

EASEMENT NOTES:

- AN EASEMENT FOR THE PURPOSE OF SEWER, PUMPING PLANT AND INCIDENTAL PURPOSES RECORDED ON TRACT MAP NO. 3557 AND PARCEL MAP BOOK 125, PAGE 7 OF OFFICIAL RECORDS. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREIN.
- AN EASEMENT FOR THE PURPOSE OF SANITARY SEWERS RECORDED ON TRACT MAP NO. 3557 AND PARCEL MAP FILED IN BOOK 125, PAGE 7 OF OFFICIAL RECORDS. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREIN.
- CONVENANTS, CONDITIONS AND RESTRICTIONS RECORDED OCTOBER 15, 1959, IN BOOK 4928, PAGE 285 AS INSTRUMENT NO. 170144, OF OFFICIAL RECORDS AND RE-RECORDED APRIL 12, 1960, IN BOOK 5191, PAGE 123 AS INSTRUMENT NO. 12202 OF OFFICIAL RECORDS AND MAY 21, 1965, IN BOOK 7929, PAGE 709 AS INSTRUMENT NO. 16724 OF OFFICIAL RECORDS. THIS ITEM IS BLANKET IN NATURE AND IS NOT PLOTTED HEREIN.
- AN EASEMENT FOR THE PURPOSES OF A SANITARY SEWER PUMPING PLANT RECORDED OCTOBER 30, 1959, IN BOOK 4953, PAGE 17 AS INSTRUMENT NO. 180943 OF OFFICIAL RECORDS. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREIN.
- AN EASEMENT FOR THE PURPOSES OF SANITARY SEWERS RECORDED OCTOBER 30, 1959, IN BOOK 4953, PAGE 23 AS INSTRUMENT NO. 180946 OF OFFICIAL RECORDS. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREIN.
- AN EASEMENT FOR THE PURPOSES TO CONSTRUCT, USE, MAINTAIN, OPERATE, ADD TO, REPLACE, AND/OR REMOVE FACILITIES, CONSISTING OF POLES, CABLES, CROSSARMS, WIRES, ANCHORS, GUYS, BRACES, UNDERGROUND CONDUITS, MANHOLES AND APPURTENANCES, FOR THE TRANSMISSION OF ELECTRIC ENERGY FOR COMMUNICATION AND OTHER PURPOSES RECORDED DECEMBER 23, 1959, IN BOOK 5028, PAGE 433 AS INSTRUMENT NO. 213182 OF OFFICIAL RECORDS. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREIN.
- AN EASEMENT FOR THE PURPOSES TO CONSTRUCT, USE, MAINTAIN, ALTER, ADD TO, REPAIR, REPLACE, AND/OR REMOVE, AN ELECTRIC LINE, CONSISTING OF POLES, NECESSARY GUYS AND ANCHORS, CROSS-ARMS, WIRES AND OTHER FIXTURES AND APPLIANCES, FOR CONVEYING ELECTRIC ENERGY TO BE USED FOR LIGHT, HEAT, POWER, TELEPHONE AND OR OTHER PURPOSES RECORDED DECEMBER 23, 1959, IN BOOK 5028, PAGE 527 AS INSTRUMENT NO. 213949 OF OFFICIAL RECORDS. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREIN.
- AN EASEMENT FOR THE PURPOSE OF INGRESS AND EGRESS RECORDED AUGUST 3, 1979, IN BOOK 13256, PAGE 594 AS INSTRUMENT NO. 39833 OF OFFICIAL RECORDS AND RE-RECORDED OCTOBER 25, 1979, IN BOOK 13389, PAGE 1423 AS INSTRUMENT NO. 39833 OF OFFICIAL RECORDS. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREIN.
- AN EASEMENT FOR THE PURPOSE OF A TWO FOOT BUILDING OVERHANG RECORDED AUGUST 16, 1979, IN BOOK 13272, PAGE 604 AS INSTRUMENT NO. 23107 OF OFFICIAL RECORDS. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREIN.



STATEMENT OF ENCROACHMENTS:

* THIS IS A LISTING OF OBSERVED ENCROACHMENTS THAT CROSS PROPERTY LINES. PERMITTEE OF OWNERSHIP OR POSSESSION IS NOT THE INTENT OF THIS LISTING.

- A CHAIN LINK FENCE (4.0' HIGH, 7.6' N. OF P.L.)
- ELECTRIC PANEL
- ELECTRIC PANEL (1 WIRE W. TO POWER POLE)
- MANHOLE (2.3' DIA.)
- RM = 29.02
- GENERATOR
- COVERED GRATE (3.4' DIA., TYP.)
- SEWER CLEAN OUT (0.8' DIA., TYP.)

BENCH MARK:

BENCH MARK NO. GG-E-15-72 STANDARD G.G. CENTERLINE MONUMENT AT THE CENTERLINE INTERSECTION OF LAURELTON AVENUE AND VALLEY VIEW ST. A HEXAGON BAR SET IN CONCRETE 1' BELOW THE SURFACE IN A CAPPED WELL.

BASIS OF BEARINGS:

THE BEARING NORTH 87°03'43" EAST BEING THE CENTERLINE OF LAURELTON AVENUE, AS SHOWN ON P.M.B. 125/7, RECORDED IN OFFICIAL RECORDS, IN THE CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

NOTE:

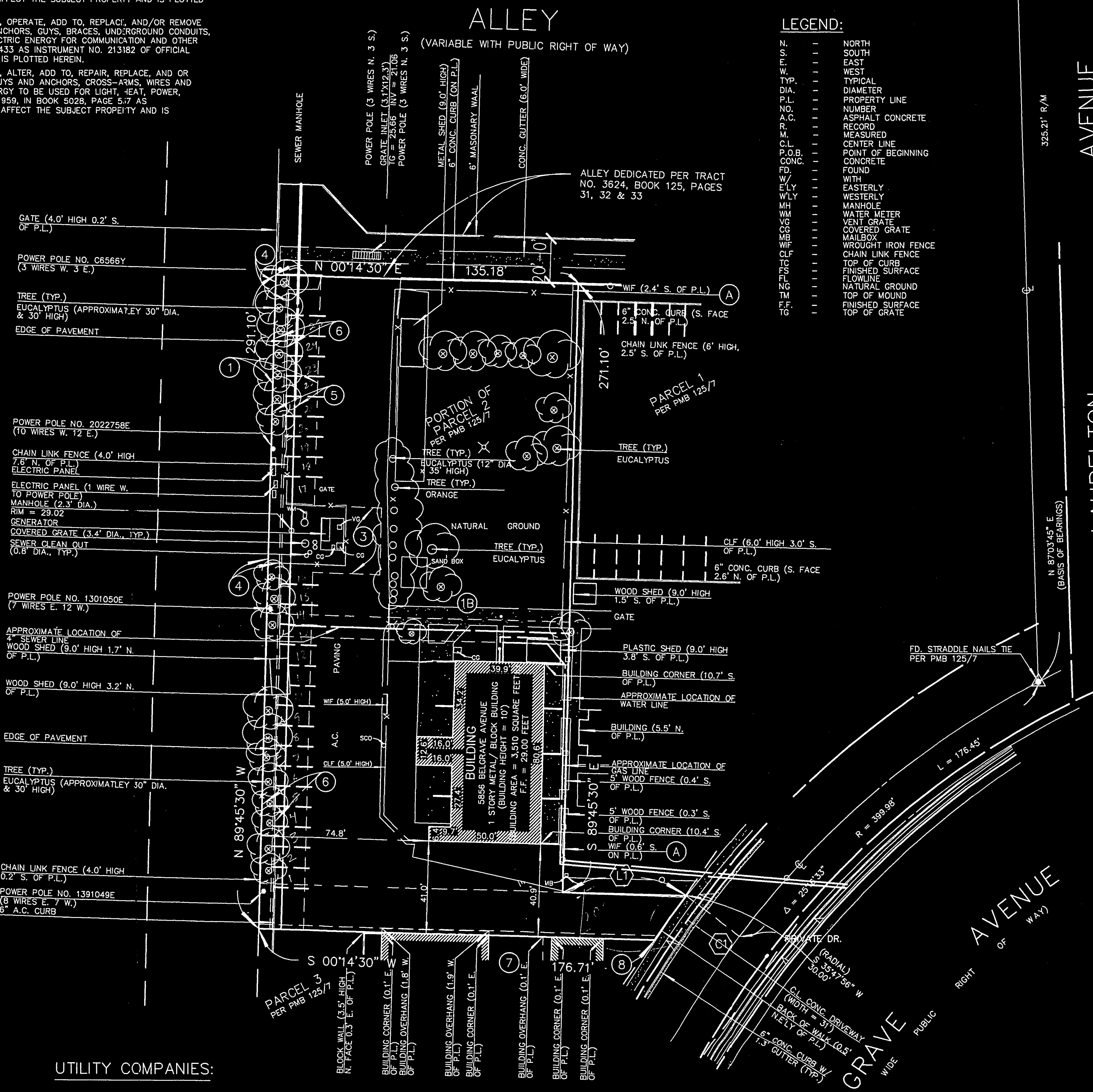
THERE WERE NO MONUMENTS FOUND OR SET AT THE PROPERTY LINE CORNERS UNLESS OTHERWISE NOTED.
 THE INFORMATION COURSES AND DISTANCES SHOWN ON THIS SURVEY PRINT ARE TRUE AND CORRECT AND ACCURATELY REPRESENT THE BOUNDARIES AND AREA OF THE PREMISES.
 THERE IS NO VISIBLE EVIDENCE OF CEMETERIES ON SUBJECT PROPERTY.
 ALL MEASURED AND RECORD DIMENSIONS ARE THE SAME UNLESS NOTED OTHERWISE.
 AT THE TIME OF SURVEY NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR ADDITIONS WERE OBSERVED.
 NO RECENT CHANGES IN STREET RIGHTS-OF-WAY WERE OBSERVED AT THE TIME OF SURVEY.
 NO VISIBLE EVIDENCE WAS OBSERVED THAT THE SITE IS BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL AT THE TIME OF SURVEY.

FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PLAN NO. 19-F-060220, WHICH BEARS AN EFFECTIVE DATE OF 6-14-00 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

UTILITY COMPANIES:

- AN EASEMENT FOR THE PURPOSE OF INGRESS AND EGRESS RECORDED AUGUST 3, 1979, IN BOOK 13256, PAGE 594 AS INSTRUMENT NO. 39833 OF OFFICIAL RECORDS AND RE-RECORDED OCTOBER 25, 1979, IN BOOK 13389, PAGE 1423 AS INSTRUMENT NO. 39833 OF OFFICIAL RECORDS. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREIN.
- AN EASEMENT FOR THE PURPOSE OF A TWO FOOT BUILDING OVERHANG RECORDED AUGUST 16, 1979, IN BOOK 13272, PAGE 604 AS INSTRUMENT NO. 23107 OF OFFICIAL RECORDS. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREIN.



LEGEND:

- N. NORTH
- S. SOUTH
- E. EAST
- W. WEST
- TYP. TYPICAL
- DIA. DIAMETER
- P.L. PROPERTY LINE
- NO. NUMBER
- A.C. ASPHALT CONCRETE
- R. RECORD
- M. MEASURED
- C.L. CENTER LINE
- P.O.B. POINT OF BEGINNING
- CONC. CONCRETE
- FD. FOUND
- W/ WITH
- E/W. EASTERLY
- W/W. WESTERLY
- M. MANHOLE
- W.M. WATER METER
- V. VENT GRATE
- C.G. COVERED GRATE
- M. MAILBOX
- W.I.F. WROUGHT IRON FENCE
- C.L.F. CHAIN LINK FENCE
- T.O.P. TOP OF CURB
- F.S. FINISHED SURFACE
- N.G. NATURAL GROUND
- T.O.P. TOP OF MOUND
- F.S. FINISHED SURFACE
- T.O.P. TOP OF GRADE

SITE RESTRICTIONS:

- SETBACK:
 - FRONT - 20'
 - SIDE - 5'
 - REAR - 20% OF LOT DEPTH OR 25' WHICHEVER IS LESS
- HEIGHT - 2 STORY OR 35'
- BULK - 50%
- ZONE - R-1-6 (SINGLE FAMILY RES.)
- PARKING - 2:1:2 PER DWELLING

LAND AREA:

40,312.84 SQUARE FEET
0.93 ACRES

PARKING STALLS:

25 STANDARD STALLS
0 HANDICAP STALLS

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF ORANGE, AND IS DESCRIBED AS FOLLOWS:

PARCEL 2, IN THE CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 125 PAGE 7 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THEREFROM THAT PORTION OF SAID PARCEL 2 LYING WITHIN AN ALLEY AS DEDICATED PER TRACT NO. 3624, AS PER MAP RECORDED IN BOOK 125, PAGES 31, 32 & 33 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THEREFROM ONE-HALF OF ALL MINERALS, GAS, OILS, PETROLEUM, NAPHTHA AND ALL OTHER HYDROCARBON SUBSTANCES IN OR UNDER SAID LAND, WITH ALL NECESSARY RIGHTS IN CONNECTION WITH THE DEVELOPMENT THEREOF, AS RESERVED IN THE DEED FROM THE ESTATE OF SUSANNA BIXBY BRYANT, DECEASED, RECORDED JUNE 28, 1947, IN BOOK 1535, PAGE 97, OFFICIAL RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BY QUITCLAIM DEED RECORDED JULY 13, 1958, IN BOOK 4795, PAGE 522, OFFICIAL RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID ORANGE COUNTY, ALL INTEREST AND RIGHTS WERE RELINQUISHED ABOVE A DEPTH OF 500 FEET FROM THE SURFACE THEREOF.

