



# CITY OF GARDEN GROVE

November 9, 2017

Duc Doan  
Cali Chem Inc.  
14271 Corporate Dr. #B  
Garden Grove, CA 92843

Subject: Supplemental Notice and Order to Repair Substandard Building  
Supplemental to Original Notice Dated September 7, 2017

Building Location: 14271 Corporate Dr.  
Assessor Parcel No.: 099-182-29  
Property Owner: Duc Doan  
14271 Corporate Dr. #B  
Garden Grove, CA 92843

This notice is being sent in accordance with the provisions of the International Property Maintenance Code (IPMC), 2015 Edition and shall be considered a supplement to the previously issued Notice and Order referenced above.

On November 8, 2017 the Community and Economic Development Department Building Division in conjunction with Garden Grove Fire Department conducted a reinspection of the above referenced building in an effort to ascertain progress of repair activity of the Code violations identified within the original Notice and Order (copy attached) and outstanding Fire Department violations. Our inspection revealed that violations to the Garden Grove Municipal Code, the California Building Code, 2016 Edition, the International Property Maintenance Code, 2015 Edition, the California Plumbing Code, 2016 Edition, the California Mechanical Code, 2016 Edition and the California Electrical Code, 2016 Edition, as previously listed continue to exist to such an extent as to endanger the public welfare and safety. Further, additional hazardous conditions, as listed below, were found to exist during this reinspection. The following is a summary and may not be all inclusive as to the total extent of violations present.

1. \*Walls were built without permits creating a non-permitted mixing room in the warehouse without approvals, permits or inspections. Walls were built without permits creating a non-permitted hazardous materials storage room. High pile storage racks have been installed without permits or inspections. Fire protection systems (sprinklers) are not installed for the quantity of flammable materials. Also flammable materials are stored on the racks exceeding height requirements

in violation of Fire Dept. regulations. Flammable and hazardous materials are being stored in large quantities throughout the facility and not contained properly. The building does not have Hazardous Material containers to properly store or safely handle the hazardous/flammable materials. Bottling of nail polish and filling of gallon containers (manufacturing) is occurring in the warehouse without Planning Division approvals, permits or inspections. This process constitutes a manufacturing process and is not approved under the Occupancy and Use classification and permits for this facility. 2016 CBC 105.1, 111.1, 116.1, IPMC 108.12, 108.13, 108.1.5, 701.2

2. \*Mixing machines have been installed without permits and in a non-approved manner. Electrical and safety hazards have been created by this installation. I.e. Equipment disconnects improperly installed, catwalk platforms without proper guards, dust collection system missing, electrical panels contaminated by dust creating an explosive hazard. The HVAC system and exhaust systems are either missing or are not installed in an approved manner which would facilitate the removal of hazardous fumes and vapors including dust or other particulates which may be harmful to the health and safety of employees. 2016 CBC 105.1, 111.1, 116.1, IPMC 108.12, 108.13, 108.1.5, 701.2

**YOU ARE ORDERED TO:**

**VACATE THE USE:** STOP the manufacturing process. Immediately remove hazardous materials, disconnect machinery from use, block off non-permitted structures (catwalks). Cease any related activities not permitted or approved as warehouse use. The manufacturing use is located within and outside of 14271 Corporate Dr. You shall cease and desist all manufacturing operations no later than 5:00 PM, Tuesday, November 14, 2017. The hazardous/flammable materials, unlisted equipment and structures shall be removed from the premises so as to prevent any use by any persons until all approvals, permits and construction activity is complete and final inspection is approved by all agencies for that use. The machinery/equipment and structures shall be posted "UNSAFE - Do Not Use or Occupy."

The conditions listed within this Supplemental Notice and Order and the original Notice and Order as referenced above, to the extent identified, have been found to create a hazard to life, limb, health, property, safety or welfare of the public or occupants thereof and are hereby declared to be a Dangerous Structure or Premises per 2015 IPMC sec. 108.1.5 and Imminent Danger per [A] 109.1, and shall be abated immediately.

