

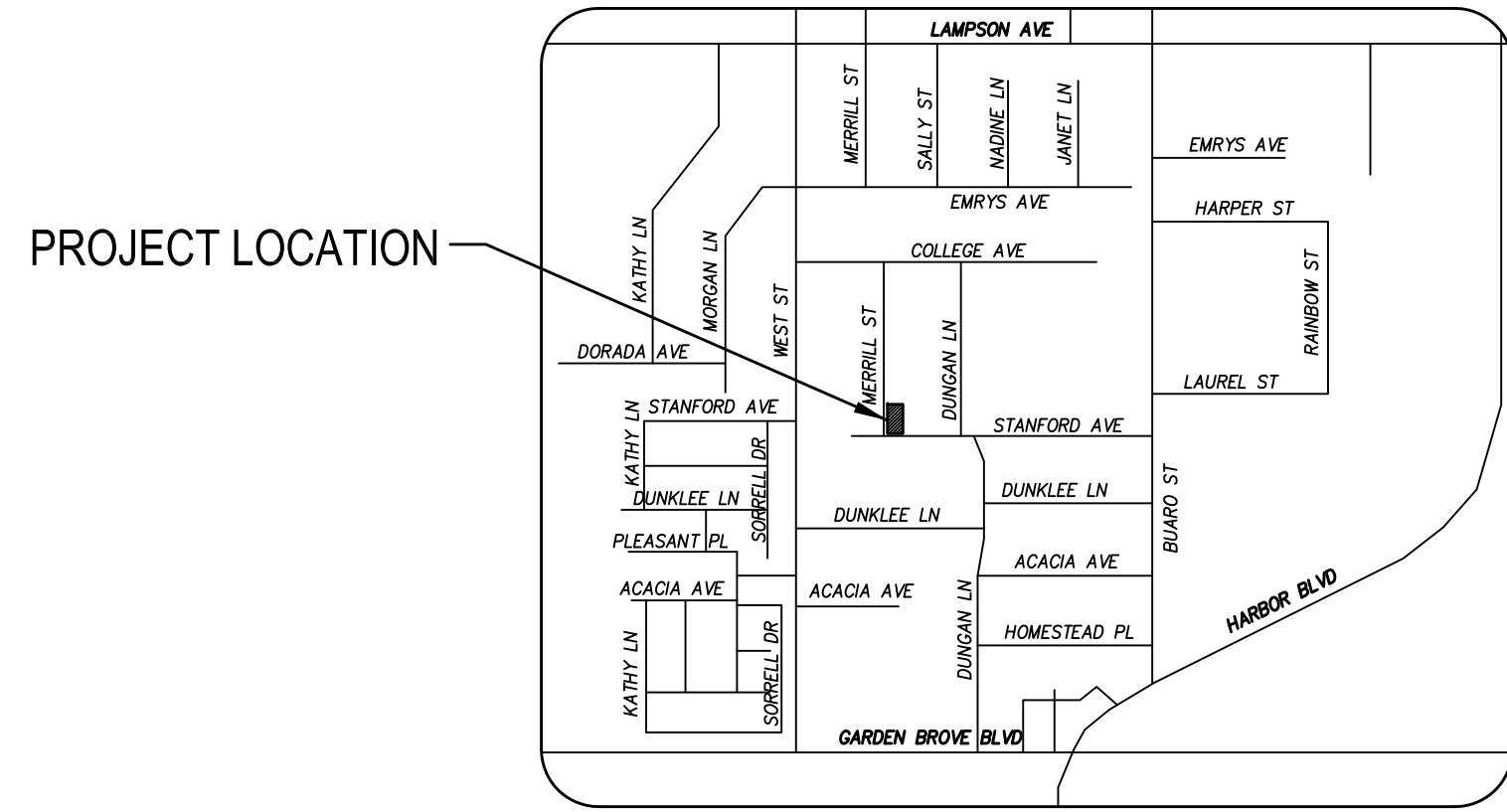
PRECISE GRADING PLANS

12061 STANFORD AVENUE
GARDEN GROVE, CA 92840

GENERAL GRADING NOTES

48 HOUR ADVANCE NOTICE IS REQUIRED PRIOR TO THE START OF ANY WORK (714) 741-5887

- ALL WORK SHALL CONFORM TO THE CITY OF GARDEN GROVE LATEST ORDINANCE NO.2835 STANDARD PLANS AND SPECIFICATIONS, THE 2013 STANDARD SPECIFICATIONS OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, THE CITY OF GARDEN GROVE ORDINANCE NO. 2590 THE 2013 CALIFORNIA BUILDING CODE, CALIFORNIA GREEN BUILDINGS STANDARD CODE, AND THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK) 2012 EDITION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND NOTIFY THE CITY OF GARDEN GROVE WATER DEPARTMENT AND ALL OTHER UTILITY COMPANIES A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL PHASES OF CONSTRUCTION WITH THE VARIOUS UTILITY COMPANIES INVOLVED.
- SUBMITTAL DOCUMENT REQUIREMENTS SHALL AT A MINIMUM, CONFORM TO ALL REQUIREMENTS OF SECTIONS 107 AND 110 OF THE CALIFORNIA BUILDING CODE, INCLUDING THE FOLLOWING:
 - GRADING PLAN WITH SITE PLAN SHOWING TO SCALE THE SIZE AND LOCATION OF NEW CONSTRUCTION AND EXISTING STRUCTURES ON THE SITE AND ADJACENT TO THE SITE A MINIMUM OF THIRTY FEET (30') FROM THE PROPERTY BOUNDARY;
 - HORIZONTAL AND VERTICAL DISTANCES AND ELEVATIONS IN RELATION TO THE PROPERTY LOT LINES AND NEAREST CITY BENCHMARKS FOR TOPOGRAPHIC CONTROL. (TEMPORARY BENCH MARKS SHALL NOT BE USED FOR TOPOGRAPHIC CONTROL);
 - EXISTING STREET GRADES AND PROPOSED DESIGN GRADES FOR ALL PROJECT FRONTAGES AND ADJACENT ACCESS IMPROVEMENTS.
 - ALL SITE/GRADING PLANS SHALL BE BASED UPON AN ACCURATE BOUNDARY LINE SURVEY WITH MONUMENT AND HORIZONTAL/VERTICAL CONTROL DISPOSITION SHOWN ON THE PLANS;(SECTION 107.2.5 CALIFORNIA BUILDING CODE);
 - DEMOLITION WORK FOR IMPROVEMENTS TO BE REMOVED AND/OR PROTECTED IN PLACE;
 - ANY PHASING OF IMPROVEMENTS AS ALLOWED BY THE CITY.