CURVE DATA:

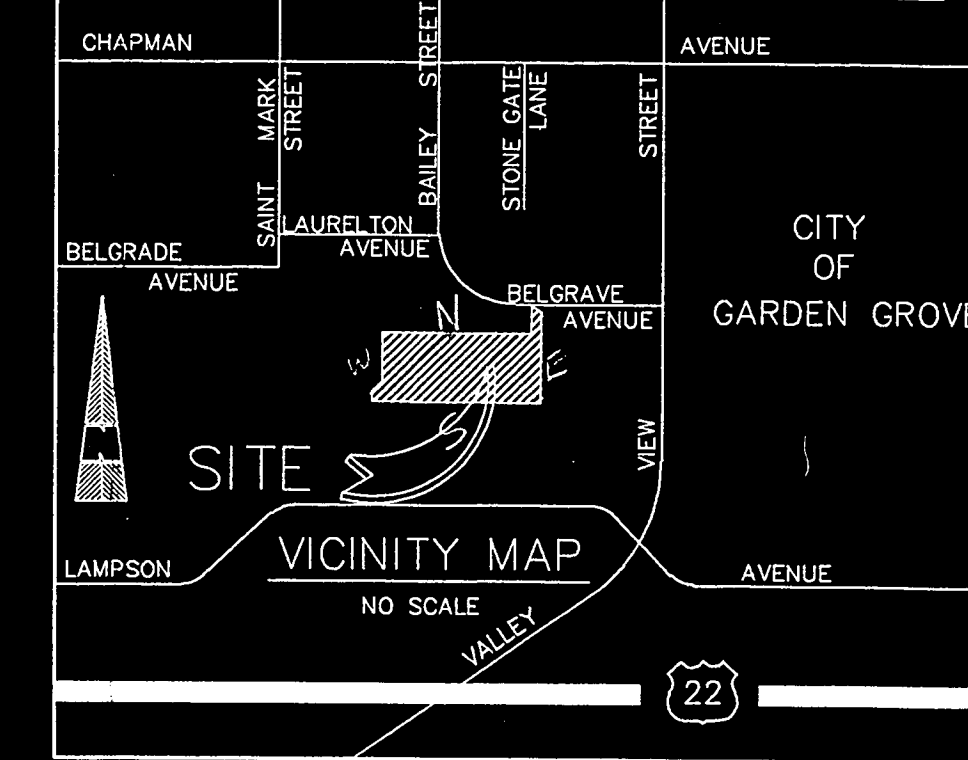
- C1 - Δ = 03°12'48"
- R = 429.98'
- L = 24.11'

LINE DATA:

- L1 - N 00°14'30" E 55.00'

UTILITY NOTE:

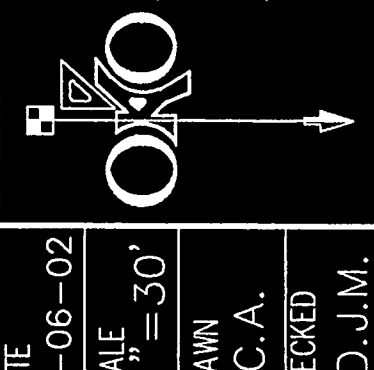
BASED ON VISUAL OBSERVATION, THE SUBJECT SITE IS SERVICED BY ALL THE NECESSARY UTILITIES REQUIRED TO MAINTAIN NORMAL OPERATION.



ACCEPTED AND APPROVED FOR CONSTRUCTION	
OWNER	DATE
TENANT	DATE
CONTRACTOR	DATE
THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION WITHOUT THE ABOVE APPROVALS NOR WITHOUT THE REQUIRED PERMITS BEING OBTAINED.	

NO.	REVISIONS	DATE	APPRO.
	DESCRIPTION <td></td> <td></td>		

O.K.O. ENGINEERING INC.
 CIVIL ENGINEERS/SURVEYORS/STRUCTURAL/ & CAD SPECIALISTS
 23671 BIRCHER DRIVE LAKE FOREST, CALIFORNIA 92650
 949/597-3577
 FAX 949/597-3579



DATE	3-06-02
SCALE	1"=30'
DRAWN	C.A.
CHECKED	D.J.M.
EXISTING FACILITIES PLAN	
SITE:	5856 BELGRAVE AVENUE GARDEN GROVE, CALIFORNIA
SHEET NO.	1 of 1

SP-306-02
 CP-594-02

PROJECT SUMMARY :

SITE AREA : = 40,312.84 SQ. FT.
 PARKING AREA INCLUDING DRIVES : = 22,894 SQ. FT.
 LANDSCAPE AREA (14 % OF PARKING) : = 3,200 SQ. FT.

BUILDING AREA :

EXTERIOR BALCONY, STAIRS AND ELEVATOR FACILITY = 1,953 SQ. FT.
 FIRST FLOOR = 6,192 SQ. FT.
 SECOND FLOOR = 6,104 SQ. FT.
 TOTAL BUILDING = 14,249 SQ. FT.

PARKING :

210 STUDENTS ÷ 6 =		35 STALLS
16 STAFFS ÷ 1 =		16 STALLS
TOTAL PARKING REQUIRED :		51 STALLS
PARKING PROVIDED	STANDARD	31 STALLS
	COMPACT	17 STALLS
	HANDICAP	3 STALLS
TOTAL PARKING PROVIDED :		51 STALLS



SITE PLAN

MONTESSORI GREENHOUSE SCHOOL

5856 BELGRAVE AVENUE
 GARDEN GROVE, CALIFORNIA



Architecture, Planning, Interiors
 3700 CAMPUS DR. SUITE 200
 NEWPORT BEACH, CA 92660
 TEL: (949) 899-3240
 FAX: (949) 899-3499
 E-MAIL: KP@PETROBRASAG.COM

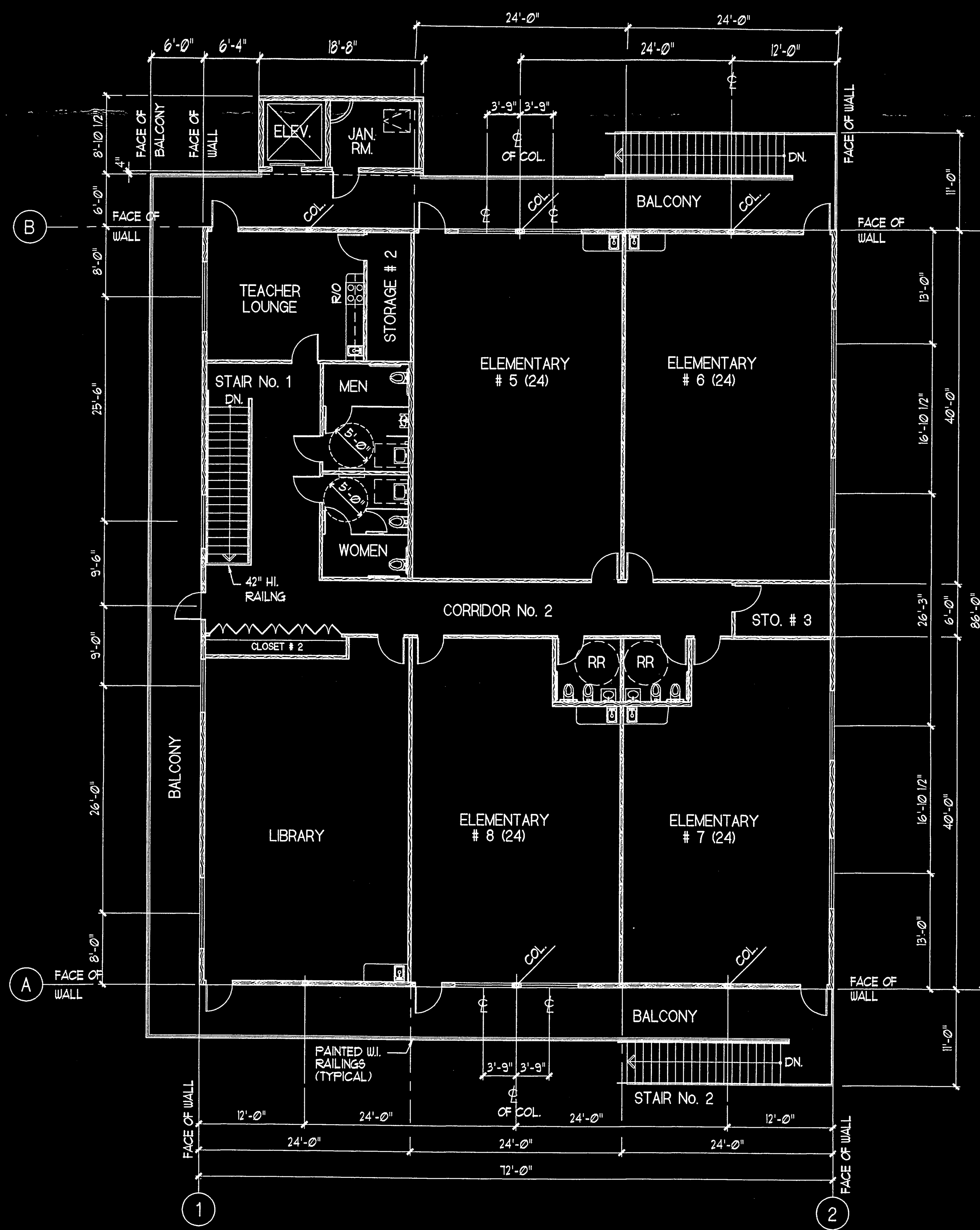


SCALE = 1" = 30'-0"

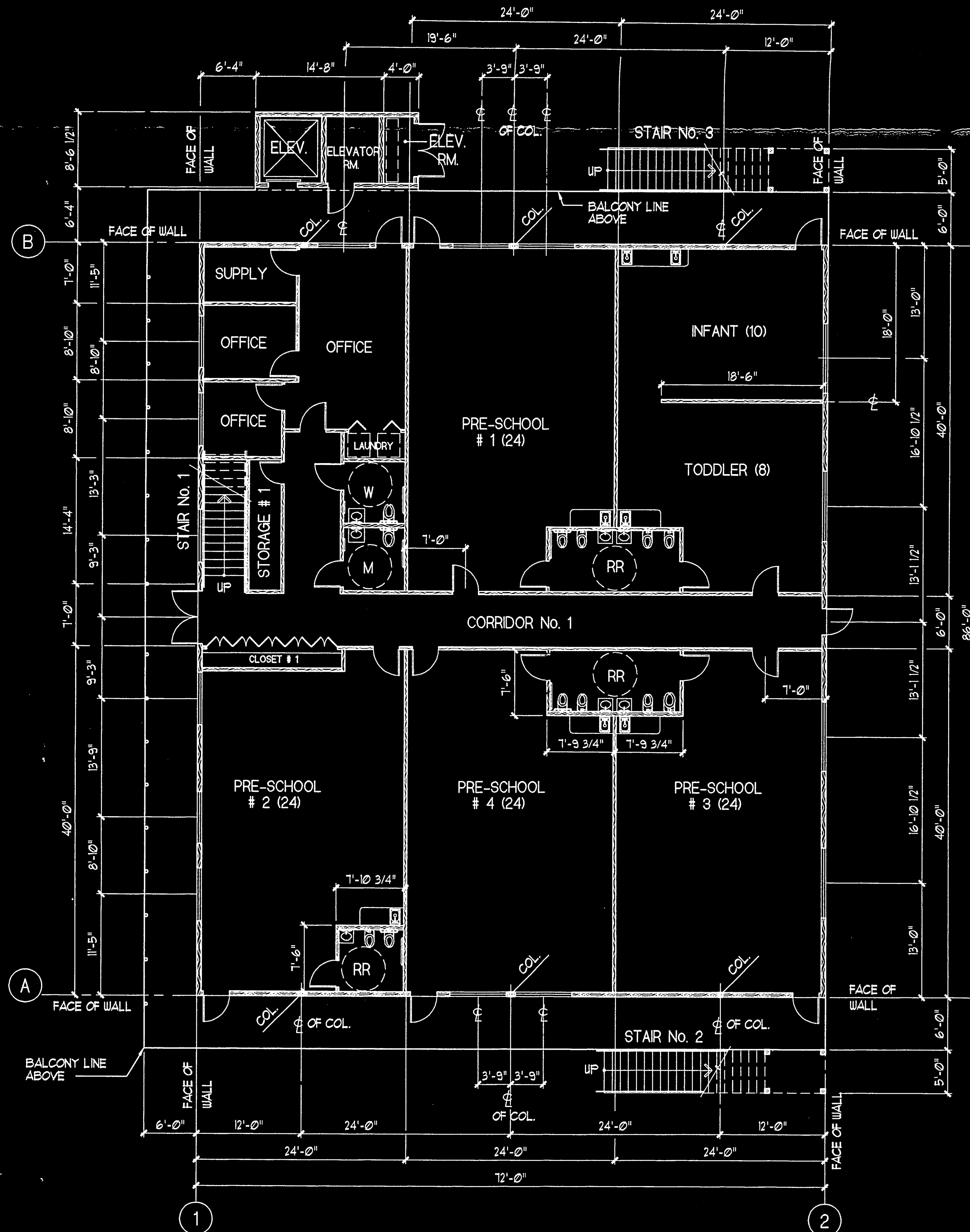
SP-306-02

A-1

1-29-2002



SECOND FLOOR LAYOUT
 1/8" = 1'-0"
 SCH2-FL6



FIRST FLOOR LAYOUT
 1/8" = 1'-0"
 SCH2-FL5

MONTESSORI GREENHOUSE SCHOOL

5856 BELGRAVE AVENUE
 GARDEN GROVE, CALIFORNIA

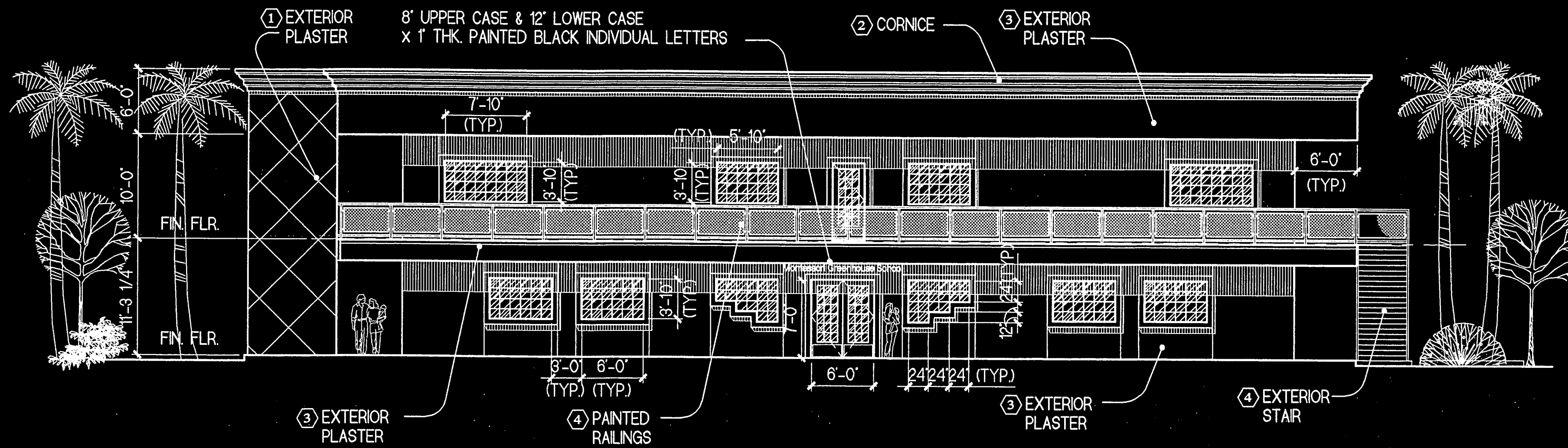
DESIGNED BY
Petrocci
 AND ASSOCIATES
 Architecture, Planning, Interiors
 370 CAMPUS DR. SUITE 200
 NEWPORT BEACH, CA 92660
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 FAX (949) 833-1145
 E-MAIL: HP@PETROSSASSOC.COM



