

at&t

SITE NUMBER: CLV0934B_CLL00934B
SITE NAME: VALLEY VIEW VONS
ADDRESS: 11869 VALLEY VIEW ST.
 GARDEN GROVE, CA 92845
SITE TYPE: MONOPINE



UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA
 Call: TOLL FREE 811
 TWO WORKING DAYS BEFORE YOU DIG

PROPERTY OWNER:
 DOMAIN CORP.
 2716 OCEAN PARK BLVD. SUITE 3006
 SANTA MONICA, CA 90405
 CONTACT: DEXTER CHU
 PHONE: (424) 214-2153

APPLICANT:
 AT&T MOBILITY
 1265 N. VAN BUREN ST
 ANAHEIM, CA 92807
 CONTACT: GUNJAN MALIK
 PHONE: 562.650.5681

PROPERTY INFORMATION:
 JURISDICTION: CITY OF GARDEN GROVE
 CURRENT ZONING: C-2 COMMUNITY COMMERCIAL
 SITE PARCEL NO.: 224-222-19, 20
 CONSTRUCTION TYPE: V-N
 OCCUPANCY: U (UNMANNED TELECOM FACILITY)
 LATITUDE: 33° 47' 24.6" N
 LONGITUDE: 118° 01' 52.5" W
 GROUND ELEVATION: T.B.D.
 PROPOSED LEASE AREA: 660 SQ FT

SITE INFORMATION

SITE ACQUISITION:
 CORE DEVELOPMENT SERVICES
 2749 SATURN STREET
 BREA, CA 92821
 CONTACT: BILL LEWIS
 PHONE: 626.216.2024

PROJECT MANAGER:
 AT&T
 12900 PARK PLAZA DR, 3RD FLOOR
 CERRITOS, CA 90703
 CONTACT: ROBERT TORRALES
 PHONE: 951.818.2185

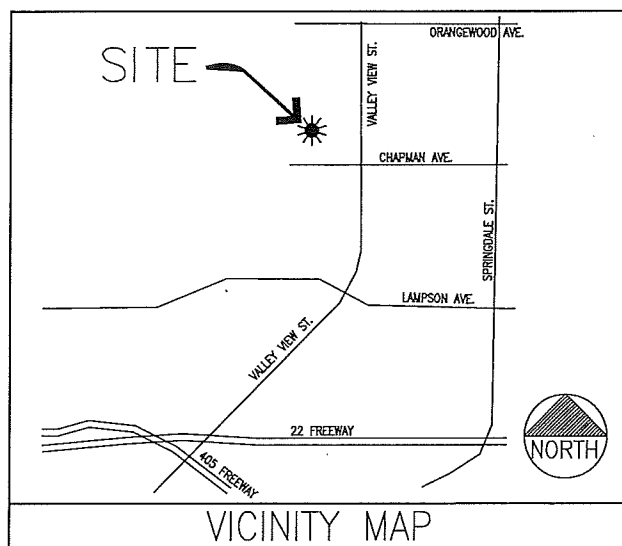
ZONING:
 CORE DEVELOPMENT SERVICES
 2749 SATURN STREET
 BREA, CA 92821
 CONTACT: ALEXANDER LEW
 PHONE: 714.401.2241

RF ENGINEER:
 AT&T
 12900 PARK PLAZA DR, 3RD FLOOR
 CERRITOS, CA 90703
 CONTACT: ADIL QAZI
 PHONE: 714.624.8957

CIVIL ENGINEER:
 CDG-CONNELL DESIGN GROUP, L.L.C.
 26455 RANCHO PKWY SOUTH
 LAKE FOREST, CA 92630
 CONTACT: DAN CONNELL
 PHONE: (949) 306-4644

CONSTRUCTION MANAGER:
 BECHTEL
 6131 ORANGETHORPE AVE, STE 500
 BUENA PARK, CA 90620
 CONTACT: STEVE KINDRED
 PHONE: 714.676.2822

PROJECT TEAM



- START FROM AT&T OFFICES IN CERRITOS:**
1. START OUT GOING EAST ON PARK PLAZA DR TOWARD SHOEMAKER AVE.
 2. TAKE THE 1ST RIGHT ONTO SHOEMAKER AVE.
 3. TURN LEFT ONTO 183RD ST.
 4. TURN RIGHT ONTO CARMENITA RD.
 5. TURN LEFT ONTO ORANGETHORPE AVE
 6. MERGE ONTO CA-

DRIVING DIRECTIONS

AT&T IS SUBMITTING AN APPLICATION FOR ZONING APPROVALS FOR A PROPOSED WIRELESS INSTALLATION. THE SCOPE WILL INCLUDE:

- (12) 8'-0" TALL PANEL ANTENNAS
- (24) LTE RRUS
- (4) DC SURGE SUPPRESSOR
- (1) 21'-4"x17'-4" CMU WALL ENCLOSURE
- (5) RADIO EQUIPMENT CABINETS
- (1) POWER PLANT CABINET
- (1) GPS ANTENNA
- (1) 60'-0" TALL MONOPINE
- (1) 2'-6" MICROWAVE DISH ANTENNA

ALL WITHIN A PROPOSED 21'-4"x17'-4" ENCLOSURE WITH 8'-0" HIGH CMU WALL AND PROPOSED LANDSCAPE AROUND ENCLOSURE

PROJECT DESCRIPTION

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES:

- 2013 CALIF. ADMINISTRATIVE CODE
- 2013 CALIFORNIA FIRE CODES
- (INCL. TITLES 24 & 25)
- 2013 CALIFORNIA ENERGY CODES
- 2013 CALIFORNIA BUILDING CODES
- TIA-222-G STANDARD
- 2013 CALIFORNIA ELECTRICAL CODES
- LOCAL BUILDING CODES
- 2013 CALIFORNIA MECHANICAL CODES
- CITY/COUNTY ORDINANCES
- 2013 CALIFORNIA PLUMBING CODES

CODE COMPLIANCE

DO NOT SCALE DRAWINGS

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT AND/OR ENGINEERS IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

CONTRACTOR NOTE

THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS AND AUTHORIZE THE SUBCONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT WHICH MAY IMPOSE CHANGES AND MODIFICATIONS.