VICINITY MAP
NOT TO SCALE

GENERAL GRADING NOTES (CONT'D)

- PRIOR TO PLACEMENT OF PARKING LOT STRUCTURAL SECTION, DEVELOPER SHALL COMPACT SUB-GRADE TO 90% MIN. RELATIVE COMPACTION. AGGREGATE BASE SHALL BE CLASS II 3/4" COMPACTED TO 90% RELATIVE COMPACTION. THE DEVELOPER'S GEOTECHNICAL ENGINEER SHALL SUBMIT COMPACTION TESTS TO THE CITY PER ASTM D1557 (METHOD C FOR AGGREGATE BASE). ASPHALT CONCRETE SHALL BE CLASS C2 DENSE MEDIUM ASPHALT CONCRETE MIX PER TABLE 203-6.4.3(A) (THE "GREENBOOK" 2012 EDITION CONFORMING TO PAGE 70-10.)
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN A SIX (6) FOOT HIGH CHAIN LINK FENCE TO SECURE THE PROJECT PERIMETER. THE FENCE SHALL BE REMOVED UPON CONSTRUCTION OF PERMANENT PERIMETER FENCING AND/OR COMPLETION OF THE PROJECT.
- CONCRETE FORM ELEVATIONS FOR CURB AND DRAINAGE GUTTERS ARE TO BE VERIFIED FOR PLAN GRADE BY A LICENSED SURVEYOR PRIOR TO CONCRETE POUR. ANY DEVIATIONS FROM THESE APPROVED PLANS SHALL REQUIRE APPROVAL BY THE CITY ENGINEER OR CORRECTED PRIOR TO PLACEMENT OF CONCRETE BY SUBMITTAL OF A REQUEST FOR REVISION TO THE APPROVED PLAN.
- UPON COMPLETION OF ALL WORK, THE REGISTERED CIVIL ENGINEER OF RECORD SHALL CERTIFY IN WRITING THAT THE PROJECT IS IN COMPLIANCE WITH THE LINES, GRADES, AND ELEVATIONS ON THE APPROVED GRADING PLAN. IF THE BUILDING IS IN A FLOOD ZONE HAZARD AREA, THE CIVIL ENGINEER SHALL SUPPLY ADDITIONAL CERTIFICATIONS VERIFYING THAT THE LOWEST FINISH FLOOR ELEVATION(S) COMPLY WITH THE FEMA FLOOD HAZARD ELEVATIONS AS REQUIRED UNDER 1612A OF THE CALIFORNIA BUILDING CODE. (CERTIFICATION FORMS SHALL BE OBTAINED FROM THE CITY AND WET-SIGNED BY THE ENGINEER OF RECORD).
- ALL CONCRETE FOR CURBS, GUTTERS, AND SIDEWALKS SHALL BE 2500 PSI AT 28 DAYS. CATCH BASINS AND TRUCK WELLS SHALL BE 3000 PSI AT 28 DAYS.
- PROVIDE THE FOLLOWING SIGNING AND STRIPING. EACH PARKING SPACE RESERVED FOR PERSONS WITH PHYSICAL DISABILITIES SHALL BE IDENTIFIED BY A REFLECTORIZED SIGN PERMANENTLY POSTED IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH STALL OR SPACE, CONSISTING OF A PROFILE VIEW OF A WHEELCHAIR WITH OCCUPANT IN WHITE ON A DARK BLUE BACKGROUND. THE SIGN SHALL NOT BE SMALLER THAN 70 SQUARE INCHES IN AREA AND WHEN IN THE PATH OF TRAVEL, SHALL BE POSTED AT A MINIMUM HEIGHT OF 80 INCHES FROM THE BOTTOM OF THE SIGN TO THE PARKING SPACE FINISHED GRADE. SIGNS MAY ALSO BE CENTERED ON THE WALL AT THE INTERIOR END OF THE PARKING SPACE AT A MINIMUM HEIGHT OF 36 INCHES FROM THE PARKING SPACE FINISHED GRADE, GROUND OR SIDEWALK. PARKING STALL LAYOUT SHALL CONFORM TO TITLE 24 2013 CALIFORNIA BUILDING CODE, CHAPTERS 11A AND 11B, AND THE DEPARTMENT OF JUSTICE STANDARDS, LATEST EDITION.
- AN ADDITIONAL SIGN SHALL ALSO BE POSTED, IN A CONSPICUOUS PLACE, AT EACH ENTRANCE TO OFF-STREET PARKING FACILITIES, OR IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH STALL OR SPACE. THE SIGN SHALL BE NOT LESS THAN 17 INCHES X 22 INCHES IN SIZE WITH LETTERING NOT LESS THAN 1 INCH IN HEIGHT, WHICH CLEARLY AND CONSPICUOUSLY STATES THE FOLLOWING:
 - "UNAUTHORIZED VEHICLES PARKED IN DESIGNATED HANDICAPPED SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR LICENSE PLATES ISSUED FOR PHYSICALLY DISABLED PERSONS MAY BE TOWED AWAY AT OWNER'S EXPENSE. TOWED VEHICLE MAY BE RECLAIMED BY TELEPHONING (714) 741-5704