SP.306.02

A-2

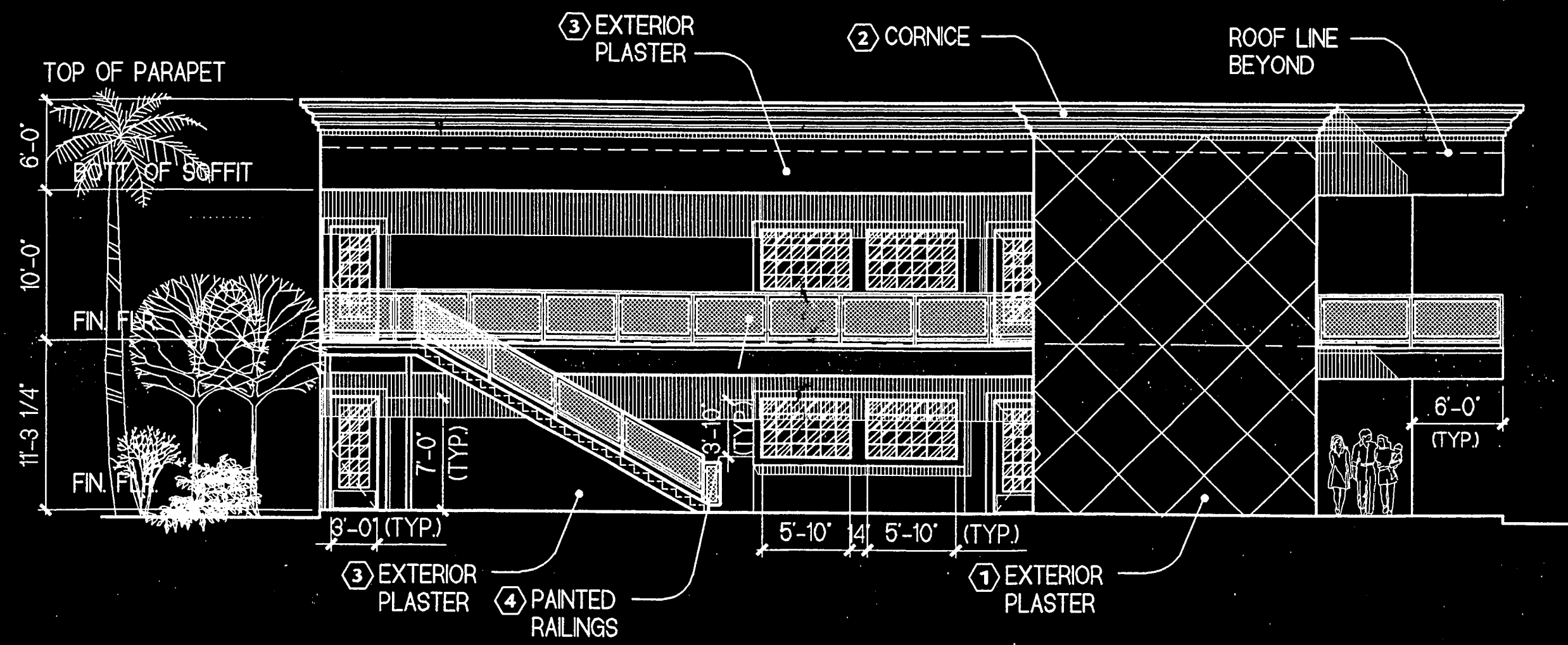
1-29-2002



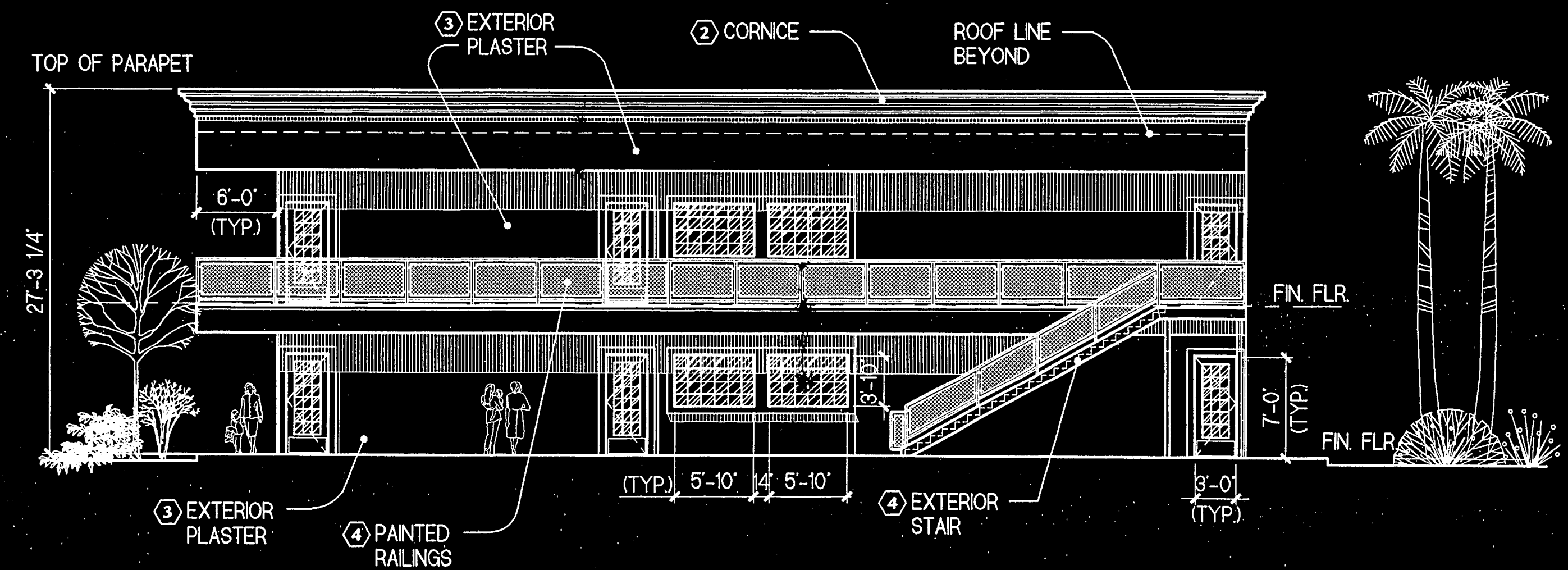
SOUTH ELEVATION
1/8" = 1'-0" EL-S

EXTERIOR FINISH SCHEDULE

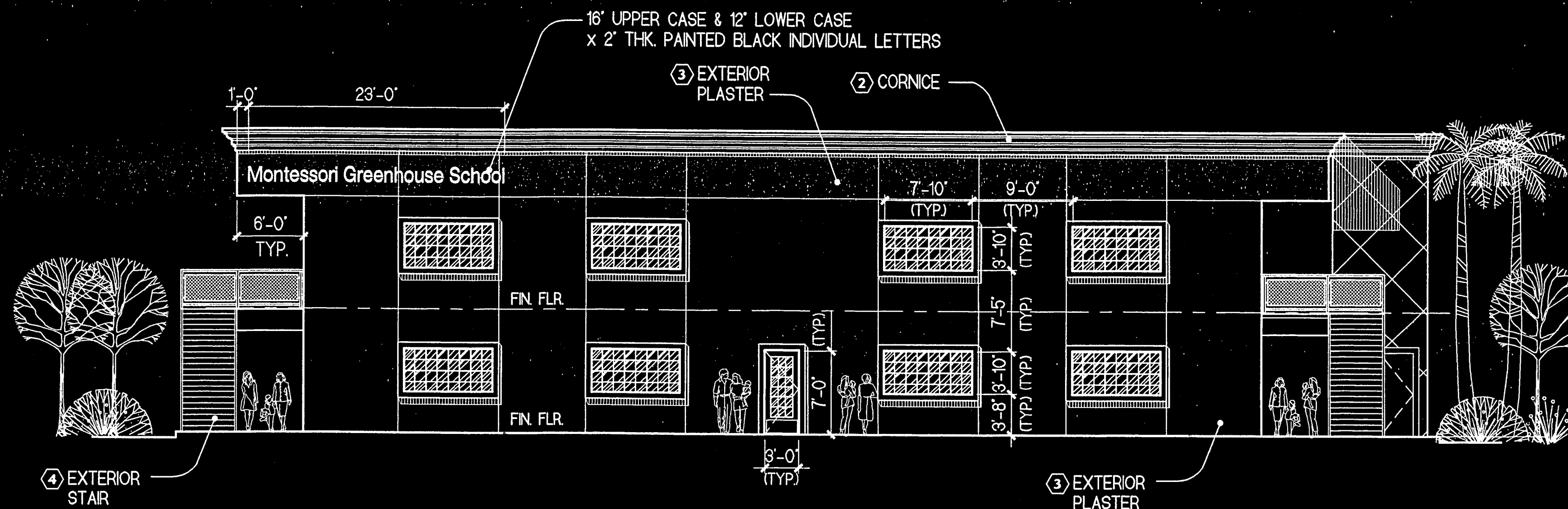
- 1 EXTERIOR PLASTER- 7814D, HONEYSUCKLE BY ACCENT COLOR FRAZEE PAINT
- 2 CORNICE- 7801W, STRATA BEIGE BY FRAZEE PAINT
- 3 EXTERIOR PLASTER- 7800W, IVORY POWDER BY FELD COLOR FRAZEE PAINT
- 4 EXTERIOR STAIRS- AND RAILINGS AC144N, BLACK DECCO BY FRAZEE PAINT



