

EASEMENT NOTES:

- 1 AN EASEMENT FOR THE PURPOSE OF SEWER, PUMPING PLANT AND INCIDENTAL PURPOSES RECORDED ON TRACT MAP NO. 3557 AND PARCEL MAP BOOK 125, PAGE 7 OF OFFICIAL RECORDS. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREIN.
- 2 AN EASEMENT FOR THE PURPOSE OF SANITARY SEWERS RECORDED ON TRACT MAP NO. 3557 AND PARCEL MAP FILED IN BOOK 125, PAGE 7 OF OFFICIAL RECORDS. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREIN.
- 3 CONVENANTS, CONDITIONS AND RESTRICTIONS RECORDED OCTOBER 15, 1959, IN BOOK 4928, PAGE 285 AS INSTRUMENT NO. 170144, OF OFFICIAL RECORDS AND RE-RECORDED APRIL 12, 1960, IN BOOK 5191, PAGE 123 AS INSTRUMENT NO. 12202 OF OFFICIAL RECORDS AND MAY 21, 1965, IN BOOK 7929, PAGE 709 AS INSTRUMENT NO. 16724 OF OFFICIAL RECORDS. THIS ITEM IS BLANKET IN NATURE AND IS NOT PLOTTED HEREIN.
- 4 AN EASEMENT FOR THE PURPOSES OF A SANITARY SEWER PUMPING PLANT RECORDED OCTOBER 30, 1959, IN BOOK 4953, PAGE 17 AS INSTRUMENT NO. 180943 OF OFFICIAL RECORDS. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREIN.
- 5 AN EASEMENT FOR THE PURPOSES OF SANITARY SEWERS RECORDED OCTOBER 30, 1959, IN BOOK 4953, PAGE 23 AS INSTRUMENT NO. 180946 OF OFFICIAL RECORDS. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREIN.
- 6 AN EASEMENT FOR THE PURPOSES TO CONSTRUCT, USE, MAINTAIN, OPERATE, ADD TO, REPLACE, AND/OR REMOVE FACILITIES, CONSISTING OF POLES, CABLES, CROSSARMS, WIRES, ANCHORS, GUYS, BRACES, UNDERGROUND CONDUITS, MANHOLES AND APPURTENANCES, FOR THE TRANSMISSION OF ELECTRIC ENERGY FOR COMMUNICATION AND OTHER PURPOSES RECORDED DECEMBER 23, 1959, IN BOOK 5028, PAGE 433 AS INSTRUMENT NO. 213182 OF OFFICIAL RECORDS. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREIN.
- 7 AN EASEMENT FOR THE PURPOSES TO CONSTRUCT, USE, MAINTAIN, ALTER, ADD TO, REPAIR, REPLACE, AND/OR REMOVE, AN ELECTRIC LINE, CONSISTING OF POLES, NECESSARY GUYS AND ANCHORS, CROSS-ARMS, WIRES AND OTHER FIXTURES AND APPLIANCES, FOR CONVEYING ELECTRIC ENERGY TO BE USED FOR LIGHT, HEAT, POWER, TELEPHONE AND OR OTHER PURPOSES RECORDED DECEMBER 23, 1959, IN BOOK 5028, PAGE 527 AS INSTRUMENT NO. 213949 OF OFFICIAL RECORDS. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREIN.
- 8 AN EASEMENT FOR THE PURPOSE OF INGRESS AND EGRESS RECORDED AUGUST 3, 1979, IN BOOK 13256, PAGE 594 AS INSTRUMENT NO. 39833 OF OFFICIAL RECORDS AND RE-RECORDED OCTOBER 25, 1979, IN BOOK 13389, PAGE 1423 AS INSTRUMENT NO. 39833 OF OFFICIAL RECORDS. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREIN.
- 9 AN EASEMENT FOR THE PURPOSE OF A TWO FOOT BUILDING OVERHANG RECORDED AUGUST 16, 1979, IN BOOK 13272, PAGE 604 AS INSTRUMENT NO. 23107 OF OFFICIAL RECORDS. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREIN.



STATEMENT OF ENCROACHMENTS:

* THIS IS A LISTING OF OBSERVED ENCROACHMENTS THAT CROSS PROPERTY LINES. PERMIT OF OWNERSHIP OR POSSESSION IS NOT THE INTENT OF THIS LISTING.

- A CHAIN LINK FENCE (4.0' HIGH, 7.6' N. OF P.L.)
- ELECTRIC PANEL
- ELECTRIC PANEL (1 WIRE W. TO POWER POLE)
- MANHOLE (2.3' DIA.)
- RM = 29.02
- GENERATOR
- COVERED GRATE (3.4' DIA., TYP.)
- SEWER CLEAN OUT (0.8' DIA., TYP.)

BENCH MARK:

BENCH MARK NO. GG-E-15-72
STANDARD G.C. CENTERLINE MONUMENT AT THE CENTERLINE INTERSECTION OF CHAPMAN AVE. AND VALLEY VIEW ST. A HEXAGON BAR SET IN CONCRETE 1' BELOW THE SURFACE IN A CAPPED WELL.

BASIS OF BEARINGS:

THE BEARING NORTH 87°03'43" EAST BEING THE CENTERLINE OF LAURELTON AVENUE, AS SHOWN ON P.M.B. 125/7, RECORDED IN ORANGE COUNTY, IN THE CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

NOTE:

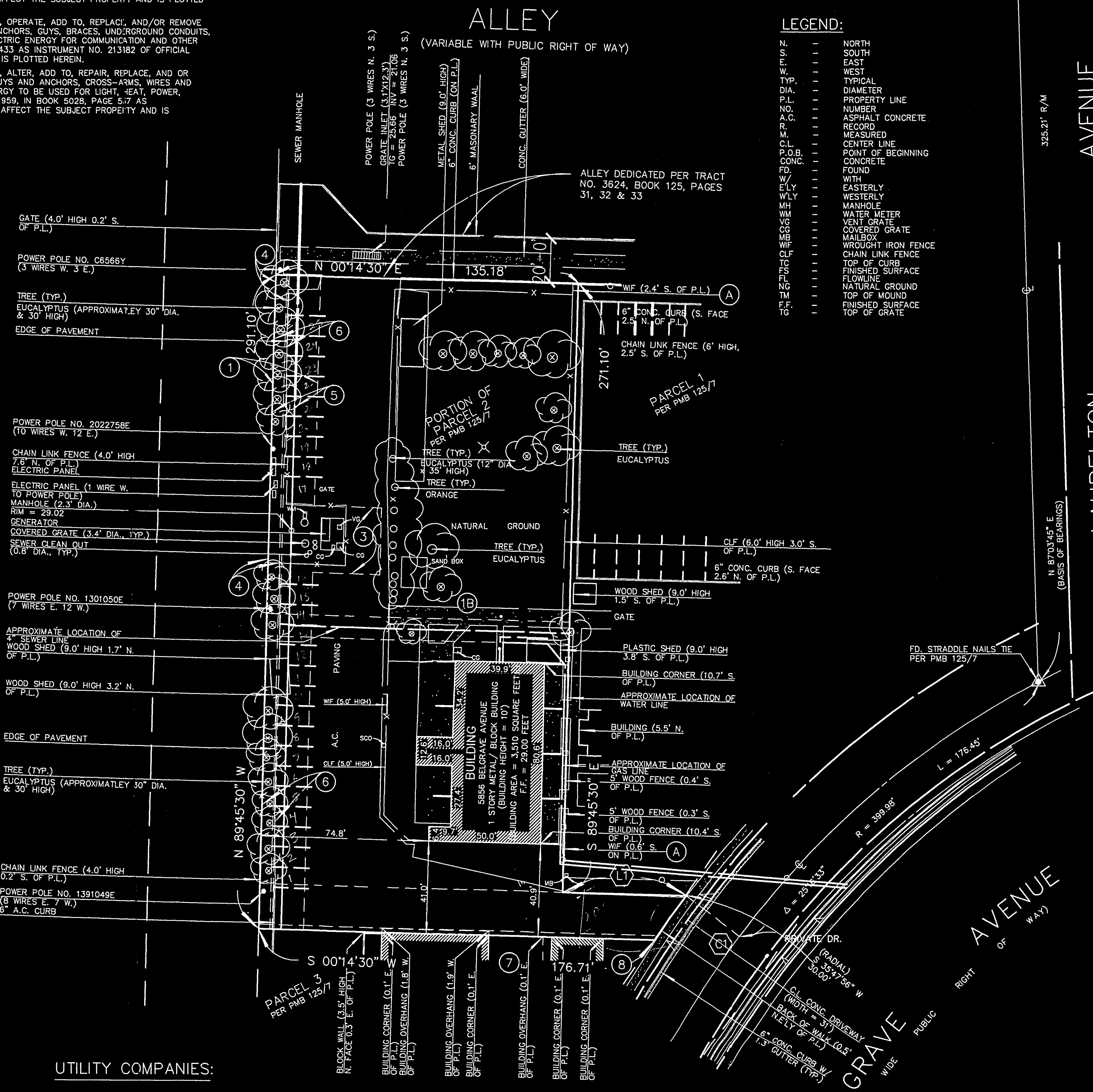
THERE WERE NO MONUMENTS FOUND OR SET AT THE PROPERTY LINE CORNERS UNLESS OTHERWISE NOTED.
THE INFORMATION COURSES AND DISTANCES SHOWN ON THIS SURVEY PRINT ARE TRUE AND CORRECT AND ACCURATELY REPRESENT THE BOUNDARIES AND AREA OF THE PREMISES.
THERE IS NO VISIBLE EVIDENCE OF CEMETERIES ON SUBJECT PROPERTY.
ALL MEASURED AND RECORD DIMENSIONS ARE THE SAME UNLESS NOTED OTHERWISE.
AT THE TIME OF SURVEY NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR ADDITIONS WERE OBSERVED.
NO RECENT CHANGES IN STREET RIGHTS-OF-WAY WERE OBSERVED AT THE TIME OF SURVEY.
NO VISIBLE EVIDENCE WAS OBSERVED THAT THE SITE IS BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL AT THE TIME OF SURVEY.

FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PLAN NO. 19-F-060220, WHICH BEARS AN EFFECTIVE DATE OF 6-14-00 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

UTILITY COMPANIES:

- 7 AN EASEMENT FOR THE PURPOSE OF INGRESS AND EGRESS RECORDED AUGUST 3, 1979, IN BOOK 13256, PAGE 594 AS INSTRUMENT NO. 39833 OF OFFICIAL RECORDS AND RE-RECORDED OCTOBER 25, 1979, IN BOOK 13389, PAGE 1423 AS INSTRUMENT NO. 39833 OF OFFICIAL RECORDS. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREIN.
- 8 AN EASEMENT FOR THE PURPOSE OF A TWO FOOT BUILDING OVERHANG RECORDED AUGUST 16, 1979, IN BOOK 13272, PAGE 604 AS INSTRUMENT NO. 23107 OF OFFICIAL RECORDS. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREIN.



LEGEND:

- N. NORTH
- S. SOUTH
- E. EAST
- W. WEST
- TYP. TYPICAL
- DIA. DIAMETER
- P.L. PROPERTY LINE
- NO. NUMBER
- A.C. ASPHALT CONCRETE
- R. RECORD
- M. MEASURED
- C.L. CENTER LINE
- P.O.B. POINT OF BEGINNING
- CONC. CONCRETE
- FD. FOUND
- W. WITH
- E. EASTERLY
- W. WESTERLY
- M. MANHOLE
- W. WATER METER
- V. VENT GRATE
- C. COVERED GRATE
- M. MAILBOX
- W. WROUGHT IRON FENCE
- C. CHAIN LINK FENCE
- T. TOP OF CURB
- F. FINISHED SURFACE
- N. NATURAL GROUND
- T. TOP OF MOUND
- F. FINISHED SURFACE
- T. TOP OF GRADE

SITE RESTRICTIONS:

- SETBACK:
- FRONT - 20'
 - SIDE - 5'
 - REAR - 20% OF LOT DEPTH OR 25' WHICHEVER IS LESS
- HEIGHT:
- 2 STORY OR 35'
 - BULK - 50%
 - ZONE - R-1-6 (SINGLE FAMILY RES.)
 - PARKING - 2:1:2 PER DWELLING

LAND AREA:

40,312.84 SQUARE FEET
0.93 ACRES

PARKING STALLS:

25 STANDARD STALLS
0 HANDICAP STALLS

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF ORANGE, AND IS DESCRIBED AS FOLLOWS:

PARCEL 2, IN THE CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 125 PAGE 7 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THEREFROM THAT PORTION OF SAID PARCEL 2 LYING WITHIN AN ALLEY AS DEDICATED PER TRACT NO. 3624, AS PER MAP RECORDED IN BOOK 125, PAGES 31, 32 & 33 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THEREFROM ONE-HALF OF ALL MINERALS, GAS, OILS, PETROLEUM, NAPHTHA AND ALL OTHER HYDROCARBON SUBSTANCES IN OR UNDER SAID LAND, WITH ALL NECESSARY RIGHTS IN CONNECTION WITH THE DEVELOPMENT THEREOF, AS RESERVED IN THE DEED FROM THE ESTATE OF SUSANNA BIXBY BRYANT, DECEASED, RECORDED JUNE 28, 1947, IN BOOK 1535, PAGE 97, OFFICIAL RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BY QUITCLAIM DEED RECORDED JULY 13, 1958, IN BOOK 4795, PAGE 522, OFFICIAL RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID ORANGE COUNTY, ALL INTEREST AND RIGHTS WERE RELINQUISHED ABOVE A DEPTH OF 500 FEET FROM THE SURFACE THEREOF.