*VERIFY NUMBER WITH POLICE DEPARTMENT PRIOR TO FABRICATION OF SIGNS.
- IN ADDITION TO THE ABOVE-REQUIRED SIGNS, THE SURFACE OF EACH PARKING SPACE SHALL HAVE A SURFACE IDENTIFICATION OF EITHER OF THE FOLLOWING:
 - OUTLINE THE STALL IN BLUE AND PROVIDE A PROFILE VIEW OF A WHEELCHAIR WITH OCCUPANT IN WHITE (OR OTHER CONTRASTING COLOR).
 - PROVIDE A 36 INCHES X 36 INCHES PROFILE VIEW OF A WHEELCHAIR WITH OCCUPANT IN WHITE ON A BLUE BACKGROUND. SYMBOL SHALL BE LOCATED SUCH THAT IT IS VISIBLE TO A TRAFFIC ENFORCEMENT OFFICER WHEN THE VEHICLE IS PARKED.
 - ALL COMPACT PARKING STALLS SHALL BE INDIVIDUALLY STRIPED AND MARKED ON THE PARKING SPACE SURFACE. ALL PARKING STALLS SHALL BE HAIRPIN STRIPED. ALL CURBS NOT ASSOCIATED WITH A PARKING STALL SHALL BE PAINTED RED.
- ALL CURB RAMPS SHALL HAVE A GROOVED BORDER 12 INCHES WIDE, AT THE LEVEL SURFACE OR LANDING OF THE SIDEWALK ALONG THE TOP OF THE RISE AND EACH SIDE APPROXIMATELY SPACED 3/4 INCHES ON CENTER OF THE GROOVES. ALL CURB RAMPS CONSTRUCTED BETWEEN THE FACE OF THE CURB AND THE STREET RIGHT OF WAY SHALL HAVE A GROOVED BORDER AT THE LEVEL SURFACE OR LANDING OF THE SIDEWALK. RAMPS SHALL BE SHOWN ON THESE APPROVED PLANS AND IN CONFORMANCE WITH TITLE 24, 2013 CALIFORNIA BUILDING CODE, CHAPTER 11A AND 11B, AND THE DEPARTMENT OF JUSTICE STANDARDS, LATEST EDITION.
- FOR EXTERIOR WALKWAYS AND PATHS OF TRAVEL, OBJECTS PROJECTING FROM WALLS (FOR EXAMPLE, TELEPHONES) WITH THEIR LEADING EDGES BETWEEN 27 INCHES AND 80 INCHES ABOVE THE FINISHED FLOOR SHALL PROTRUDE NO MORE THAN 4 INCHES INTO WALKS, HALLS, CORRIDORS, PASSAGEWAYS OR AISLES. OBJECTS MOUNTED WITH THEIR LEADING EDGES AT OR BELOW 27 INCHES ABOVE THE FINISHED FLOOR MAY NOT PROTRUDE ANY AMOUNT.

INDEX OF SHEETS	
SHEET	DESCRIPTION
1	TITLE SHEET, VICINITY MAP, & NOTES
2	GRADING PLAN
3	LIMITED TOPOGRAPHIC SURVEY

CONSTRUCTION NOTES & QUANTITY ESTIMATES			
NO.	DESCRIPTION	UNIT	QTY.
①	CONSTRUCT 4" THICK CONCRETE PER DETAIL 1 SHOWN HEREON	SF	278
②	PROTECT IN PLACE	-	-
③	REMOVE EXISTING WALL	LF	16
④	NEW CONCRETE STEPS	SF	67
⑤	INSTALL NEW GATE	EA	1
⑥	EXISTING GATE TO BE REMOVED	EA	1
⑦	EXISTING STEPS TO BE REMOVED	SF	28

UTILITY OWNERS

UTILITY	CONTACT PERSON	PHONE NO.
GARDEN GROVE SEWER DIVISION	BRENT HAYES	(714) 741-5976
GARDEN GROVE WATER DIVISION	SCOTT LOWE	(714) 741-5346
GARDEN GROVE TRAFFIC DIVISION	TONY AQUINO	(714) 741-5193
SOUTHERN CALIFORNIA EDISON CO.	CECILIA CAMPOS	(714) 889-8621
THE GAS CO.	DON AMADOR	(714) 634-3039
AT & T	YVETTE MARTINEZ-GARAFANO	(714) 665-5692
O.C.T.A.	MARK SELLINGER	(714) 530-6060
TIME WARNER COMMUNICATIONS	JOHN LO	(213) 903-8213
O.C. SANITATION DISTRICT	RICH LEON	(714) 593-7242
VERIZON	LEO ESTOYU	(714) 357-6748

GENERAL GRADING NOTES (CONT'D)

- FREESTANDING OBJECTS MOUNTED ON POSTS OR PYLONS MAY OVERHANG 12 INCHES MAXIMUM FROM 27 INCHES TO 80 INCHES ABOVE THE GROUND OR FINISHED FLOOR. PROTRUDING OBJECTS SHALL NOT REDUCE THE CLEAR WIDTH OF AN ACCESSIBLE ROUTE OR MANEUVERING SPACE. ANY OBSTRUCTION OVERHANGING A PEDESTRIAN WAY SHALL BE A MINIMUM OF 80 INCHES ABOVE THE WALKING SURFACE AS MEASURED TO THE BOTTOM OF THE OBSTRUCTION.
- WALKS, HALLS, CORRIDORS, PASSAGEWAYS, AISLES OR OTHER CIRCULATION SPACES SHALL HAVE 80 INCHES MINIMUM CLEAR HEADROOM. ABRUPT CHANGES IN LEVEL, EXCEPT BETWEEN A WALK OR SIDEWALK AND AN ADJACENT STREET OR DRIVEWAY, EXCEEDING 4 INCHES IN A VERTICAL DIMENSION, SUCH AS AT PLANTERS OR FOUNTAINS LOCATED IN OR ADJACENT TO WALKS, SIDEWALKS, OR OTHER PEDESTRIAN WAYS SHALL BE IDENTIFIED BY CURBS PROJECTING AT LEAST 6 INCHES IN HEIGHT ABOVE THE WALK OR SIDEWALK SURFACE TO WARN THE BLIND OF A POTENTIAL DROP-OFF.
- WHEN A GUARDRAIL OR HANDRAIL IS PROVIDED, NO CURB IS REQUIRED WHEN A GUIDE RAIL IS PROVIDED CENTERED 3 INCHES PLUS OR MINUS ONE INCH ABOVE THE SURFACE OF THE WALK OR SIDEWALK. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF TITLE 24, 2013 CALIFORNIA BUILDING CODE, CHAPTER 11A AND 11B AND THE DEPARTMENT OF JUSTICE STANDARDS, LATEST EDITION.
- ALL HANDICAP PARKING STALLS SHALL CONFORM TO THE DETAIL(S) SHOWN ON THE PLANS, AND TITLE 24, 2013 CALIFORNIA BUILDING CODE CHAPTER 11A AND 11B, AND THE DEPARTMENT OF JUSTICE STANDARDS, LATEST EDITION.
- DRAINAGE SHALL BE CHECKED BY FLOODING OF PAVED AREAS AND CONCRETE GUTTERS. ANY CONCRETE AREAS HOLDING WATER SHALL BE REMOVED AND REPLACED. ANY PAVEMENT AREAS HOLDING WATER SHALL BE REMOVED AND REPLACED OR GROUND TO A UNIFORM DEPTH OF 1" AND CAPPED TO THE SATISFACTION OF THE CITY ENGINEER.
- LANDSCAPE TREATMENT AND GROUND CONTOURING AS PER THE APPROVED LANDSCAPE PLAN, INCLUDING LIGHTING STANDARDS, SHALL BE SHOWN ON THE GRADING PLAN. LOCATION OF TREES SHALL ALSO BE SHOWN.
- THE DEVELOPER SHALL SWEEP ALL STREETS IN THE AREA OF THE CONSTRUCTION SITE ON A DAILY BASIS AS REQUIRED BY THE CITY ENGINEER. WASHING DOWN OF ANY STREET SHALL NOT BE PERMITTED UNLESS SPECIFICALLY APPROVED BY THE CITY ENGINEER AFTER ALL DEBRIS AND SILT HAVE BEEN REMOVED. FAILURE TO COMPLY WITH THIS SECTION SHALL BE CAUSE FOR IMMEDIATE SUSPENSION OF ALL WORK ON THE DEVELOPMENT AS WELL AS SUSPENSION OF ALL PERMITS APPROVED TO DATE.
- ALL WORK SHALL BE IN CONFORMANCE WITH THE LATEST NPDES PERMIT AND CITY OF GARDEN GROVE LOCAL IMPLEMENTATION PLAN (LIP) AND ADOPTED LOW IMPACT DEVELOPMENT (LID) REQUIREMENTS. COPIES OF APPROVED EROSION CONTROL PLANS AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP) WHERE REQUIRED, SHALL BE AT THE CONSTRUCTION SITE AT ALL TIMES AND MADE AVAILABLE UPON REQUEST FOR REVIEW AND IMPLEMENTATION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL IMPORTED AND EXPORTED SOIL IS FR OF THE RED IMPORTED FIRE ANT (RIFA).
- ALL ON-SITE CATCH BASINS SHALL BE STENCILED NOTIFYING THE PUBLIC THAT NO DUMPING IS PERMITTED AND THAT ALL FLOWS DRAIN TO THE OCEAN. THE CONTRACTOR SHALL OBTAIN THE LATEST STENCIL FROM THE CITY STREETS DIVISION-714.741.5278.