WEST ELEVATION
1/8" = 1'-0" EL-W



EAST ELEVATION
1/8" = 1'-0" EL-E



NORTH ELEVATION
1/8" = 1'-0" EL-N

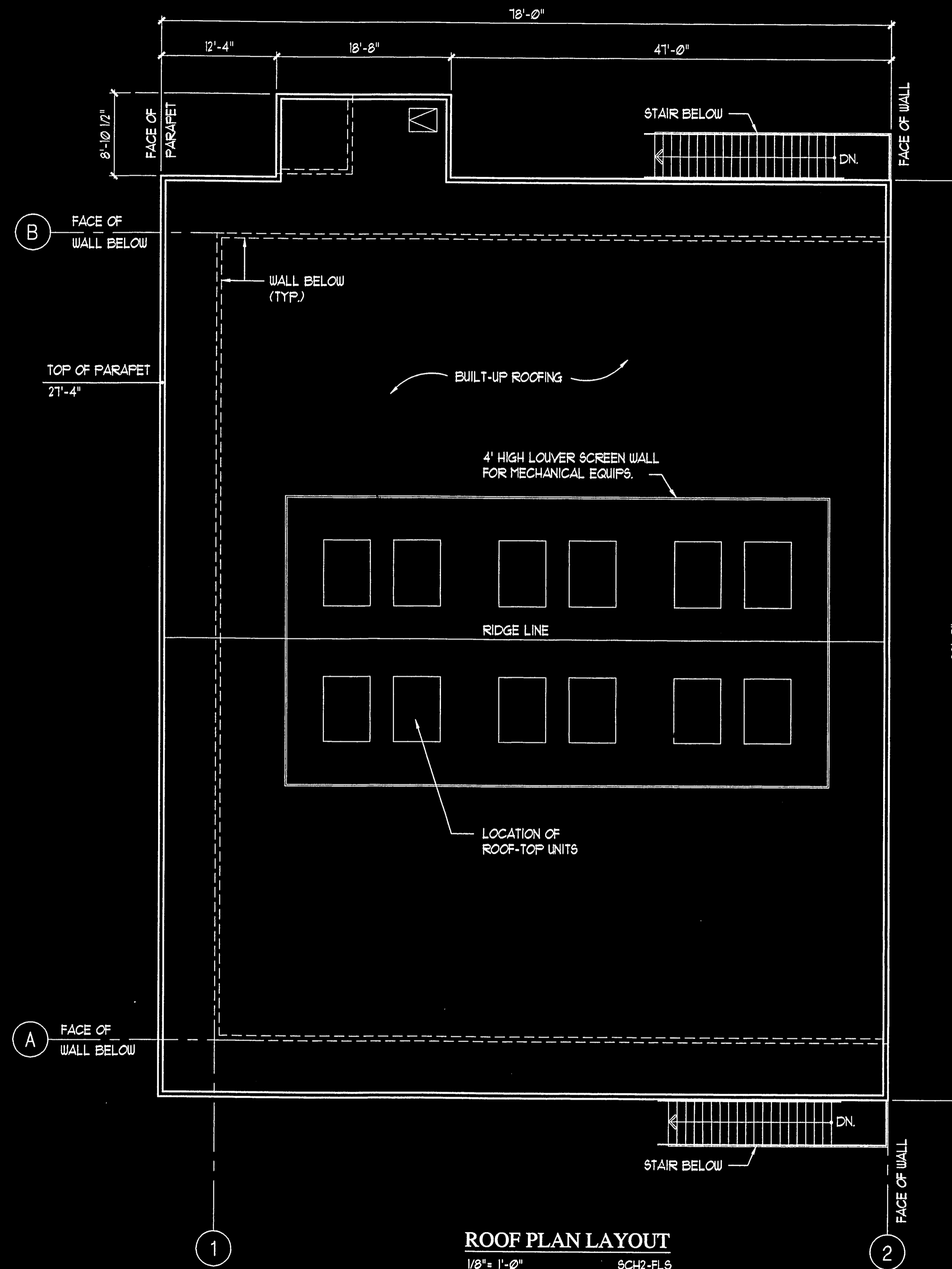
MONTESSORI GREENHOUSE SCHOOL

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SP. 306.02



ROOF PLAN LAYOUT
 1/8" = 1'-0" SCH2-FL9

MONTESSORI GREENHOUSE SCHOOL



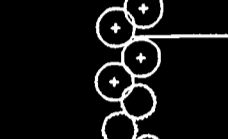


5856 BELGRAVE AVENUE
 GARDEN GROVE, CALIFORNIA



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SP-306.02

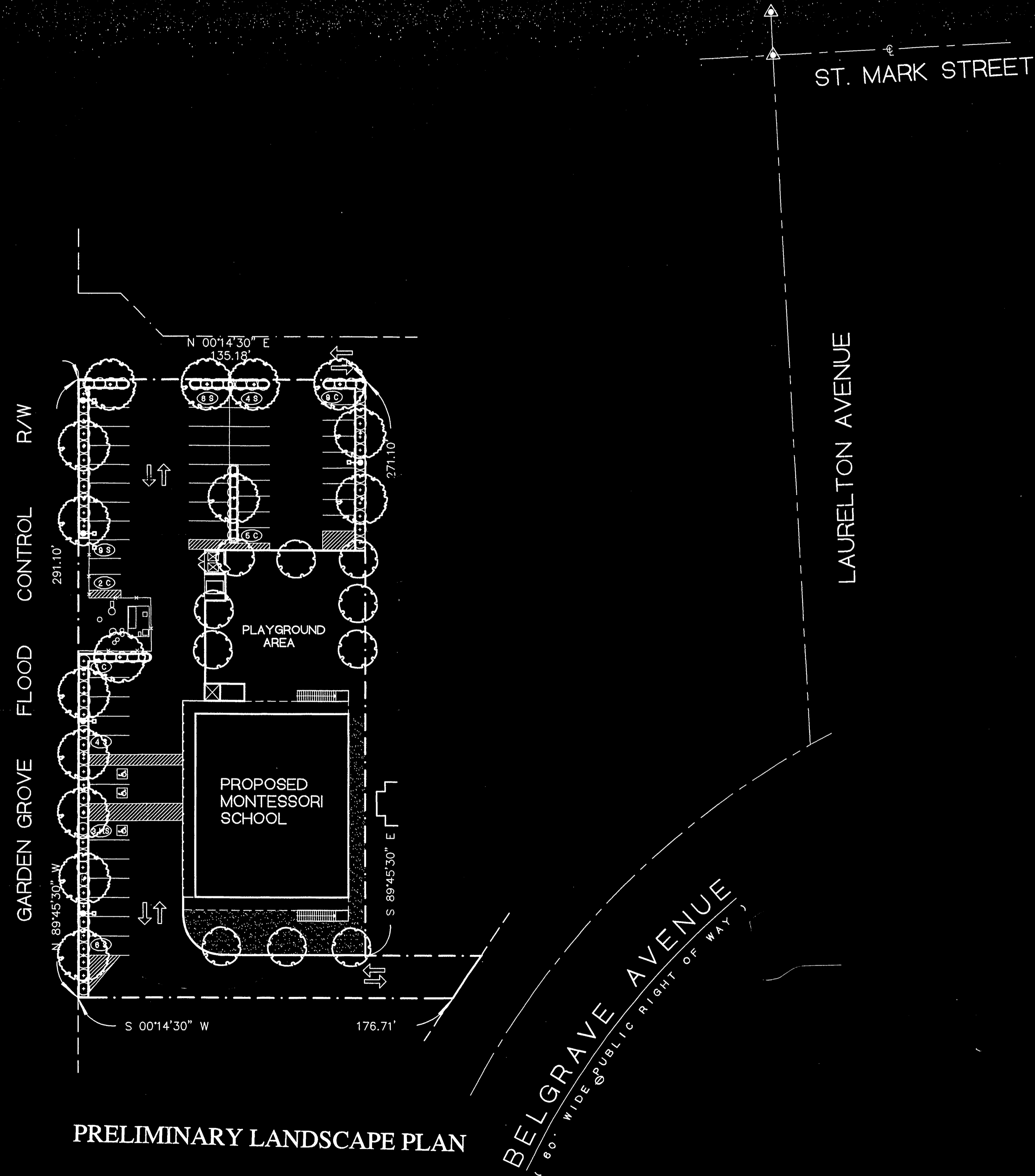
LANDSCAPE LEGEND

-  EVERGREEN THEME TREE
16 GALLON TRISTANIA CONFERTA (BRISBANE BOX)
-  FLOWERING ACCENT TREE
24" LAGERSTROEMIA INDICA (GRAPE MYRTLE)
-  EVERGREEN SCREEN SHRUB
5 GALLON PHOTINA FRASERI (PHOTINIA)
-  FLOWERING EVERGREEN SHRUB
5 GALLON RAPHILOLEPIS INDICA (INDIA HAWTHORN)
-  TURF AREA
HYDROSEEDDED TURF

GENERAL NOTES:

1. ALL LANDSCAPED AREAS TO BE IRRIGATED BY AN AUTOMATIC SYSTEM CONFORMING TO THE CITY OF GARDEN GROVE REQUIREMENTS OUTLINED IN ARTICLE IV, LANDSCAPING OF THE DEVELOPMENT STANDARDS.

ALL LANDSCAPE AREAS TO BE PLANTED WITH THE GROUND COVER FEDERA HELIX 'HAHN' UNLESS OTHERWISE DENOTED ON PLAN.



PRELIMINARY LANDSCAPE PLAN

MONTESSORI GREENHOUSE SCHOOL

5856 BELGRAVE AVENUE
GARDEN GROVE, CALIFORNIA



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E-MAIL: HP@PETROSSASSOCI.COM



SCALE = 1" = 30'-0"

L-1

1-29-2002

SP. 306.02

JPA
JOHN PETERS & ASSOCIATES
310 C STREET SUITE B
TUSTIN, CA 92780-3633
(970) 626-9887

MONTESSORI GREENHOUSE SCHOOL

5856 BELGRADE AVENUE
GARDEN GROVE, CALIFORNIA

REVISIONS:

DESIGNED BY
Petrosi & Associates
I.N.C.
Architecture, Planning, Interiors
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NEWPORT BEACH, CA 92660
TEL: (949) 833-3240
FAX: (949) 833-1445
E-MAIL: P@PETROSSASSOC.COM

PROJECT

LEGEND

DOOR SYMBOL	□
WINDOW SYMBOL	◻
GRID LINE BUBBLE	⊙
CONSTRUCTION KEY NOTES	①
FINISH SYMBOL	⊕
REVISIONS	△
DETAIL REFERENCE	Ⓜ — DETAIL No. Ⓜ — SHEET No.
OVERALL SECTION REFERENCE	Ⓜ
INTERIOR ELEVATIONS	① ② ③
EXIT SIGN	EXIT
MASONRY WALL	▨
6" x 20 GA. METAL STUD WALL	▨
4" x 20 GA. METAL STUD WALL	▨
2 x 6 WOOD STUD WALL	▨

PROJECT SUMMARY

CODE DATA :	
USE OF ZONE :	COMMERCIAL
OCCUPANCY GROUP :	E-1, E-3
TYPE OF CONSTRUCTION :	V-1 HR (SPRINKLERS ARE USED TO SUBSTITUTE THE 1 HR. CONSTRUCTION) 1998
USE OF CBC :	1998
SITE AREA	
	40,312.84 SQ. FT.
BUILDING AREA :	
EXTERIOR BALCONY, STAIRS AND ELEVATOR FACILITY	1,953 SQ. FT.
FIRST FLOOR	6,192 SQ. FT.
SECOND FLOOR	6,104 SQ. FT.
TOTAL BUILDING	14,249 SQ. FT.
PARKING :	
210 STUDENTS + 6 =	35 STALLS
16 STAFFS + 1 =	16 STALLS
TOTAL PARKING REQUIRED =	51 STALLS.
PARKING PROVIDED =	
STANDARD	31 STALLS
COMPACT	17 STALLS
HANDICAP	3 STALLS
TOTAL PARKING PROVIDED =	51 STALLS

PROJECT DIRECTORY

OWNER :
JOY M. TURNER
17583 OAK STREET
FOUNTAIN VALLEY, CA. 92708

PROJECT ADDRESS :
5856 BELGRADE AVE.
GARDEN GROVE, CALIFORNIA

CIVIL ENGINEER :
PCE
2082 S.E. BRISTOL ST. SUITE 206
NEWPORT BEACH, CA. 92660
(949) 975-1328

SOIL ENGINEER :
SOIL PACIFIC INC.
675 N. ECKHOFF, SUITE A
ORANGE, CA. 92668
(714) 879-1203

STRUCTURAL ENGINEER :
OKS'N ASSOCIATES
CONSULTING STRUCTURAL ENGINEERS
418 N. GLENDALE AVE. SUITE J
GLENDALE, CA. 91206
PH. (618) 247-6198

MECHANICAL/PLUMBING ENGINEER:
TOM NASROLLAHI & ASSOCIATES
24372 VANOWEN ST. SUITE 203 A
WEST HILLS, CA. 91307
(818) 348-1556

ELECTRICAL ENGINEER:
SPARK ENGINEERING
20311 S.W. BIRCH ST., SUITE 202
NEWPORT BEACH, CA 92660
(714) 833-2210

LANDSCAPE ARCHITECT:
JOHN PETERS & ASSOCIATES
112 VILLAGE SQUARE WEST
RIDWAY, CO. 81432
(970) 626-9887

ABBREVIATIONS

A.P.	= ACOUSTICAL PANEL	LUM.	= LUMINOUS CEILING
C.A.B.	= CEMENT ASBESTOS BOARD	MAR.	= MARBLE PANEL
CEM.	= CEMENT	M.C.B.	= METAL COVE BASE
CL.	= CLUMP	N.C.	= NOT IN CONTRACT
CONC.	= CONCRETE	O.D.	= OVERFLOW DRAIN
CPT.	= CARPET	P.L.	= PLASTIC LAMINATE
CS.	= CLEAR SEALER	P.M.	= PLUMBING
CT.	= CERAMIC TILE	P.P.	= PORCELAIN PAVEN
D.	= EXISTING	R.D.	= ROOF DRAIN
E.	= ENAMEL PAINT	R.T.R.	= RUBBER TREAD AND RISER
E.C.	= EXPOSED CONSTRUCTION	RUB.	= RUBBER
ELD.	= ELASTIC EDGE	S.C.B.	= SELF COVE BASE
E.M.	= EXPOSED MASONRY	S.S.	= STAINLESS STEEL
E.F.	= EXPOSED FLOOR TOPPING	S.V.	= SUM VARIOUS DUNNEL
F.	= FLAT PAINT	S.S.	= STAINLESS STEEL
F.F.	= FACTORY FINISH	S.V.	= SUM VARIOUS DUNNEL
F.T.O.	= FIRE TREATED ONLY GYPSUM BOARD	T.S.	= TOP SET RUBBER BASE 4" HIGH
G.W.	= GALVANIZED	U.A.O.	= UNLESS NOTED OTHERWISE
GL.	= GYPSUM BOARD - 1/2" THICK	V.C.T.	= VINYL COMPOSITION TILE
GL.	= GYPSUM BOARD - 1/2" THICK	V.F.	= VERY IN FIELD
GL.	= GYPSUM BOARD - 1/2" THICK	W.B.	= WOOD BASE
GL.	= GYPSUM BOARD - 1/2" THICK	W.C.	= WOOD
GL.	= GYPSUM BOARD - 1/2" THICK	W.E.D.	= WOODEN EPOXY TOPPING
GL.	= GYPSUM BOARD - 1/2" THICK	W.M.	= WIRE MESH