AT&T RF ENGINEER: _____
 AT&T OPERATIONS: _____
 PROJECT MANAGER: _____
 CONSTRUCTION MANAGER: _____
 SITE ACQUISITION SPECIALIST: _____
 ZONING SPECIALIST: _____
 A&E MANAGER: _____
 PROPERTY OWNER: _____

APPROVALS

SHEET	DESCRIPTION
T-1	TITLE SHEET
T-2	GENERAL NOTES, SPECIFICATIONS & ABBREVIATIONS
T-3	CONDITIONS OF APPROVAL
T-4	CONDITIONS OF APPROVAL
F-1	BATTERY NOTES / SPECS
LS-1	SITE SURVEY
LS-2	SITE SURVEY
A-1	SITE PLAN & ENLARGED SITE PLAN
A-2	EQUIPMENT AND ANTENNA PLANS, RF CONFIGURATION INFORMATION
A-3	ELEVATIONS
D-1	DETAILS
D-2	DETAILS
SN-1	GENERAL STRUCTURAL NOTES
S-1	STRUCTURAL DETAILS
E-1	UTILITY SITE PLAN, PANEL SCH., SINGLE LINE DIAGRAM, DETAILS, NOTES
E-2	GROUNDING PLANS, NOTES & DETAILS
E-3	ELECTRICAL DETAILS & NOTES

CUP-052-2015

SHEET INDEX



CONSULTANT

core
 DEVELOPMENT SERVICES

2749 Saturn Street
 Brea, California 92821
 (714)729-8404 (714)333-4441 fax
 www.core.us.com

A&E DEVELOPMENT



CONNELL DESIGN GROUP, LLC
 ENGINEERING AND DESIGN
 26455 RANCHO PARKWAY SOUTH, LAKE FOREST CA 92630
 (949) 753-8807 OFFICE - (949) 753-8833 FAX

STAMP/SEAL

REVISIONS

REV	DATE/BY	DESCRIPTION
0	05/30/14 HL	ISSUED FOR 90% CDs
1	07/22/14 HL	ISSUED FOR 90% CDs
2	07/29/14 HL	ISSUED FOR 100% CDs
3	09/16/14 HL	REVISED POWER SOURCE

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 ORANGE COUNTY

SHEET TITLE

TITLE SHEET

DRAWING INFORMATION

DRAWN BY	CHECKED BY	ISSUE DATE
JPC	DC	02/18/14

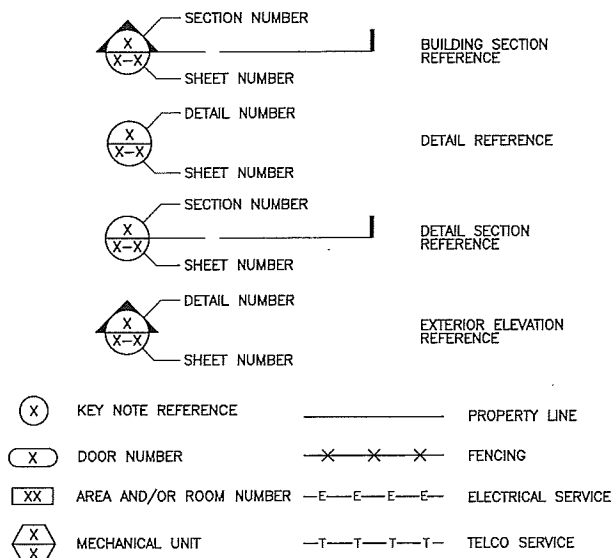
SHEET NUMBER

T-1

ABBREVIATIONS

AB	ANCHOR BOLT	LAM	LAMINATED
AC	ASPHALTIC CONCRETE	LBS	POUNDS
A/C	AIR CONDITIONING	LT	LIGHT
ADJ	ADJUSTABLE	LA	LIGHTNING ARRESTOR
A.F.F.	ABOVE FINISH FLOOR	LNA	LOW NOISE AMPLIFIER
ARCH	ARCHITECTURAL	MFR	MANUFACTURER
APPROX	APPROXIMATELY	MAT	MATERIAL
A.G.L.	ABOVE GRADE LEVEL	MAX	MAXIMUM
A.M.S.L.	ABOVE MEAN SEA LEVEL	MECH	MECHANICAL
BD	BOARD	MIN	MINIMUM
BLDG	BUILDING	MISC	MISCELLANEOUS
BLKG	BLOCKING	ML	METAL LATH
BOT	BOTTOM	MO	MASONRY OPENING
BSMT	BASEMENT	MS	MACHINE SCREW
BTS	BASE TRANSCIVER STATION	MTD	MOUNTED
		MTL	METAL
C	COURSE(S)	(N)	NEW
CEM	CEMENT	NIC	NOT IN CONTRACT
CL	CHAIN LINK	NO	NUMBER
CLG	CEILING	NTS	NOT TO SCALE
CLR	CLEAR	OA	OVERALL
COLM	COLUMN	O.C.	ON CENTER
CONC	CONCRETE	OPNG	OPENING
CONST	CONSTRUCTION	OPP	OPPOSITE
CONT	CONTINUOUS		
CORR	CORROD	PARTN	PARTITION
CO	CONDUIT ONLY	PL	PLATE
		PLAS	PLASTER
DIA	DIAMETER	PLYWD	PLYWOOD
DBL	DOUBLE	POC	POINT OF CONNECTION
DEPT	DEPARTMENT	PROP	PROPERTY
DEMO	DEMOLITION	PT	PRESSURE TREATED
DIM	DIMENSION		
DN	DOWN	R	RISER
DR	DOOR	REQD	REQUIRED
DTL	DETAIL	ROD	ROOF DRAIN
DWG	DRAWING	RM	ROOM
		RMS	ROOMS
		RO	ROUGH OPENING
(E)	EXISTING	SC	SOLID CORE
EA	EACH	SCHED	SCHEDULE
ELEC	ELECTRIC	SECT	SECTION
ELEV	ELEVATION	SHT	SHEET
EQUIP	EQUIPMENT	SIM	SIMILAR
EXP	EXPANSION	SIM	SPECIFICATIONS
EXT	EXTERIOR	SS	STAINLESS STEEL
FA	FIRE ALARM	STL	STEEL
FB	FLAT BAR	STOR	STORAGE
FF	FINISH FLOOR	STRUCT	STRUCTURAL
FH	FLAT HEAD	SUSP	SUSPENDED
FIN	FINISH(ED)	SW	SWITCH
FLR	FLOOR	SWBO	SWITCHBOARD
FOS	FACE OF STUDS		
FS	FINISH SURFACE	THK	THICK
FT	FOOT	TI	TENANT IMPROVEMENT
FTC	FOOTING	TMA	TOWER MOUNTED AMPLIFIER
PW	FINISH WALL	TOS	TOP OF SURFACE
F.G.	FINISH GRADE	TS	TUBE STEEL
FUT	FUTURE	TYP	TYPICAL
GA	GAUGE	UNO	UNLESS NOTED OTHERWISE
GALV	GALVANIZED	VCT	VINYL COMPOSITION TILE
GL	GLASS		
GR	GRADE		
GYP	GYPSUM		
GFCI	GROUND FAULT CIRCUIT INTERRUPT	VERT	VERTICAL
GND	GROUND	V.I.F.	VERIFY IN FIELD
		VG	VERTICAL GRAIN
HC	HOLLOW CORE	W/	WITH
HDW	HARDWARE	WD	WOOD
HTR	HEATER	WR	WATER RESISTANT
HM	HOLLOW METAL	WT	WEIGHT
HORIZ	HORIZONTAL	XFMR	TRANSFORMER
HR	HOUR		
HT	HEIGHT	@	AT
HV	HIGH VOLTAGE	[CHANNEL
ID	INSIDE DIMENSION	⊕	CENTERLINE
INS	INSULATION	∠	ANGLE
INT	INTERIOR	⊞	PROPERTY LINE
JT	JOINT		