CURVE DATA:

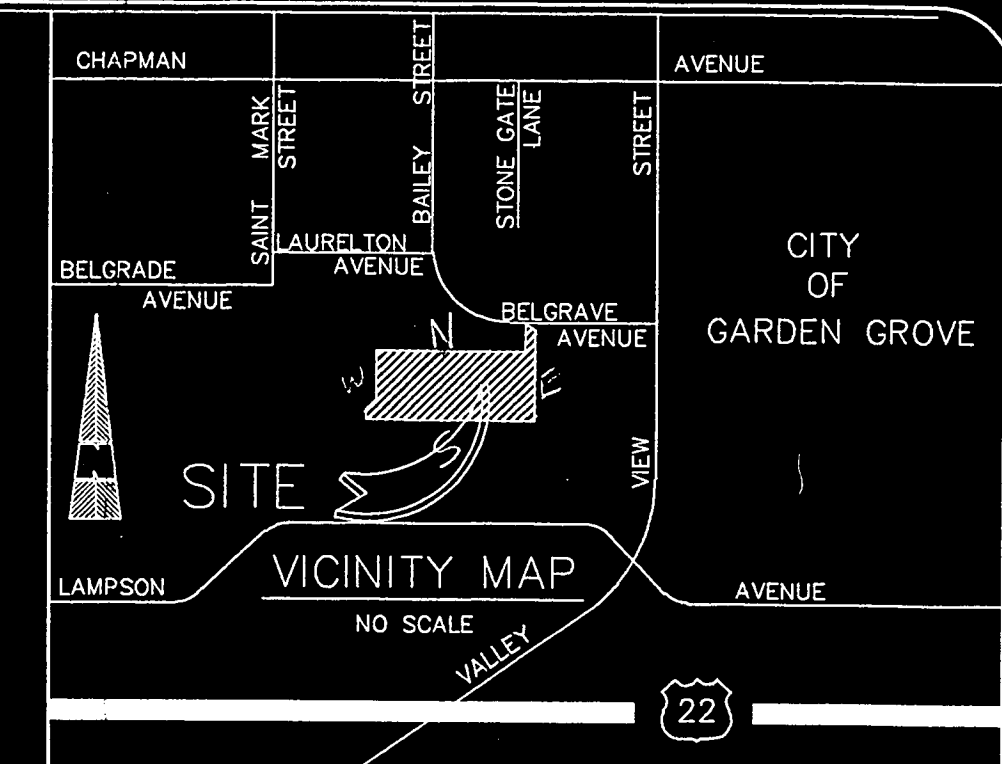
C1 Δ = 03°12'48"
R = 429.98'
L = 24.11'

LINE DATA:

L1 N 00°14'30" E 55.00'

UTILITY NOTE:

BASED ON VISUAL OBSERVATION, THE SUBJECT SITE IS SERVICED BY ALL THE NECESSARY UTILITIES REQUIRED TO MAINTAIN NORMAL OPERATION.



ACCEPTED AND APPROVED FOR CONSTRUCTION	
OWNER	DATE
TENANT	DATE
CONTRACTOR	DATE

REVISIONS	
NO.	DESCRIPTION

O.K.O. ENGINEERING INC.
CIVIL ENGINEERS/SURVEYORS/STRUCTURAL/ & CAD SPECIALISTS
23671 BIRCHER DRIVE LAKE FOREST, CALIFORNIA 92650
949/597-3577
FAX 949/597-3579

EXISTING FACILITIES PLAN	
DATE	SCALE
3-06-02	1"=30'
DRAWN	C.A.
CHECKED	D.J.M.
SHEET NO. 1 OF 1	

SP-306-02
CUP-594-02

PROJECT SUMMARY :

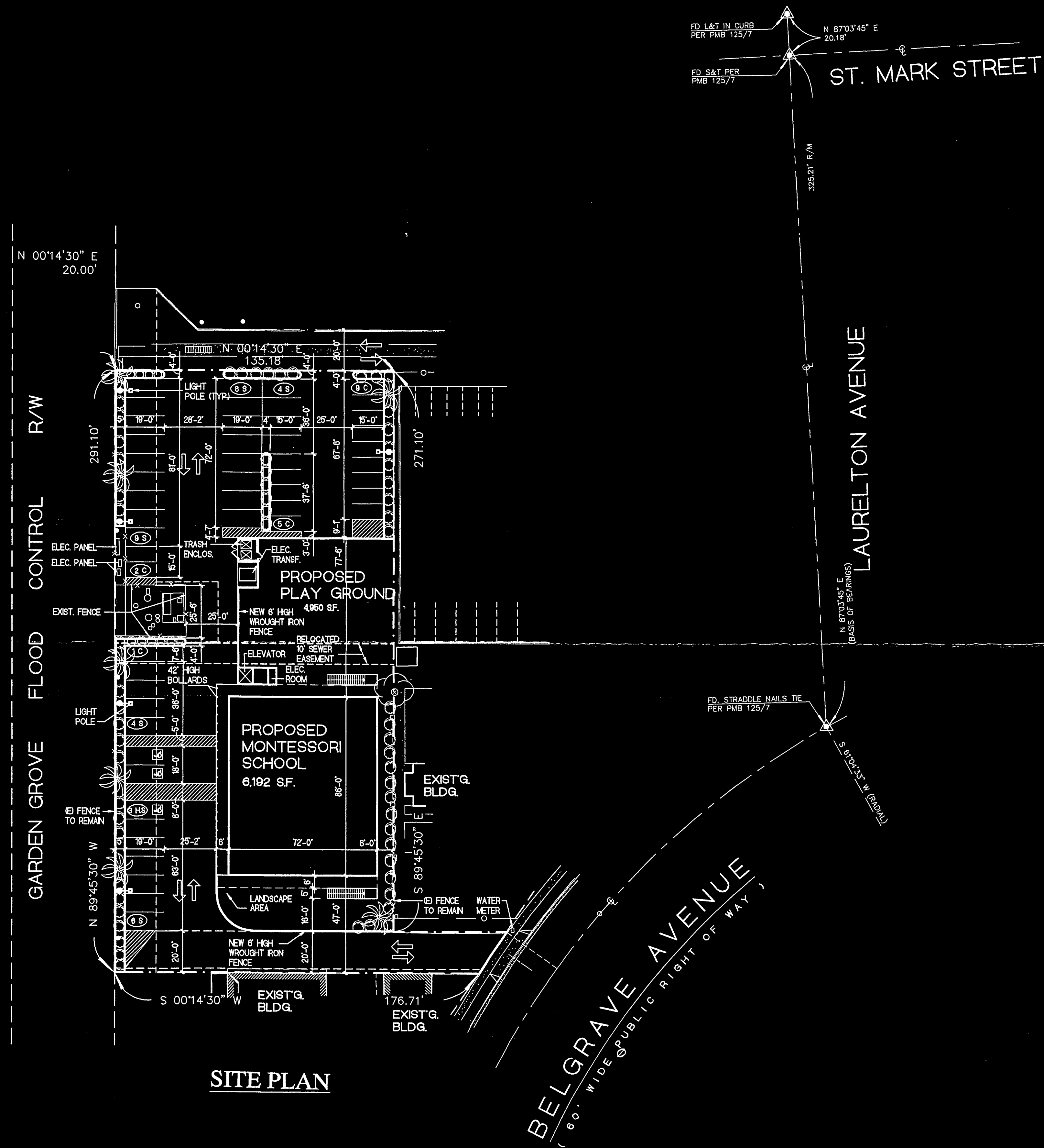
SITE AREA : = 40,312.84 SQ. FT.
 PARKING AREA INCLUDING DRIVES : = 22,894 SQ. FT.
 LANDSCAPE AREA (14 % OF PARKING) : = 3,200 SQ. FT.

BUILDING AREA :

EXTERIOR BALCONY, STAIRS AND ELEVATOR FACILITY = 1,953 SQ. FT.
 FIRST FLOOR = 6,192 SQ. FT.
 SECOND FLOOR = 6,104 SQ. FT.
 TOTAL BUILDING = 14,249 SQ. FT.

PARKING :

210 STUDENTS ÷ 6 =	35 STALLS
16 STAFFS ÷ 1 =	16 STALLS
TOTAL PARKING REQUIRED :	51 STALLS
PARKING PROVIDED	STANDARD 31 STALLS
	COMPACT 17 STALLS
	HANDICAP 3 STALLS
TOTAL PARKING PROVIDED :	51 STALLS



SITE PLAN

MONTESSORI GREENHOUSE SCHOOL

5856 BELGRAVE AVENUE
 GARDEN GROVE, CALIFORNIA



Architecture, Planning, Interiors
 3700 CAMPUS DR. SUITE 200
 NEWPORT BEACH, CA 92660
 TEL: (949) 899-3240
 FAX: (949) 899-3499
 E-MAIL: KP@PETROBRAS.SOC.COM

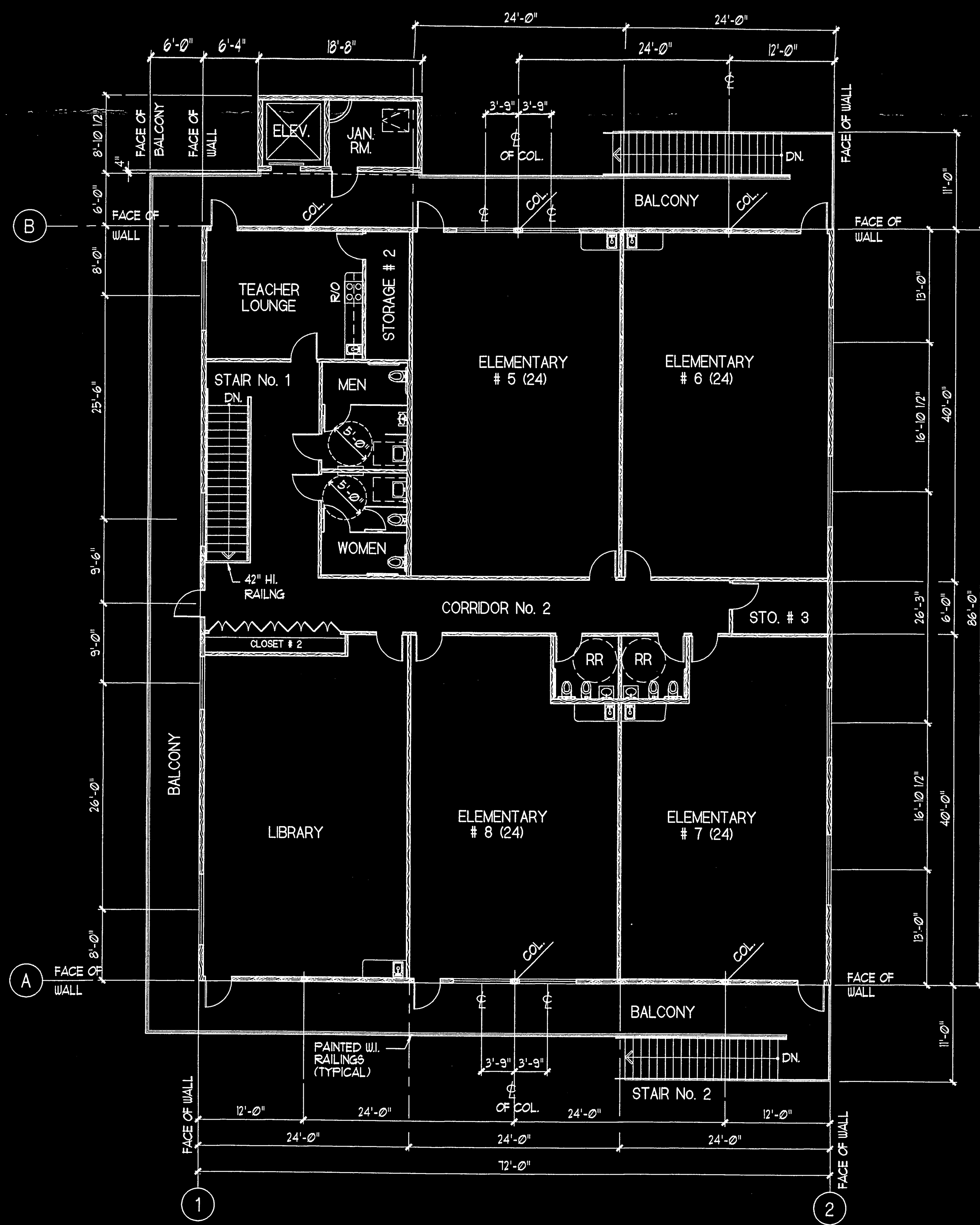


SCALE = 1" = 30'-0"

