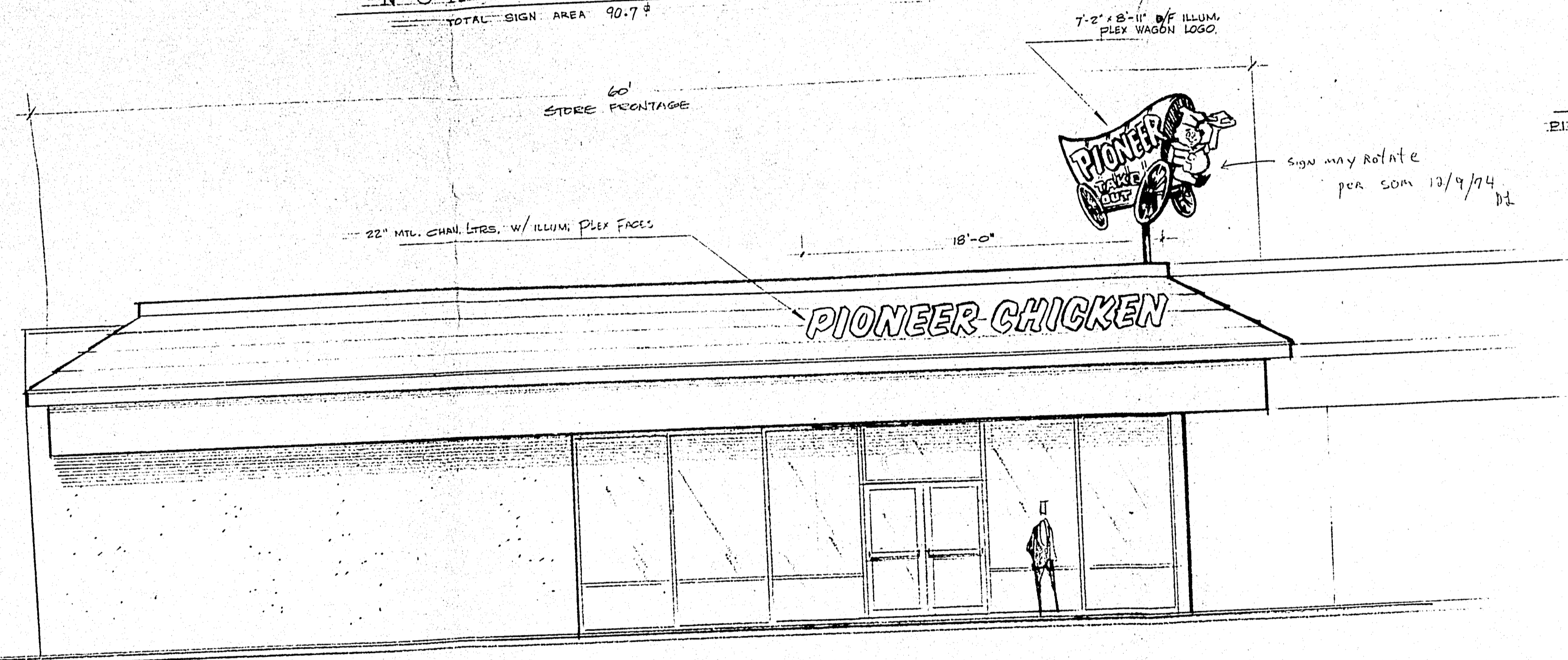
STORE: CENTER

SHEET NO. 2

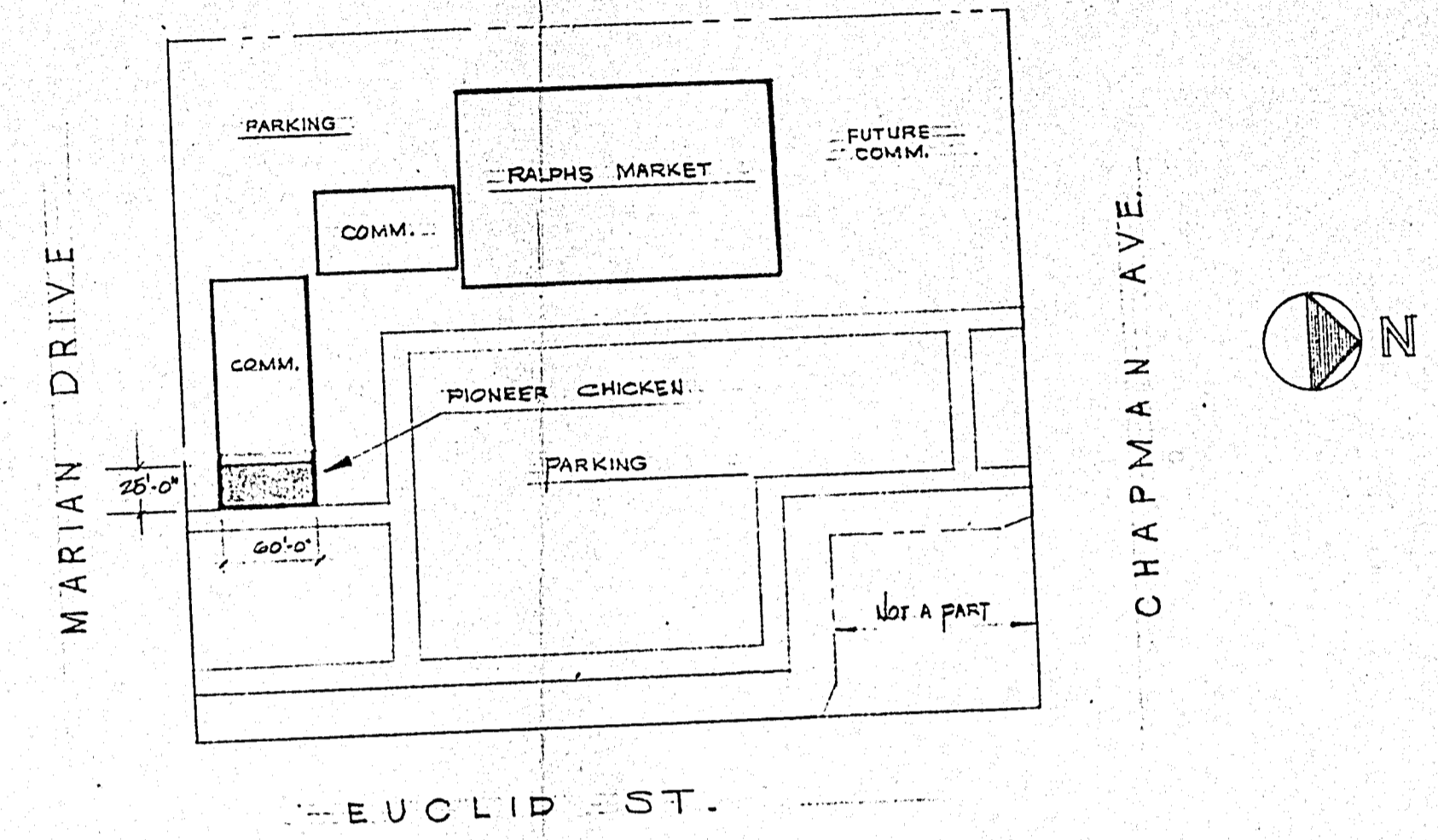
RALPH'S CENTER SHOP BLDG
441 CORNER BROADWAY AND CHAMBERLAIN AVE.
MARTIN GROVE, CALIFORNIA