SYMBOLS:



GENERAL

- THESE NOTES SHALL BE CONSIDERED A PART OF THE WRITTEN SPECIFICATIONS.
- THE CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER OF ANY ERRORS, OMISSIONS, OR DISCREPANCIES AS THEY MAY BE DISCOVERED IN THE PLANS, SPECIFICATIONS, & NOTES PRIOR TO STARTING CONSTRUCTION, INCLUDING BUT NOT LIMITED BY DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ERRORS, OMISSION, OR INCONSISTENCY AFTER THE START OF CONSTRUCTION WHICH HAS NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER AND SHALL INCUR ANY EXPENSES TO RECTIFY THE SITUATION. THE METHOD OF CORRECTION SHALL BE APPROVED BY THE ARCHITECT/ENGINEER.
- PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR HAS THE RESPONSIBILITY TO LOCATE ALL EXISTING UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR OR SUBCONTRACTOR SHALL BEAR THE EXPENSE OF REPAIRING OR REPLACING ANY DAMAGE TO THE UTILITIES CAUSED DURING THE EXECUTION OF THE WORK.
- A COPY OF THE APPROVED PLANS SHALL BE KEPT IN A PLACE SPECIFIED BY THE GOVERNING AGENCY, AND BY LAW SHALL BE AVAILABLE FOR INSPECTION AT ALL TIMES. IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE ALL CONSTRUCTION SETS REFLECT THE SAME INFORMATION AS THE APPROVED PLANS. THE CONTRACTOR SHALL ALSO MAINTAIN ONE SET OF PLANS AT THE SITE FOR THE PURPOSE OF DOCUMENTING ALL AS-BUILT CHANGES, REVISIONS, ADDENDUMS, OR CHANGE ORDERS. THE CONTRACTOR SHALL FORWARD THE AS-BUILT/HIRED DRAWINGS TO THE ARCHITECT/ENGINEER AT THE CONCLUSION OF THE PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE WHILE THE WORK IS IN PROGRESS UNTIL THE JOB IS COMPLETE.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE TEMPORARY POWER, WATER, AND TOILET FACILITIES AS REQUIRED BY THE PROPERTY OWNER OR GOVERNING AGENCY.
- ALL CONSTRUCTION THROUGH THE PROJECT SHALL CONFORM TO THE LATEST CALIFORNIA BUILDING CODE AND ALL OTHER GOVERNING CODES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL SAFETY PRECAUTIONS AND REGULATIONS DURING THE WORK. THE ENGINEER WILL NOT ADVISE ON NOR PROVIDE DIRECTION AS TO SAFETY PRECAUTIONS AND PROGRAMS.
- THE CONTRACTOR SHALL SUPERVISE AND COORDINATE ALL WORK, USING HIS PROFESSIONAL KNOWLEDGE AND SKILLS. HE IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES AND SEQUENCING AND COORDINATING ALL PORTIONS OF THE WORK UNDER THE PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND PAY FOR ALL PERMITS, LICENSES AND INSPECTIONS WITH RESPECT TO THE WORK TO COMPLETE THE PROJECT. BUILDING PERMIT APPLICATIONS SHALL BE FILED BY THE OWNER OR HIS REPRESENTATIVE. CONTRACTOR SHALL OBTAIN THE PERMIT AND MAKE FINAL PAYMENT OF SAID DOCUMENT.
- ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING, HANGERS OR SUPPORTS FOR INSTALLATION OF ITEMS INDICATED ON THE DRAWINGS.
- THE CONTRACTOR SHALL PROVIDE THE FIRE MARSHALL APPROVED MATERIALS TO FILL/SEAL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES.
- NEW CONSTRUCTION ADDED TO EXISTING CONSTRUCTION SHALL BE MATCHED IN FORM, TEXTURE, MATERIAL AND PAINT COLOR EXCEPT AS NOTED IN THE PLANS.
- WERE SPECIFIED, MATERIALS TESTING SHALL BE TO THE LATEST STANDARDS AVAILABLE AS REQUIRED BY THE LOCAL GOVERNING AGENCY RESPONSIBLE FOR RECORDING THE RESULTS.
- ALL GENERAL NOTES AND STANDARD DETAILS ARE THE MINIMUM REQUIREMENTS TO BE USED IN CONDITIONS WHICH ARE NOT SPECIFICALLY SHOWN OTHERWISE.
- ALL DEBRIS AND REFUGE IS TO BE REMOVED FROM THE PROJECT. PREMISES SHALL BE LEFT IN A CLEAN BROOM FINISHED CONDITION AT ALL TIMES.
- ALL SYMBOLS AND ABBREVIATIONS ARE CONSIDERED CONSTRUCTION INDUSTRY STANDARDS. IF A CONTRACTOR HAS A QUESTION REGARDING THEIR EXACT MEANING THE ARCHITECT/ENGINEER SHALL BE NOTIFIED FOR CLARIFICATIONS.
- THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE METHODS, TECHNIQUES AND SEQUENCES OF PROCEDURES TO PERFORM THE WORK. THE SUPERVISION OF THE WORK IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTORS SHALL VISIT THE SITE PRIOR TO BID TO ASCERTAIN CONDITIONS WHICH MAY ADVERSELY AFFECT THE WORK OR COST THEREOF.
- THE CONTRACTOR SHALL FIELD VERIFY THE DIMENSION, ELEVATION, ETC. NECESSARY FOR THE PROPER CONSTRUCTION AND ALIGNMENT OF THE NEW PORTION OF THE WORK TO THE EXISTING WORK. THE CONTRACTOR SHALL MAKE ALL MEASUREMENTS NECESSARY FOR FABRICATION AND ERECTION OF STRUCTURAL MEMBERS. AND DISCREPANCY SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
- NOT USED.
- ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY ENGINEERS. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR PIER DRILLING AROUND OR NEAR UTILITIES. CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW.
- ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND SHALL BE CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF THE ENGINEER.
- NO CHANGES ARE TO BE MADE TO THESE PLANS WITHOUT THE KNOWLEDGE AND WRITTEN CONSENT OF THE ARCHITECT/ENGINEER. UNAUTHORIZED CHANGES RENDER THESE DRAWINGS VOID.
- ANY REFERENCE TO THE WORDS APPROVED, OR APPROVAL IN THESE DOCUMENTS SHALL BE HERE DEFINED TO MEAN GENERAL ACCEPTANCE OR REVIEW AND SHALL NOT RELIEVE THE CONTRACTOR AND/OR HIS SUB-CONTRACTORS OF ANY LIABILITY IN FURNISHING THE REQUIRED MATERIALS OR LABOR SPECIFIED.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT IN CONJUNCTION WITH THE EXECUTION OF THIS WORK. 10. GENERAL CONTRACTOR SHALL NOTIFY THE ENGINEER AND ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES FOUND WITHIN THE CONTRACT DOCUMENTS, PRIOR TO STARTING WORK.