EARTHWORK QUANTITIES

DESCRIPTION	CUT	FILL
EARTHWORK	54 C.Y.	44 C.Y.
OVEREXCAVATION	15 C.Y.	15 C.Y.
TOTAL	69 C.Y.	59 C.Y.
EXPORT	10 C.Y.	

QUANTITIES SHOWN HEREON ARE FOR PERMIT AND/OR BONDING PURPOSE ONLY.

BRIEF LEGAL DESCRIPTION:

N TR 1352 BLK LOT 117

BENCHMARK:

BM NO. OCS SA-304-82 NAVD88
ELEV: 106.290
NAVD-88 (GG2012 ADJ)
LOCATION: TOP OF A 6IN. CONC. POST. MON. IS LOCATED IN THE SOUTHEAST COR. OF THE INT. OF PALM ST. & GARDEN GROVE BLVD., 52.5 FT. SOUTHERLY OF THE CL OF GARDEN GROVE BLVD. & 28.6 FT. EASTERLY OF THE CL OF PALM ST.



UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

ATTENTION IS DIRECTED TO THE POSSIBLE EXISTENCE OF UNDERGROUND FACILITIES NOT KNOWN OR IN A LOCATION DIFFERENT FROM THAT WHICH IS SHOWN ON THE PLANS OR IN THE SPECIAL PROVISIONS. THE CONTRACTOR SHALL TAKE STEPS TO ASCERTAIN THE EXACT LOCATION OF ALL UNDERGROUND FACILITIES PRIOR TO DOING WORK THAT MAY DAMAGE SUCH FACILITIES OR INTERFERE WITH THEIR SERVICE.

BEFORE EXCAVATING, THE CONTRACTOR SHALL VERIFY THE LOCATION OF UNDERGROUND UTILITIES BY CONTACTING UNDERGROUND SERVICE ALERT AT 811.

WATER SERVICES DIVISION CITY OF GARDEN GROVE	
APPROVED	<input type="checkbox"/>
CONDITIONAL APPROVAL	<input type="checkbox"/>
MAKE CORRECTIONS NOTED	<input checked="" type="checkbox"/>
AMEND AND RESUBMIT	<input type="checkbox"/>
REJECTED	<input type="checkbox"/>
BY _____	DATE 3/17/2022