Supplemental Notice and Order  
14271 Corporate Dr. #B  
November 9, 2017  
Page 3

The original Notice and Order set forth the time period for completion of necessary repair and/or abatement items. As such, the City of Garden Grove may initiate judicial proceedings to obtain compliance in accordance with the aforementioned Notice and Order, the Garden Grove Municipal Code and California State law. In order to minimize any further legal liability, we strongly encourage you to take substantive action to obtain permits, correct the violations listed and gain inspection approval immediately.

In accordance with the provisions of the 2015 International Property Maintenance, and as specified within the original Notice and Order, your right of appeal has expired. No further appeal procedure may be extended to you.

In conclusion, should you have any questions as to the requirements specified above, or as to the requirements within the original Notice and Order, please feel free to forward them in writing and mail to:

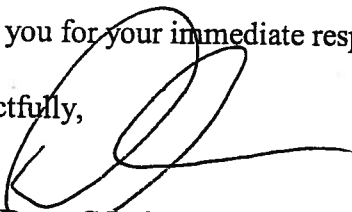
City of Garden Grove  
Building and Safety Division  
Mr. David Dent, C.B.O.  
11222 Acacia Parkway  
PO Box 3070  
Garden Grove, CA 92842

And a copy to:

City of Garden Grove  
Office of the City Attorney  
Mr. Omar Sandoval  
11222 Acacia Parkway  
PO Box 3070  
Garden Grove, CA 92842

Thank you for your immediate response to the notice.

Respectfully,

  
David Dent, C.B.O.  
Chief Building Official  
Community and Economic Development Department



# CITY OF GARDEN GROVE

---

September 7, 2017

**CERTIFIED MAIL**

Duc Doan  
Cali Chem Inc.  
14271 Corporate Dr. #B  
Garden Grove CA 92843

RE: Notice and Order of Building Official to Repair Dangerous Building  
Location: 14271 Corporate Dr. #B

Name of Owner(s) of Record: KW Holdings LLC  
Address of Record Owner(s): 14271 Corporate Dr.  
Garden Grove CA

The Community and Economic Development Department, Building Services Division makes routine inspections of buildings and structures within the City of Garden Grove that seek to ensure they are maintained in accordance with the minimum standards of safety established by State and local codes which are designed to protect the public's health and welfare.

An inspection of the property at 14271 Corporate Dr., which our records indicate is owned or controlled by you, was made on or about May 7, 2014, by the City of Garden Grove, Building Services Division. This inspection disclosed that violations of the California Building Code, California Plumbing Code, California Mechanical Code, California Electrical Code, International Property Maintenance Code, and/or the Garden Grove Municipal Code, exist to such an extent that the building or structure endangers the public welfare and safety.

THE FOLLOWING DANGEROUS CONDITIONS WERE FOUND TO EXIST ON OR ABOUT May 7, 2014, AT THE SUBJECT PROPERTY AND MUST BE REPAIRED, REPLACED OR REMOVED AS APPROPRIATE TO BRING THE STRUCTURE INTO COMPLIANCE WITH THE ABOVE REFERENCED CODES. PERMITS MUST BE ISSUED FOR THOSE ITEMS NOTED WITH AN ASTERISK (\*).

1. \*A detached steel frame storage structure has been built at the southwest corner of the lot without Planning Division approvals,

permits or inspections. Submit plans, obtain approvals, permits and inspections or obtain a demolition permit and remove the structure. 2016 CBC sec [A] 105.1, [A] 114.1, 2015 IPMC sec 108.1

*Review of City records indicate a lack of progress on your part to correct violations as stated in the Notice of Violation mailed to you on May 7, 2014. It is noted that you were granted several extensions by the City Building Official with regard to your plan check corrections. At this time no further extensions will be granted and your immediate attention to this matter is required.*

The conditions listed above have been found to create a hazard to life, limb, health, property, safety or welfare of the public or occupants thereof and are hereby declared to be dangerous and a public nuisance in accordance with 2016, CBC sec. 116 and 2015, IPMC sec. 108 respectively.