SITE PREPARATION NOTES:

- THE PREPARATION OF THE SITE FOR CONSTRUCTION SHALL INCLUDE THE REMOVAL OF ALL BROKEN CONCRETE, TREE TRUNKS AND ANY OTHER DEBRIS THAT WOULD BE DAMAGING TO THE FOOTINGS OF THE NEW STRUCTURE.
- BACK FILLING AT TRENCHES SHALL BE OF CLEAN, STERILE SOIL HAVING A SAND EQUIVALENT OF 30 OR GREATER. BACK FILLING SHALL BE DONE IN 8 INCH LAYERS, MOISTURE CONDITIONED AND PROPERLY COMPACTED. ADEQUATE DRAINAGE SHALL BE PROVIDED SUCH THAT NO PONDING OCCURS AFTER THESE RECOMMENDATIONS ARE APPROVED BY THE ARCHITECT/ENGINEER.
- ALL FOUNDATION FOOTINGS SHALL EXTEND INTO AND BEAR AGAINST NATURAL UNDISTURBED SOIL OR APPROVED COMPACTED FILL. FOOTINGS SHALL EXTEND INTO SOIL DEPTH INDICATED ON DETAILS.
- SHOULD ANY LOOSE FILL, EXPANSIVE SOIL, GROUND WATER OR ANY OTHER DANGEROUS CONDITIONS BE ENCOUNTERED DURING THE EXCAVATION FOR THE NEW FOUNDATION, THE ARCHITECT/ENGINEER SHALL BE NOTIFIED AND ALL FOUNDATION WORK SHALL CEASE IMMEDIATELY.
- WITHIN AN AREA A MINIMUM OF 5 FEET BEYOND THE BUILDING LIMITS, EXCAVATE A MINIMUM OF 4" OF EXISTING SOIL. REMOVE ALL ORGANICS, PAVEMENT, ROOTS, DEBRIS AND OTHERWISE UNSUITABLE MATERIAL.
- THE SURFACE OF THE EXPOSED SUBGRADE SHALL BE INSPECTED BY PROBING OR TESTING TO CHECK FOR POCKETS OF SOFT OR UNSUITABLE MATERIAL. EXCAVATE UNSUITABLE SOIL AS DIRECTED BY THE GEOTECHNICAL ENGINEER/TESTING AGENCY.
- PROOFROLL THE SURFACE OF THE EXPOSED SUBGRADE WITH A LOADED TANDEM AXLE DUMP TRUCK. REMOVE ALL SOILS WHICH PUMP OR DO NOT COMPACT PROPERLY AS DIRECTED BY THE GEOTECHNICAL ENGINEER/TESTING AGENCY.
- FILL ALL EXCAVATED AREAS WITH APPROVED CONTROLLED FILL. PLACE IN 8" LOOSE LIFTS AND THE MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D-698. COMPACT TO A MINIMUM OF 90% RELATIVE COMPACTION
- THE STRUCTURAL DRAWINGS HERE IN REPRESENT THE FINISHED STRUCTURE. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY GUYING AND BRACING REQUIRED TO ERECT AND HOLD THE STRUCTURE IN PROPER ALIGNMENT UNTIL ALL STRUCTURAL WORK AND CONNECTIONS HAVE BEEN COMPLETED. THE INVESTIGATION, DESIGN, SAFETY, ADEQUACY AND INSPECTION OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL PROTECT ALL AREAS FROM DAMAGE WHICH MAY OCCUR DURING CONSTRUCTION. ANY DAMAGE TO NEW OR EXISTING SURFACES, STRUCTURES OR EQUIPMENT SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO THE SATISFACTION OF THE PROPERTY OWNER. THE CONTRACTOR SHALL BEAR THE EXPENSE OF REPAIRING OR REPLACING ANY DAMAGED AREAS.
- WHEN REQUIRED STORAGE OF MATERIALS OCCURS, THEY SHALL BE EVENLY DISTRIBUTED OVER THE FLOOR OR ROOF SO AS NOT TO EXCEED THE DESIGNED LIVE LOADS FOR THE STRUCTURE. TEMPORARY SHORING OR BRACING SHALL BE PROVIDED WHERE THE STRUCTURE OR SOIL HAS NOT ATTAINED THE DESIGN STRENGTH FOR THE CONDITIONS PRESENT.
- BEFORE PROCEEDING WITH ANY WORK WITHIN THE EXISTING FACILITY, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH EXISTING STRUCTURAL AND OTHER CONDITIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL NECESSARY BRACING, SHORING AND OTHER SAFEGUARDS TO MAINTAIN ALL PARTS OF THE EXISTING WORK IN A SAFE CONDITION DURING THE PROCESS OF DEMOLITION AND CONSTRUCTION AND TO PROTECT FROM DAMAGE THOSE PORTIONS OF THE EXISTING WORK WHICH ARE TO REMAIN.