APN: 231-382-09

CITY OF GARDEN GROVE

PRECISE GRADING PLAN
TITLE SHEET
12061 STANFORD AVENUE
GARDEN GROVE, CA 92840

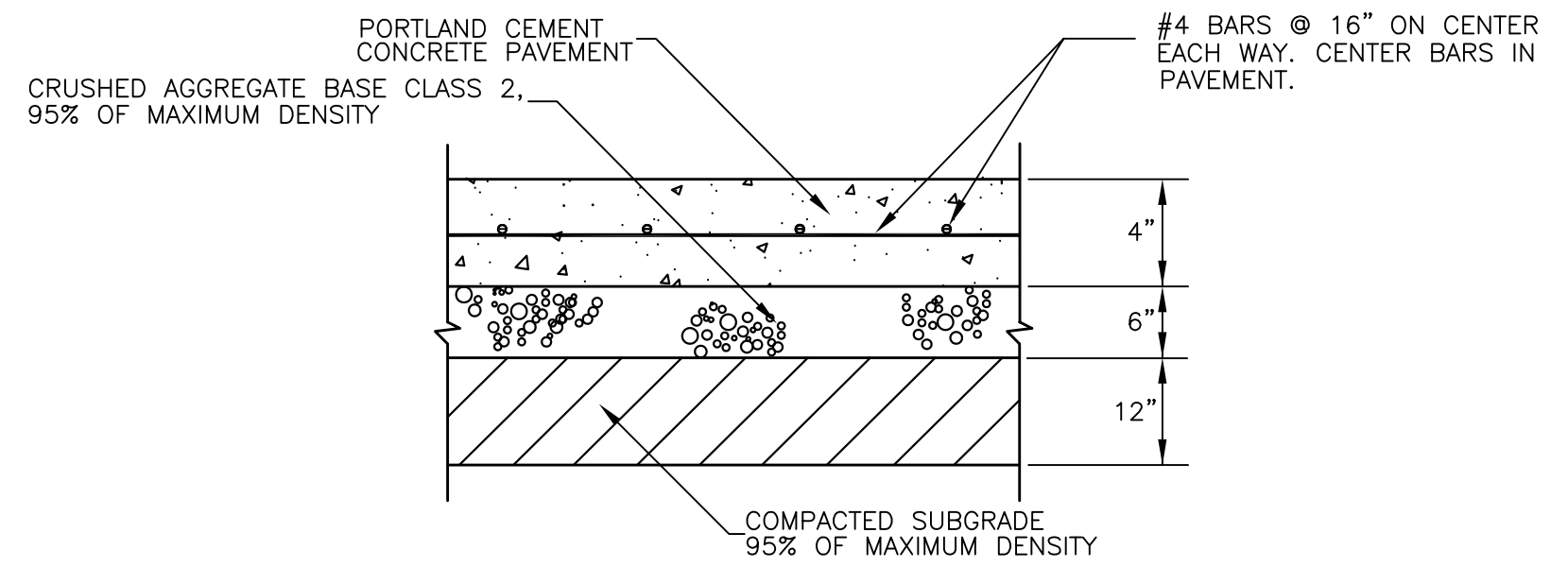
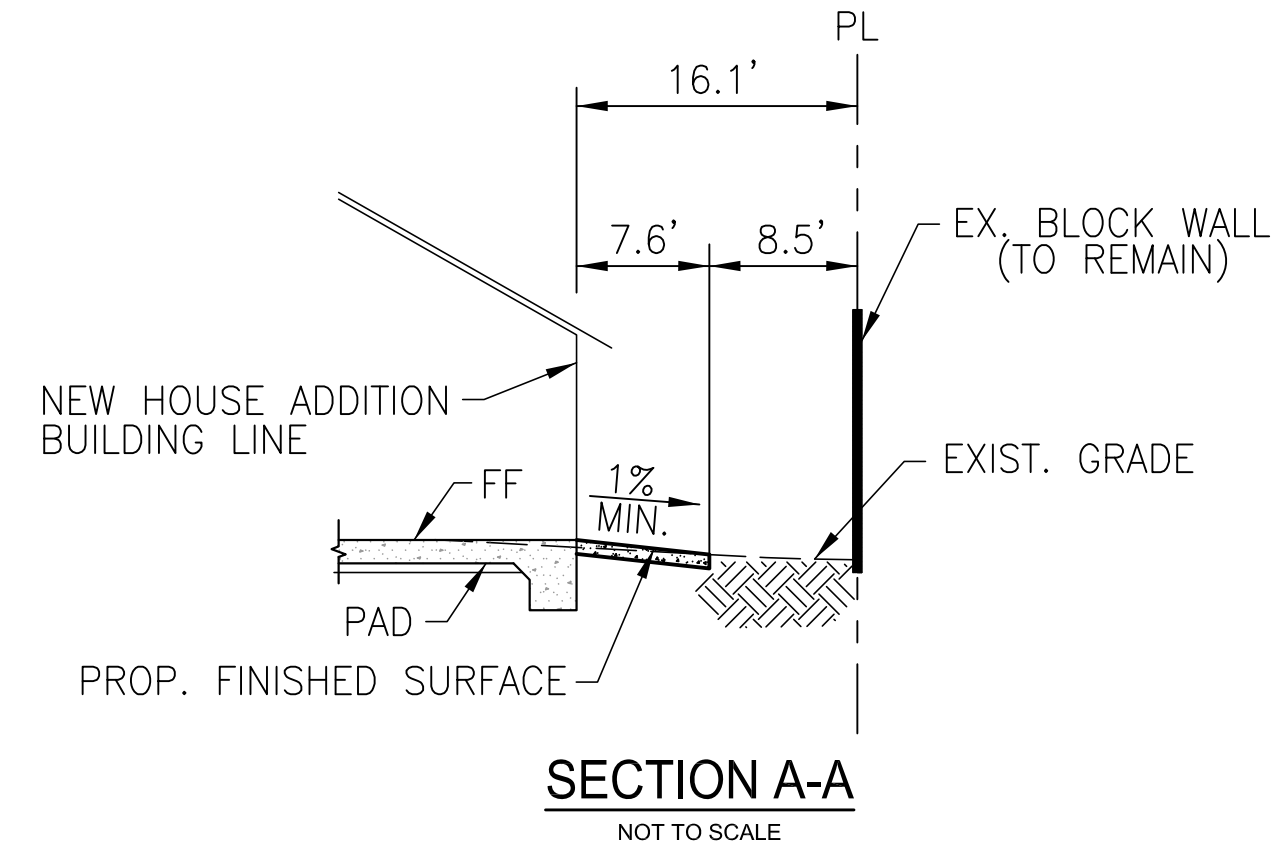
DATE: 01/18/22

SHEET 1 OF 3

DESIGNED BY	DRAWN BY	CHECKED BY	PLANS PREPARED BY
GJD	GJD	GAD	GAD ENGINEERING
PLANS PREPARED UNDER THE SUPERVISION OF GIL A. DIA			532 E. 222nd Street Carson, CA, 90745 Tel: (310) 753-2153
DATE 01/18/22	R.C.E. NO. 26172	REFERENCE PLANS FOR THESE IMPROVEMENTS	NO. DATE BY DESCRIPTION APP'D
			REVISIONS

OWNER	SOILS ENGINEER	PLANS PREPARED FOR
JAIME HERMOSILLO 12061 STANFORD AVENUE GARDEN GROVE, CA 92840	HDNGEO 9877 CHAPMAN AVE, STE D-461 GARDEN GROVE, CA 92841	JAIME HERMOSILLO 12061 STANFORD AVENUE GARDEN GROVE, CA 92840