NORTH ELEVATION
TOTAL SIGN AREA 90.7²



EAST ELEVATION
TOTAL SIGN AREA 90.7²



PLOT PLAN
PIONEER TAKE OUT, RALPHS CENTER EUCLID & CHAPMAN AVE., GARDEN GROVE, CALIF.

CALCULATIONS

| | | |
|--------------------|-----------------|----------------------|
| LOGO TYPE | 7'-2" x 8'-11" | 64 [#] |
| LTRS. 22" x 18'-0" | 10 x 12 = 120 | |
| | 36 x 18 = 648 | |
| | 216 x 22 = 4752 | 144 x 4752 = 684,288 |
| | 432 x 22 = 9504 | 432 x 432 = 186,624 |
| | 432 | 432 |
| | 4752 | 4752 |

SUMMARY

| | |
|-----------|--|
| LOGO TYPE | 57-10 → 64 [#] |
| LETTERS | 33 - 144 x 4752 = 66 [#] |
| | 90-10 → 90.7 ² → 130 [#] |

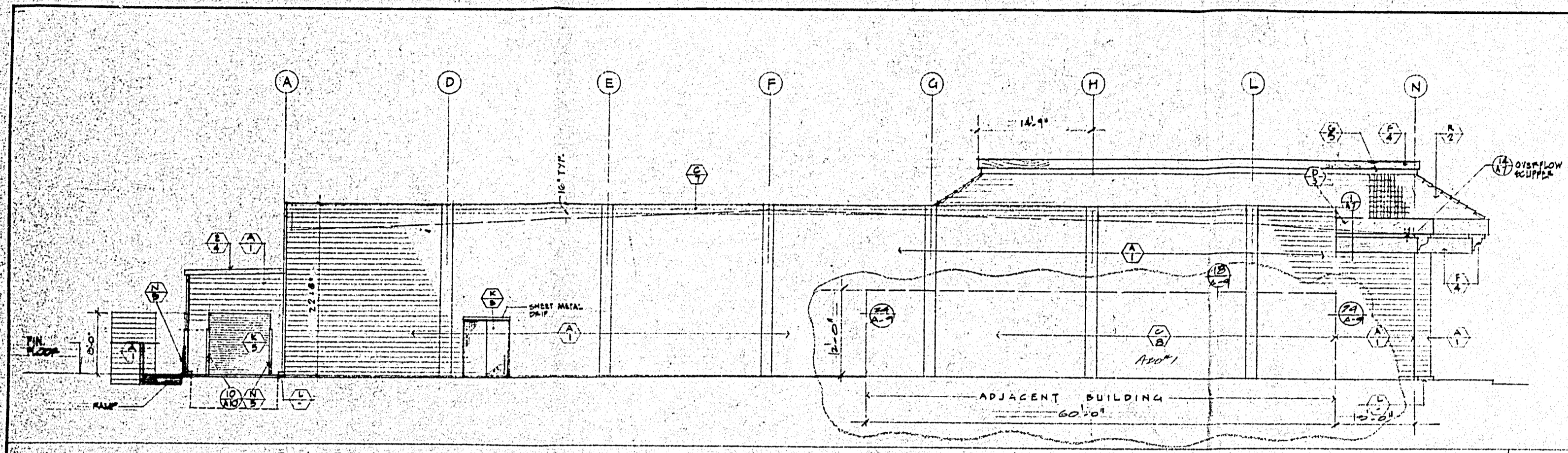
APPROVED BY ZONING ADMINISTRATOR
Date 11-27-74
Donna Miller
Zoning Administrator

PIONEER TAKE OUT - EUCLID & CHAPMAN, GARDEN GROVE, CA.

| | | | |
|--|----------|-----------------------|------------------|
| RICH SIGN CO. ELECTRICAL ADVERTISING / STORE FRONTS 1641 NO. GARRETT ST. SAN PEDRO (213) 547-0384 | R | NAME PIONEER TAKE OUT | SALESMAN |
| | | DATE 7-21-74 | SCALE 1/4"=1'-0" |
| | | DRAWN BY J.S. | NUMBER |

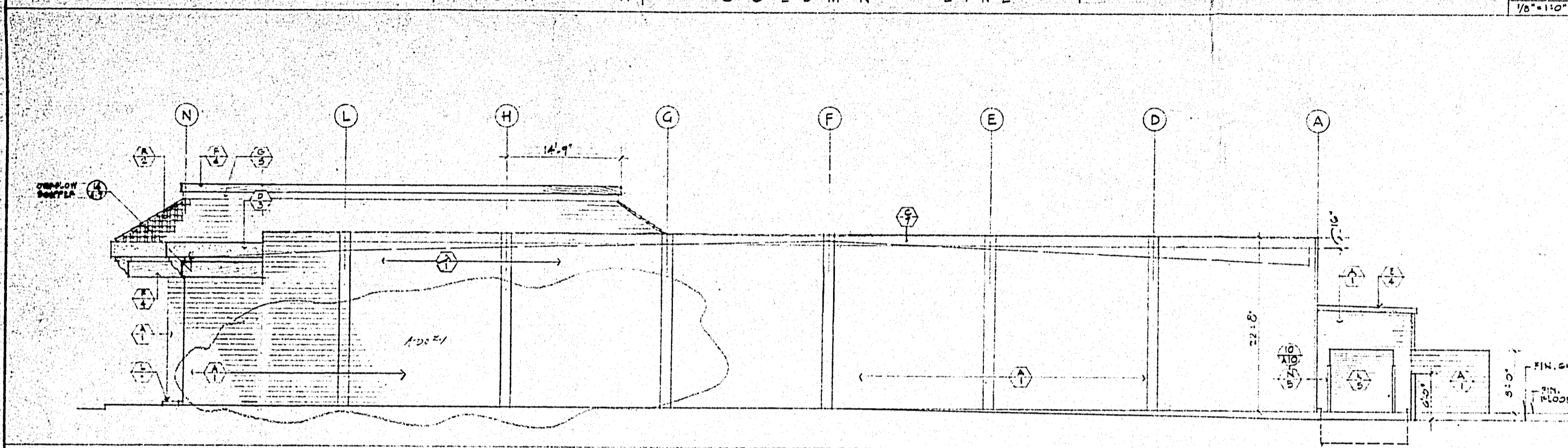
Land Use Approved 11/27/74 *Greg LaPenna*