YOU ARE ORDERED TO:

**VACATE THE USE:** The structure, or portion thereof, more commonly referred to as The Steel frame storage structure, shall be vacated no later than 5:00 PM, Thursday, October 12, 2017. The structure shall be secured so as to prevent any occupancy and/or use/trespassing by any persons until all demolition activity is complete and final inspection is approved. The structure may be posted "Dangerous Building - Unsafe to Occupy."

**REPAIR:** Permits shall be obtained for those corrections noted with an asterisk (\*) above and repair work of all corrections shall commence not later than 30 days from the date of this notice. Repair work shall continue to progress in a timely manner, be completed and all inspections approved by this office not later than 5:00 PM, Tuesday, November 14, 2017. Permits may be obtained at the Permit Center, located on the first floor of the City Hall. Our counter personnel are available to assist you.

Repair work not commenced within the time specified may result in the following actions:

- The Building Official may order the building vacated and posted to prevent further occupancy until the repair work is completed.
- The Building Official may proceed to cause the work to be done and charge the costs thereof against the property or the owner.

**DEMOLISH:** The structure may be demolished at the owner's option. As such, a demolition permit shall be issued not later than 5:00 PM, Thursday, October 12, 2017, and all demolition work shall be completed and inspection approved not later than 30 days after the issuance of the demolition permit.

Such demolition shall include removal of the building or structure, debris, etc., and the proper termination of all utility, water and sanitation lines serving the building or structure. The demolition permit may be obtained at the Permit Center, located on the first floor of City Hall. Our counter personnel are available to assist you.

**PROCEDURE AND CONSEQUENCES FOR NONCOMPLIANCE:** Should the deadlines above expire, we will conduct a reinspection of the property on or about the date of expiration established above. If it is determined that the above substandard conditions, or any portion thereof, continue to exist, we will have no choice but to proceed with the following:

1. The matter may be sent to the City Attorney's office for criminal prosecution. Each day of violation may constitute a separate misdemeanor, the penalty for which is \$1,000.00, a maximum of six (6) months in jail for each violation, or both, the fine and jail. Reference GGMC §1.04.010.
2. The Building Official may file a "Certificate of Dangerous Building" with County Recorder which certifies that the property is substandard. NOTE: A check for \$11.00, made payable to the Orange County Recorders Office, must be provided to the Building Service Division after completion and inspection approval of the substandard conditions, in order to release this certificate.
3. In accordance with State law, the City will file a "Notice of Noncompliance" (on substandard rental housing and/or on vacant structures) with the State Franchise Tax Board and the Orange County Recorder's office. Such Notice may result in the denial of State income tax deductions claimed for interest, taxes, depreciation or amortization paid or income in the taxable year with respect to such substandard rental housing.
4. **Civil Abatement:** In addition to the aforementioned consequences, the building official may commence civil abatement proceedings against you. The purpose of this action is to cause the repair of the building. Through a civil abatement action, among other remedies the City may seek to permanently enjoin you from maintaining the property in a substandard condition; the City may seek to obtain an order compelling you to provide or pay relocation benefits to each tenant displaced during the repair of the building; and, the City may seek to obtain an order requiring you to pay all reasonable and actual costs incurred by the City in conjunction with the action, including but not limited to attorneys fees and costs, and the issuance of an Administrative Citation with a fine of up to \$1,000. (California Health and Safety Code Section 17980.7).

This letter constitutes your notice and order to repair the building at 14271 Corporate Dr. #B. All necessary permits shall be obtained and repairs completed as specified above.

You may appeal this Notice and Order to the Garden Grove Administrative Board of Appeals by filing a written appeal within twenty (20) days of the date of this notice and order. Forms for appeal may be obtained from the City Clerk's Office in the City Hall. Failure to appeal shall constitute a waiver of any and all rights.

If you fail to appeal or complete repairs to the property within the time specified above, the Building Official will; (1) order the building vacated and posted to prevent further occupancy/use until the work is completed and/or (2) proceed to cause the repair work to be completed by City forces or hired, private contractors. The City will recover all costs of abatement process by charging you as a property owner with the costs as either a personal obligation or as a special assessment against the subject property, whichever the City Council shall deem appropriate.