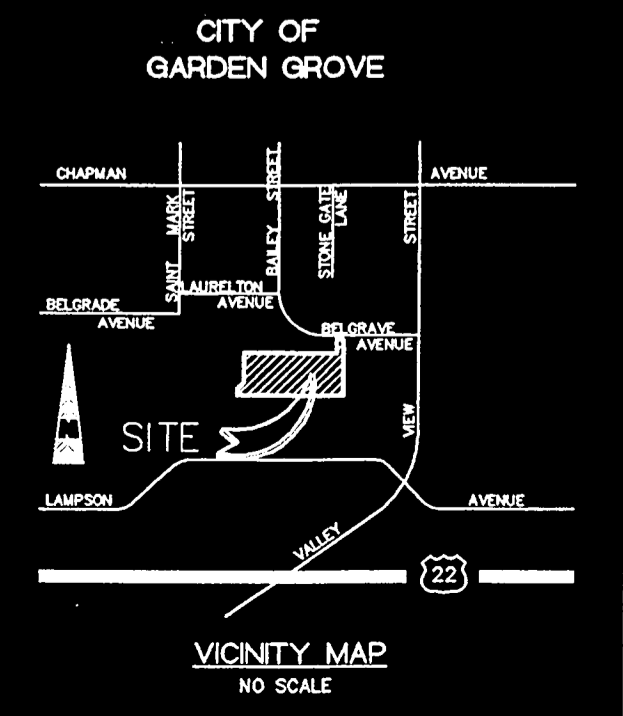
GENERAL NOTES

- THIS SET OF DOCUMENTS ARE CONSIDERED AS ONE UNIT AND SHALL NOT BE CONSIDERED COMPLETE OR WHOLE IF DOCUMENTS ARE SEPARATED IN ANY MANNER. DOCUMENTS SHALL NOT BE SEPARATED FOR THE PURPOSES OF SUBMITTING A BID PROPOSAL OR FOR THE SEPARATE PHASE OF ANY CONSTRUCTION.
- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS (DO NOT SCALE DRAWINGS) AND FIELD VERIFICATION SHALL BE MADE BY THE GENERAL CONTRACTOR AND OR SUBCONTRACTOR BEFORE BIDDING. ANY DISCREPANCY IN DIMENSIONS AND OR DRAWINGS AND OR GRAPHIC REPRESENTATION AND OR ACTUAL FIELD MEASUREMENTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF PETROSSI & ASSOC. AND RESOLVED PRIOR TO THE SIGNING OF CONSTRUCTION CONTRACT AND OR COMMENCEMENT OF ANY RELATED MATERIAL ORDERING AND OR WORK.
- THIS PROJECT MUST BE BUILT FROM THE CITY APPROVED PRINTS, AND ARE TO REMAIN ON SITE AT ALL TIMES FOR USE BY ALL INVOLVED TRADES AND INSPECTORS.
- NO SUBSTITUTIONS OR CHANGES TO APPROVED DRAWINGS CAN BE MADE WITHOUT CONCURRENCE OF THE OWNER AND PETROSSI & ASSOCIATES.
- ALL WORK, MATERIAL, METHODS, ETC. SHALL CONFORM TO ALL GOVERNING BUILDING CODES, REGULATIONS AND AGENCIES.
- PROVIDE PIPE GUARDS AT ALL ABOVE GROUND UTILITY EQUIPMENT AS DICTATED BY GOVERNING AGENCIES.
- CONTRACTOR TO CONFIRM THAT PROPER FINISH GRADE ELEVATIONS HAVE BEEN PROVIDED AT THE PERIMETER OF THE BUILDING AND ADJOINING AREAS, REFER TO BUILDING PLANS. REPORT TO ARCHITECT ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ROUGH GRADING.
- GOVERNING CODES AND FIRE DEPARTMENT FIELD, INSPECTOR SHALL DICTATE SIZE, TYPE, QUANTITY AND LOCATIONS OF BOTH TEMPORARY AND PERMANENT PORTABLE FIRE EXTINGUISHERS. (N.I.C.)
- EXIT SIGNS WHERE NOTED OR REQUIRED SHALL BE WORKED "EXIT" IN LETTERS HAVING THE PRINCIPAL STROKE OF NOT LESS THAN 3/4" WIDE AND AT LEAST 8" HIGH AND SHALL CONFORM TO CODES AND/OR APPLICABLE REGULATIONS.
- ALL TOILET ROOMS SHALL BE VENTILATED WITH 5 MINUTE AIR CHANGES BY MECHANICAL MEANS. SEE APPLICABLE DRAWINGS.
- THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY CEILING OR WALL ACCESS PANELS (OR ACCESS DOORS) AS REQUIRED BY GOVERNING AGENCIES FOR AIR CONDITIONING, PLUMBING, FIRE SPRINKLER, AND ELECTRICAL SYSTEM. PROVIDE APPROVED ASSEMBLIES WITH SELF CLOSING DEVICES IN 1-HOUR RATED CONSTRUCTION.
- ALL PENETRATIONS OF 1-HOUR FIRE RESISTIVE CONSTRUCTION SHALL BE PROTECTED WITH APPROVED FIRE ASSEMBLIES.
- PROVIDE PEDESTRIAN PROTECTION BARRICADES AND/OR CANOPIES AS REQUIRED BY THE LOCAL AUTHORITIES OR AS NECESSARY FOR PEDESTRIAN SAFETY.
- ALL WOOD STUD ARE 2x6 AT 16" O.C. UNLESS NOTED OTHERWISE.
- EVERY EXIT DOOR SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED TYPE. FLUSH BOLTS OR SURFACE BOLTS ARE PROHIBITED.
- EXIT DOORS MUST OPEN OVER A LANDING NOT MORE THAN 1/2" BELOW THE THRESHOLD.
- ALL EXPOSED ELECTRICAL EQUIPMENT SHALL BE PAINTED TO MATCH ADJACENT SURFACES.
- THE GENERAL CONTRACTOR SHALL FURNISH HYDRAULICALLY CALCULATED AUTOMATIC FIRE SPRINKLER SYSTEM. CONTRACTOR SHALL PREPARE SHOP DRAWINGS AND OBTAIN APPROVALS FROM THE INSURANCE SERVICE OFFICE (ISO) BUILDING, FIRE DEPARTMENT AND OTHER REQUIRED GOVERNING AGENCIES PRIOR TO SUBMITTAL TO THE ARCHITECT FOR HIS APPROVAL. (IF FIRE SPRINKLER REQUIRED)
- BUILDING ADDRESS SHALL BE PROVIDED ON THE BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET.
- THESE DOCUMENTS ARE THE PROPERTY OF PETROSSI & ASSOCIATES AND OWNER. NO PART OF THESE DOCUMENTS (DRAWINGS AND SPECIFICATIONS) SHALL BE USED FOR ANY OTHER PROJECT EXCEPT FOR THIS PROJECT WITHOUT THE PRIOR WRITTEN CONSENT OF PETROSSI & ASSOCIATES.
- GENERAL CONTRACTOR TO VERIFY ALL EXISTING INSULATION DURING DEMOLITION. (G.C. TO PROVIDE R-30 BATT INSULATION AT ROOF FOR ANY DAMAGED OR MISSING INSULATION.)

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C-4 EROSION CONTROL PLAN	M-4 LEGEND, NOTES, DETAILS & SCHED.
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VICINITY MAP



MONTESSORI GREENHOUSE SCHOOL

DRAWING:

TITLE SHEET

CHECKED BY:

DATE: 3-20-2003

ISSUED FOR:

REVIEW

PLAN CHECK

BIDDING

PERMIT

CONSTRUCTION

DRAWN BY:

SHEET NO.:

T-1

KVM:

CAD FILE: CG-T1

JOB NO.: 157P-1001

SP-306-02

5856 BELGRADE AVENUE
GARDEN GROVE, CALIFORNIA

REVISIONS:	DATE:

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PROJECT

MONTESSORI GREENHOUSE SCHOOL
 5656 BELGRAVE AVENUE
 GARDEN GROVE, CALIFORNIA

DRAWING:

SITE PLAN

CHECKED BY:

DATE: 3-20-2003

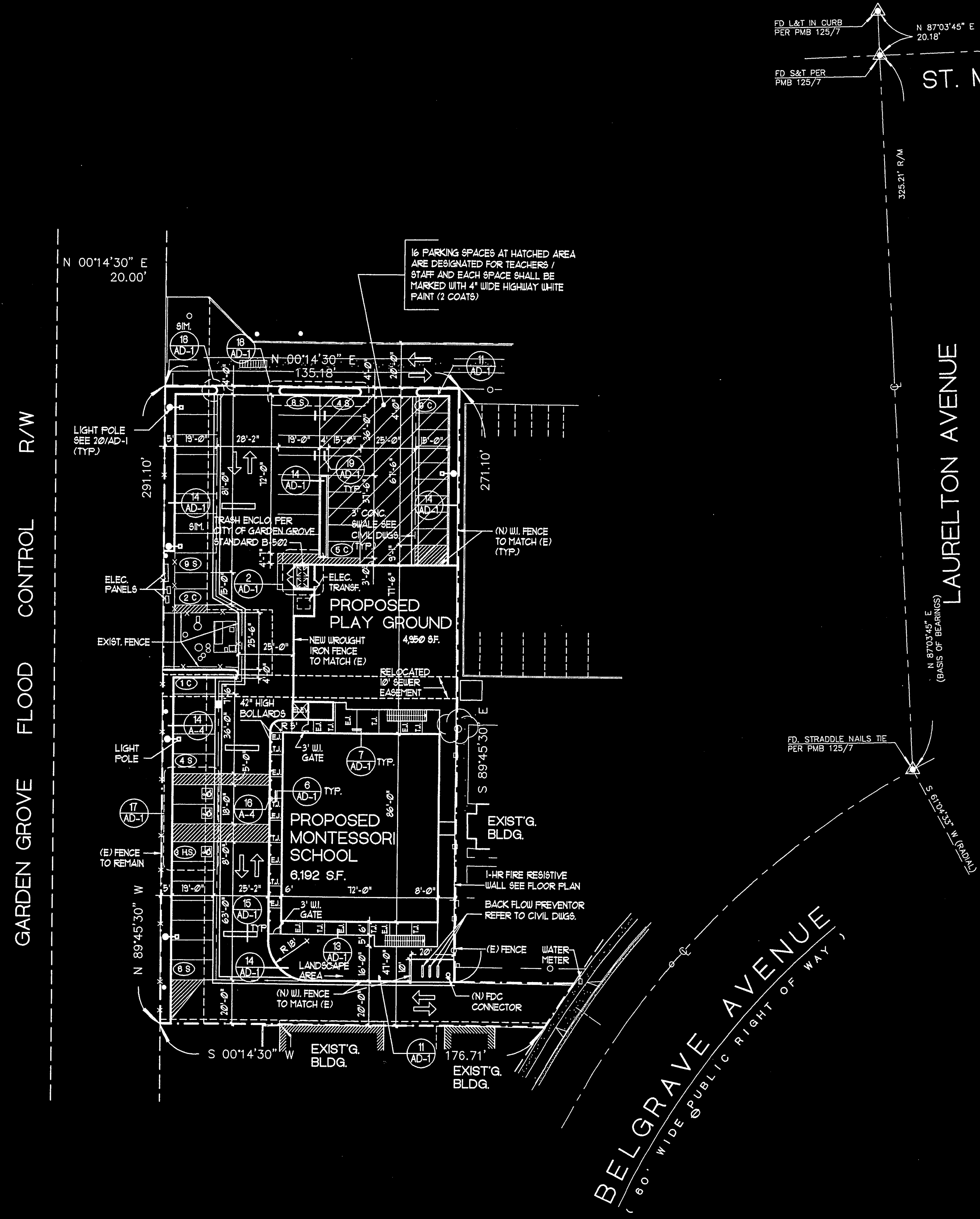
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SHEET NO.:

A-1

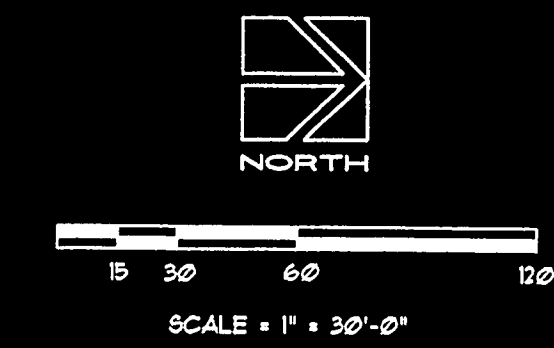
CADFILE: GG-AI-SITE
 JOB NO. 151P-1001



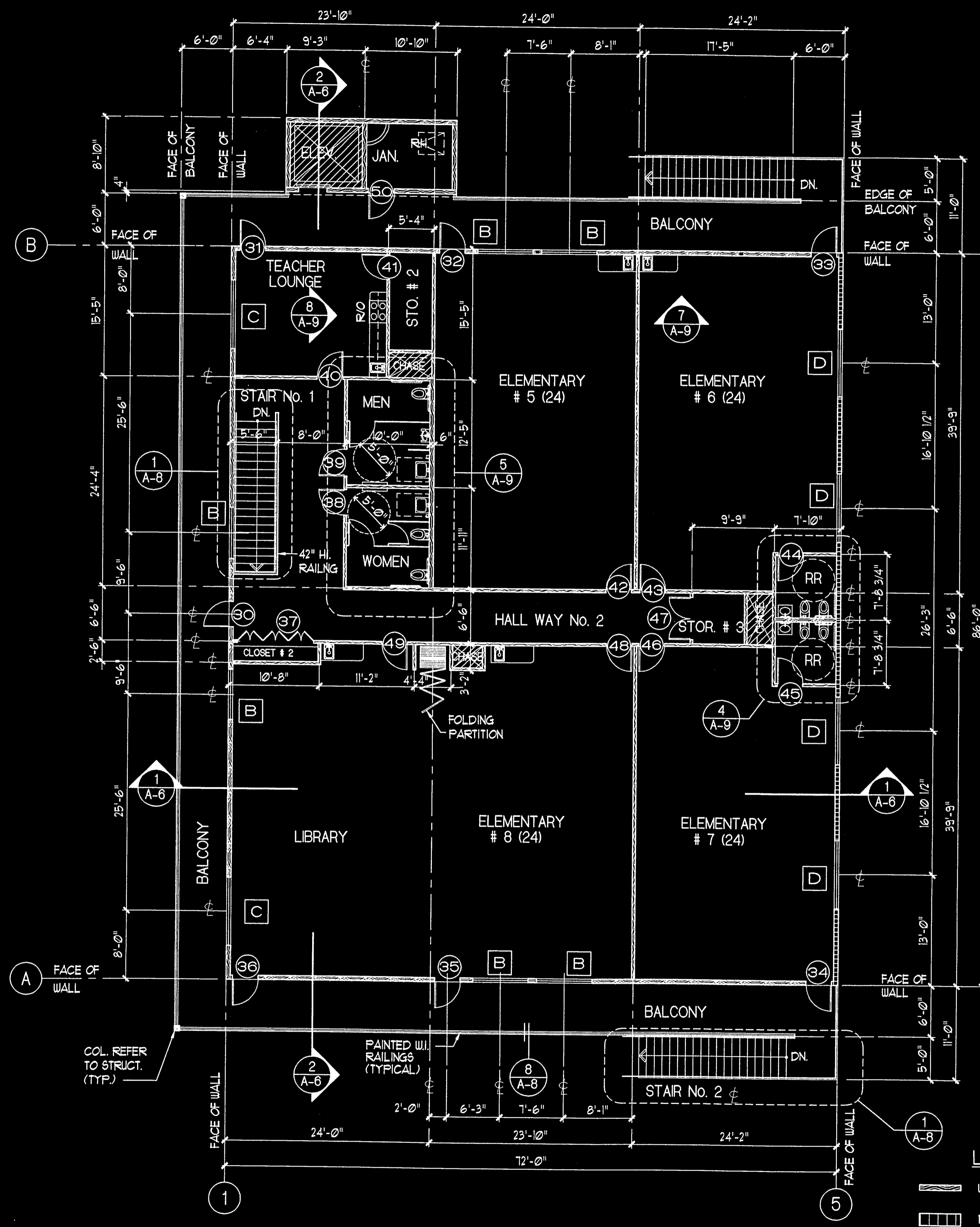
FIRE DEPARTMENT NOTES:

- THE FOLLOWING PROVISIONS OF THE GARDEN GROVE FIRE DEPARTMENT AND THE UNIFORM FIRE CODE SHALL BE MET:
- ALL ROADWAYS THROUGHOUT THE PROJECT SHALL BE DESIGNATED FIRE LANES WITH A MINIMUM WIDTH OF 20 FEET AND VERTICAL CLEARANCE OF A MINIMUM OF 13 FEET 6 INCHES.
 - AUTOMATIC FIRE SPRINKLERS SHALL BE PROVIDED IN ALL BUILDINGS, REGARDLESS OF FIRE SEPARATION WALLS, WITH A GROSS FLOOR AREA OF 3,000 SQUARE FEET OR MORE, OF 55 FEET ABOVE GRADE, OR CONTAINING THREE OR MORE STORIES, OR AS REQUIRED BY CBC CHAPTER 9.
 - FIRE SPRINKLER SYSTEM(S) AND ALL CONTROL VALVES, INCLUDING EXTERIOR SHALL BE SUPERVISED TO AN APPROVED CENTRAL ALARM STATION, PRIOR TO FIRE DEPARTMENT FINAL INSPECTION.
 - FIRE SPRINKLER SYSTEM SHALL BE DESIGNED TO UTILIZE NOT MORE THAN 90% OF THE AVAILABLE WATER SUPPLY AS INDICATED BY A SUBMITTAL GRAPH AS REQUIRED BY NFPA STANDARD #13.
 - FIRE LANES SHALL BE POSTED AND MARKED IN ACCORDANCE WITH FIRE DEPARTMENT SPECIFICATIONS AND REQUIREMENTS.
 - ADDRESS NUMBERS SHALL BE VISIBLE FROM THE STREET (IN CONTRASTING COLORS).
 - FIRE EXTINGUISHERS SHALL BE PROVIDED, LOCATIONS AND RATINGS TO BE DETERMINED BY FIRE INSPECTOR.