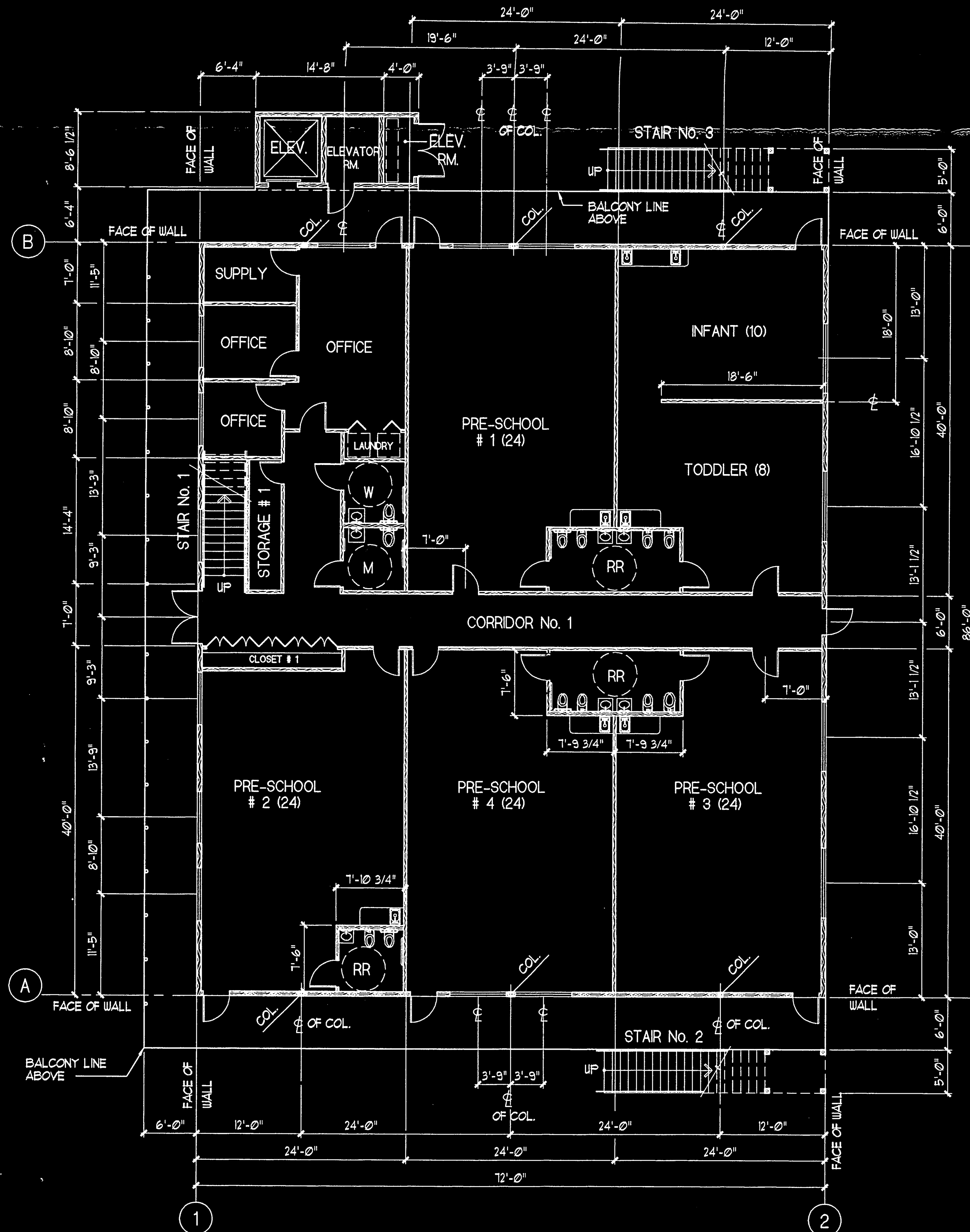
SP-306-02

A-1

1-29-2002



SECOND FLOOR LAYOUT
 1/8" = 1'-0"
 SCH2-FL6



FIRST FLOOR LAYOUT
 1/8" = 1'-0"
 SCH2-FL5

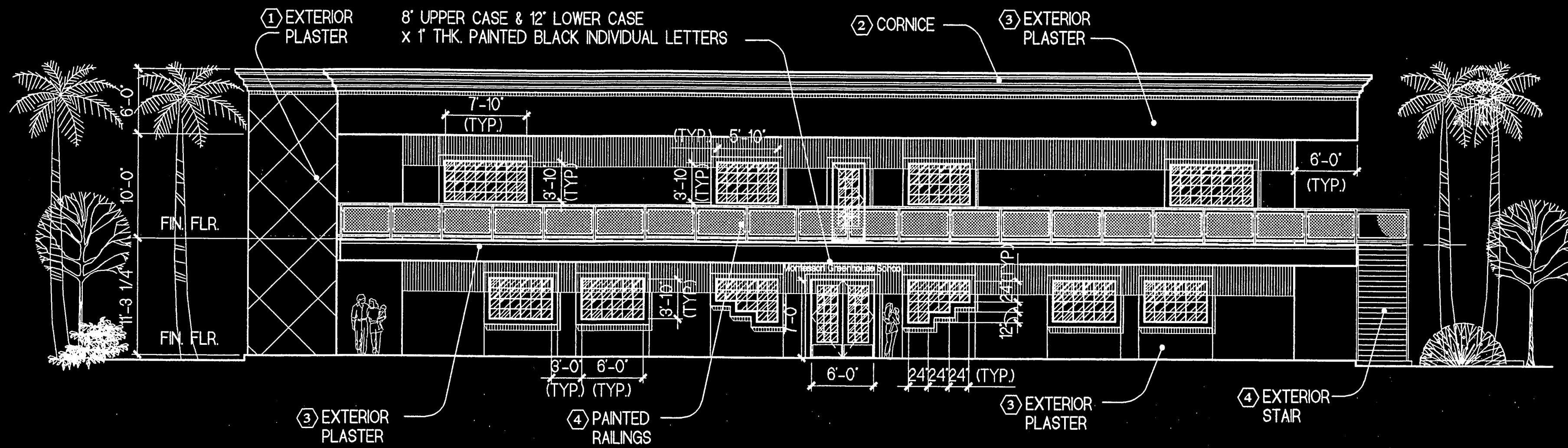
MONTESSORI GREENHOUSE SCHOOL

5856 BELGRAVE AVENUE
 GARDEN GROVE, CALIFORNIA

DESIGNED BY
Petrocci
 AND ASSOCIATES
 Architecture, Planning, Interiors
 370 CAMPUS DR. SUITE 200
 NEWPORT BEACH, CA 92660
 TEL. (949) 833-3240
 FAX (949) 833-1145
 E-MAIL: HP@PETROSSASSOC.COM