SUBMITTALS:

SUBMITTALS: SUBMITTALS FOR SHOP DRAWINGS, MILL TESTS, PRODUCT DATA, ECT. FOR ITEMS DESIGNED BY THE ARCHITECT/ENGINEER OF RECORD SHALL BE MADE TO THE ARCHITECT/ENGINEER PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REVIEW THE SUBMITTAL BEFORE FORWARDING TO THE ENGINEER. SUBMITTALS SHALL BE MADE IN TIME TO PROVIDE A TWO-WEEK REVIEW PERIOD FOR THE ARCHITECT-ENGINEER. SUBMITTALS REQUIRED FOR EACH SECTION OF THESE NOTES ARE SPECIFIED IN THAT SECTION.

SHOP DRAWING REVIEW:

REVIEW BY THE ARCHITECT/ENGINEER IS FOR GENERAL COMPLIANCE WITH THE DESIGN CONCEPT AND THE CONTRACT DOCUMENTS. MARKINGS OR COMMENTS SHALL NOT BE CONSTRUED AS RELIEVING THE CONTRACTOR FROM COMPLIANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, NOR DEPARTURES THERE FROM. THE CONTRACTOR REMAINS RESPONSIBLE FOR DETAILS AND ACCURACY, FOR CONFIRMING AND CORRELATING ALL QUANTITIES AND DIMENSIONS. WHEN SHOP DRAWINGS DIFFER FROM OR ADD TO THE REQUIREMENTS OF THE STRUCTURAL DRAWINGS THEY SHALL BE DESIGNED AND STAMPED BY AN ENGINEER OF RECORD.

ACCESSIBILITY NOTE:

THE TELECOMMUNICATIONS EQUIPMENT SPACE SHOWN HEREON THESE PLANS IS NOT CUSTOMARILY OCCUPIED. WORK TO BE PERFORMED IN THIS FACILITY CANNOT REASONABLY BE PERFORMED BY PERSONS WITH A SEVERE IMPAIRMENT: MOBILITY, SIGHT, AND/OR HEARING. THEREFORE, PER 2007 CALIFORNIA BUILDING CODE SECTION 1103.1.1, EXEMPTIONS 1 & 2, THIS FACILITY SHALL BE EXEMPTED FROM ALL TITLE 24 ACCESS REQUIREMENTS.



CONSULTANT

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ORANGE COUNTY

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**GENERAL NOTES,
SPECIFICATIONS &
ABBREVIATIONS**

DRAWING INFORMATION

DRAWN BY	CHECKED BY	ISSUE DATE
JPC	DC	02/18/14

SHEET NUMBER

T-2



CITY OF GARDEN GROVE

Bruce A. Broadwater
Dina Nguyen
Steven R. Jones
Christopher V. Phan
Kris Beard

June 30, 2014

AT&T Mobility
Attn: Robert Toralles
12900 Park Plaza Dr., 3rd Floor
Cerritos, CA 90703

REFERENCE: Conditional Use Permit No. CUP-014-2014

Your request as referenced above has been provisionally approved. The final granting is contingent upon your complying with all of the conditions of approval listed in the enclosed Decision.

Provided that you do comply with all conditions of approval and no appeals of the Zoning Administrator's decision is filed with the City Clerk, the earliest effective date will be July 18, 2014.

Sincerely,

Chris Chung

Chris Chung
Associate Planner

Cc: Domain Corporation
Ross Miletich

Enclosure

11222 Acacia Parkway • P.O. Box 3070 • Garden Grove, CA 92842
www.ci.garden-grove.ca.us

DECISION NO. 1694-14

A DECISION OF THE ZONING ADMINISTRATOR OF THE CITY OF GARDEN GROVE APPROVING CONDITIONAL USE PERMIT NO. CUP-014-2014.

BE IT RESOLVED that the Zoning Administrator of the City of Garden Grove does hereby approve Conditional Use Permit No. CUP-014-2014, for a parcel of land located on the northwest corner of Valley View Street and Chapman Avenue, at 11869 Valley View Street, Assessor's Parcel No. 224-222-20.

BE IT FURTHER RESOLVED in the matter of Conditional Use Permit No. CUP-014-2014, the Zoning Administrator of the City of Garden Grove does hereby report as follows:

- 1. The subject case was initiated by AT&T Mobility.
2. The applicant is requesting Conditional Use Permit approval to construct and operate a new 60'-0" tall wireless telecommunications facility disguised as a pine tree (mono-pine) along with related ground-mounted equipment.
3. The City of Garden Grove has determined that this project is exempt pursuant to Article 19, Section 15303, New Construction or Conversion of Small Structures, of the California Environmental Quality Act.
4. The property has a General Plan Land Use designation of Residential/Commercial Mixed Use 2, and is zoned C-2 (Community Commercial). The subject site is an approximately 13.6 acre multi-tenant commercial shopping center, called Eastgate Plaza.
5. Existing land use, zoning, and General Plan designation of property within the vicinity of the subject property have been reviewed.
6. Report submitted by City Staff was reviewed.
7. Pursuant to a legal notice, a public hearing was held on June 26, 2014, and all interested persons were given an opportunity to be heard.
8. The Zoning Administrator gave due and careful consideration to the matter during its meeting of June 26, 2014; and

BE IT FURTHER RESOLVED, FOUND AND DETERMINED that the facts and reasons supporting the conclusion of the Zoning Administrator, as required under Municipal Code Section 9.32.30, are as follows:

Decision No. 1694-14

Page 2

FACTS:

The subject site is an approximately 13.6 acre multi-tenant commercial shopping center, called Eastgate Plaza, located on the northwest corner of Valley View Street and Chapman Avenue. The specific area the applicant is proposing to construct the new mono-pine is located at the northwest corner of the development, within a parking lot, behind the existing buildings. The new mono-pine, along with the ground-mounted equipment, will be located within an existing triangular shaped planter in this rear parking lot area.

The subject development site is zoned C-2 (Community Commercial) with a Land Use Designation of Residential/Commercial Mixed Use 2. The subject development abuts R-3 (Multiple-Family Residential) zoned properties to the west and north, PUD-107-71 (Planned Unit Development), PUD-104-73, and C-2 zoned properties, across Chapman Avenue, to the south, and C-2 zoned properties, across Valley View Street, to the east. An alley, thirty feet in width, provides a buffer to the residential properties along the westerly and northerly property lines of the Eastgate Plaza development.