SITE PLAN
 SITE



SP. 306.02

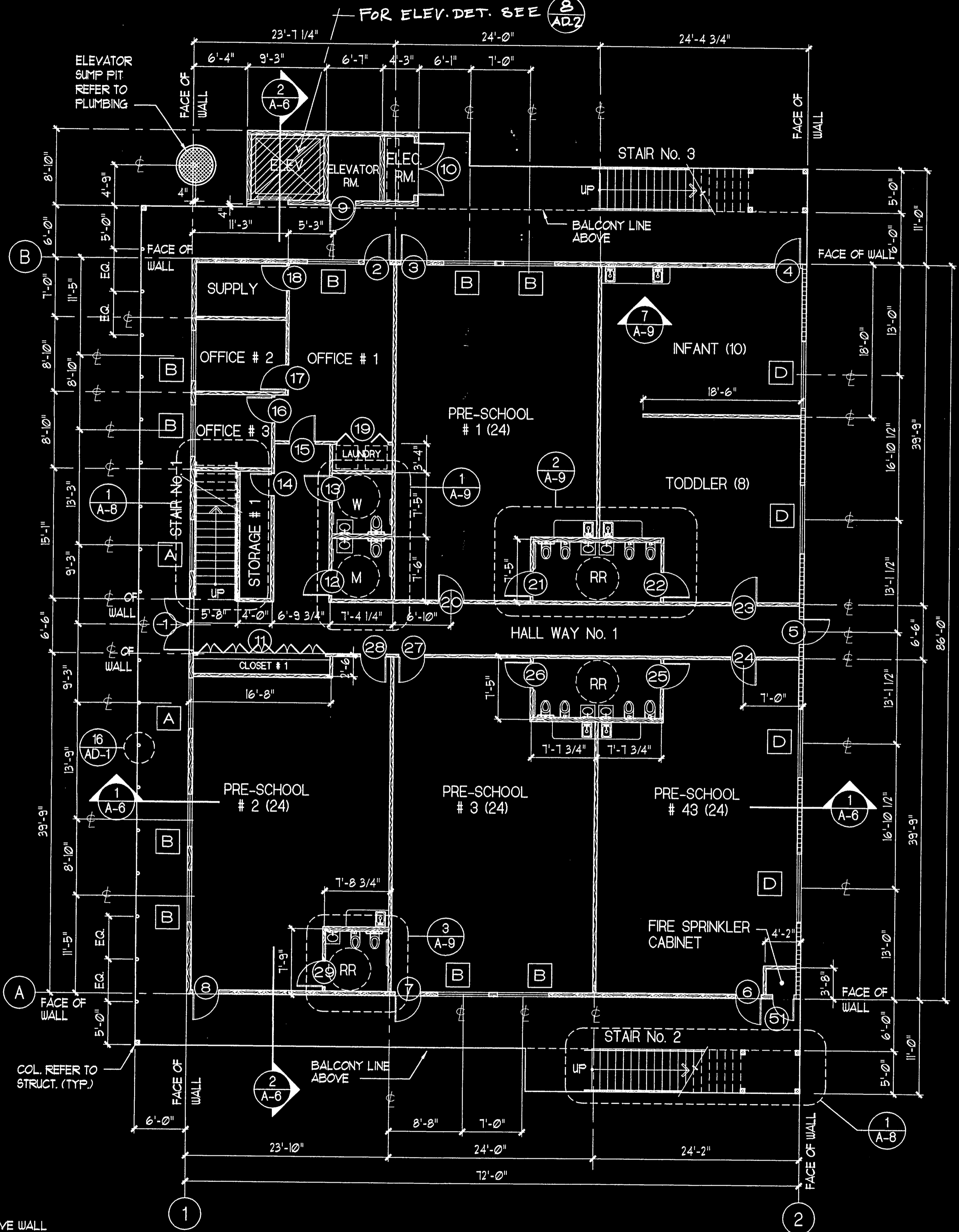


SECOND FLOOR PLAN
1/8" = 1'-0"
2ND FLR



- LEGENDS :**
- WOOD STUD WALL
 - 1 HR FIRE RESISTIVE WALL (CBC 1998 TABLE 1-B ITEM 18-13)
 - 1 HR FIRE RATED SHAFTS (HATCHED AREA)

- NOTES :**
1. PENETRATIONS OF FIRE-RESISTIVE WALLS, ETC. SHALL BE PROTECTED AS REQUIRED IN UBC, SEC. 103 & 110
 2. ANY THROUGH OR MEMBRANE PENETRATIONS SHALL BE COMPLY WITH UBC STANDARD 1-1



FIRST FLOOR PLAN
1/8" = 1'-0"
1ST FLR



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PROJECT

MONTESSORI GREENHOUSE SCHOOL

5856 BELGRAVE AVENUE
GARDEN GROVE, CALIFORNIA

DRAWING:

FIRST AND SECOND FLOOR PLANS

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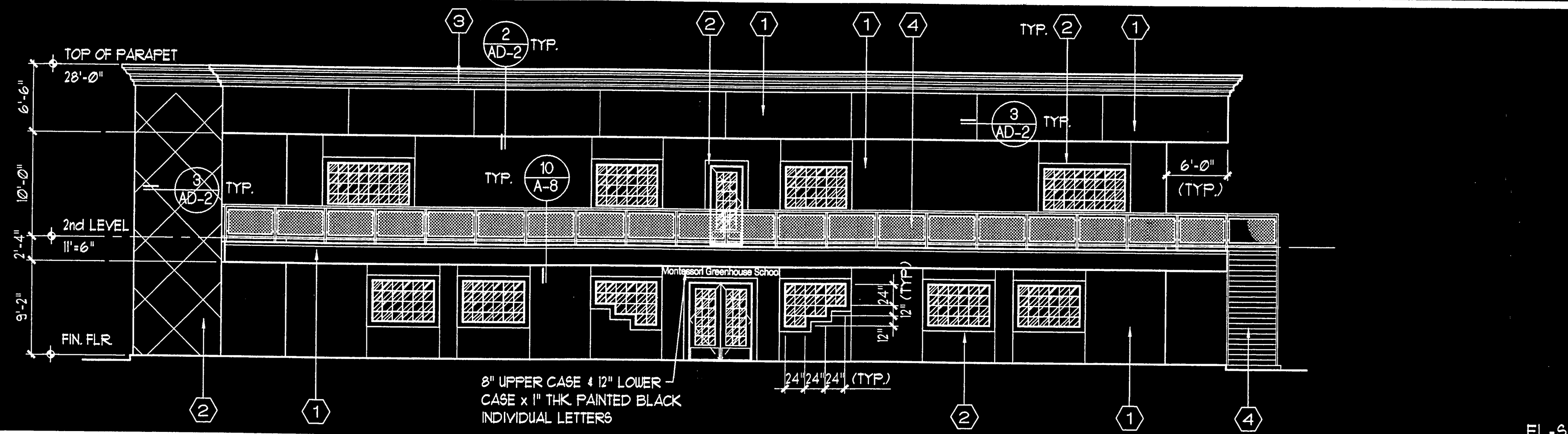
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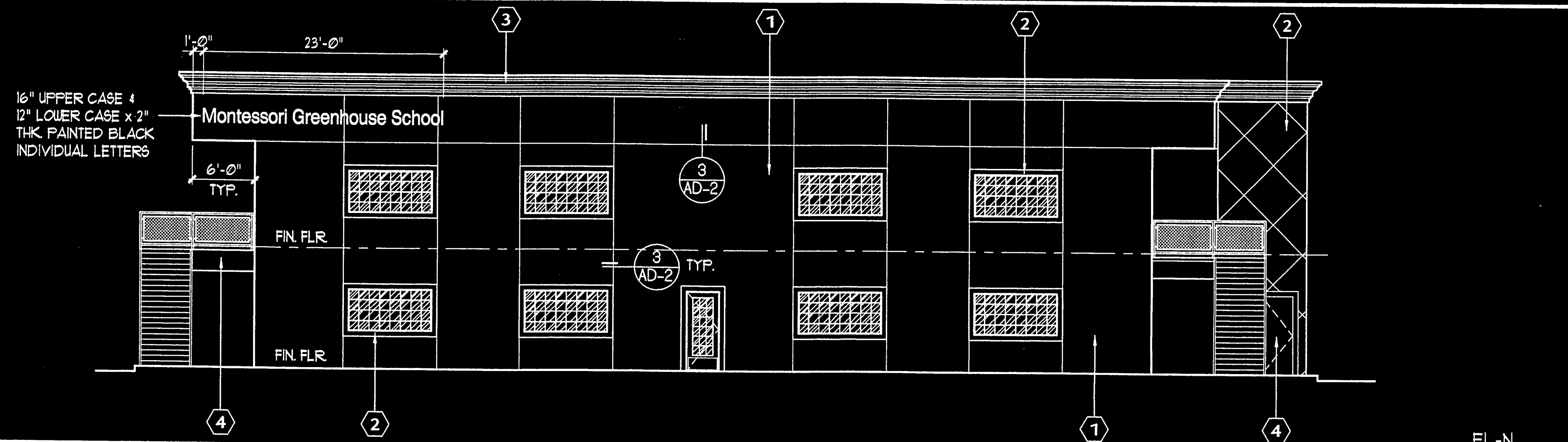
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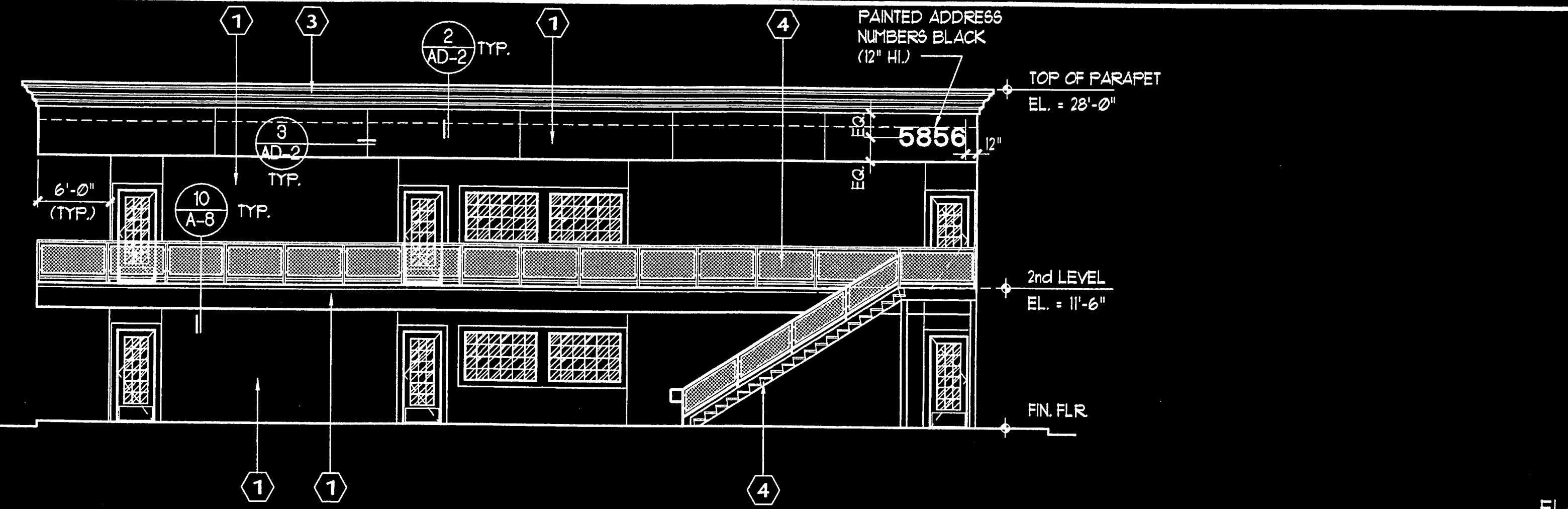
SOUTH ELEVATION

1/8" = 1'-0" 1



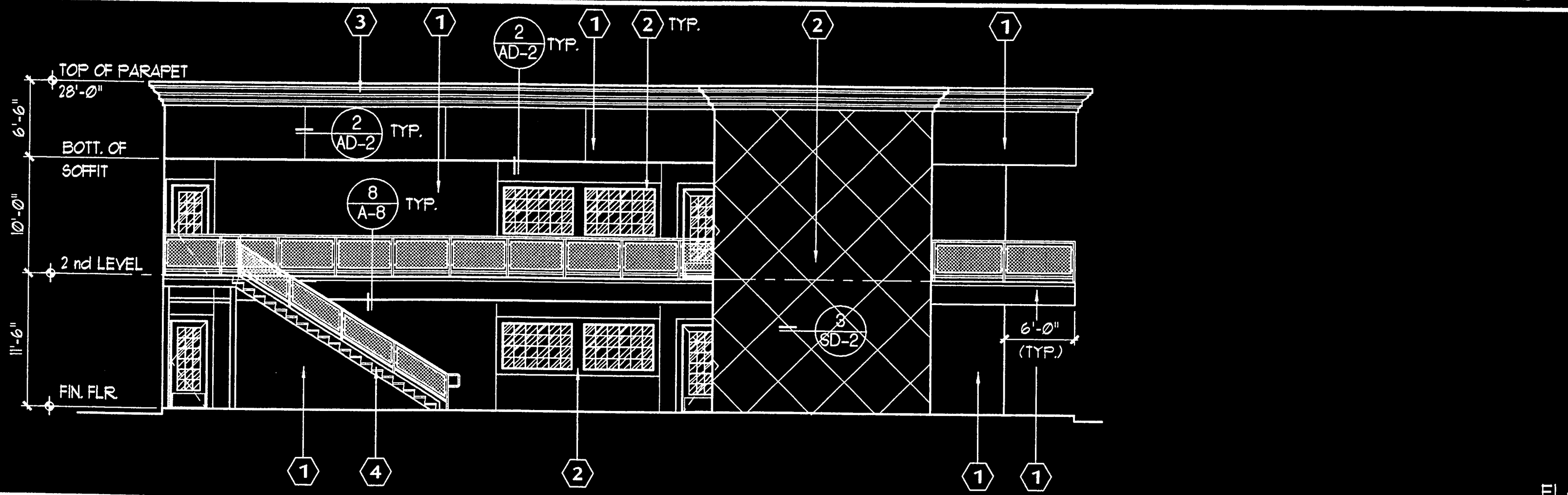
WEST ELEVATION

1/8" = 1'-0" 2



EAST ELEVATION

1/8" = 1'-0" 3



NORTH ELEVATION

1/8" = 1'-0" 4

- 1 EXTERIOR PLASTER FINISH:
EXTERIOR CEMENT PLASTER WITH INTEGRAL COLOR BY LA HABRA TO MATCH FRAZEE "1014d HONEY SUCKLE" WITH MEDIUM MACHINE APPLIED FINISH. APPLY MONOCHEM AQUASEAL WATERPROOFING SYSTEM. SEE NOTE BELOW
- 2 EXTERIOR PLASTER FINISH:
EXTERIOR CEMENT PLASTER WITH INTEGRAL COLOR BY LA HABRA TO MATCH FRAZEE "1000W IVORY POWDER" WITH MEDIUM MACHINE APPLIED FINISH. APPLY MONOCHEM AQUASEAL WATERPROOFING SYSTEM. SEE NOTE BELOW
- 3 CROWN MOLDING:
"ADVANCE FOAM" # 140 (HEIGHT = 18"), USING METHOD EXTERIOR INSULATION FINISH SYSTEM (EIFS) PER MANUFACTURER'S SPECIFICATIONS. PAINT WITH FRAZEE "STRATA BEIGE" # 1001W.
- 4 EXTERIOR STAIRS, RAILINGS AND METAL DOORS AND MISCELLANEOUS METAL:
PRIMED AND PAINTED WITH SEMI-GLOSS ENAMEL BY FRAZEE "AC144N" BLACK DECCO.
- 5 EXTERIOR LIGHT FIXTURE:
LIGHT FIXTURE REFER TO ELECTRICAL DUGS.
- 6 CONCRETE SIDEWALK:
LIGHT BROOM CONCRETE FINISH W/ 2" SMOOTH BORDER

FINISH NOTES:
MONOCHEM AQUASEAL WATERPROOFING SYSTEM:
APPLY PER MANUFACTURER SPECIFICATIONS.
PROVIDE A 4' SQ. SAMPLE MOCK-UP IN FIELD &
COORDINATE WITH ARCHITECT'S FIELD VISIT FOR
ARCHITECT AND MONOCHEM AQUASEAL REP.
APPROVAL PRIOR TO PROCEEDING.