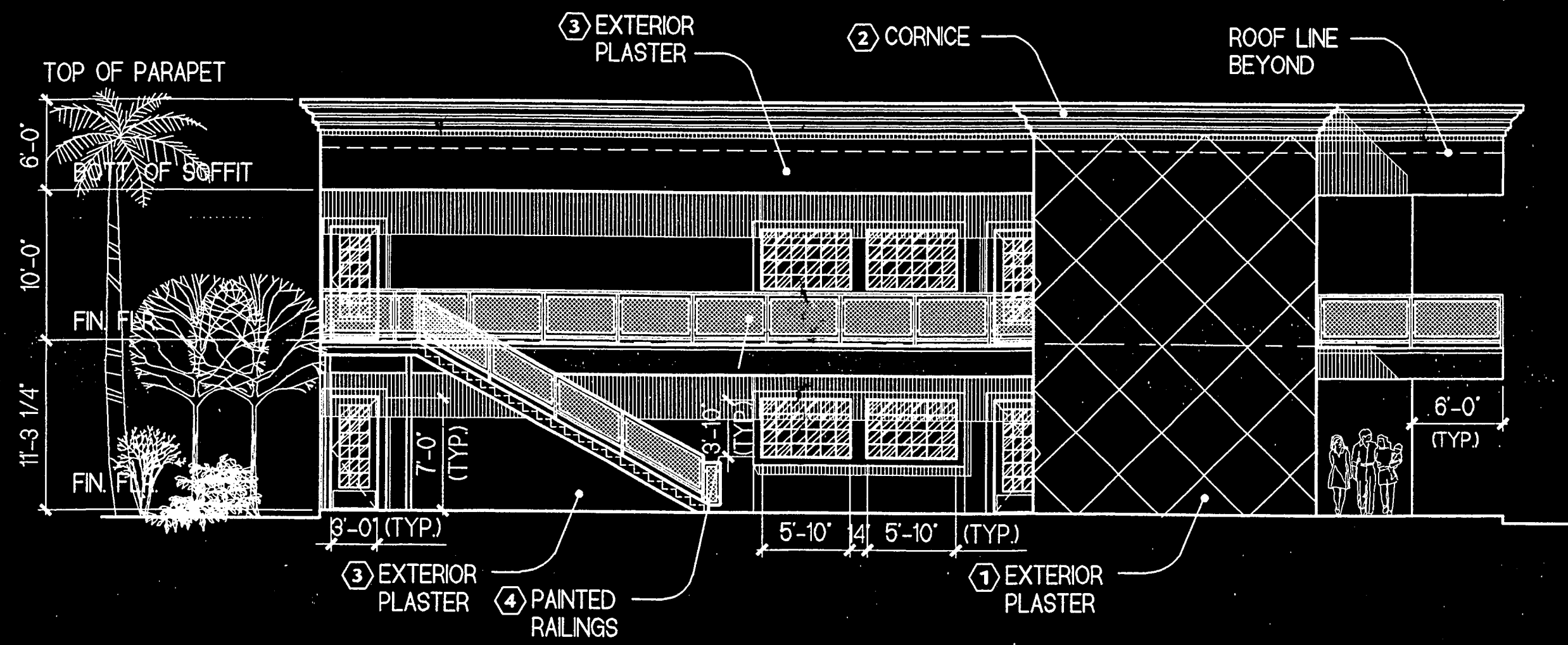
SP.306.02



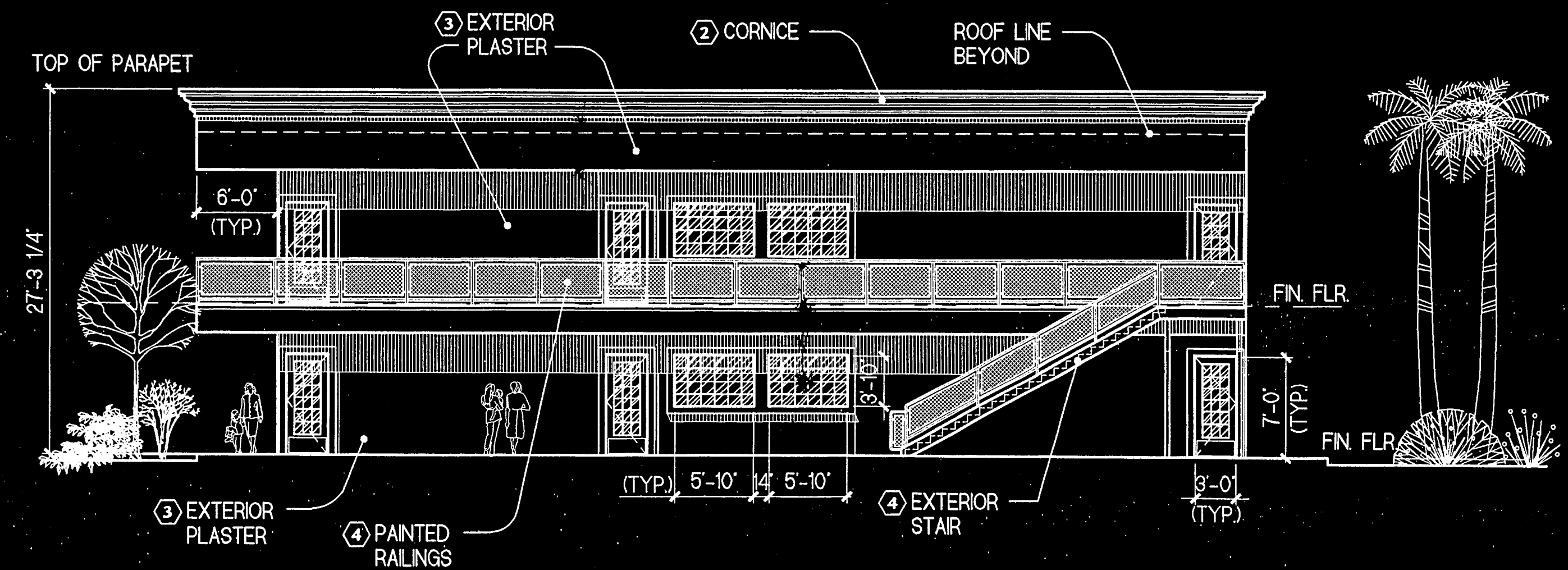
SOUTH ELEVATION
1/8" = 1'-0" EL-S

EXTERIOR FINISH SCHEDULE

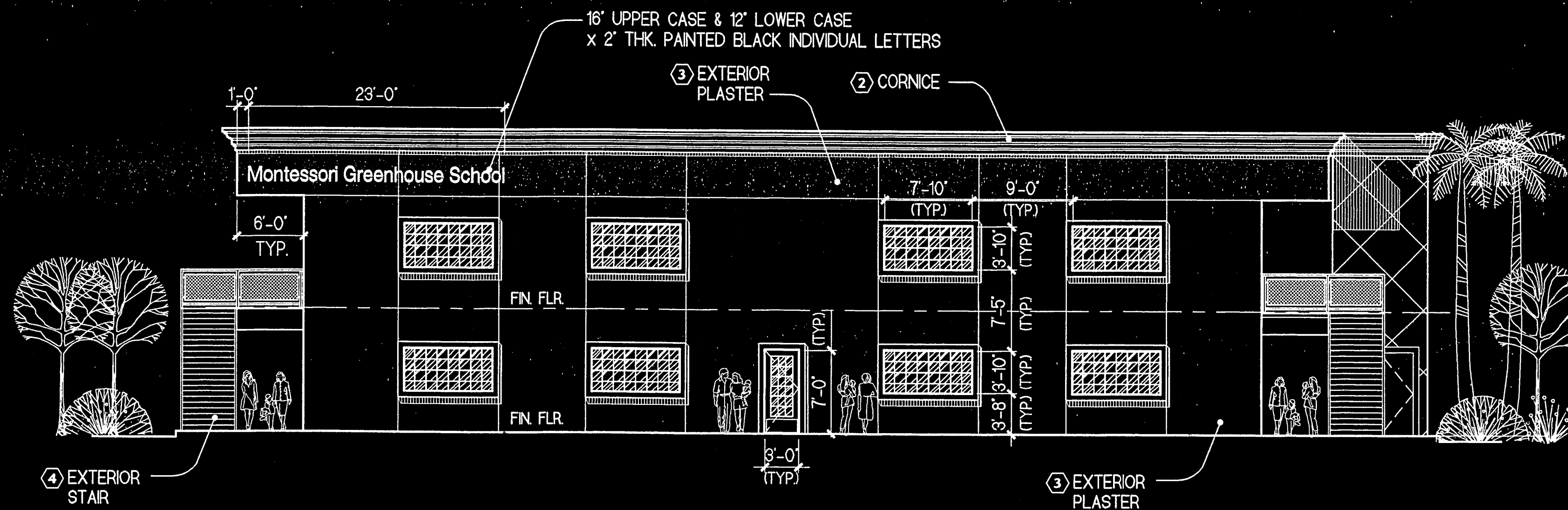
- ① EXTERIOR PLASTER- 7814D, HONEYSUCKLE BY ACCENT COLOR FRAZEE PAINT
- ② CORNICE- 7801W, STRATA BEIGE BY FRAZEE PAINT
- ③ EXTERIOR PLASTER- 7800W, IVORY POWDER BY FELD COLOR FRAZEE PAINT
- ④ EXTERIOR STAIRS- AND RAILINGS AC144N, BLACK DECCO BY FRAZEE PAINT



WEST ELEVATION
1/8" = 1'-0" EL-W



EAST ELEVATION
1/8" = 1'-0" EL-E



NORTH ELEVATION
1/8" = 1'-0" EL-N

MONTESSORI GREENHOUSE SCHOOL

5856 BELGRAVE AVENUE
GARDEN GROVE, CALIFORNIA



DESIGNED BY
Petrocci
AND ASSOCIATES
Architecture, Planning, Interiors
3700 CAMPUS DR., SUITE 200
NEWPORT BEACH, CA 92660
TEL. (949) 853-3240
FAX (949) 853-1145
E-MAIL: HP@PETROCCIBASIS.COM

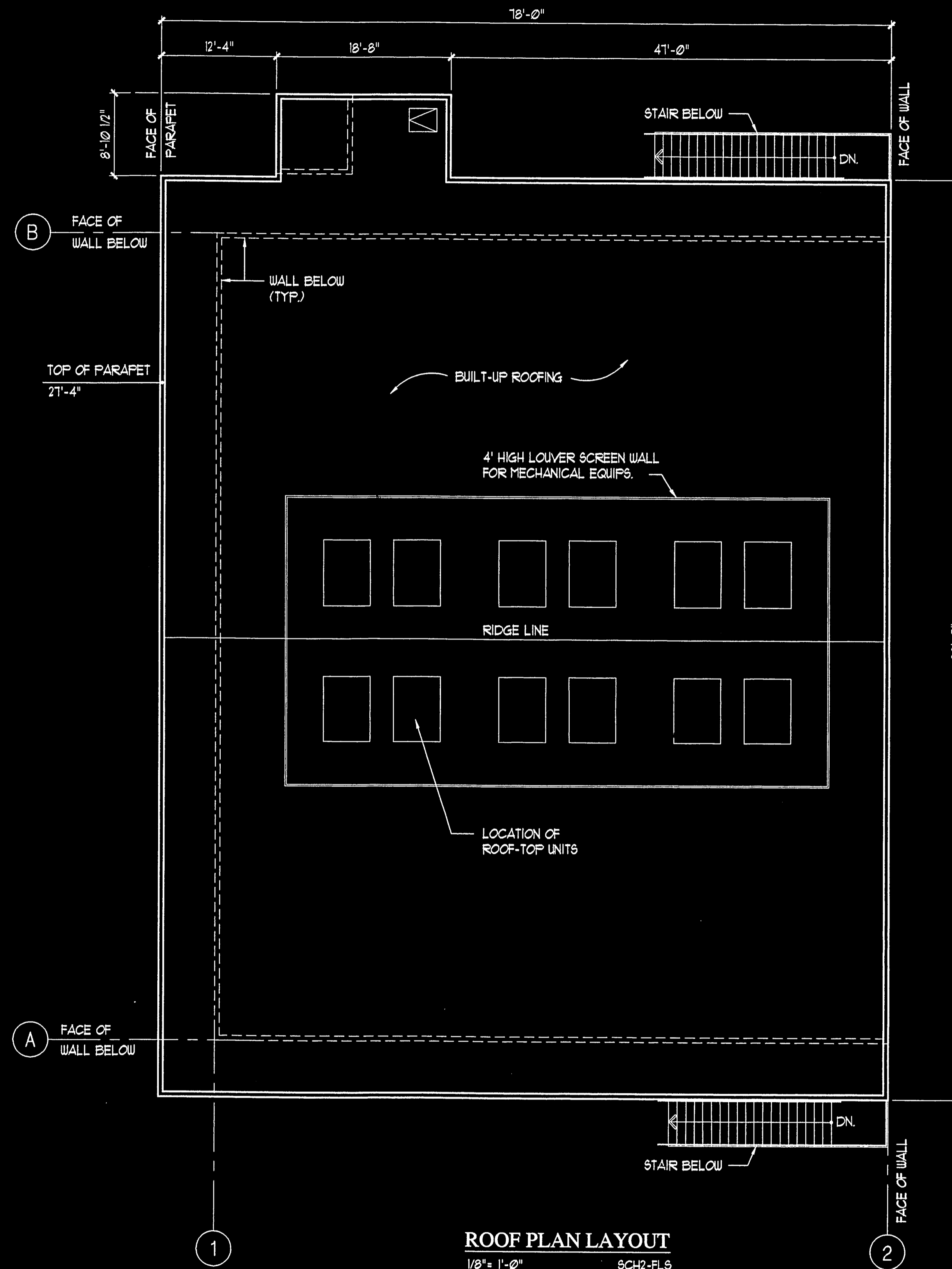


NORTH

SP. 306.02

A-3

1-29-2002



ROOF PLAN LAYOUT
 1/8" = 1'-0" SCH2-FL9

MONTESSORI GREENHOUSE SCHOOL



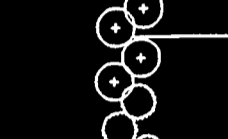


5856 BELGRAVE AVENUE
 GARDEN GROVE, CALIFORNIA



DESIGNED BY
Petrocci
 AND ASSOCIATES
 Architecture, Planning, Interiors
 300 CAMPUS DR. SUITE 200
 NEWPORT BEACH, CA 92660
 TEL. (949) 833-3240
 FAX (949) 833-1446
 E-MAIL: HP@PETROCCIASSOC.COM

SP-306.02

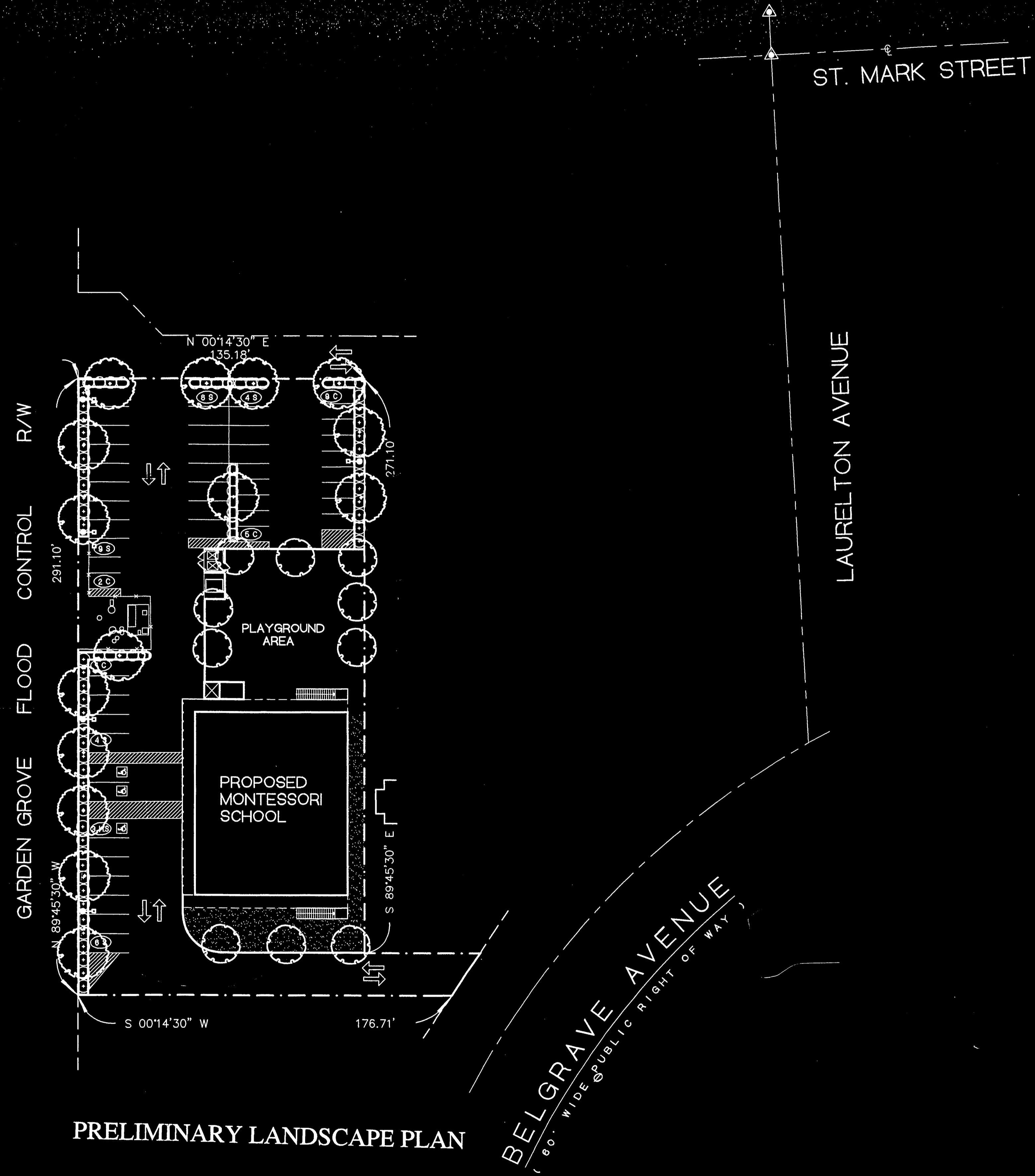
LANDSCAPE LEGEND

-  EVERGREEN THEME TREE
18 GALLON TRISTANIA CONFERTA (BRISBANE BOX)
-  FLOWERING ACCENT TREE
24" LAGERSTROEMIA INDICA (GRAPE MYRTLE)
-  EVERGREEN SCREEN SHRUB
5 GALLON PHOTINA FRASERI (PHOTINIA)
-  FLOWERING EVERGREEN SHRUB
5 GALLON RAPHILOLEPIS INDICA (INDIA HAWTHORN)
-  TURF AREA
HYDROSEEDDED TURF

GENERAL NOTES:

1. ALL LANDSCAPED AREAS TO BE IRRIGATED BY AN AUTOMATIC SYSTEM CONFORMING TO THE CITY OF GARDEN GROVE REQUIREMENTS OUTLINED IN ARTICLE IV, LANDSCAPING OF THE DEVELOPMENT STANDARDS.

ALL LANDSCAPE AREAS TO BE PLANTED WITH THE GROUND COVER FEDERA HELIX 'HAHN' UNLESS OTHERWISE DENOTED ON PLAN.