CUSTOMER APPROVAL SP-163-173



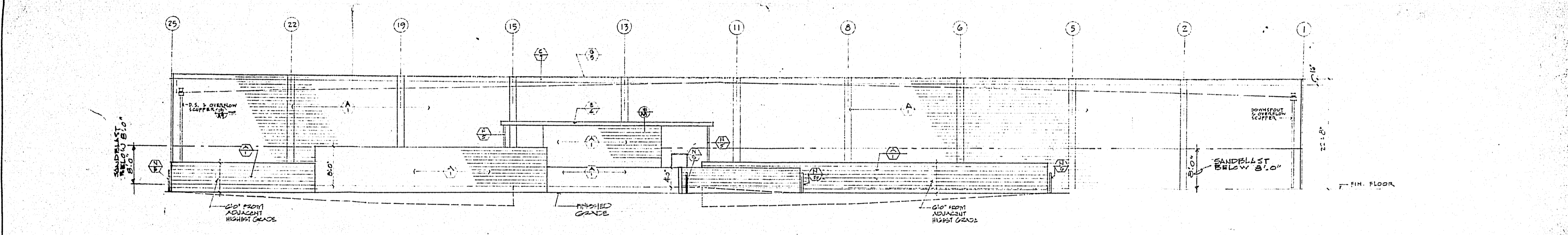
ELEVATION AT COLUMN LINE "I"

SCALE 1/8" = 1'-0" A4



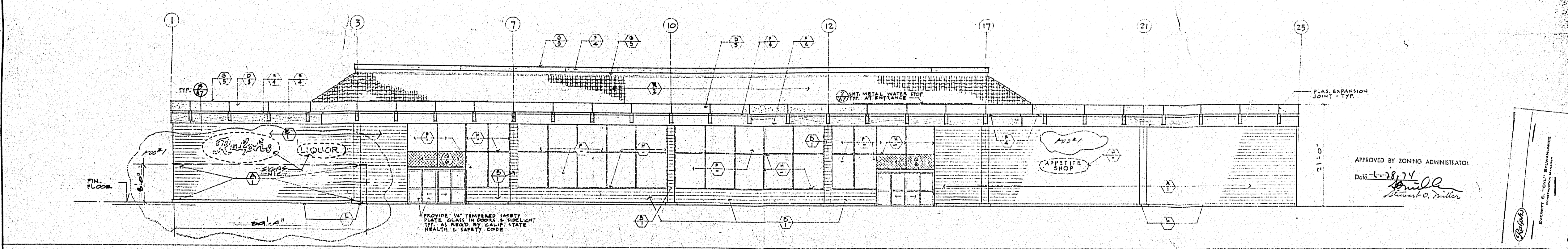
ELEVATION AT COLUMN LINE "25"

SCALE 2/8" = 1'-0" A4



ELEVATION AT COLUMN LINE "A"

SCALE 3/8" = 1'-0" A4



ELEVATION AT COLUMN LINE "N"

SCALE 4/8" = 1'-0" A4

| MATERIAL & COLOR SCHEDULE | |
|--|---|
| DESCRIPTION OF MATERIALS | DESCRIPTION OF COLORS |
| (A) 8" x 8" x 16" SPLIT FACE CONC. BLOCK - EXT. ONLY | (1) SPANISH COLOR TO MATCH AMERICAN BRICK #1204 |
| (B) 8" x 8" x 16" SPLIT FACE CONC. BLOCK - BOTH SIDES | (2) MISSION NATURAL RED |
| (C) 8" x 8" x 16" STANDARD CONC. BLOCK N.O.P.1 | (3) FLOORS #005 |
| (D) SPANISH TEXTURED STUCCO | (4) OLYMPIC STAIN #712 |
| (E) ROUGH SAWN WOOD TRIM | (5) FLOORS #0-17 |
| (F) ROUGH SAWN PLYWOOD CORBELS & FASCIA BEAM | (6) AMBER |
| (G) 24 GA. SHEET METAL | (7) PAINTED TO MATCH OLYMPIC STAIN #712 |
| (H) ALUMINUM STOREFRONT BRONZE | (8) OLYMPIC, WATER PROOF |
| (I) SIGNS - N.I.C. | (9) |
| (J) METAL DOOR & FRAME | |
| (K) CONCRETE CURB | |
| (L) CANOPY SOFFIT | |
| (M) MISCELLANEOUS METALS | |
| (N) 1/4" POL PLATE GLASS | |
| (O) 1/4" HAMMER GLASS | |
| (P) 400" TILE "BAN VALLES" TERRAZZO GRANITE FIBRE MISSION TILE | |