FINDINGS AND REASONS:

- 1. That the proposed use will be consistent with the City's adopted General Plan and redevelopment plan.
2. That the requested use at the location proposed will not: adversely affect the health, peace, comfort, or welfare of the persons residing or working in the surrounding area, or unreasonably interfere with the use, enjoyment, or valuation of the property of other persons located in the vicinity of the site, or jeopardize, endanger, or otherwise constitute a menace to public health, safety, or general welfare.
3. That the proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other

Exhibit "A"
Conditional Use Permit No. CUP-014-2014
Conditions of Approval

Page 2

- a. The applicant recognizes that the frequencies used by the WCF located at 11869 Valley View Street may be close to the frequencies used by the City of Garden Grove for public safety. This proximity will require extraordinary "comprehensive advanced planning and frequency coordination" engineering measures to prevent interference, especially in the choice of frequencies and radio ancillary hardware. This is encouraged in the "Best Practices Guide" published by the Association of Public-Safety Communications Officials-International, Inc. (APCO) and as endorsed by the Federal Communications Commission (FCC). Applicant shall comply with such Good Engineering Practices as may be amended from time to time by the FCC in its Rules and Regulations and shall comply with all FCC regulations regarding susceptibility to radio frequency interference, frequency coordination requirements, general technical standards for power, antenna, bandwidth limitations, frequency stability, transmitter measurements, operating requirements, and any and all other federal statutory and regulatory requirements relating to radio frequency interference (RFI).
b. In the event the WCF is identified as causing radio frequency interference with the City's Public Safety Communications Equipment, the following steps shall be taken:
i. Upon notification by the City of interference with Public Safety Communications equipment, the applicant (Clearwire) shall utilize the hierarchy and procedures set forth in the Best Practices Guide. If the applicant (Clearwire) fails to cooperate with the City in applying the procedures set forth in the Best Practices Guide in order to eliminate the interference, then the City may take such steps under law, including the initiation of appropriate proceedings with the FCC, to eliminate the interference.
ii. If there is a determination of radio frequency interference with the City's Public Safety Communications Equipment, the party which caused the interference shall be responsible for reimbursing the City for all costs associated with ascertaining and resolving the interference, including but not limited to any engineering studies obtained by the City to determine the source of the interference.
7. The applicant shall provide a 24-hour phone number to which interference problems can be reported. This condition will also apply to all existing facilities operated by the provider in the City of Garden Grove.
8. The applicant shall provide a "single point of contact" in its Engineering and Maintenance Departments to ensure continuity on all interference issues. The name, telephone number, fax number, and e-mail address of that person

EXHIBIT "A"

Conditional Use Permit No. CUP-014-2014

11869 Valley View Street

CONDITIONS OF APPROVAL

GENERAL CONDITIONS

- 1. Each owner of the property shall execute, and the applicant shall record, a "Notice of Discretionary Permit Approval and Agreement with Conditions of Approval," as prepared by the City Attorney's Office, on the property within 30 days of approval. This Conditional Use Permit runs with the land and is binding upon the property owner, his/her/its heirs, assigns, and successors in interest.
2. All Conditions of Approval set forth herein shall be binding on and enforceable against each of the following, and whenever used herein, the term "applicant" shall mean and refer to the project applicant, the owner(s) and tenant(s) of the property, and each of their respective successors and assigns, including all subsequent purchasers and/or tenants. The applicant and subsequent owner/operators of such business shall adhere to the conditions of approval for the life of the project, regardless of property ownership. Any changes of the conditions of approval require approval by the Planning Commission, except as otherwise provided herein.
3. Approval of this Conditional Use Permit shall not be construed to mean any waiver of applicable and appropriate zoning and other regulations; and wherein not otherwise specified, all requirements of the City of Garden Grove Municipal Code shall apply. Modifications, which do not change the intent of the project, may be approved by the Community Development Director.
4. If major modifications are made to the approved plans, or other related changes that result in the intensification of the project or create impacts that have not been previously addressed, the proper entitlements shall be obtained reflecting such changes.
5. All conditions of approval shall be implemented at the applicant's expense, except where specified in the individual condition.
Police Department
6. In order to facilitate the City's rules of the regulation, placement, and construction of and its interaction with the City's Public Safety Communications Equipment Operation of the Wireless Communications Facilities ("WCF"), the applicant and all successors shall agree as follows:

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2749 Saturn Street
Brea, California 92821
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STAMP/SEAL

REVISIONS

Table with 3 columns: REV, DATE/BY, DESCRIPTION. Contains revision history for 90% and 100% CDs and power source.

SITE INFORMATION

CLV0934B_CLL00934B
VALLEY VIEW VONS
11869 VALLEY VIEW ST.
GARDEN GROVE, CA 92845
ORANGE COUNTY

SHEET TITLE

CONDITIONS OF APPROVAL

DRAWING INFORMATION

Table with 3 columns: DRAWN BY, CHECKED BY, ISSUE DATE. Values: JPC, DC, 02/18/14

SHEET NUMBER

T-3

shall be provided to the City's designated representative upon activation of the facility.

9. The applicant shall ensure that any lessee or other users of the WCF shall comply with the terms and conditions of this permit and the applicant shall be responsible for the failure of any lessee or other users under the control of the applicant to comply.

Community Development Department

10. The applicant shall be responsible for maintenance and up-keep of the wireless telecommunications facility.
11. The applicant and the property owner shall be responsible for maintaining free from graffiti, debris, and litter, those areas of the site that are adjacent to the premises over which he/she has control. Graffiti shall be removed within 120 hours of notification/application.
12. The antenna structure shall be designed as a pine tree. The overall height of the wireless telecommunication facility shall not exceed 60'-0" in height. In order to maintain a natural appearance, the following conditions shall apply:
 - a. The mono-pine is required to have a minimum branch count of 100 (minimum of 25 branches for every 10'-0") that is spaced and designed to hide the antennas and equipment.
 - b. Branches for the mono-pine shall begin at a height of 15'-0" above the ground.
 - c. Vertical and horizontal spacing of the branches shall be such that the majority of the trunk of the mono-pine, above the lowest branch, shall not be visible.
 - d. The base of the spread shall be approximately 20'-0".
 - e. Branch lengths shall vary to maintain a natural appearance.
 - f. The branches of the mono-pine shall angle upwards 15 to 20 degrees.
 - g. Synthetic pine branch lengths shall vary to maintain a natural appearance.
 - h. The trunk shall be covered in textured rubber to look like real bark.
 - i. The antennas, dishes, and equipment are required to be painted green to match the color of the tree foliage.