Please note that California Civil Code section 1942.5 provides serious penalties if you retaliate against any of your tenants in response to this Notice and Order.

We sincerely solicit your cooperation in correcting these substandard conditions. If we can provide further information or assistance, please contact (Michael Austin) at (#714-741-5172) or our Permit Center at (714) 741-5307. Thank you for your immediate attention to this matter.

Respectfully,

Community and Economic Development Department  
Lisa Kim, Department Director

  
David Dent  
Chief Building Official

9/7/17

INSPECTION 20140141

1  
2 **STATE OF CALIFORNIA, COUNTY OF ORANGE**

3 I am over the age of 18 and not a party to the within action; I am employed by the City of Garden  
4 Grove in the County of Orange at 11222 Acacia Parkway, Garden Grove, CA 92840.

5 On September 7, 2017 I served the foregoing document(s) described as

6 **"Notice & Order"**

7  by placing

8  The original

9  A true copy thereof enclosed in sealed envelopes addressed as follows:

10 **Duc Doan, Cali Chem Inc., 14271 Corporate Dr. #B, Garden Grove CA 92843**

11  **(BY MAIL, Certified or First Class)** I placed said envelope(s) for collection and mailing, following  
12 ordinary business practices, at the business offices of the CITY OF GARDEN GROVE, and  
13 addressed as shown above, for deposit in the United States Postal Service. I am readily familiar with  
14 the practice of the CITY OF GARDEN GROVE for collection and processing for mailing with the  
15 United States Postal Service, and said envelope(s) will be deposited with the United States Postal  
16 Service on said date in the ordinary course of business.

17  **(BY OVERNIGHT DELIVERY)** I placed said documents in envelope(s) for collection following  
18 ordinary business practices, at the business offices of the CITY OF GARDEN GROVE, and  
19 addressed as shown above, for collection and delivery to a courier authorized by **(fill in - Federal**  
20 **Express/UPS/USPS)** to receive said documents, with delivery fees provided for. I am readily  
21 familiar with the practices of the CITY OF GARDEN GROVE for collection and processing of  
22 documents for overnight delivery, and said envelope(s) will be deposited for receipt by **(fill in -**  
23 **Federal Express/UPS/USPS)** on said date in the ordinary course of business.

24  **(BY FACSIMILE)** I caused the above-referenced document to be transmitted to the interested parties  
25 via facsimile transmission to the fax number(s) as stated above.

26  **(BY PERSONAL SERVICE)** I hand delivered and posted the documents at the address listed.

27  (State) I declare under penalty of perjury under the laws of the State of California that the above  
28 is true and correct.

Executed on September 7, 2017 at Garden Grove, California.

23  
24   
25 Michael Austin

26 Supervising Building Inspector





## CITY OF GARDEN GROVE

---

April 4, 2017

Duc Doan  
Cali Chem Inc.  
14271 Corporate Dr. #B  
Garden Grove, CA 92844

Subject: **7-day Notice to correct violations at 14271 Corporate Dr. #B.**

Dear Mr. Doan,

Review of City records indicate a lack of progress on your part to correct violations as stated in the Notice of Violation mailed to you on May 7, 2014. It is noted that you were granted several extensions by the Building Official with regard to your plan check corrections. At this time no further extensions will be granted and your immediate attention to this matter is required.

The following items were discovered which must be repaired, replaced, removed or demolished so as to reduce any potential hazard to building occupants or the general public. Due to the lack of progress no extensions of time will be allowed beyond this 7-day notice.

1. \*A freestanding metal canopy structure has been built at the rear parking area of the business without Planning Division approvals, permits or inspections. Submit plans, obtain approvals, permits and inspections or remove the structure. Call for inspections.

We are requesting that you take immediate action to clear these violations. You are directed to submit plans, obtain permits and complete the corrections and call for a final inspection within the next 7-days or this matter may be referred to the City Attorney for legal action.