EXTERIOR FINISH MATERIAL NO SCALE

REVISIONS.	DATE :

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PROJECT

MONTESSORI GREENHOUSE SCHOOL
 5856 BELGRAVE AVENUE
 GARDEN GROVE, CALIFORNIA

DRAWING:

EXTERIOR ELEVATIONS
AND EXT. FINISH
MATERIAL

CHECKED BY:

DATE: 3-20-2005

ISSUED FOR:

REVIEW

PLAN CHECK

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DRAWN BY

SHEET NO.:

A-3

CADFILE: GG-A3-ELEV

JOB NO. 151P-1001

SP. 306.62

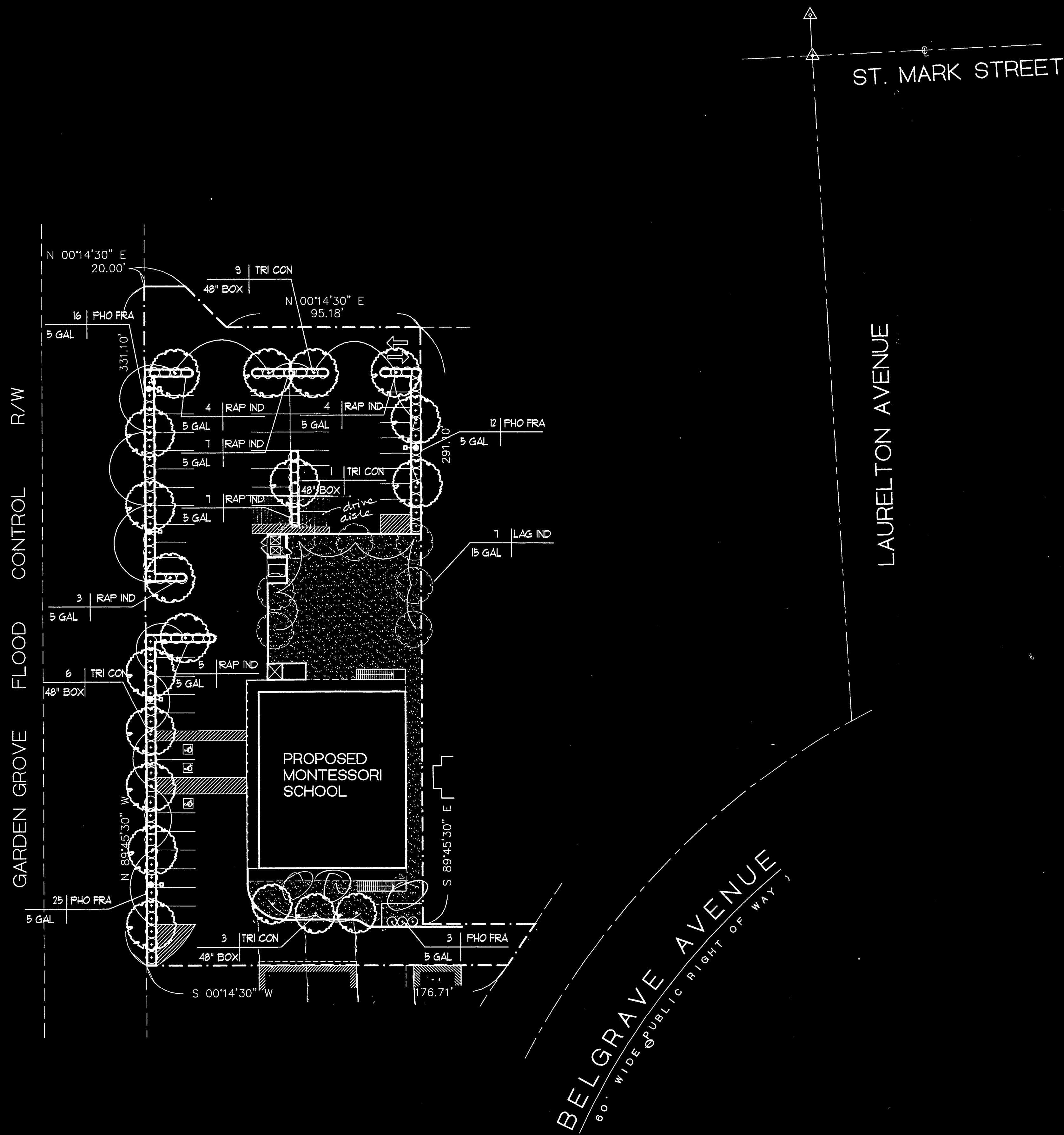
LEGEND

LANDSCAPE LEGEND

-  EVERGREEN THEME TREE
TRISTANIA CONFERTA (BRISBANE BOX)
-  FLOWERING ACCENT TREE
LAGERSTROEMIA INDICA (GRAPE MYRTLE)
-  EVERGREEN SCREEN SHRUB
PHOTINA FRASERI (PHOTINIA)
-  FLOWERING EVERGREEN SHRUB
RAPHIOLEPIS INDICA (INDIA HAWTHORN)
-  TURF AREA
HYDROSEEDED TURF

GENERAL NOTES:

1. ALL LANDSCAPED AREAS TO BE IRRIGATED BY AN AUTOMATIC SYSTEM CONFORMING TO THE CITY OF GARDEN GROVE REQUIREMENTS OUTLINED IN ARTICLE IV, LANDSCAPING OF THE DEVELOPMENT STANDARDS.
ALL LANDSCAPE AREAS TO BE PLANTED WITH THE GROUND COVER HEDERA HELIX HAHN UNLESS OTHERWISE DENOTED ON PLAN.



LANDSCAPE PLAN

ST. MARK STREET

LAURELTON AVENUE

BELGRAVE AVENUE
(60' WIDE PUBLIC RIGHT OF WAY)

REVISIONS:	DATE:
▲	6-5-2003
▲	
▲	
▲	
▲	
▲	
▲	
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PROJECT
MONTESSORI GREENHOUSE SCHOOL
5856 BELGRAVE AVENUE
GARDEN GROVE, CALIFORNIA

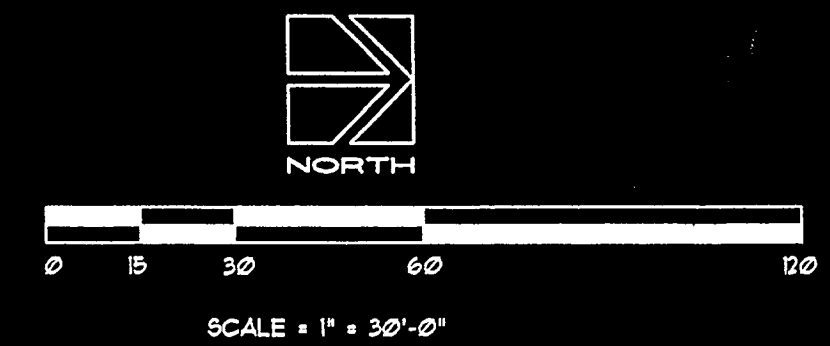
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LANDSCAPE PLAN

CHECKED BY:
DATE: 6-20-2003
ISSUED FOR:
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CONSTRUCTION
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CADFILE: GG-AI-SITE
JOB NO. 151P-1021



JPA
JOHN PETERS & ASSOCIATES
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SP.306.02

IRRIGATION LEGEND

- RAINBIRD 1812-FC9-040-5H-B BUBBLER -- 40 @.4
- RAINBIRD FALCON 6504 F4-FC RUBBER COLLARI' 40 3.3
- RAINBIRD 1804 POP-UP SPRAY MFR NOZZLE 12' 30 Q=.65 H=1.3

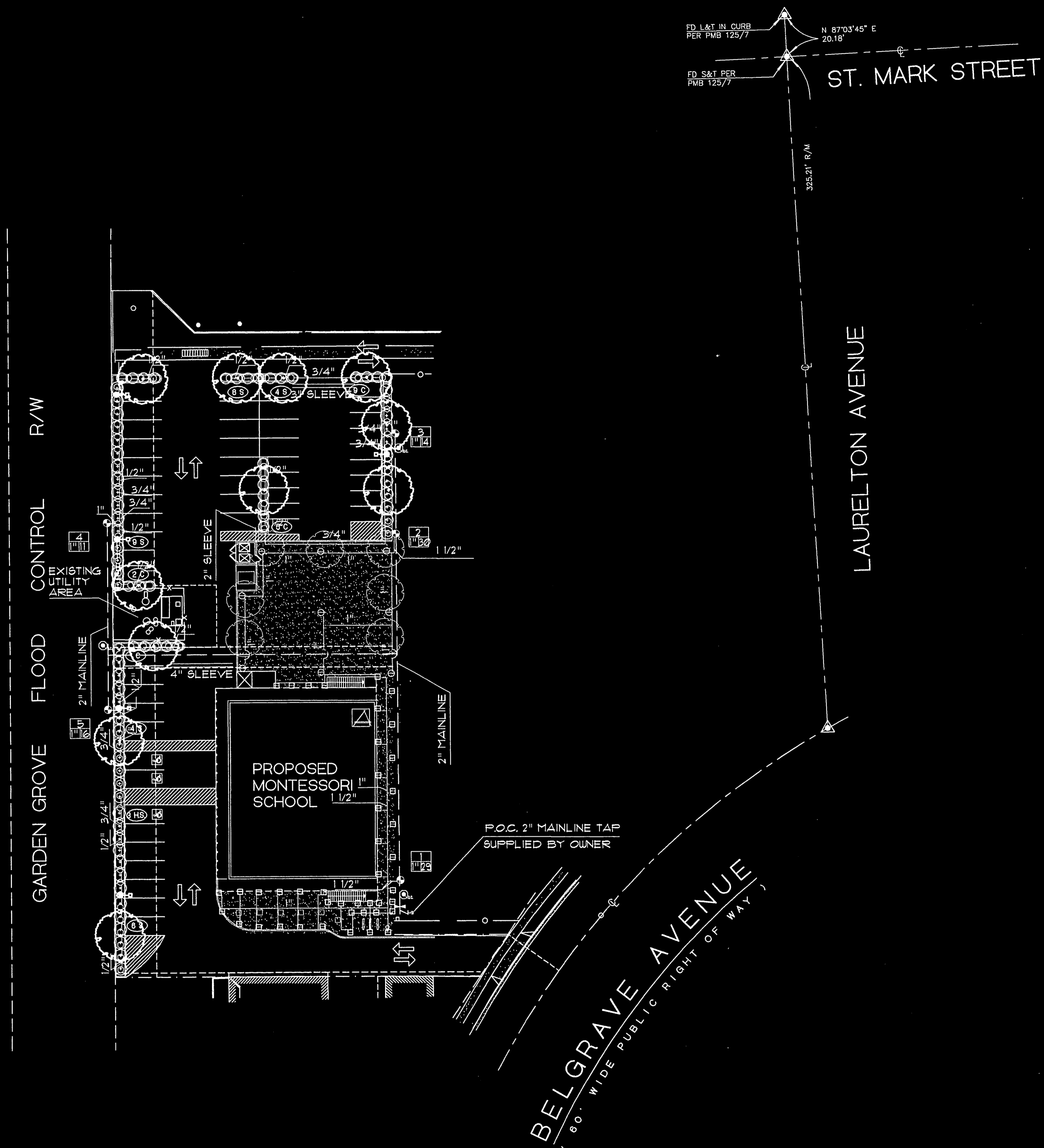
- ⊗ FEBCO 825Y, 1-1/2" REDUCED PRESSURE BACKFLOW PREVENTER
- ⊗ TORO 250 SERIES AUTOMATIC VALVE, SIZE AS NOTED
- ⊗ RAINBIRD 33DNF-LVC QUICK COUPLER W/ LOCKING VINYL CAP
- ⊗ NIBCO T113 LINE SIZE GATE VALVE

- ⊗ RAINBIRD RC-1860AB AUTOMATIC CONTROLLER, WALL MOUNT

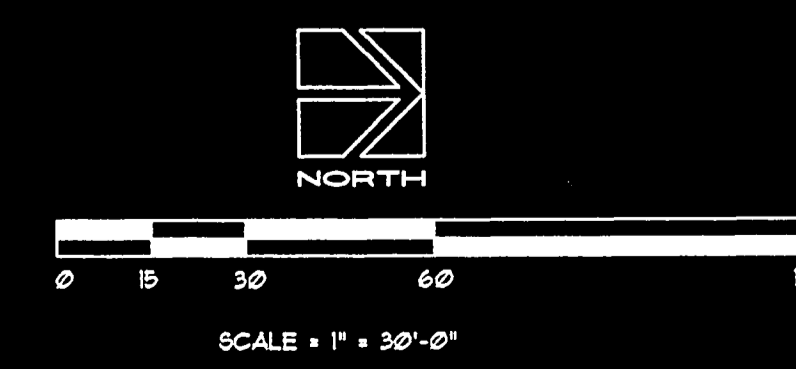
- PVC SCHEDULE 40 MAINLINE, 2"
- PVC SCHEDULE 40 SLEEVE, SIZE AS NOTED
- PVC SCHEDULE 40 ELECTRICAL CONDUIT, SIZE AS NOTED
- PVC CLASS 200 LATERAL LINE, SIZE AS NOTED

- 4 STATION/VALVE NUMBER
- 2150 GPM
- VALVE SIZE

NOTES:
 ALL PIPING UNDER PERMANENT PAVEMENT TO BE INSTALLED IN SCD 40 PVC SLEEVE TWO TIMES THE DIAMETER OF IRRIGATION LINE.
 THIS SYSTEM DESIGNED TO OPERATE AT A MINIMUM PRESSURE OF 35 PSI AND A MAXIMUM FLOW OF 35 GPM.
 CONTRACTOR TO VERIFY LOCATION OF ALL METERS, CONTROLLERS, AND MAINLINES WITH OWNER.