FINAL

- j. There shall be no climbing pegs on the mono-pine below a height of 15'-0", except when temporarily installed to service the antennas.
- k. Any proposed parabolic microwave dishes shall be painted green to match the color of the tree foliage.
- l. Sleeves shall be installed to camouflage the antennas.
13. The applicant shall submit a material sample of the bark and the leaves to the Planning Services Division for review and approval as part of the plan check submittal application.
14. As shown on the submitted and approved plans, the equipment enclosure shall be a CMU (Concrete Masonry Unit) block-wall enclosure that is 8'-0" in height and 21'-4" by 17'-4" in size.
15. The Conditional Use Permit (CUP) grants the right to the applicant to construct and use a wireless telecommunication facility on the premises. The City, however, has concerns about the potential adverse aesthetic and other health and safety impacts of the antennas, and utility and/or mechanical equipment on the surrounding community. It is possible that future technological improvements may make the proposed telecommunication facility unnecessary or obsolete or outdated aesthetically, therefore, the particular antenna and related equipment shall be reviewed ten years from the date of this approval. At that time, the cellular provider operating the site shall agree to and update the facility as may be required by the Community Development Director or his/her designee.
16. The City reserves the right to periodically reevaluate the antennas, and utility and/or mechanical equipment in terms of the continued need for these structures in their current size, height, and configuration, and the actual impacts on the neighborhood, community, and environment.
17. Prior to the end of the fifth year, there will be an administrative review for compliance with the conditions of approval.
18. In order to address concerns regarding radio emissions, the following conditions shall be complied with:
 - a. Radio frequency emissions shall not exceed the radio frequency emission guidelines of the Federal Communication Commission (FCC); as such guidelines may be amended from time to time.
 - b. Prior to January 1, 2016, and each January 1st thereafter, the operator shall file with the City of Garden Grove Community Development Department for approval, a certification of compliance prepared by an independent third party, qualified to measure radio frequency emissions.

FINAL

19. The operator/property owner shall make the antenna structure available for co-location for other service providers.
20. In the case of collocation of telecommunication facilities, the applicant, together with the owner of the subject site, shall provide a composite analysis of all users of the site to determine that the applicant's proposed facilities will not cause radio frequency interference with the City's Public Safety Communications Equipment.
21. In the event that the communication facility is abandoned or its use is discontinued, the property owner shall remove all improvements within sixty days of abandonment or discontinuance of the use, whichever occurs first.
22. All property maintenance deficiencies subject to sections 9.16.180, 9.16.240(I), and Article VI of Chapter 9.24 of the Municipal Code shall be corrected by the property owner to the satisfaction of the Neighborhood Improvement Manager prior to the final City clearance that all work has been completed in compliance with building permits for the installation of any telecommunication equipment.
23. The applicant shall install four (4) live canary Island pine trees, with a minimum height of 25'-0" at installation, in the specific areas designated on the submitted and approved plans. The Planning Division shall approve the final location of the proposed pine trees.
24. The equipment enclosure shall be screened from view by providing landscaping around the enclosure. The Planning Division shall approve the final design and layout of the proposed landscaping during the plan check process.
25. Hours and days of construction shall be as set forth in the City of Garden Grove's Municipal Code Section 8.47.010, referred to as the Noise Control Ordinance.
26. The use of the exclusive maintenance parking space (as shown on the submitted and approved plans), for the subject wireless telecommunications facility, shall be minimal in nature and solely for the purposes of maintenance, repair, the use of a temporary emergency generator, or other related activities.
27. The applicant and the property owner shall submit signed letters acknowledging receipt of the decision approving Conditional Use Permit No. CUP-014-2014, and their agreement with all conditions of the approval.
28. There shall be no other antennas or mechanical equipment installed on the wireless telecommunications facility without obtaining approval from the Planning Services Division.

FINAL

29. The applicant shall, as a condition of project approval, at its sole expense, defend, indemnify and hold harmless the City, its officers, employees, agents and consultants from any claim, action, or proceeding against the City, its officers, agents, employees and/or consultants, which action seeks to set aside, void, annul or otherwise challenge any approval by the City Council, Planning Commission, or other City decision-making body, or City staff action concerning Conditional Use Permit No. CUP-014-2014. The applicant shall pay the City's defense costs, including attorney fees and all other litigation related expenses, and shall reimburse the City for court costs, which the City may be required to pay as a result of such defense. The applicant shall further pay any adverse financial award, which may issue against the City including but not limited to any award of attorney fees to a party challenging such project approval. The City shall retain the right to select its counsel of choice in any action referred to herein.

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26455 RANCHO PARKWAY SOUTH, LAKE FOREST CA 92650
(949) 753-8807 OFFICE - (949) 753-8833 FAX

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REVISIONS

REV	DATE/BY	DESCRIPTION
0	05/30/14 HL	ISSUED FOR 90% CDs
1	07/22/14 HL	ISSUED FOR 90% CDs
2	07/29/14 HL	ISSUED FOR 100% CDs
3	09/16/14 HL	REVISED POWER SOURCE

SITE INFORMATION

CLV0934B_CLL00934B
VALLEY VIEW VONS

11869 VALLEY VIEW ST.
GARDEN GROVE, CA 92845
ORANGE COUNTY

SHEET TITLE

CONDITIONS OF APPROVAL

DRAWING INFORMATION

DRAWN BY	CHECKED BY	ISSUE DATE
JPC	DC	02/18/14

SHEET NUMBER

T-4



MATERIAL SAFETY DATA SHEET

Table with 3 columns: MANUFACTURER, CHEMICAL/TRADE NAME, and FOR INFORMATION. Includes product identification, hazard identification, physical data, and other regulatory information.

299-MSDS-MARSPRV0 Rev. AG 2010-01 Page 1 of 5 ANY PHOTOCOPIY MUST BE OF THIS ENTIRE DOCUMENT

Table with 3 columns: REV, DATE/BY, DESCRIPTION. Lists revisions for the document.

Table with 3 columns: REV, DATE/BY, DESCRIPTION. Lists revisions for the document.

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Table with 3 columns: REV, DATE/BY, DESCRIPTION. Lists revisions for the document.