PRELIMINARY LANDSCAPE PLAN

MONTESSORI GREENHOUSE SCHOOL

5856 BELGRAVE AVENUE
GARDEN GROVE, CALIFORNIA



Architecture, Planning, Interiors
570 CAMPUS DR. SUITE 200
NEWPORT BEACH, CA 92660
TEL: (949) 853-3240
FAX: (949) 852-7465
E-MAIL: HP@PETROSSASSOCI.COM



SCALE = 1" = 30'-0"

L-1

1-29-2002

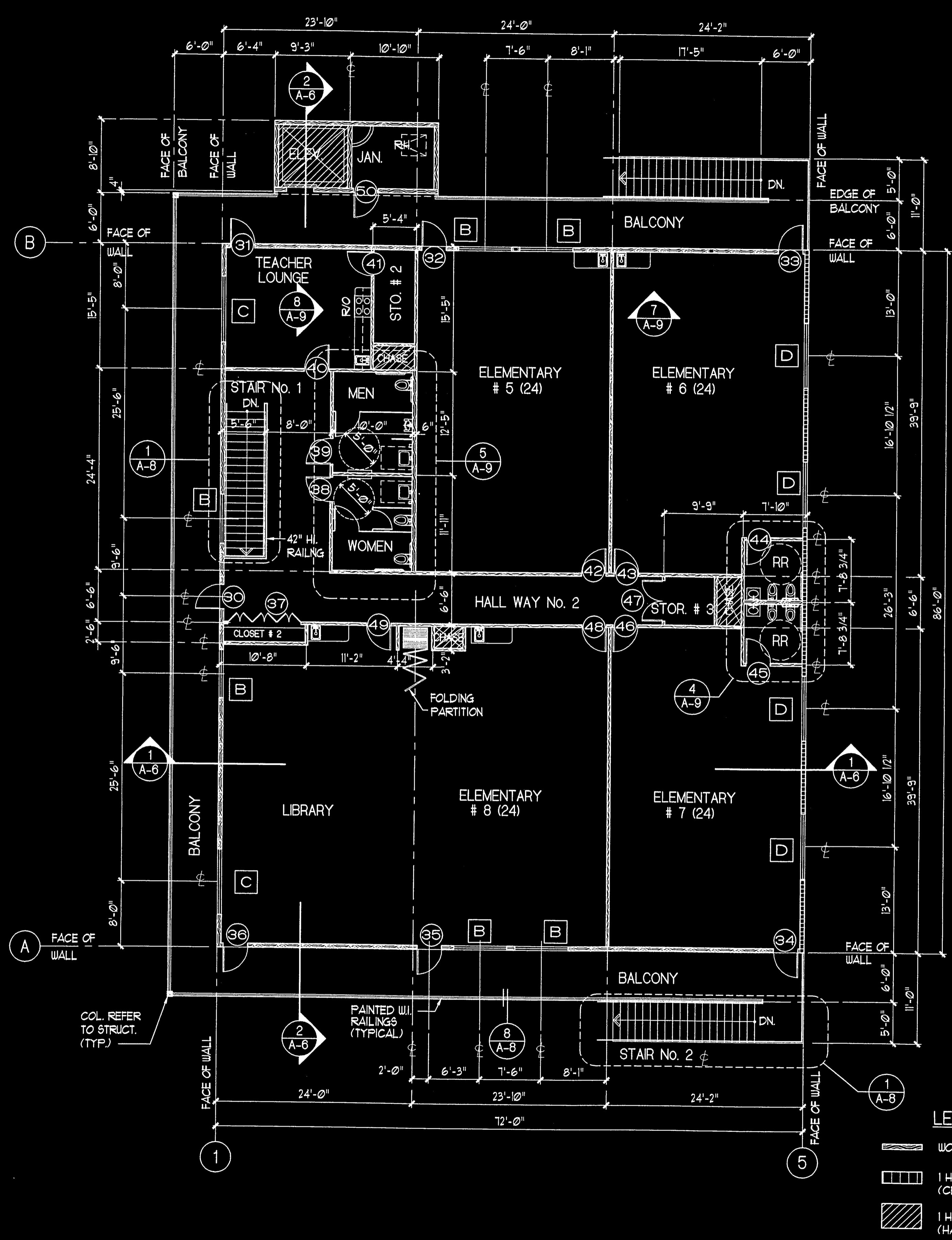
SP. 306.02

JPA
JOHN PETERS & ASSOCIATES
310 C STREET SUITE B
TUSTIN, CA 92780-3633
(970) 626-9887

REVISIONS:	DATE:

DESIGNED BY
Petrossi
 ARCHITECTS
 Architecture, Planning, Interiors
 3000 CAMPUS DRIVE SUITE 200
 NEWPORT BEACH, CA 92660
 TEL: (949) 883-3240
 FAX: (949) 883-1448
 E-MAIL: HP@PETROSSIASSOC.COM

PROJECT
MONTESSORI GREENHOUSE SCHOOL
 5856 BELGRAVE AVENUE
 GARDEN GROVE, CALIFORNIA

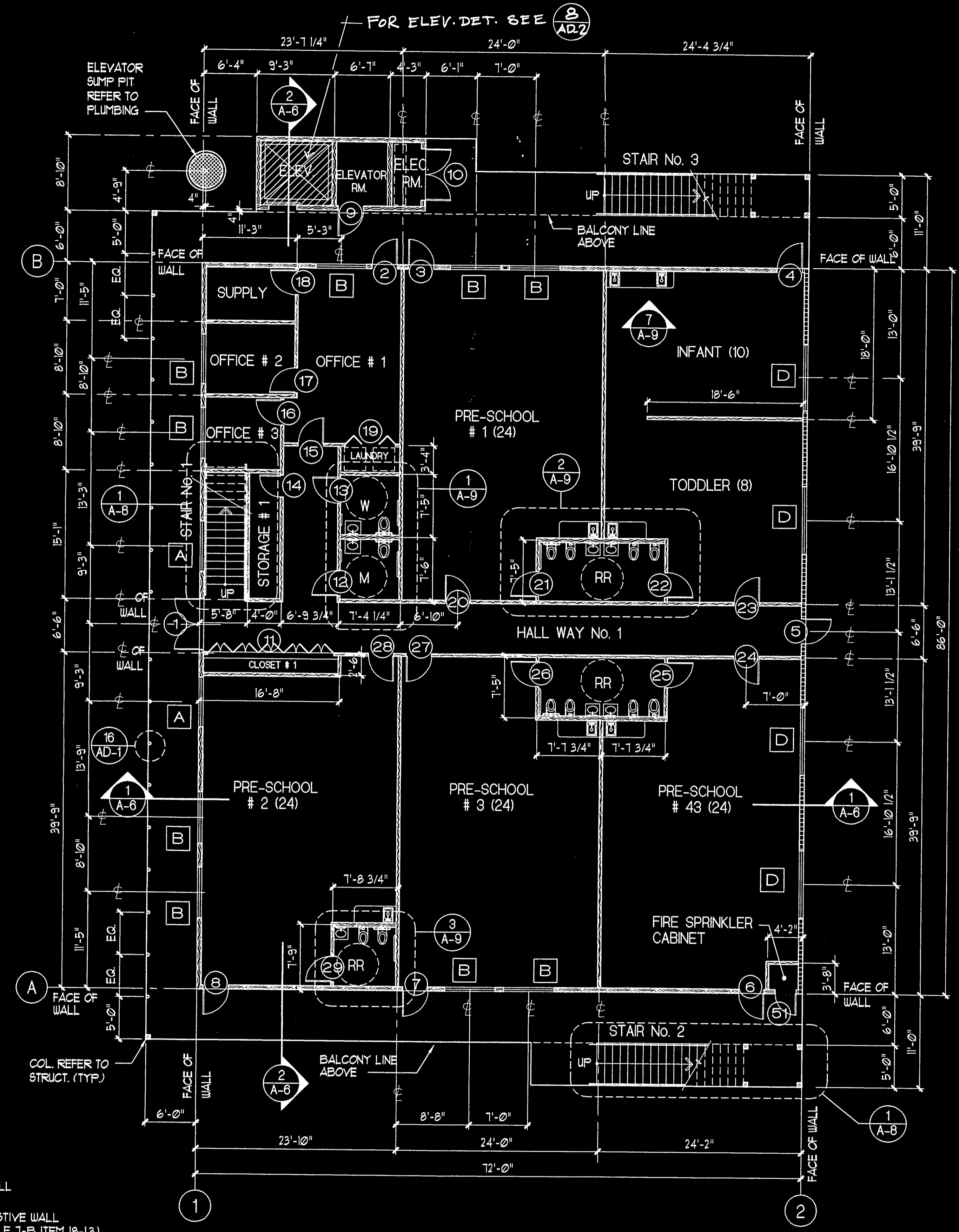


SECOND FLOOR PLAN
 1/8" = 1'-0"
 2ND FLR



- LEGENDS:**
- WOOD STUD WALL
 - 1 HR FIRE RESISTIVE WALL
(CBC 1998 TABLE 7-B ITEM 18-13)
 - 1 HR FIRE RATED SHAFTS
(HATCHED AREA)

- NOTES:**
1. PENETRATIONS OF FIRE-RESISTIVE WALLS, ETC. SHALL BE PROTECTED AS REQUIRED IN UBC, SEC. 109 & 110
 2. ANY THROUGH OR MEMBRANE PENETRATIONS SHALL BE COMPLY WITH UBC STANDARD 1-1