Page 2  
14271 Corporate Dr. #B.  
April 4, 2017

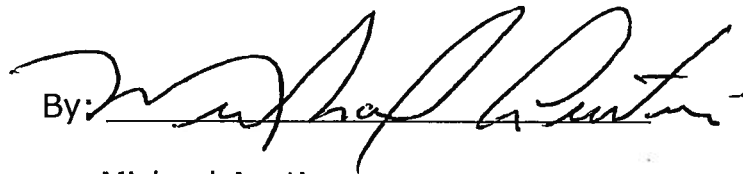
**Your non-compliance shall result in a Notice of Noncompliance recorded on the property title with the County Recorder's office which will be removed only when all corrections have been completed.**

We sincerely solicit your cooperation in correcting these conditions. If we can provide further information or assistance, please call Michael Austin at (714) 741-5172 or our permit section at (714) 741-5307. Thank you again for your immediate attention to this matter.

Sincerely,

Community/Economic Development Department  
Reggie Meigs, Interim Building Official

By:

A handwritten signature in black ink, appearing to read "Michael Austin", written over a horizontal line.

Michael Austin,  
Supervising Building Inspector

1  
2  
3  
4  
5  
6  
7  
8  
9  
10  
11  
12  
13  
14  
15  
16  
17  
18  
19  
20  
21  
22  
23  
24  
25  
26  
27  
28

**STATE OF CALIFORNIA, COUNTY OF ORANGE**

I am over the age of 18 and not a party to the within action; I am employed by the City of Garden Grove in the County of Orange at 11222 Acacia Parkway, Garden Grove, CA 92840.

On April 4, 2016 I served the foregoing document(s) described as

**"7-Day Notice"**

- by placing
- The original  A true copy thereof enclosed in sealed envelopes addressed as follows:

**Duc Doan, Cali Chem Inc., 14271 Corporate Dr. #B , Garden Grove, CA 92844**

- (BY MAIL, Certified or First Class)** I placed said envelope(s) for collection and mailing, following ordinary business practices, at the business offices of the CITY OF GARDEN GROVE, and addressed as shown above, for deposit in the United States Postal Service. I am readily familiar with the practice of the CITY OF GARDEN GROVE for collection and processing for mailing with the United States Postal Service, and said envelope(s) will be deposited with the United States Postal Service on said date in the ordinary course of business.
- (BY OVERNIGHT DELIVERY)** I placed said documents in envelope(s) for collection following ordinary business practices, at the business offices of the CITY OF GARDEN GROVE, and addressed as shown above, for collection and delivery to a courier authorized by (fill in - Federal Express/UPS/USPS) to receive said documents, with delivery fees provided for. I am readily familiar with the practices of the CITY OF GARDEN GROVE for collection and processing of documents for overnight delivery, and said envelope(s) will be deposited for receipt by (fill in - Federal Express/UPS/USPS) on said date in the ordinary course of business.
- (BY FACSIMILE)** I caused the above-referenced document to be transmitted to the interested parties via facsimile transmission to the fax number(s) as stated above.
- (BY PERSONAL SERVICE)** I hand delivered and posted the documents at the address listed.
- (State) I declare under penalty of perjury under the laws of the State of California that the above is true and correct.

Executed on April 4, 2016 at Garden Grove, California.



Mike Austin

Supervising Building Inspector



## CITY OF GARDEN GROVE

May 7, 2014

CERTIFIED

Duc Doan  
Cali Chem Inc.  
14271 Corporate Dr #B  
Garden Grove, CA 92844

Dear Mr. Doan,

Subject: Property Inspection at 14271 Corporate Dr #B. Garden Grove, CA 92844.

The Community Development Department, Building Services Division conducts routine inspections and investigates complaints of buildings and structures within the City of Garden Grove so as to assure they are maintained in accordance with the minimum standards of safety established by State and local codes which are designed to protect the public's health and welfare.

An inspection of your property was conducted on May 7, 2014. During this inspection, the following items were discovered which must be repaired, replaced, removed or demolished so as to reduce any potential hazard to building occupants or the general public.

1. \*A freestanding metal canopy structure has been built at the rear parking area of the business without Planning Division approvals, permits or inspections. Submit plans, obtain approvals, permits and inspections or remove the structure. Call for inspections.