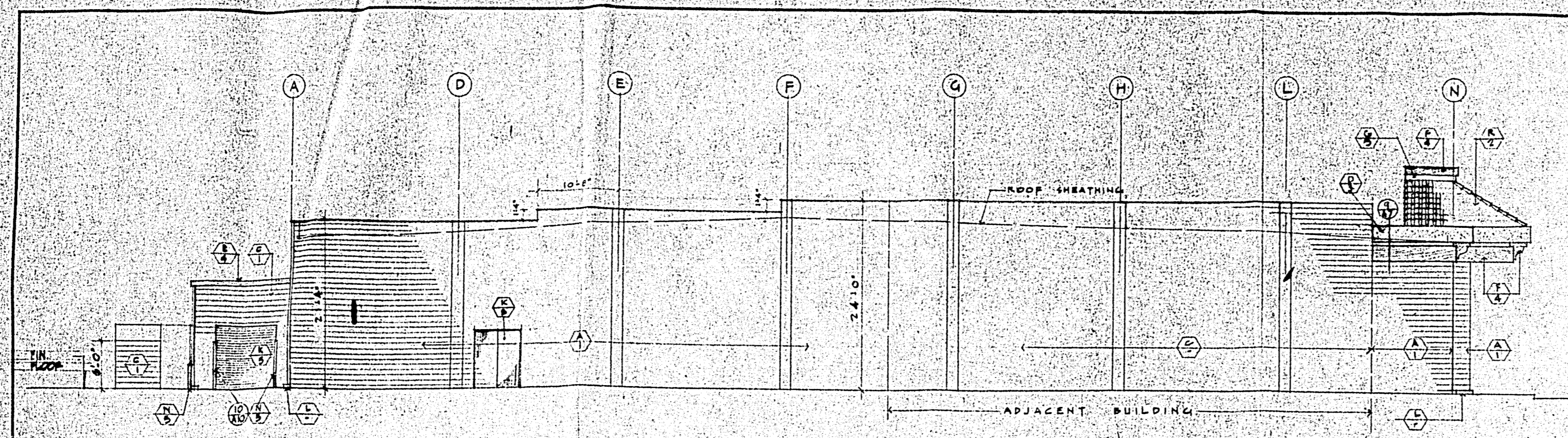
NOTES:
 STOREFRONT
 ALL ALUMINUM SECTIONS REFERED TO ARE THOSE AS MANUFACTURED BY NORTHROP ARCHITECTURAL SYSTEMS.
 GLASS & GLAZING CONTRACTOR SHALL PROVIDE ALL REINFORCEMENTS FOR STOREFRONT METAL AS
 REQUIRED BY APPLICABLE BUILDING CODES & LOCAL AUTHORITIES FOR SUFFICIENT LATERAL SUPPORT
 OF WIND LOAD.
 ALL MULLIONS ARE 2 1/4" x 5/8" 22-500 SERIES

| | | | |
|--|----------------------------------|-------------------------------------|-------------------------|
| | DRAWN R.S. DATE 2.11.74 | CHECKED R.T. APPROVED DATE | REVISIONS BY DATE |
|--|----------------------------------|-------------------------------------|-------------------------|

NOVIKOFF ENGINEERS
 3520 CAHUENGA BLVD. LOS ANGELES, CALIF. 90068. (213) 851-4450

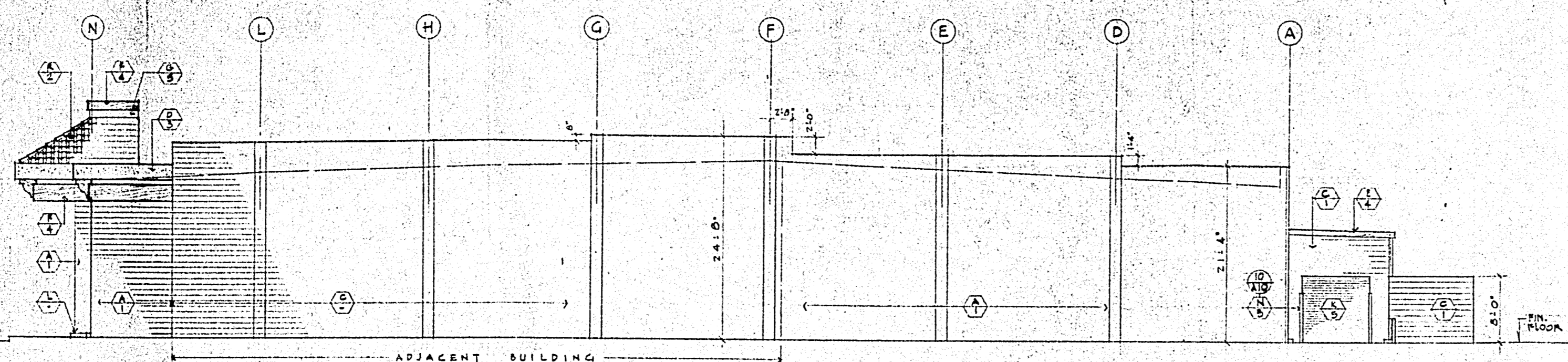
PUD 16373
 EXTERIOR ELEVATIONS
RALPHS MARKET
 SULLIVAN AVE. & CHAPMAN AVE.
 GARDEN GROVE, CALIFORNIA.

APPROVED BY ZONING ADMINISTRATOR
 Date: 4-28-74



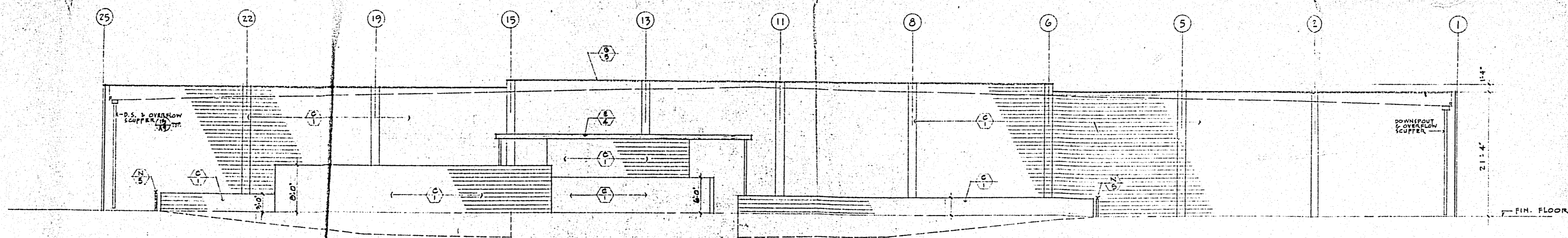
ELEVATION AT COLUMN LINE "1"

SCALE 1
1/8" = 1'-0" (A4)