FIRST FLOOR PLAN
 1/8" = 1'-0"
 1ST FLR



SP.306.02

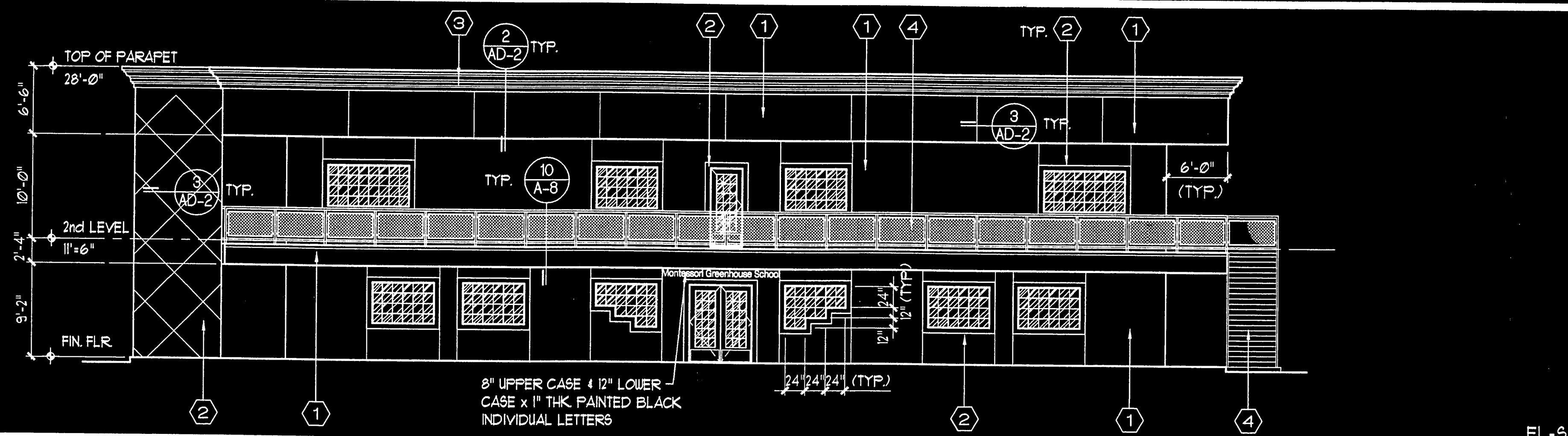
DRAWING:
FIRST AND SECOND FLOOR PLANS

CHECKED BY:
 DATE: 3-20-2003

ISSUED FOR:
 REVIEW
 PLAN CHECK
 BIDDING
 PERMIT
 CONSTRUCTION
 DRAWN BY

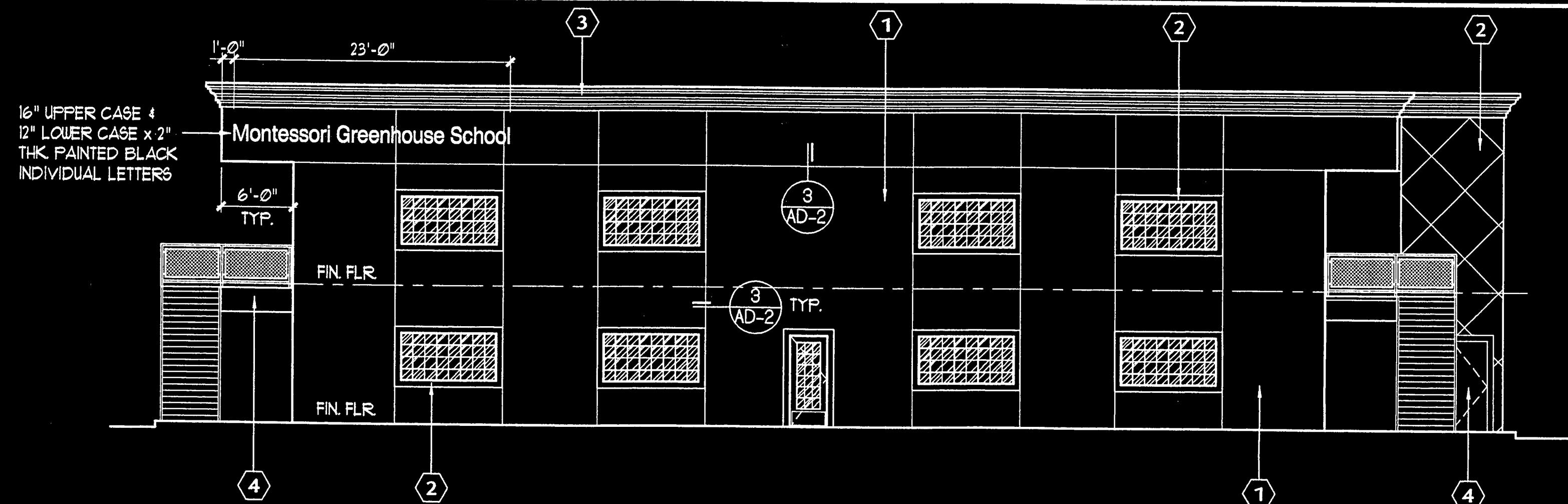
SHEET NO.
A-2

CADFILE: GG-A2-FLR3
 JOB NO: 151P-1001



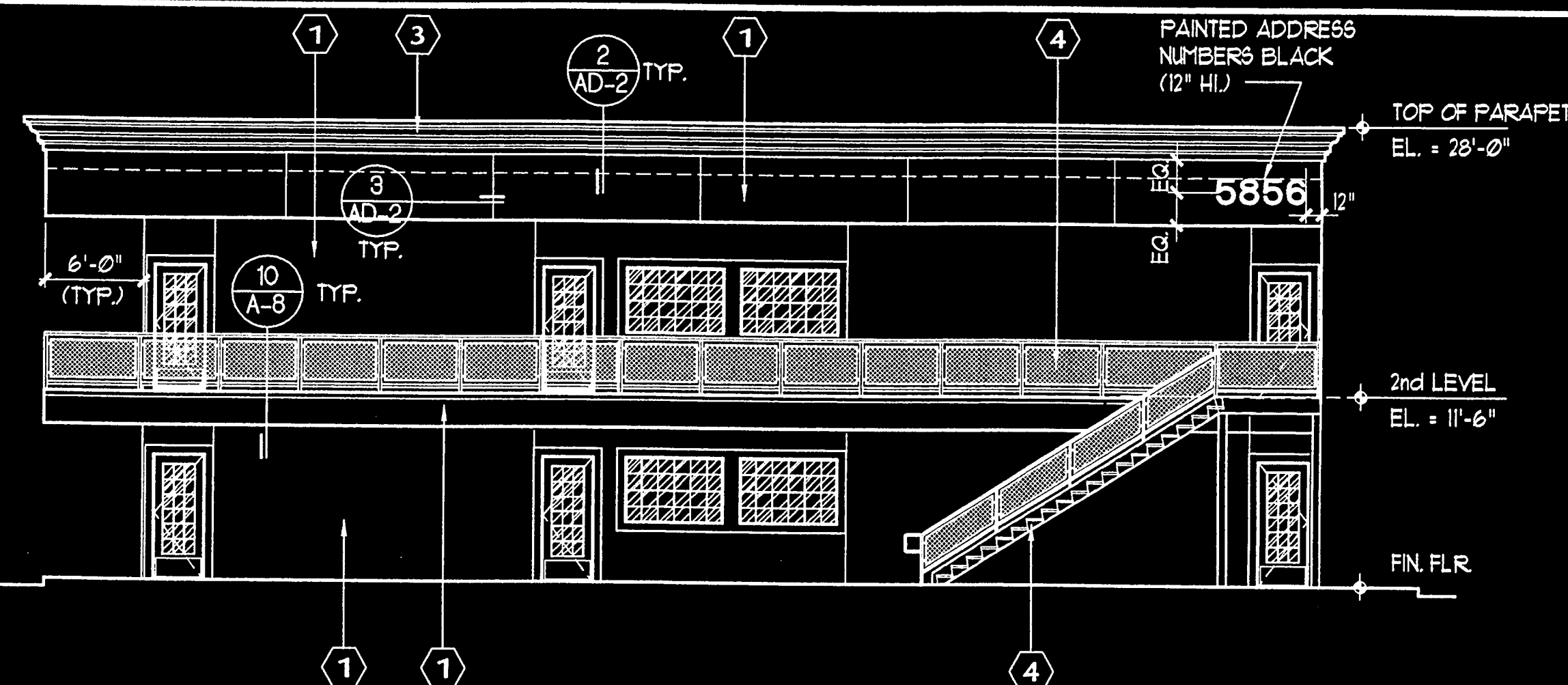
SOUTH ELEVATION

1/8" = 1'-0" 1



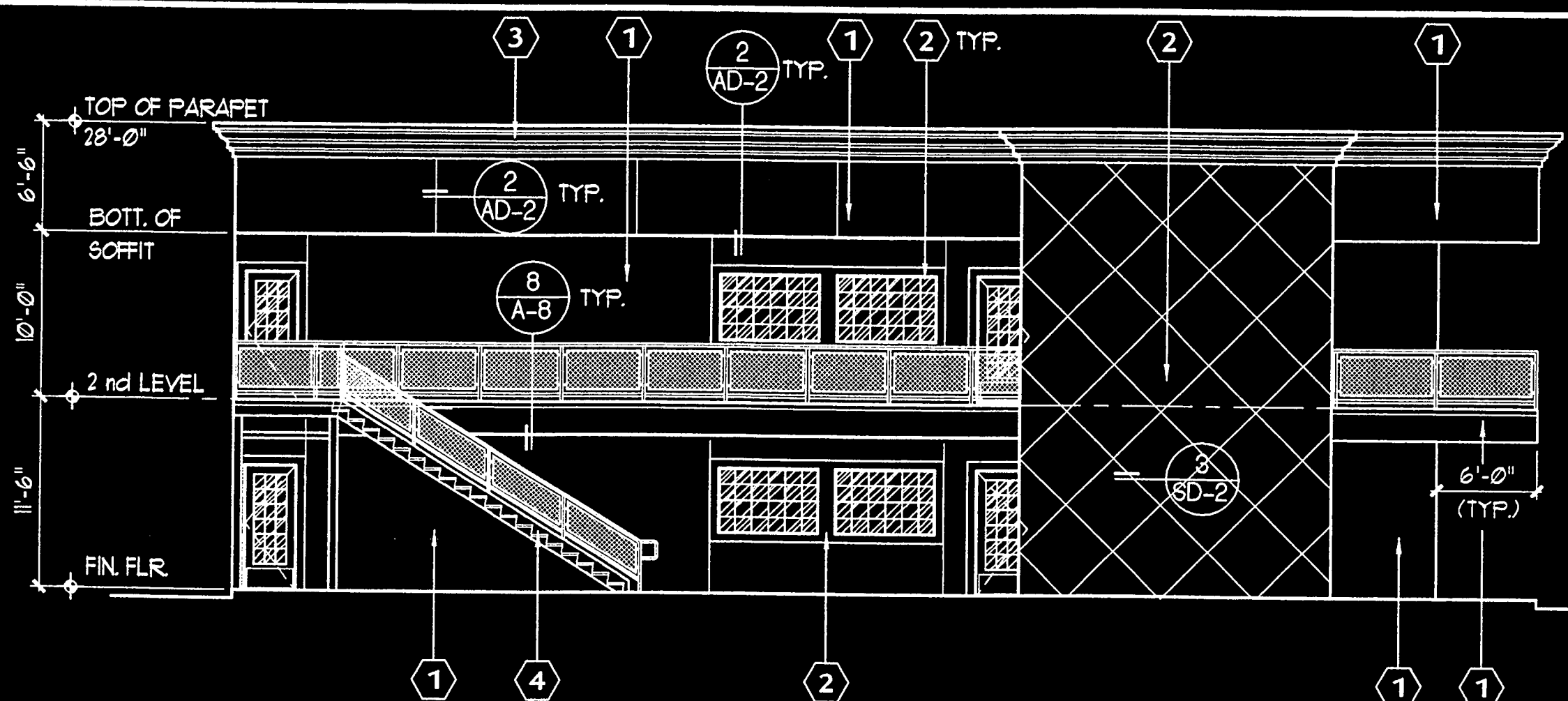
WEST ELEVATION

1/8" = 1'-0" 2



EAST ELEVATION

1/8" = 1'-0" 3



NORTH ELEVATION

1/8" = 1'-0" 4

- 1 EXTERIOR PLASTER FINISH :
EXTERIOR CEMENT PLASTER WITH INTEGRAL COLOR BY LA HABRA TO MATCH FRAZEE " 1014d HONEY SUCKLE" WITH MEDIUM MACHINE APPLIED FINISH. APPLY MONOCHEM AQUASEAL WATERPROOFING SYSTEM. SEE NOTE BELOW
- 2 EXTERIOR PLASTER FINISH :
EXTERIOR CEMENT PLASTER WITH INTEGRAL COLOR BY LA HABRA TO MATCH FRAZEE " 1000W IVORY POWDER" WITH MEDIUM MACHINE APPLIED FINISH. APPLY MONOCHEM AQUASEAL WATERPROOFING SYSTEM. SEE NOTE BELOW
- 3 CROWN MOLDING :
"ADVANCE FOAM" # 140 (HEIGHT = 18"), USING METHOD EXTERIOR INSULATION FINISH SYSTEM (EIFS) PER MANUFACTURER'S SPECIFICATIONS. PAINT WITH FRAZEE " STRATA BEIGE " # 1001W.
- 4 EXTERIOR STAIRS , RAILINGS AND METAL DOORS AND MISCELLANEOUS METAL :
PRIMED AND PAINTED WITH SEMI-GLOSS ENAMEL BY FRAZEE " AC144N " BLACK DECCO.
- 5 EXTERIOR LIGHT FIXTURE :
LIGHT FIXTURE REFER TO ELECTRICAL DUGS.
- 6 CONCRETE SIDEWALK :
LIGHT BROOM CONCRETE FINISH W/ 2" SMOOTH BORDER

FINISH NOTES :
MONOCHEM AQUASEAL WATERPROOFING SYSTEM :
APPLY PER MANUFACTURER SPECIFICATIONS
PROVIDE A 4' SQ. SAMPLE MOCK-UP IN FIELD &
COORDINATE WITH ARCHITECT'S FIELD VISIT FOR
ARCHITECT AND MONOCHEM AQUASEAL REP.
APPROVAL PRIOR TO PROCEEDING.

EXTERIOR FINISH MATERIAL

NO SCALE

REVISIONS.	DATE :

DESIGNED BY
Petrosi
AND ASSOCIATES
INC.
Architecture, Planning, Interiors
3700 CAMPUS DRIVE SUITE 200
NEWPORT BEACH, CA 92660
TEL. (949) 833-3240
FAX (949) 833-1145
E-MAIL: HP@PETROSSASSOC.COM

PROJECT

MONTESSORI GREENHOUSE SCHOOL
 5856 BELGRAVE AVENUE
 GARDEN GROVE, CALIFORNIA

DRAWING:

EXTERIOR ELEVATIONS
AND EXT. FINISH
MATERIAL

CHECKED BY:

DATE: 3-20-2005

ISSUED FOR:

- REVIEW
- PLAN CHECK
- BIDDING
- PERMIT
- CONSTRUCTION
- DRAWN BY

SHEET NO.:

A-3

CADFILE: GG-A3-ELEV
JOB NO. 151P-1001

SP. 306.62

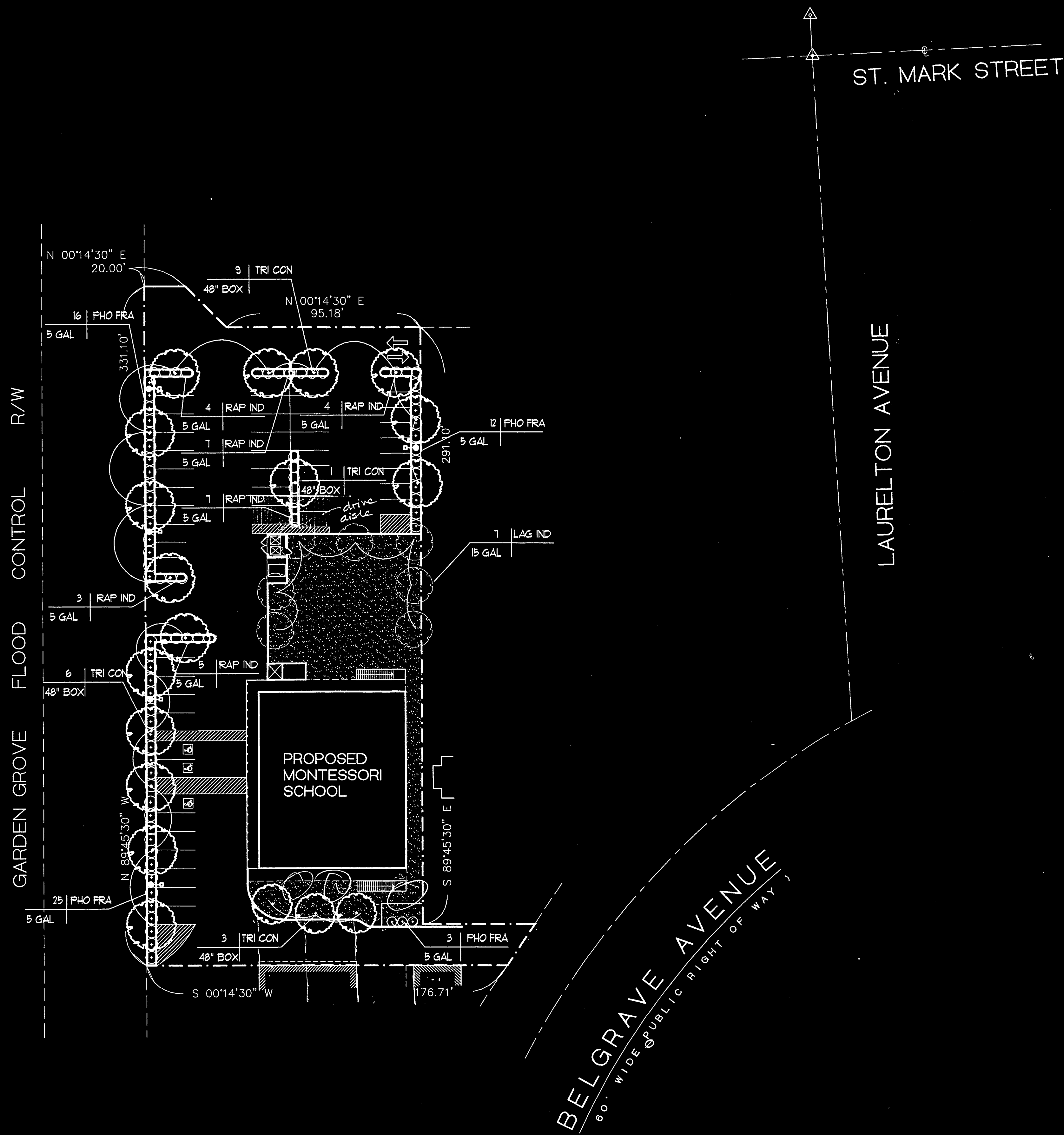
LEGEND

LANDSCAPE LEGEND

-  EVERGREEN THEME TREE
TRISTANIA CONFERTA (BRISBANE BOX)
-  FLOWERING ACCENT TREE
LAGERSTROEMIA INDICA (GRAPE MYRTLE)
-  EVERGREEN SCREEN SHRUB
PHOTINA FRASERI (PHOTINIA)
-  FLOWERING EVERGREEN SHRUB
RAPHIOLEPIS INDICA (INDIA HAWTHORN)
-  TURF AREA
HYDROSEEDED TURF