We are sending this letter to urge you to take immediate action to correct the items above. By first obtaining the appropriate permits for those items identified with an asterisk (\*) above, and our subsequent inspection and documentation of your repair work, we can provide you assurance that your structure will remain safe to occupy. With your assistance and cooperation, it is our hope that we can resolve this situation without having to commence a formal abatement process.

Please note that should a formal abatement process become necessary, State law prescribes certain procedures that may add significantly to your overall costs as a landowner. In addition to the possibility of prosecution in civil or criminal courts, we will be required to provide a copy of our "Notice and

14271 Corporate Dr #B  
May 7, 2014  
Page 2

Order<sup>1</sup> to all affected tenants and lien holders. We may also file the California State Franchise Tax Board's Notice of Non-Compliance that will temporarily stay your tax benefits as a landowner and we will also record a "Notice of Substandard Building" in the Office of the County Recorder.

Finally, we will proceed to recover all costs incurred by the City for the abatement action.

It is our intent to avoid the foregoing process and to minimize any unnecessary costs to you. Please take immediate action to complete the repair work required within the prescribed time frame. I am available to answer any questions you may have or to meet with you as necessary to establish the best solution to the items listed above. Should we not receive a response to this request within **30-days** of the date of this letter, we will proceed to conduct a re-inspection of your property on, or about Monday, June 9, 2014.

In conclusion, please contact our office before you begin any repair activity. Our Permit Center staff can assist in answering your questions about the permit process and our building abatement program. They can be reached at (714) 741-5307. I can be reached at (714) 741-5172). Thank you again for your immediate attention to this matter.

Sincerely,

Community Development Department  
Bill Tewfik, Building Official

By:   
Michael Austjn  
Supervising Building Inspector

---

<sup>1</sup> The "Notice and Order" starts the formal abatement process and will be sent only if it is determined that repair work has not been completed in a satisfactory, or timely manner.

1  
2 STATE OF CALIFORNIA, COUNTY OF ORANGE

3 I am over the age of 18 and not a party to the within action; I am employed by the  
4 City of Garden Grove in the County of Orange at 11222 Acacia Parkway, Garden Grove, CA  
92840.

5 On May 7, 2014 I served the foregoing document(s) described as

6 (1) "Notice of Violation letter "

7  
8  by placing  
 the original  a true copy thereof enclosed in sealed envelopes addressed as follows:

9 Duc Doan, Cali Chem Inc., 14271 Corporate Dr #B, Garden Grove, CA 92844

10  (BY MAIL) I placed said envelope(s) for collection and mailing, following ordinary  
11 business practices, at the business offices of the CITY OF GARDEN GROVE, and  
12 addressed as shown above, for deposit in the United States Postal Service. I am  
13 readily familiar with the practice of the CITY OF GARDEN GROVE for collection  
and processing for mailing with the United States Postal Service, and said envelope(s)  
will be deposited with the United States Postal Service on said date in the ordinary  
course of business.

14  (BY OVERNIGHT DELIVERY) I placed said documents in envelope(s) for  
15 collection following ordinary business practices, at the business offices of the CITY  
OF GARDEN GROVE, and addressed as shown above, for collection and delivery to  
16 a courier authorized by (fill in - Federal Express/UPS/USPS) to receive said  
documents, with delivery fees provided for. I am readily familiar with the practices of  
17 the CITY OF GARDEN GROVE for collection and processing of documents for  
overnight delivery, and said envelope(s) will be deposited for receipt by (fill in -  
18 Federal Express/UPS/USPS) on said date in the ordinary course of business.

19  (BY FACSIMILE) I caused the above-referenced document to be transmitted to the  
interested parties via facsimile transmission to the fax number(s) as stated above.

20  (BY PERSONAL SERVICE) I posted the documents on the front entry to the  
structure as addressed.

21   
22  (State) I declare under penalty of perjury under the laws of the State of California  
that the above is true and correct.

23 Executed on may 7, 2014 at Garden Grove, California.

24  
25   
26 Michael Austin

27 Supervising Building Inspector  
28