CONSTRUCTION NOTES & QUANTITY ESTIMATES			
NO.	DESCRIPTION	UNIT	QTY.
1	CONSTRUCT 4" THICK CONCRETE PER DETAIL 1 SHOWN HEREON	SF	278
2	PROTECT IN PLACE	-	-
3	REMOVE EXISTING WALL	LF	16
4	NEW CONCRETE STEPS	SF	67
5	INSTALL NEW GATE	EA	1
6	EXISTING GATE TO BE REMOVED	EA	1
7	EXISTING STEPS TO BE REMOVED	SF	28



PORTLAND CEMENT CONCRETE PAVEMENT DETAIL
NOT TO SCALE

ABBREVIATIONS & LEGEND

AB	AGGREGATE BASE	LF	LINEAR FEET		STORM DRAIN MAIN
AC	ASPHALT CONCRETE	MH	MANHOLE		WATER MAIN
BC	BEGINNING OF CURVE	OHD	OVERHEAD		SEWER MAIN
BW	BACK OF WALK	OHC	OVERHANG		SEWER LATERAL
CATV	CABLE TELEVISION	PCC	PORTLAND CONCRETE CEMENT		WATER METER
CB	CATCH BASIN	PE	PAD ELEVATION		FIRE HYDRANT
CC	CONCRETE	PL	PROPERTY LINE		POWER POLE
CF	CURB FACE	PP	POWER POLE		STREET LIGHT
C&G	CURB AND GUTTER	R/W	RIGHT-OF-WAY		LOT LINE
CL	CENTER LINE	SD	STORM DRAIN		BLOCK WALL
CLF	CHAIN LINK FENCE	SDMH	STORM DRAIN MANHOLE		FENCE
CY	CUBIC YARDS	SF	SQUARE FEET		SWALE
D/L	DAYLIGHT	S/W	SIDEWALK		EXISTING CONTOURS
DWY	DRIVEWAY	SS	SEWER		LOT LINE
EC	END OF CURVE	SMH	SEWER MANHOLE		TRACT BOUNDARY
E	ELECTRIC	STA	STATION		RIBBON GUTTER
EA	EACH	ST	STREET		POWER POLE
ELEV	ELEVATION	T	TELEPHONE		SIGN
EP	EDGE OF PAVEMENT	TB	TOP OF BERM		COLUMN
ESMT	EASEMENT	TC	TOP OF CURB (CONCRETE)		CONCRETE
EXIST	EXISTING	TF	TOP OF FOOTING		
()	EXISTING ELEVATION	TG	TOP OF GRATE		
FF	FINISH FLOOR ELEVATION	T.O.P	TOP OF PIPE		
FH	FIRE HYDRANT	TW	TOP OF WALL		
FL	FLOWLINE	W	WATER		
FG	FINISHED GROUND (LANDSCAPING)	WDF	WOOD FENCE		
FS	FINISHED SURFACE (ASPHALT)	WM	WATER METER		
G	NATURAL GAS				
GFF	GARAGE FINISH FLOOR ELEVATION				
GM	GAS METER				
HP	HIGH POINT				
INV	INVERT ELEVATION				

ADU IS ALLOWED SEPARATE WATER AND SEWER. INDICATE IF PROPOSED OR NOT. IF SEPARATE WATER AND/OR SEWER IS PROPOSED, A CONNECTION FEE WILL BE CHARGED. SHOW LOCATION OF NEW WATER AND/OR SEWER AND APPLICABLE CITY STANDARD. IF THE SEWER FROM THE ADU WILL BE TIED INTO THE EXISTING SEWER LATERAL, SPECIFY EXISTING SEWER LATERAL'S LOCATION, SIZE AND MATERIAL.

NOTICE TO CONTRACTOR:

ALL UNDERGROUND UTILITIES OR STRUCTURES REPORTED BY THE OWNER OR OTHERS, AND THOSE SHOWN ON THE RECORDS EXAMINED, ARE INDICATED WITH THEIR APPROXIMATE LOCATION AND EXTENT. THE OWNER, BY ACCEPTING THESE PLANS OR PROCEEDING WITH IMPROVEMENTS PURSUANT THERETO, AGREES TO ASSUME LIABILITY AND TO HOLD UNDERSIGNED HARMLESS FOR ANY DAMAGES RESULTING FROM THE EXISTENCE OF UNDERGROUND UTILITIES OR STRUCTURES NOT REPORTED TO THE UNDERSIGNED, NOT INDICATED ON THE PUBLIC RECORDS EXAMINED, LOCATED AT VARIANCE WITH THOSE REPORTED OR SHOWN ON RECORDS EXAMINED. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES SHOWN AND ANY OTHER UTILITIES OR STRUCTURES FOUND AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF THE UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK.

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THIS PLAN ARE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN AND ANY OTHER LINES OR STRUCTURES NOT SHOWN ON THESE PLANS.