GENERAL NOTES:

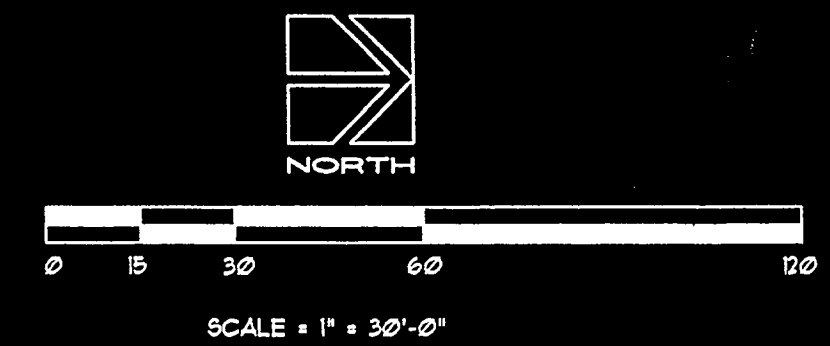
1. ALL LANDSCAPED AREAS TO BE IRRIGATED BY AN AUTOMATIC SYSTEM CONFORMING TO THE CITY OF GARDEN GROVE REQUIREMENTS OUTLINED IN ARTICLE IV, LANDSCAPING OF THE DEVELOPMENT STANDARDS.
ALL LANDSCAPE AREAS TO BE PLANTED WITH THE GROUND COVER HEDERA HELIX HAHN UNLESS OTHERWISE DENOTED ON PLAN.



LANDSCAPE PLAN



JPA
JOHN PETERS & ASSOCIATES
112 VILLAGE SQUARE WEST
RIDGWAY, CO 81432
(970) 826-9887



SP.306.02

REVISIONS:	DATE:
▲	6-5-2003
▲	
▲	
▲	
▲	
▲	
▲	
▲	
▲	

DESIGNED BY
Petrossi
AND ASSOCIATES
INC.
Architecture, Planning, Interiors
300 CAMPUS DRIVE SUITE 200
NEWPORT BEACH, CA 92660
TEL. (949) 833-3240
FAX (949) 833-1145
E-MAIL: FP@PETROSSIASSOC.COM

PROJECT
MONTESSORI GREENHOUSE SCHOOL
5856 BELGRAVE AVENUE
GARDEN GROVE, CALIFORNIA

DRAWING:
LANDSCAPE PLAN

CHECKED BY:
DATE: 6-20-2003
ISSUED FOR:
REVIEW
PLAN CHECK
BIDDING
PERMIT
CONSTRUCTION
DRAWN BY

SHEET NO.:
L-1
CADFILE: GG-AI-SITE
JOB NO. 151F-1021

IRRIGATION LEGEND

- RAINBIRD 1812-FC9-040-5H-B BUBBLER -- 40 @.4
- RAINBIRD FALCON 6504 F4-FC RUBBER COLLARI' 40 3.3
- RAINBIRD 1804 POP-UP SPRAY MFR NOZZLE 12' 30 Q=.65 H=1.3

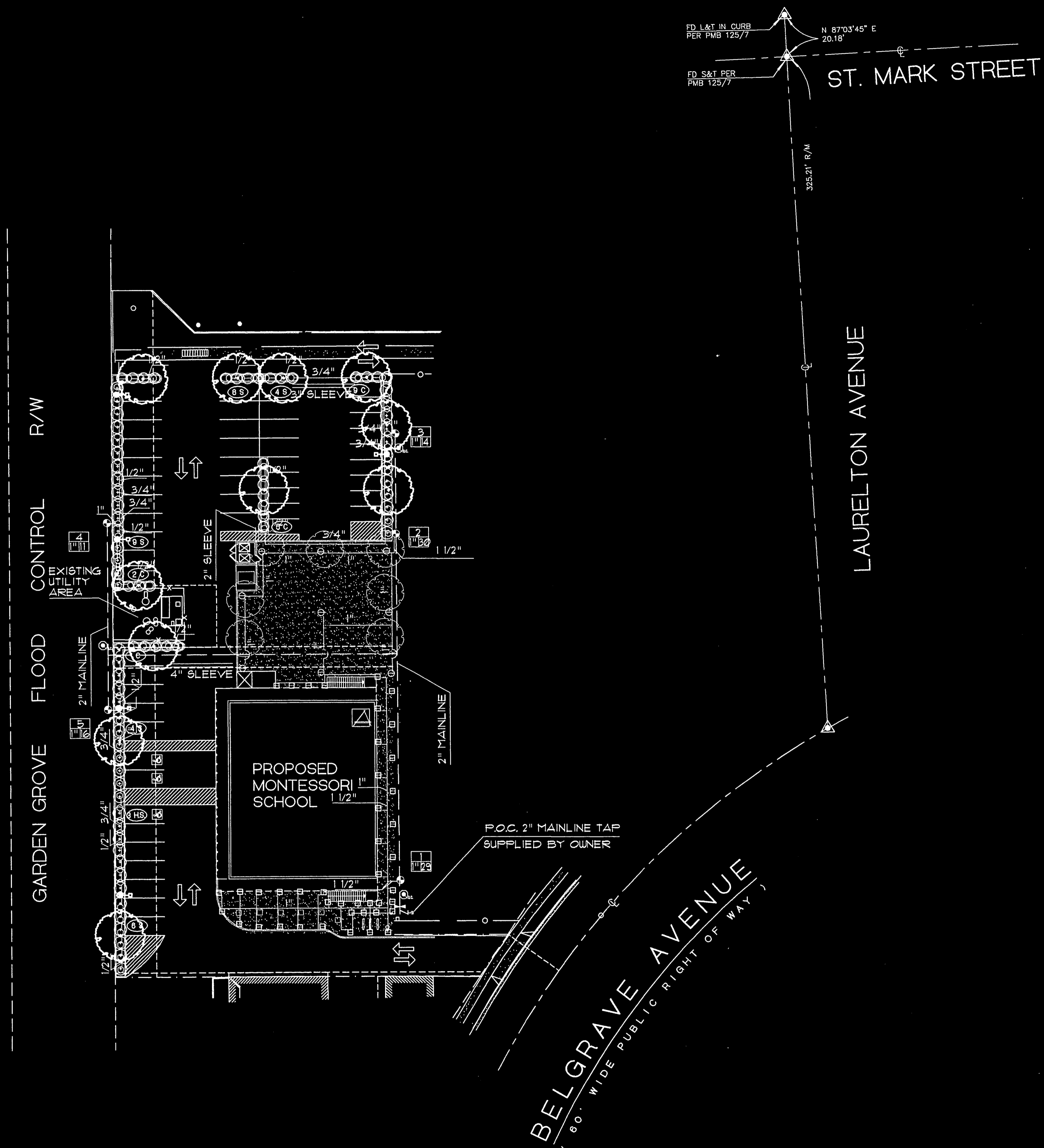
- ⊗ FEBCO 825Y, 1-1/2" REDUCED PRESSURE BACKFLOW PREVENTER
- ⊗ TORO 250 SERIES AUTOMATIC VALVE, SIZE AS NOTED
- ⊗ RAINBIRD 33DNF-LVC QUICK COUPLER W/ LOCKING VINYL CAP
- ⊗ NIBCO T113 LINE SIZE GATE VALVE

- ⊗ RAINBIRD RC-1860AB AUTOMATIC CONTROLLER, WALL MOUNT

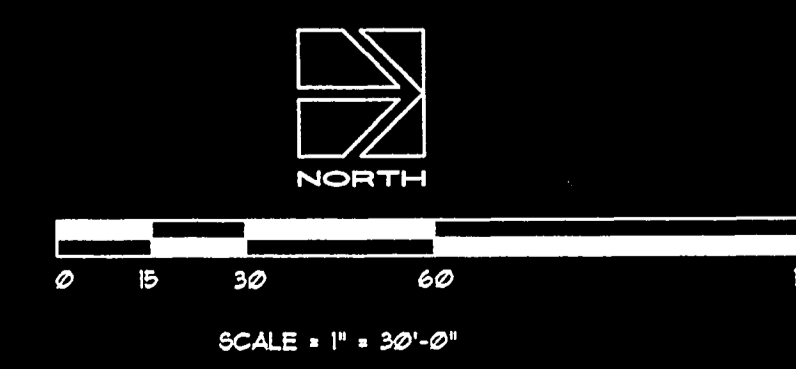
- PVC SCHEDULE 40 MAINLINE, 2"
- PVC SCHEDULE 40 SLEEVE, SIZE AS NOTED
- PVC SCHEDULE 40 ELECTRICAL CONDUIT, SIZE AS NOTED
- PVC CLASS 200 LATERAL LINE, SIZE AS NOTED

- 4 STATION/VALVE NUMBER
- 2150 GPM
- VALVE SIZE

NOTES:
 ALL PIPING UNDER PERMANENT PAVEMENT TO BE INSTALLED IN
 SCD 40 PVC SLEEVE TWO TIMES THE DIAMETER OF IRRIGATION LINE.
 THIS SYSTEM DESIGNED TO OPERATE AT A MINIMUM PRESSURE OF
 35 PSI AND A MAXIMUM FLOW OF 35 GPM.
 CONTRACTOR TO VERIFY LOCATION OF ALL METERS, CONTROLLERS,
 AND MAINLINES WITH OWNER.



IRRIGATION PLAN



SP-306-02

REVISIONS:	DATE:
1	6-5-2003

DESIGNED BY
Petrosi
 AND ASSOCIATES
 INC.
 Architecture, Planning, Interiors
 3700 CAMPUS DRIVE SUITE 200
 NEWPORT BEACH, CA 92660
 TEL: (949) 833-8240
 FAX: (949) 833-1445
 E-MAIL: JP@PETROSSIASSOCI.COM