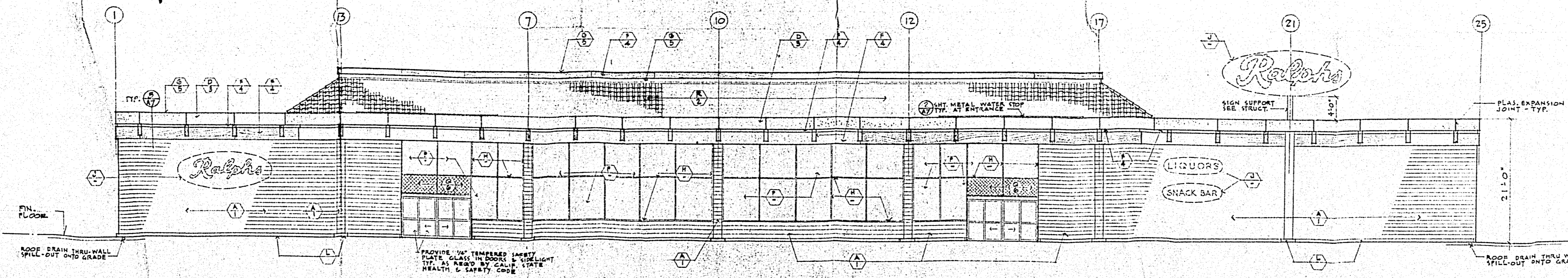
ELEVATION AT COLUMN LINE "25"

SCALE 2
1/8" = 1'-0" (A4)



ELEVATION AT COLUMN LINE "A"

SCALE 3
1/8" = 1'-0" (A4)



ELEVATION AT COLUMN LINE "N"

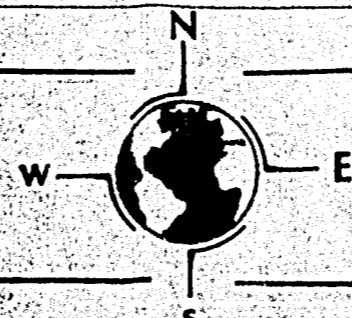
SCALE 4
1/8" = 1'-0" (A4)

| MATERIAL & COLOR SCHEDULE | |
|---|----------------------------------|
| DESCRIPTION OF MATERIALS | DESCRIPTION OF COLORS |
| (A) 8" x 8" x 16" SPLIT FACE CONC. BLOCK - EXT. ONLY INTEGRAL COLOR | (1) COLOR TO MATCH ANGLUS. # 124 |
| (B) 8" x 8" x 16" SPLIT FACE CONC. BLOCK - BOTH SIDES INTEGRAL COLOR | (2) MISSION NATURAL RED |
| (C) 8" x 8" x 16" STANDARD CONC. BLOCK | (3) FLOCHER # 05 |
| (D) SPANISH TEXTURED STUCCO | (4) OLYMPIC STAIN # 712 |
| (E) ROUGH SAWN WOOD TRIM | (5) FLOCHER # 06-17 |
| (F) ROUGH SAWN PLYWOOD CORBELS & FASCIA BEAM | (6) AMBER |
| (G) 24 GA. SHEET METAL | (7) |
| (H) ALUMINUM STOREFRONT | (8) |
| (I) SIGNS - N.I.C. | (9) |
| (J) METAL DOOR & FRAME | |
| (K) CONCRETE CURB - INTEGRAL NATURAL COLOR | |
| (L) CANOPY SOFFIT | |
| (M) MISCELLANES METALS | |
| (N) 1/4" POL. PLATE GLASS | |
| (O) 1/4" HAMMER GLASS | |
| (P) ROOF TILE "SAN VALLS" TEJA BRANDA ONE-PIECE, MISSION TILE | |

NOTES:

STOREFRONT
ALL ALUMINUM SECTIONS REFERED TO ARE THOSE AS MANUFACTURED BY NORTHROP ARCHITECTURAL & ITEMS.
GLASS & GLAZING CONTRACTOR SHALL PROVIDE ALL REINFORCEMENTS FOR STOREFRONT METAL &
REQUIRED BY APPLICABLE BUILDING CODES & LOCAL AUTHORITIES FOR SUFFICIENT LATERAL SUPPORT
OF WIND LOAD.
ALL MULLIONS ARE 2IN x 5IN 22-500 SERIES