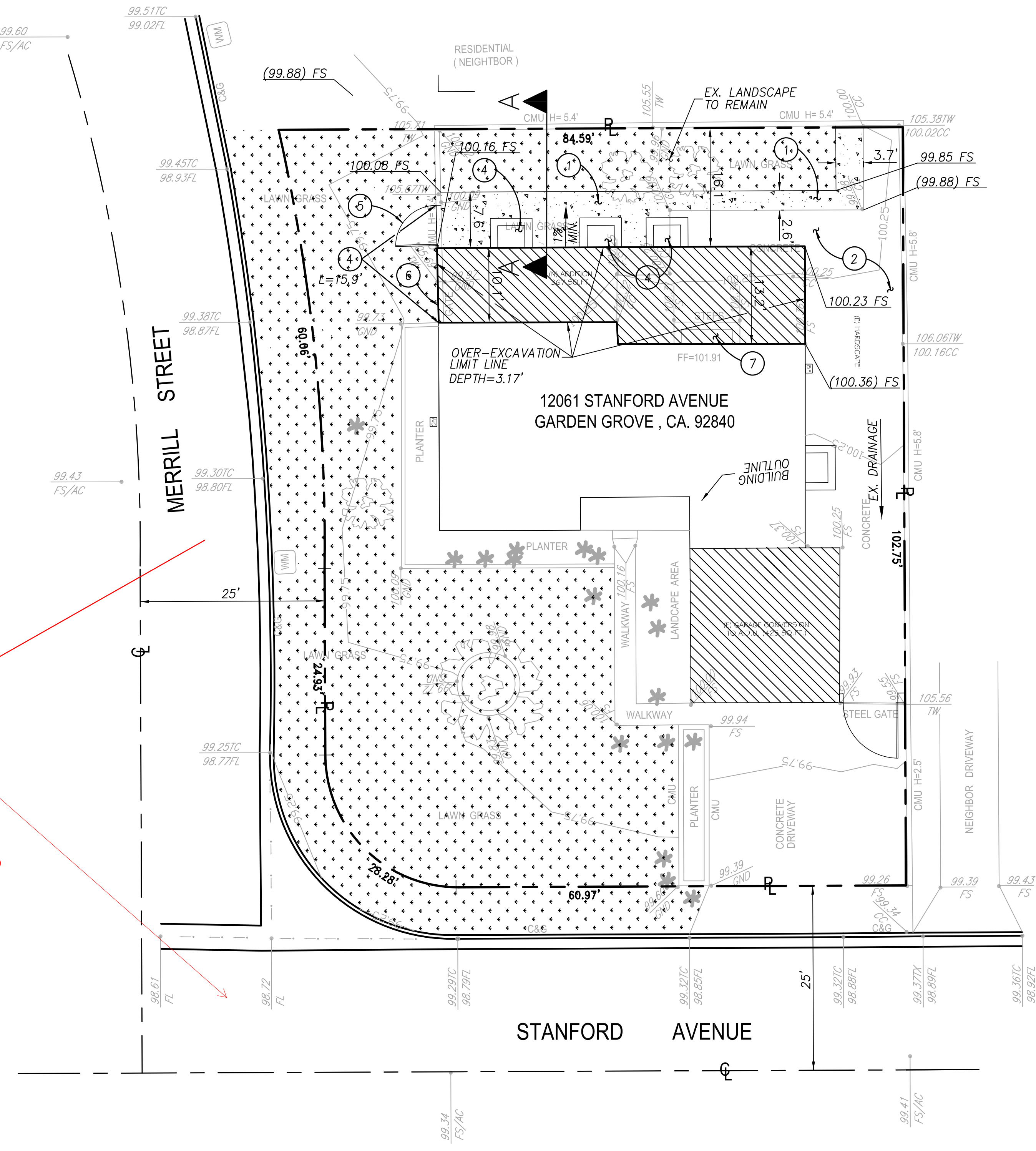
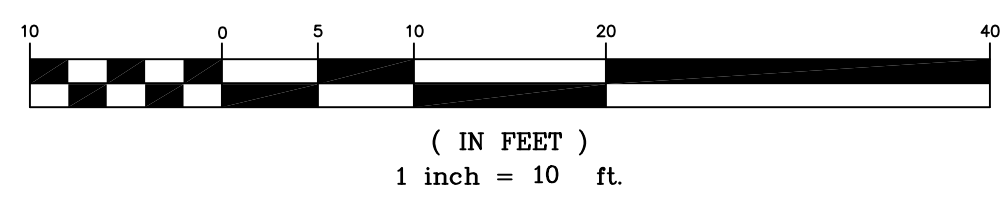
ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS" OF THE U.S. DEPARTMENT OF LABOR, AND WITH THE STATE OF CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS' "CONSTRUCTION SAFETY ORDERS".

THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS' AND SUBCONTRACTORS' COMPLIANCE WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS" OF THE U.S. DEPARTMENT OF LABOR OR WITH THE STATE OF CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS' "CONSTRUCTION SAFETY ORDERS".

CONTRACTOR FURTHER AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

THE ESTIMATED QUANTITIES HEREON ARE ONLY FOR THE PURPOSE OF OBTAINING THE NECESSARY PERMITS, AND GAD ENGINEERING DOES NOT GUARANTEE THE ACCURACY OF THE ESTIMATED QUANTITIES. THE CONTRACTOR SHALL PERFORM HIS OWN QUANTITY TAKEOFF BEFORE SUBMITTING A BID FOR ANY PORTION OF THE IMPROVEMENTS COVERED BY THESE PLANS.

GRAPHIC SCALE



LEGEND

CONSTRUCT CONCRETE. SEE CONSTRUCTION NOTE #1.

SOILS ENGINEER/GEOLOGY:

HDNGEO
9877 CHAPMAN AVE, STE D-461
GARDEN GROVE, CA 92841
THIS PLAN HAS BEEN REVIEWED AND CONFORMS TO RECOMMENDATIONS OF SOILS ENGINEER

REPORT ID: R22-1221
DATE: JANUARY 12, 2022

BENCHMARK:

BM NO. OCS SA-304-82 NAVD88
ELEV: 106.290
NAVD-88 (GG2012 ADJ.)
LOCATION: TOP OF A BIN. CONC. POST. MON. IS LOCATED IN THE SOUTHEAST COR. OF THE INT. OF PALM ST. & GARDEN GROVE BLVD., 52.5 FT. SOUTHERLY OF THE CL OF GARDEN GROVE BLVD. & 28.6 FT. EASTERLY OF THE CL OF PALM ST.



UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

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BEFORE EXCAVATING, THE CONTRACTOR SHALL VERIFY THE LOCATION OF UNDERGROUND UTILITIES BY CONTACTING UNDERGROUND SERVICE ALERT AT 811.



APN: 231-382-09

CITY OF GARDEN GROVE
PRECISE GRADING PLAN
12061 STANFORD AVENUE
GARDEN GROVE, CA 92840

DATE: 01/18/22

SHEET 2 OF 3

DESIGNED BY GJD	DRAWN BY GJD	CHECKED BY GAD			
PLANS PREPARED UNDER THE SUPERVISION OF GIL A. DIA					
REFERENCE PLANS FOR THESE IMPROVEMENTS			NO.	DATE	BY
DATE 01/18/22 R.C.E. NO. 26172			DESCRIPTION		
			REVISIONS		

PLANS PREPARED BY
GAD ENGINEERING
532 E. 222nd Street
Carson, CA, 90745
Tel: (310) 753-2153