IRRIGATION PLAN



SP-306-02

REVISIONS:	DATE:
1	6-5-2003

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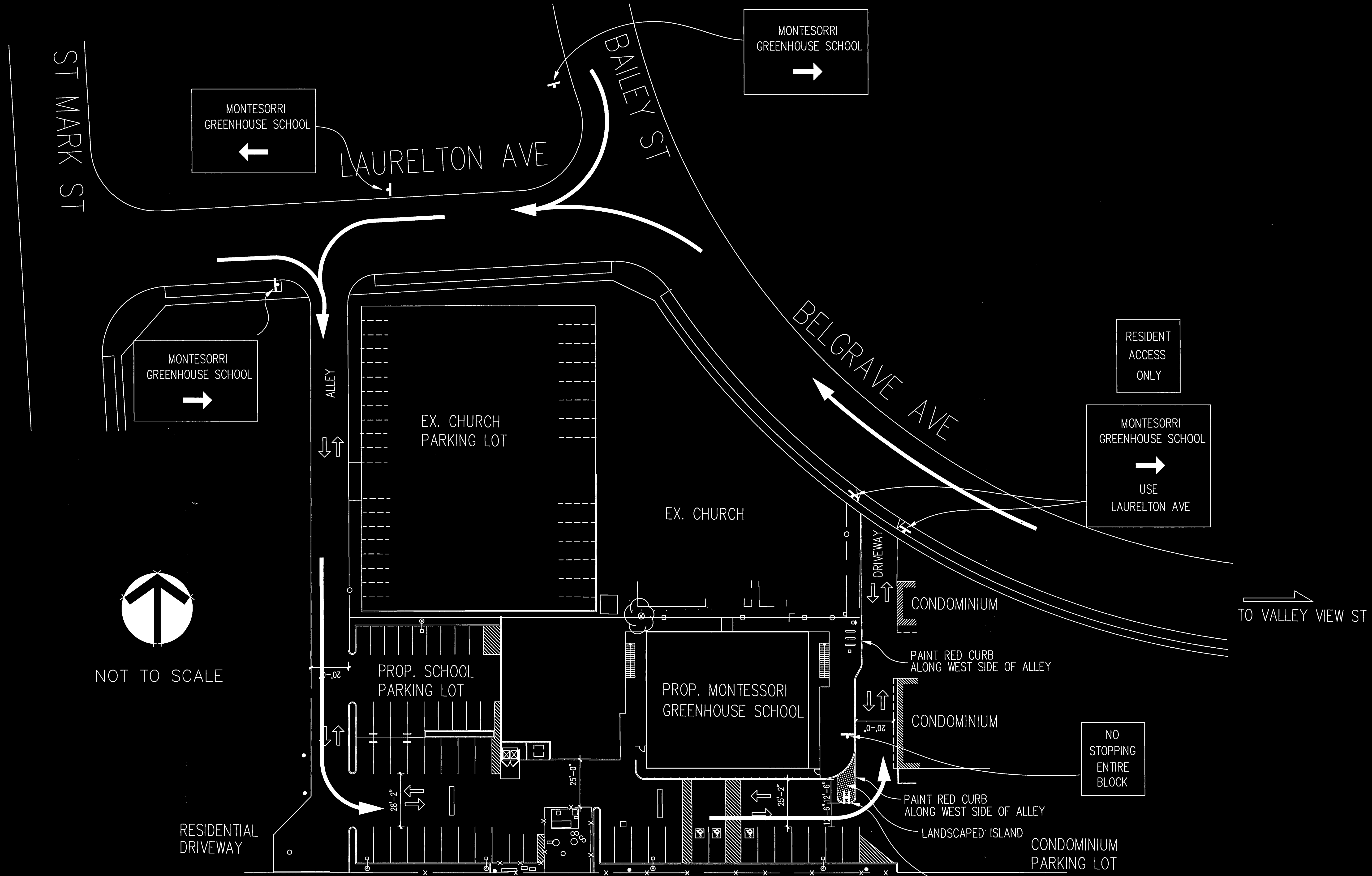
PROJECT
MONTESSORI GREENHOUSE SCHOOL
 5856 BELGRAVE AVENUE
 GARDEN GROVE, CALIFORNIA

DRAWING:
IRRIGATION PLAN

CHECKED BY:
 DATE: 6-20-2003
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 PLAN CHECK
 BIDDING
 PERMIT
 CONSTRUCTION
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SHEET NO:
L-2
 CADFILE: GG-AI-SITE
 JOB NO: 157F-1001

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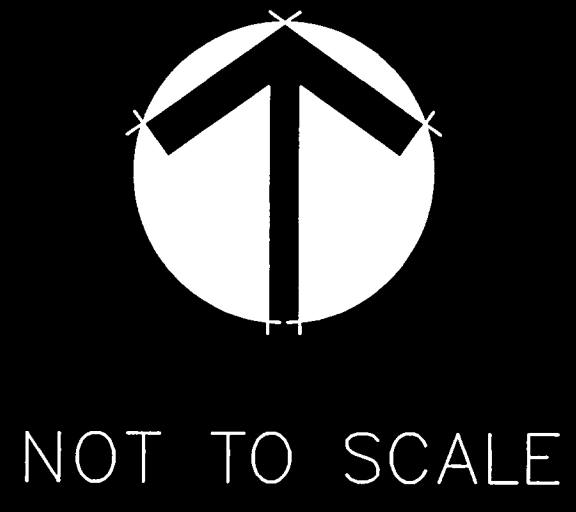
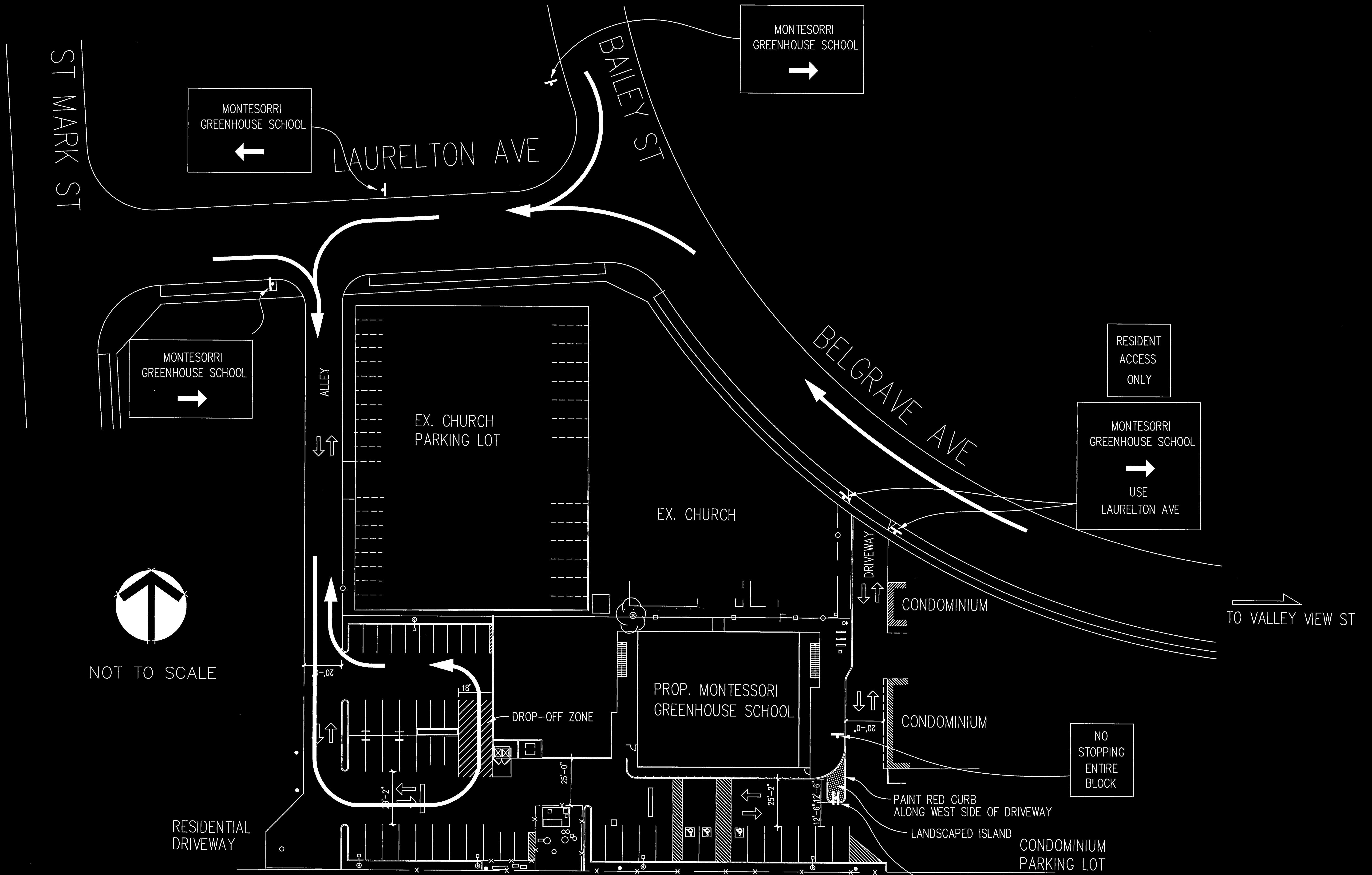
NOT TO SCALE

TRAFFIC CIRCULATION- CONCEPTUAL ONLY

ALTERNATIVE "A"

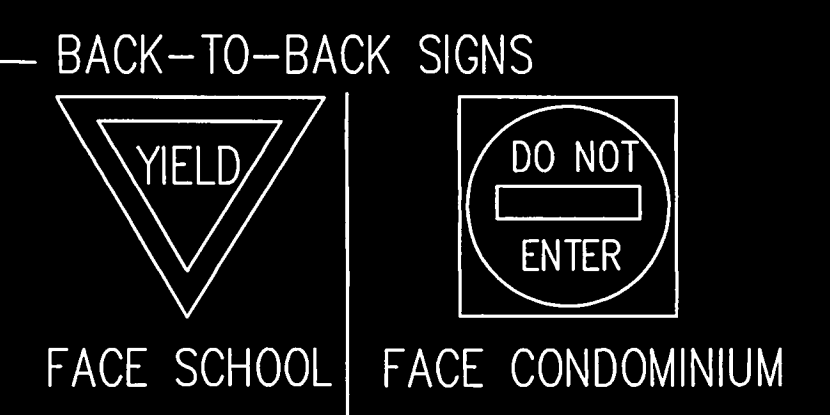


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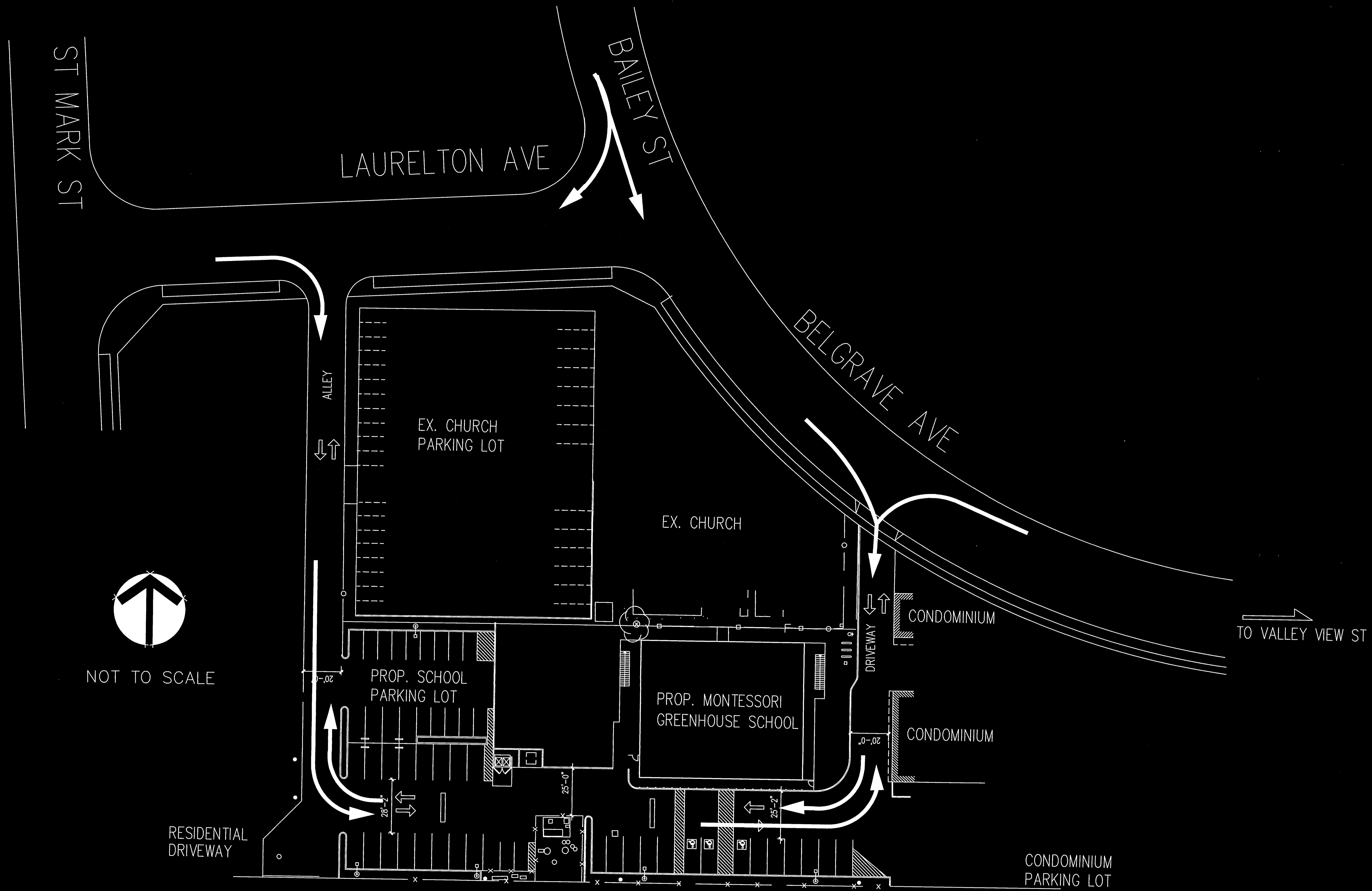


TRAFFIC CIRCULATION- CONCEPTUAL ONLY

ALTERNATIVE "B" (TWO PARKING REDUCTION)



SP.306.02



TRAFFIC CIRCULATION- CONCEPTUAL ONLY

ALTERNATIVE "0" - EXISTING CONDITION