| DATE | APPROVED | DATE | REVISIONS | BY |
|------|----------|------|-----------|----|
| | | | | |
| | | | | |

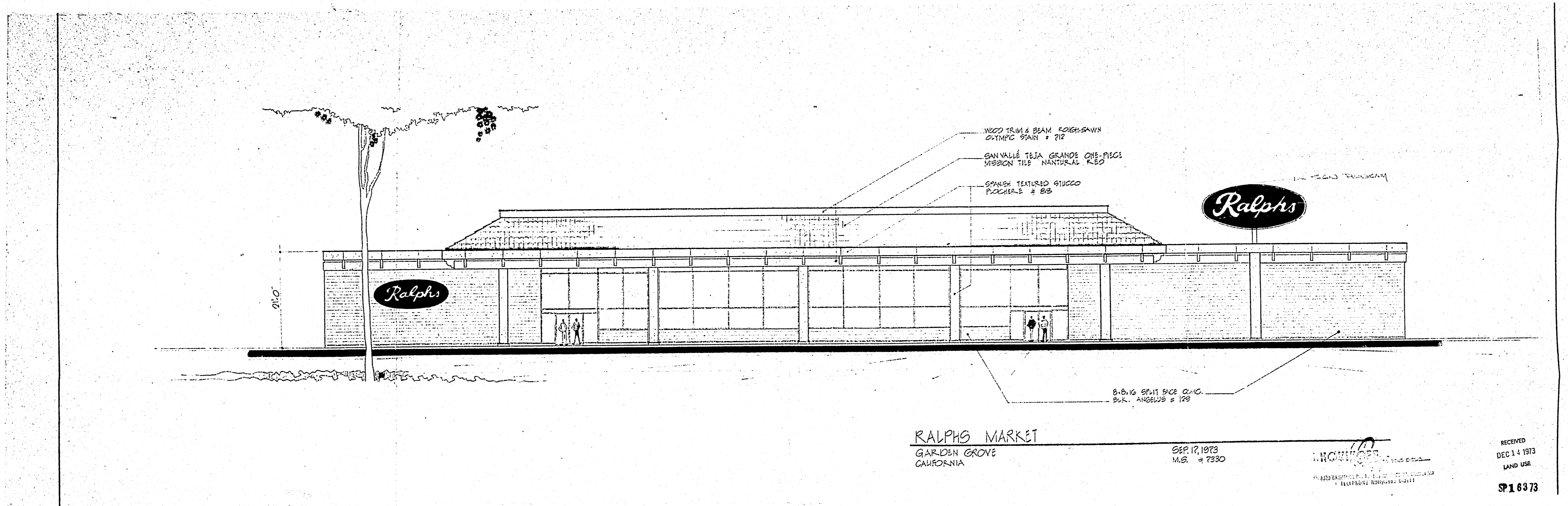


NOVIKOFF ENGINEERS
3520 CAHUENGA BLVD. LOS ANGELES, CALIF. 90068. (213) 851-4450

EXTERIOR ELEVATIONS
RALPHS MARKET
SUCUID AVS. & CHAPMAN AVE.
GARDEN GROVE, CALIFORNIA. SP16973

SEE REVISION
1-16-79
OFFICIAL COPY





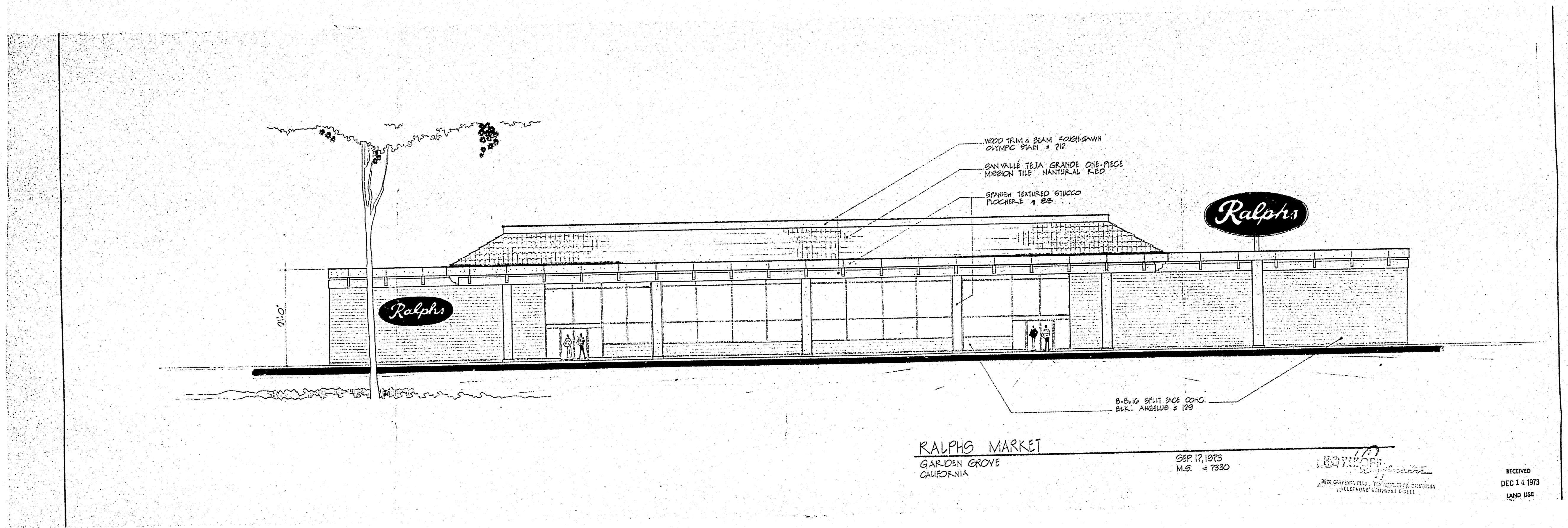
RALPHS MARKET
 GARDEN GROVE
 CALIFORNIA

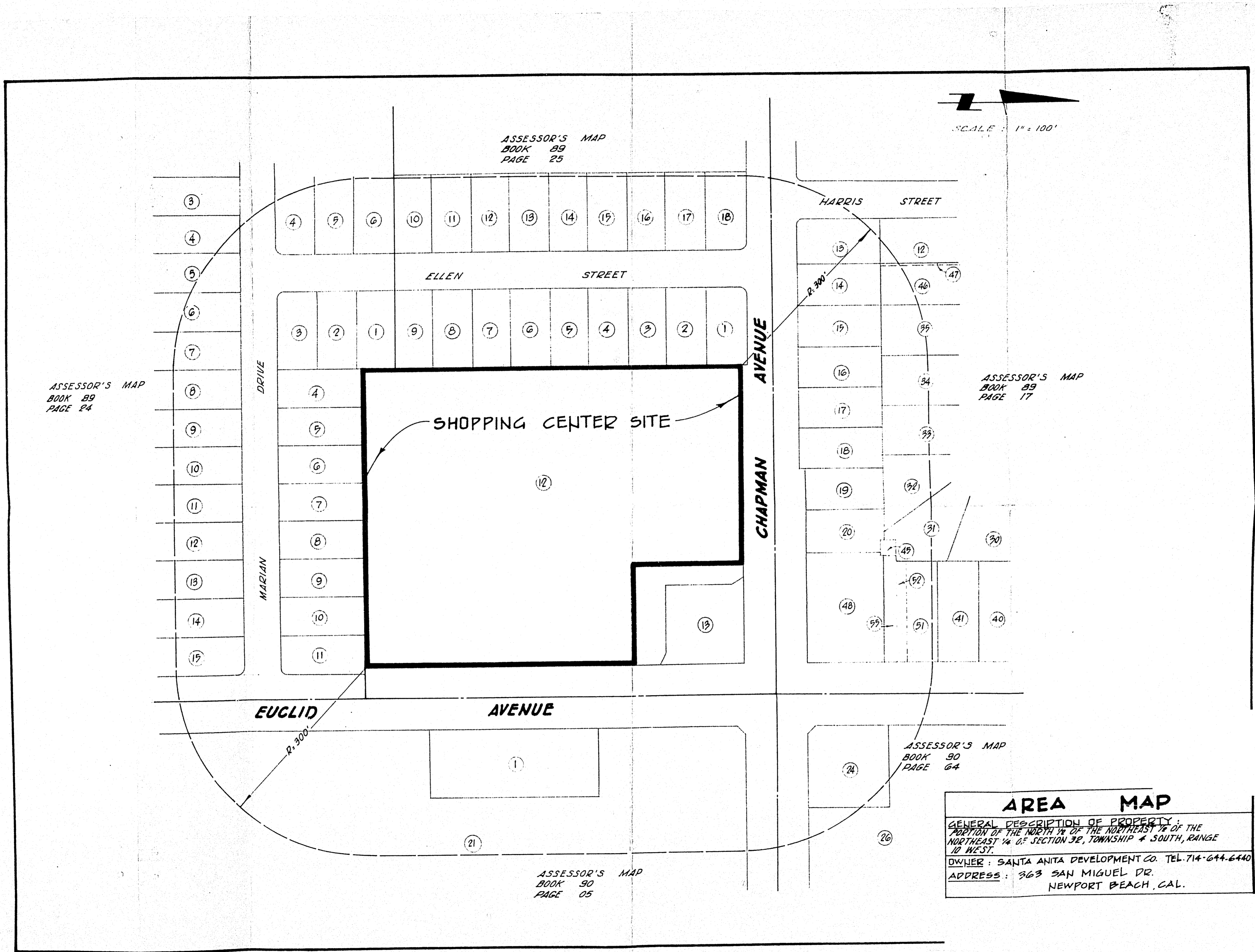
SEP. 17, 1973