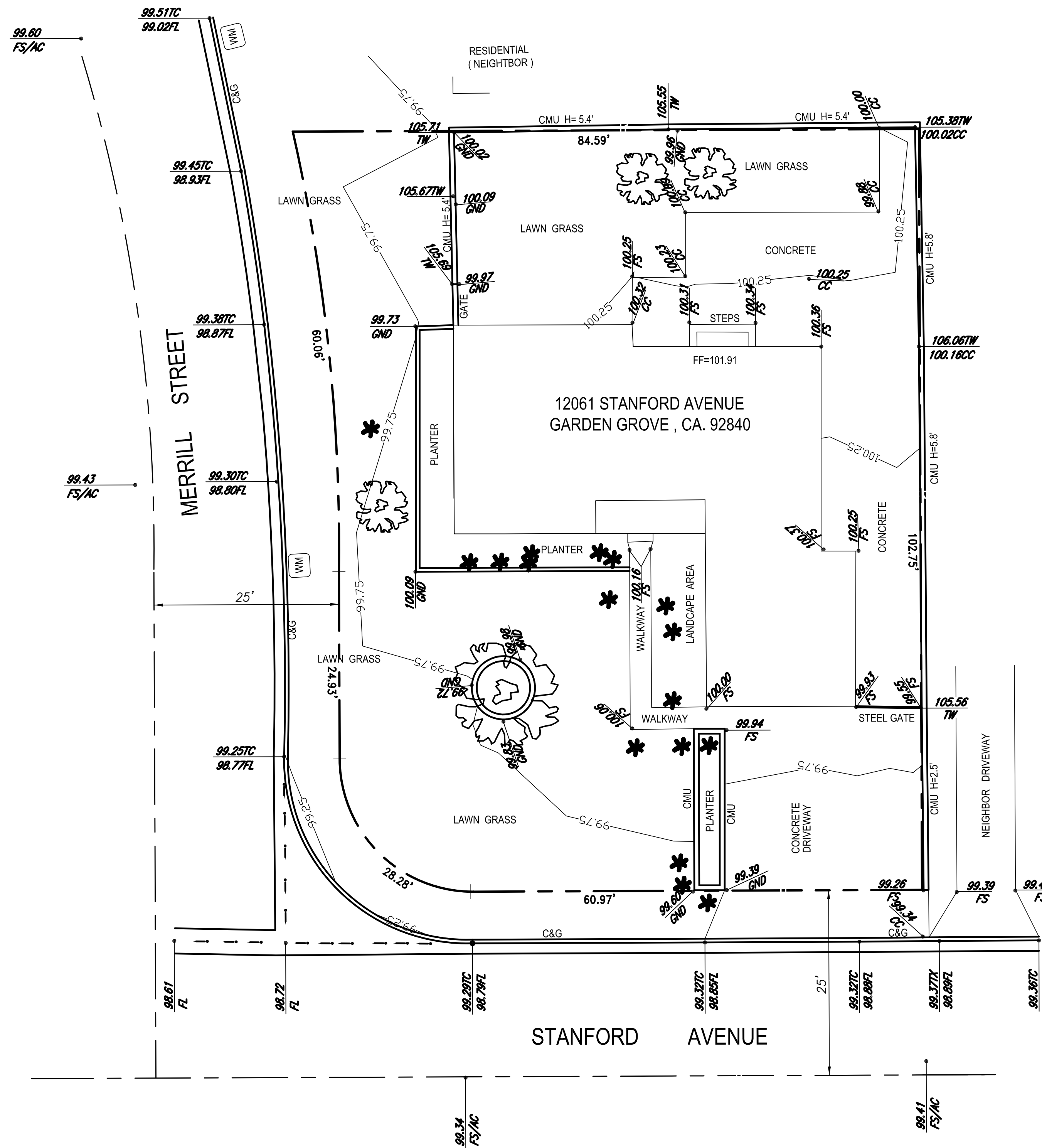
OWNER
JAIME HERMOSILLO
12061 STANFORD AVENUE
GARDEN GROVE, CA 92840

SOILS ENGINEER
HDNGEO
9877 CHAPMAN AVE, STE D-461
GARDEN GROVE, CA 92841

PLANS PREPARED FOR
JAIME HERMOSILLO
12061 STANFORD AVENUE
GARDEN GROVE, CA 92840

LIMITED TOPOGRAPHIC SURVEY

12061 STANFORD AVENUE
GARDEN GROVE, CA 92840



ABBREVIATIONS:

- AC - ASPHALT CONCRETE
- BLDG - BUILDING
- BW - BACK OF WALK
- CB - CATCH BASIN
- CC - CEMENT CONCRETE
- CL - CENTER LINE
- DWY - DRIVEWAY
- FF - FINISHED FLOOR ELEVATION
- FH - FIRE HYDRANT
- FS - FINISHED SURFACE ELEVATION
- INV - INVERT ELEVATION
- PL - PROPERTY LINE
- SLB - SIGNAL LIGHT BOX
- SLP - STREET LIGHT POLE
- SD - STORM DRAIN LINE
- SGN - STREET SIGN
- SS - SANITARY SEWER
- TC - TOP OF CURB ELEVATION
- TG - TOP OF GRATE
- TX - TOP OF CURB AT DWY
- WM - WATER METER
- WV - WATER VALVE

LEGEND:

- 100 — Existing Contour Line
- 100.25 Existing Elevation
- Ex. Structure
- Fire Hydrant
- Street Light
- Area Light
- Guywire
- Ex. Tree, Diameter 10"
- Asphalt Concrete
- Bricks
- — Property Line
- - - Centerline
- WM WATER METER
- S SEWER MANHOLE



APN: 231-382-09

DESIGNED BY GJD	DRAWN BY GJD	CHECKED BY GAD
PLANS PREPARED UNDER THE SUPERVISION OF GIL A. DIA		
DATE 01/18/22 R.C.E. NO. 26172		

NO.	DATE	BY	DESCRIPTION	APP'D

PLANS PREPARED BY
GAD ENGINEERING
532 E. 222nd Street
Carson, CA, 90745
Tel: (310) 753-2153

OWNER
JAIME HERMOSILLO
12061 STANFORD AVENUE
GARDEN GROVE, CA 92840

SOILS ENGINEER
HDNGEO
9877 CHAPMAN AVE, STE D-461
GARDEN GROVE, CA 92841

PLANS PREPARED FOR
JAIME HERMOSILLO
12061 STANFORD AVENUE
GARDEN GROVE, CA 92840

<p>CITY OF GARDEN GROVE</p> <p>LIMITED TOPOGRAPHIC SURVEY</p> <p>12061 STANFORD AVENUE</p> <p>GARDEN GROVE, CA 92840</p>
<p>DATE: 01/18/22</p> <p style="text-align: right;">SHEET 3 OF 3</p>