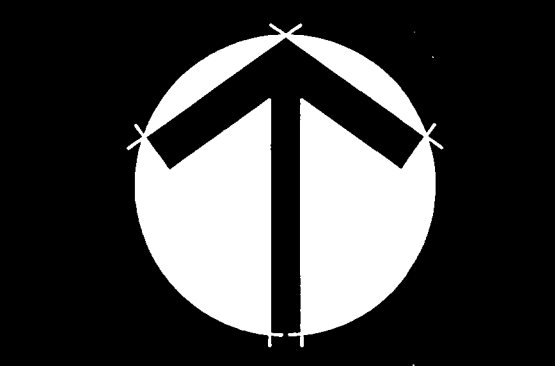
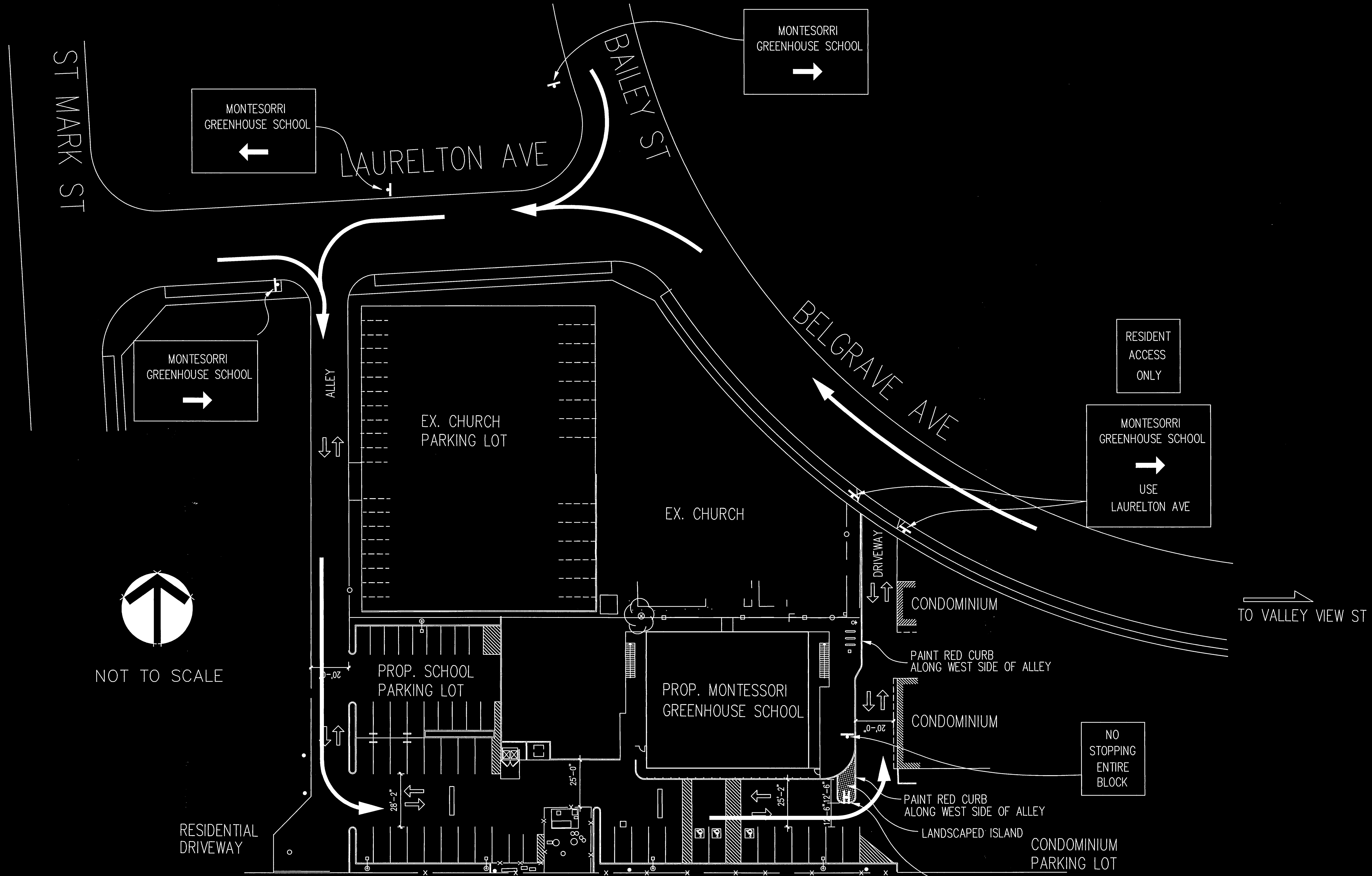
PROJECT
MONTESSORI GREENHOUSE SCHOOL
 5856 BELGRAVE AVENUE
 GARDEN GROVE, CALIFORNIA

DRAWING:
IRRIGATION PLAN

CHECKED BY:
 DATE: 6-20-2003
 ISSUED FOR:
 REVIEW
 PLAN CHECK
 BIDDING
 PERMIT
 CONSTRUCTION
 DRAIN BY

SHEET NO:
L-2
 CADFILE: GG-AI-SITE
 JOB NO: 157F-1001

JPA
 JOHN PETERS & ASSOCIATES
 112 VILLAGE SQUARE WEST
 RIDGWAY, CO 81432
 (970) 826-9887

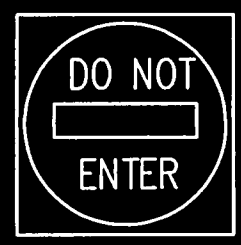
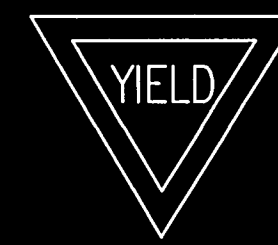


NOT TO SCALE

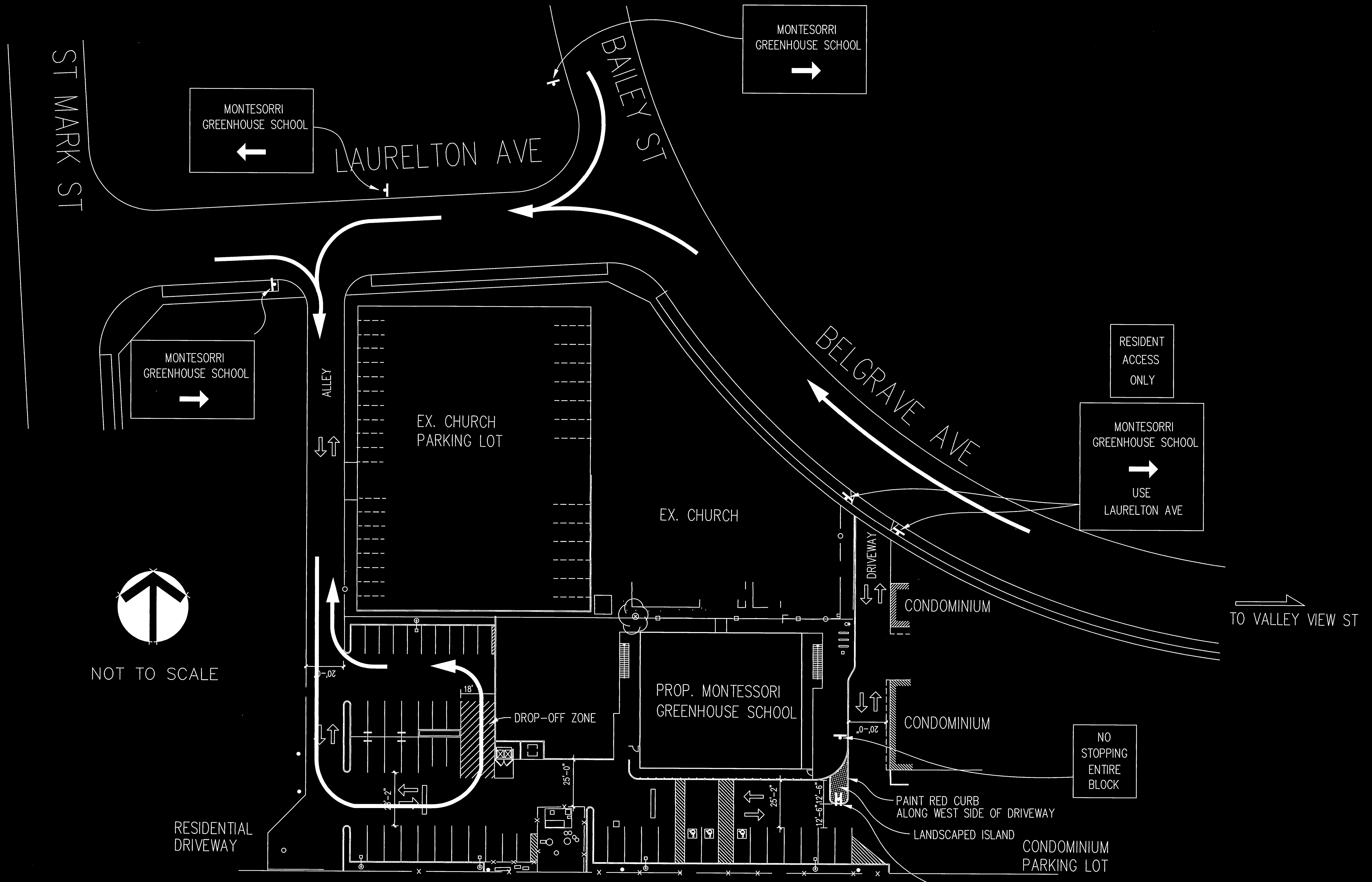
TRAFFIC CIRCULATION- CONCEPTUAL ONLY

ALTERNATIVE "A"

BACK-TO-BACK SIGNS



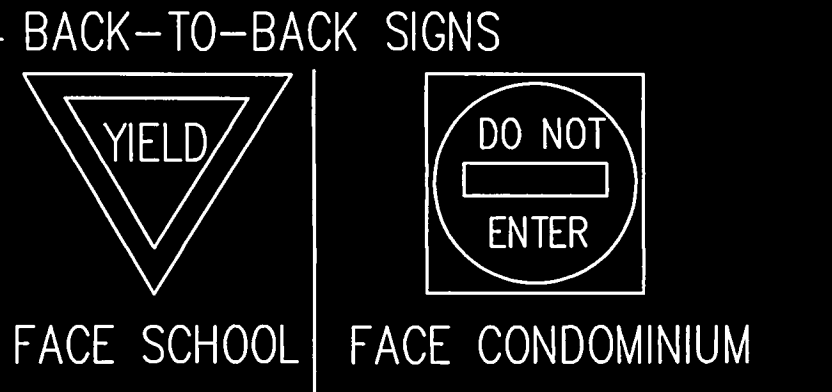
SP.306.02



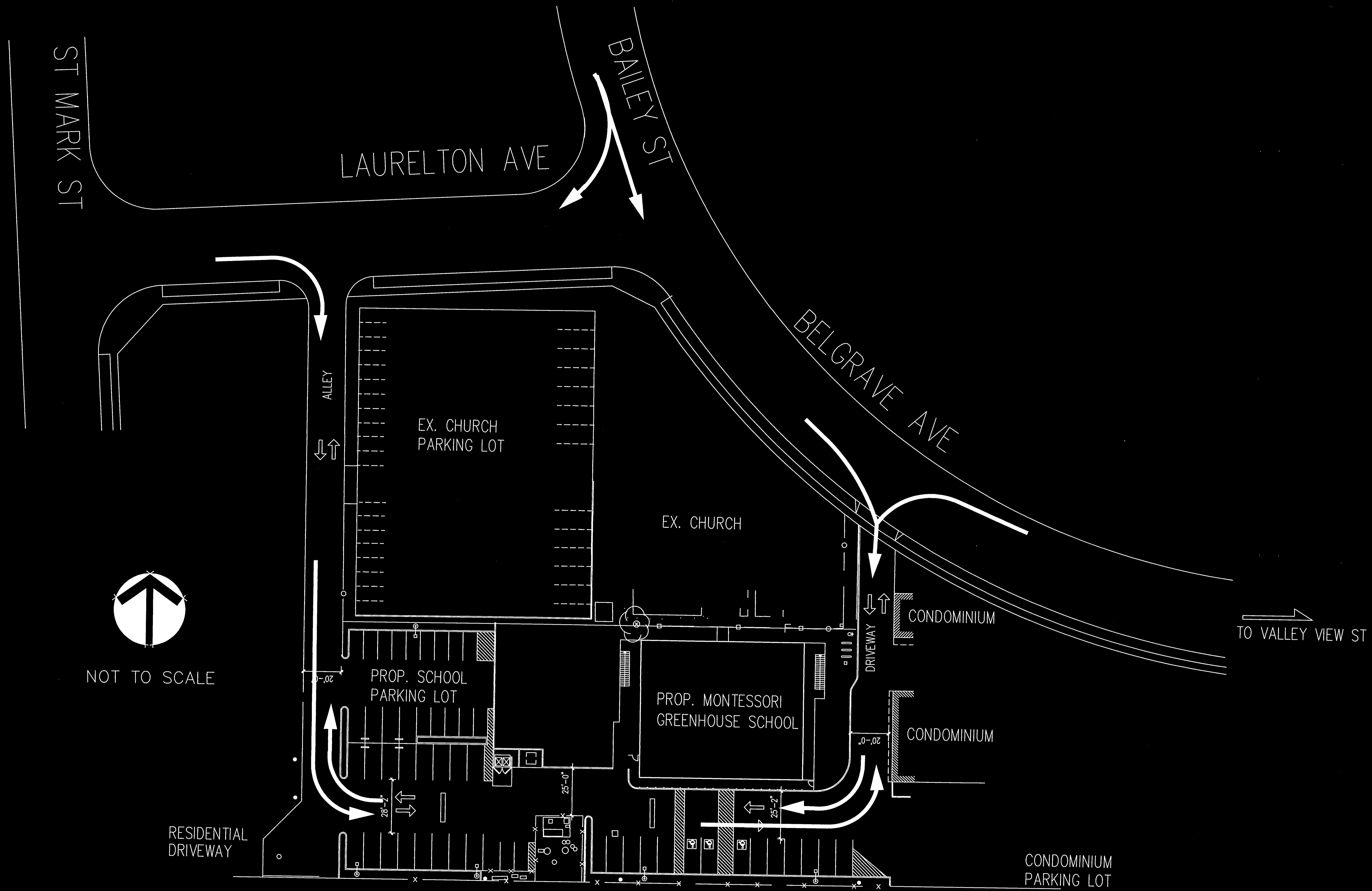
NOT TO SCALE

TRAFFIC CIRCULATION- CONCEPTUAL ONLY

ALTERNATIVE "B" (TWO PARKING REDUCTION)



SP.306.02



TRAFFIC CIRCULATION- CONCEPTUAL ONLY

ALTERNATIVE "0" - EXISTING CONDITION