 M.B. # 7930

L. H. HOFFER
 ARCHITECT

RECEIVED
 DEC 14 1973
 LAND USE
 SP. 1 6373

OFFICIAL COPY

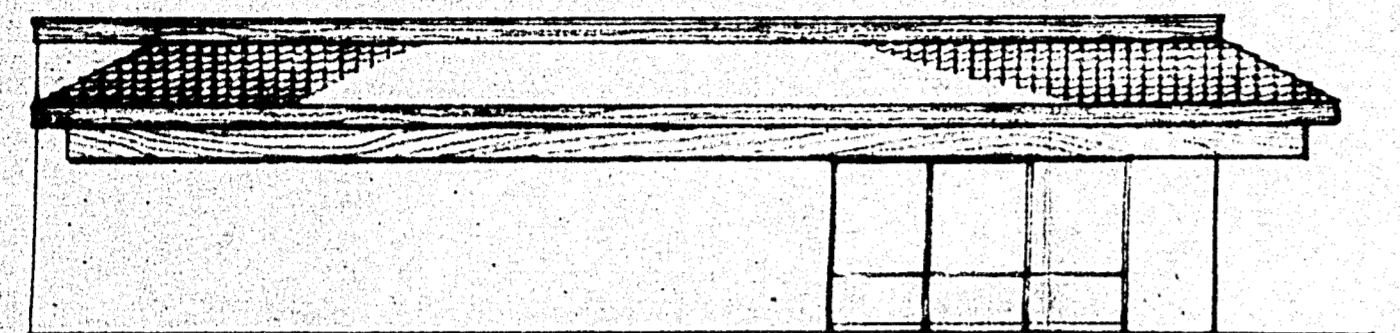




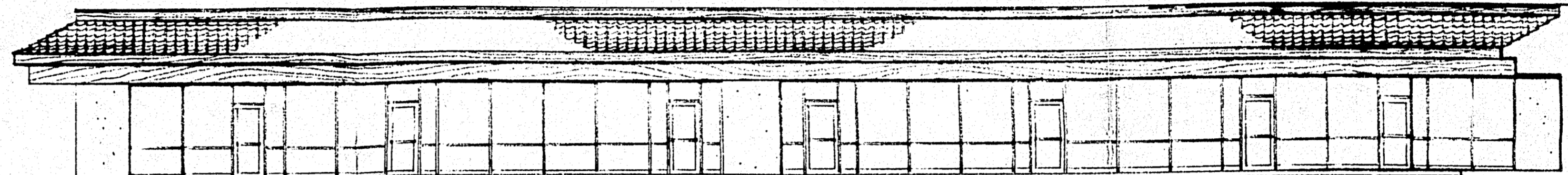
AREA MAP

GENERAL DESCRIPTION OF PROPERTY:
 PORTION OF THE NORTH 1/4 OF THE NORTHEAST 1/4 OF THE
 NORTHEAST 1/4 OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE
 22 WEST.

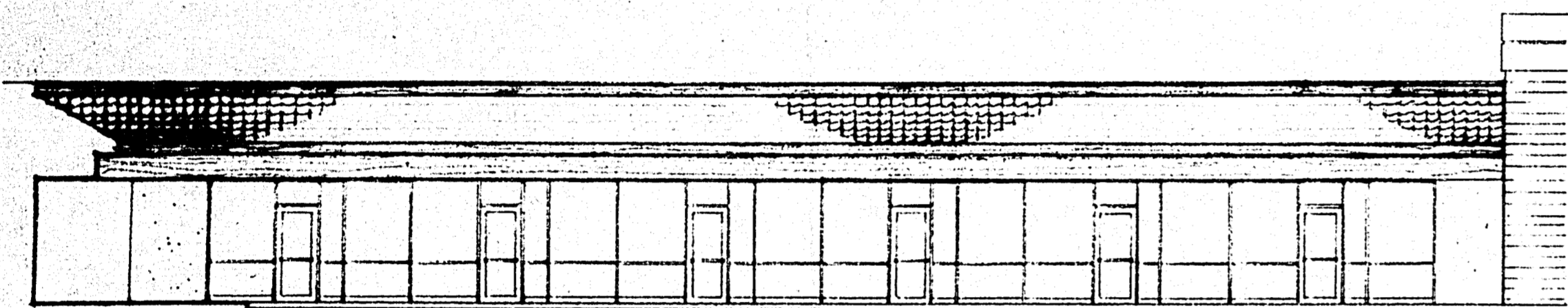
OWNER: SANTA ANITA DEVELOPMENT CO. TEL. 714-644-6440
 ADDRESS: 363 SAN MIGUEL DR.
 NEWPORT BEACH, CAL.



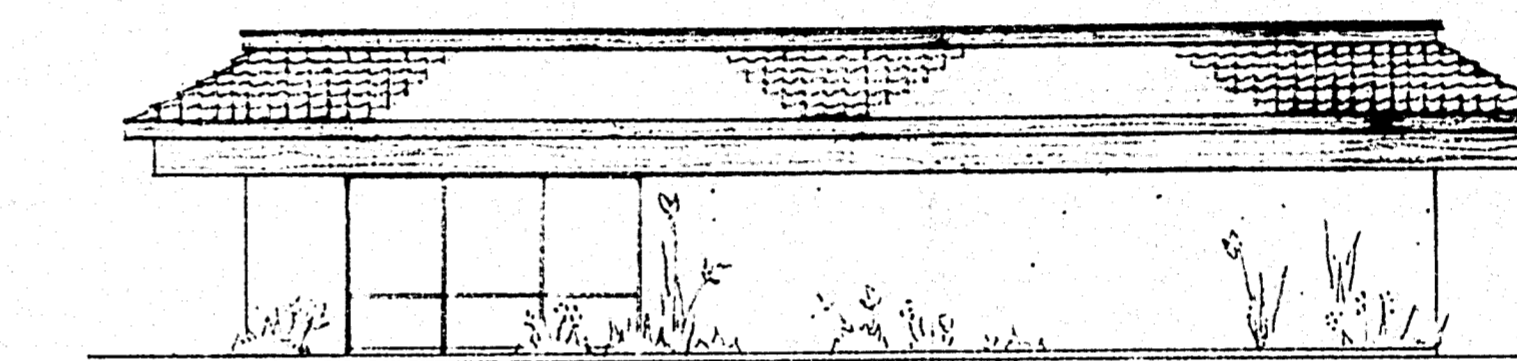
BUILDING 1 - EAST ELEVATION
SCALE: 1/8" = 1'-0"



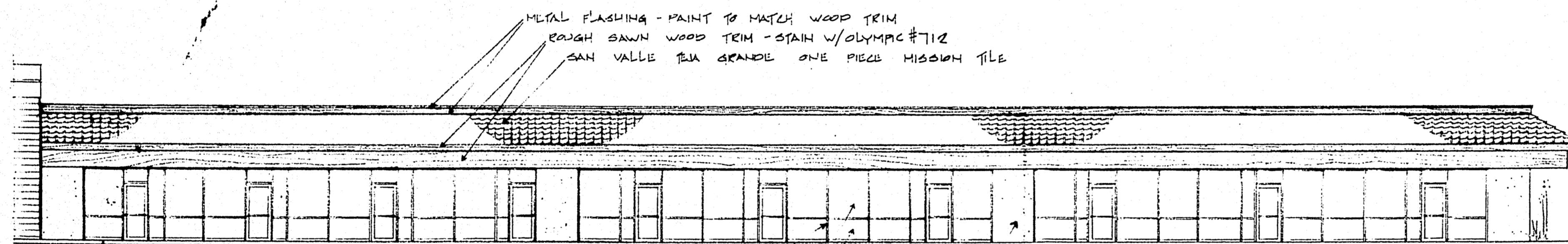
BUILDING 1 - NORTH ELEVATION
SCALE: 1/8" = 1'-0"



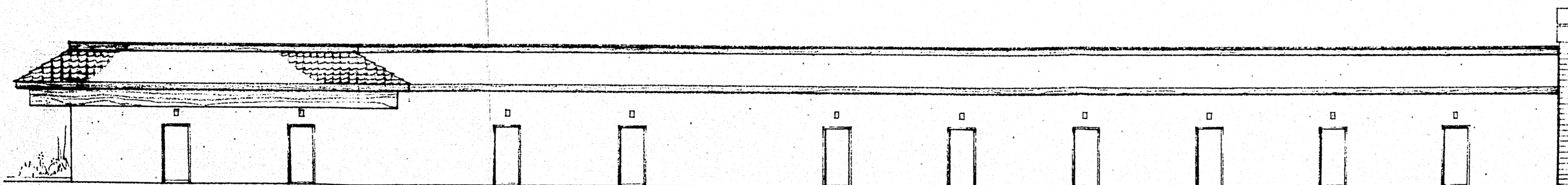
BUILDING 2 - EAST ELEVATION
SCALE: 1/8" = 1'-0"



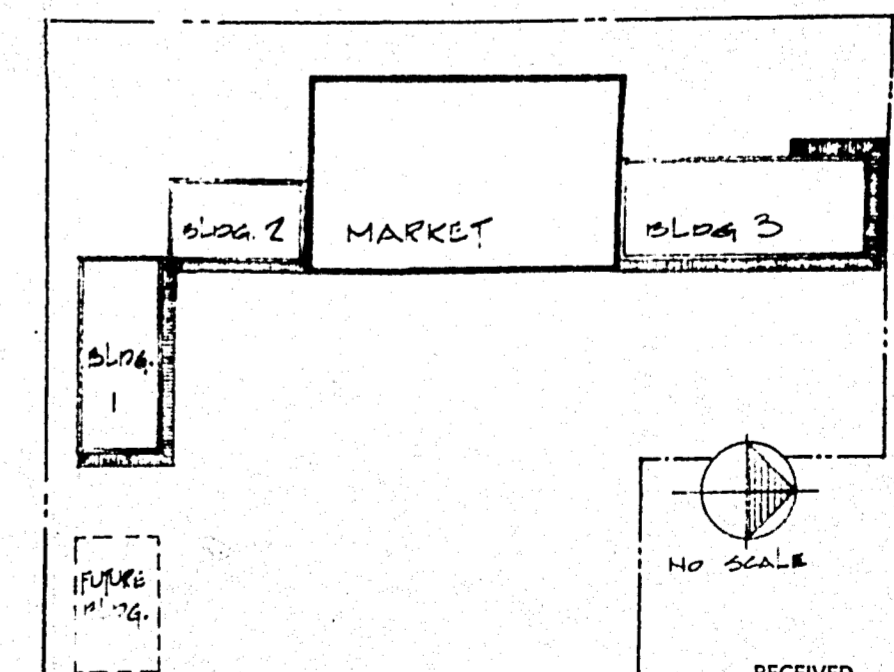
BUILDING 3 - NORTH ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 3 - EAST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 3 - WEST ELEVATION
SCALE: 1/8" = 1'-0"



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JAN 16 1974
LAND USE
REVISED SP 16373
OFFICIAL COPY

| | |
|---|------------|
| Phone: (714) 644-6440 | |
| sdc | |
| SANTA ANITA DEVELOPMENT CORPORATION A Santa Anita Development Company 303 San Miguel Dr., Newport Center, Newport Beach, Calif. 92650 | |
| REV. NO. | |
| REASON | REVISIONS |
| REV. DATE | 1. 12. 73 |
| DATE | 12. 10. 73 |
| SHEET TITLE SERVICE STORE ELEVATIONS | |
| CENTER RALPH'S CENTER EUCLID S.W. CORNER CHAPMAN V. V. GARDEN GROVE | |
| STORE | SHEET NO. |
| | OF |