299-MSDS-MARSPRV0 Rev. AG 2010-01 Page 4 of 5 ANY PHOTOCOPIY MUST BE OF THIS ENTIRE DOCUMENT

IV. FIRE AND EXPLOSION HAZARD DATA

Flash Point: Not Applicable
Flammable Limits: LEL = 4.1% (Hydrogen Gas in air) ; UEL = 74.3%
Extinguishing media: CO2, foam, dry chemical

Stability: Stable
Conditions to Avoid: Prolonged overcharging and overheating current, sparks and other sources of ignition

VI. HEALTH HAZARD DATA

Routes of Entry: Inhalation
Inhalation: Breathing of sulfuric acid vapor or mist may cause severe respiratory irritation
Skin Contact/Skin Absorption: Sulfuric acid is not readily absorbed through the skin

299-MSDS-MARSPRV0 Rev. AG 2010-01 Page 2 of 5 ANY PHOTOCOPIY MUST BE OF THIS ENTIRE DOCUMENT

IX. OTHER REGULATORY INFORMATION (CONTINUED)

CERCLA (Superfund) and EPCRA:
(a) Reportable Quantity (RQ) is 1000 lbs.
(b) Sulfuric acid is a listed 'Extremely Hazardous Substance' under EPCRA, with a Threshold Planning Quantity (TPQ) of 1,000 lbs.

CALIFORNIA PROPOSITION 65:
"WARNING: This product contains lead, a chemical known to the State of California to cause cancer, or birth defects or other reproductive harm."

REPAIRED BY: EXIDE TECHNOLOGIES INDUSTRIAL ENERGY
3950 SUSSEX AVENUE
ALHAMBRA, IL 60447-7512
(630) 872-0471

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VI. HEALTH HAZARD DATA (CONTINUED)

Effects of Overexposure - Acute:
Irritation: Severe skin irritation, burns, damage to cornea may cause blindness, upper respiratory irritation

Medical Conditions Generally Aggravated by Exposure:
Overexposure to sulfuric acid mist may cause lung damage and aggravate pulmonary conditions

First Aid Procedures:
Inhalation: Remove to fresh air immediately. If breathing is difficult, give oxygen
Skin: Flush with large amounts of water for at least 15 minutes

VII. PRECAUTIONS FOR SAFE HANDLING AND USE

Handling and Storage:
Store batteries under roof in cool, dry, well-ventilated areas that are separated from incompatible materials
Charging:
There is a possible risk of electric shock from charging equipment and from strings of series connected batteries

299-MSDS-MARSPRV0 Rev. AG 2010-01 Page 3 of 5 ANY PHOTOCOPIY MUST BE OF THIS ENTIRE DOCUMENT



Table: MARATHON Front Terminal Specifications. Columns: Model Number, Voltage, Capacity (Ah), Nominal Dimensions (inches), Nominal Weight (Kg)

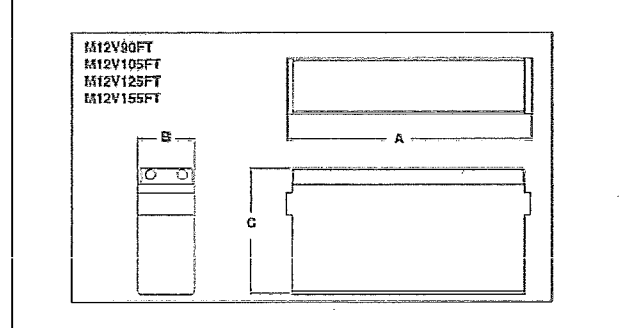


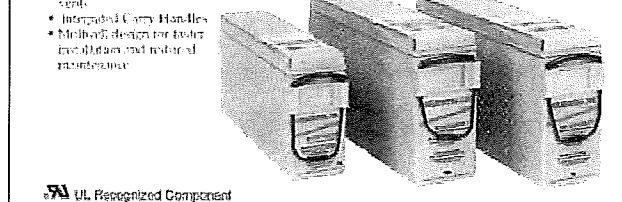
Table: MARATHON Front Terminal Electrical Data. Columns: Model Number, Short Circuit Current (Amps), Internal Resistance (mOhms)



From the World Leader in VRLA Battery Technology
Designed for flexibility in Telecommunications and Electric Utility applications

- High Performance MARATHON Series Features
• Heavy-duty robust construction
• Integrated flash arrester ultrasonically welded into cover

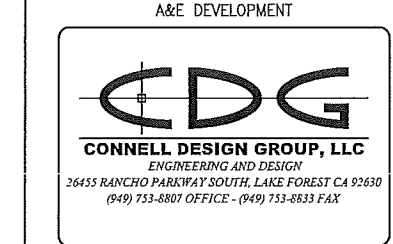
- Applications
• Telecommunications
• Distributed Power
• PCs
• Cellular
• Broadcast



UL Recognized Component



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Table with 3 columns: REV, DATE/BY, DESCRIPTION. Lists revisions for the document.

SITE INFORMATION

CLV0934B_CLL00934B
VALLEY VIEW VONS
11869 VALLEY VIEW ST.
GARDEN GROVE, CA 92845
ORANGE COUNTY

SHEET TITLE

BATTERY NOTES / SPECS

Table with 3 columns: DRAWN BY, CHECKED BY, ISSUE DATE. Values: JPC, DC, 02/18/14

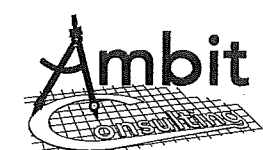
SHEET NUMBER

F-1

Table: Battery Information. Columns: Battery Model, Total # of Battery Units Installed, Total Electrolyte Volume (Gal/Liters), Total Electrolyte Weight (LBS/Kg), % Sulfuric Acid by Volume, Total Acid Weight (LBS/Kg)

REV	DATE/BY	DESCRIPTION
0	01/24/14 RAC	PRELIMINARY SUBMITTAL
1	04/02/14 DH	REVISIONS

ENGINEER / CONSULTANT



428 MAIN STREET SUITE 206
HUNTINGTON BEACH, CA 92648 (502)463-0472

SITE BUILDER



12900 PARK PLAZA DRIVE
CERRITOS, CA 90703

A&E DEVELOPMENT



DEVELOPMENT SERVICES
A&E SERVICES
2749 Saturn Street
Brea, California 92821
(714)729-8404 (714)333-4441 fax
www.core.us.com

APPROVALS

APPROVED BY	INITIALS	DATE
LANDLORD		
VZW SITE ACQ.		
ZONING		
VZW RF		
VZW INTERCONNECT		
VZW UTILITY		
VZW CONST.		
VZW PROJ. MGR.		

SITE INFORMATION

SITE NAME:
**CLV0934
VALLEY VIEW VONS**

SITE ADDRESS:
11869 VALLEY VIEW
GARDEN GROVE, CALIFORNIA 92845

ORANGE COUNTY

SHEET TITLE

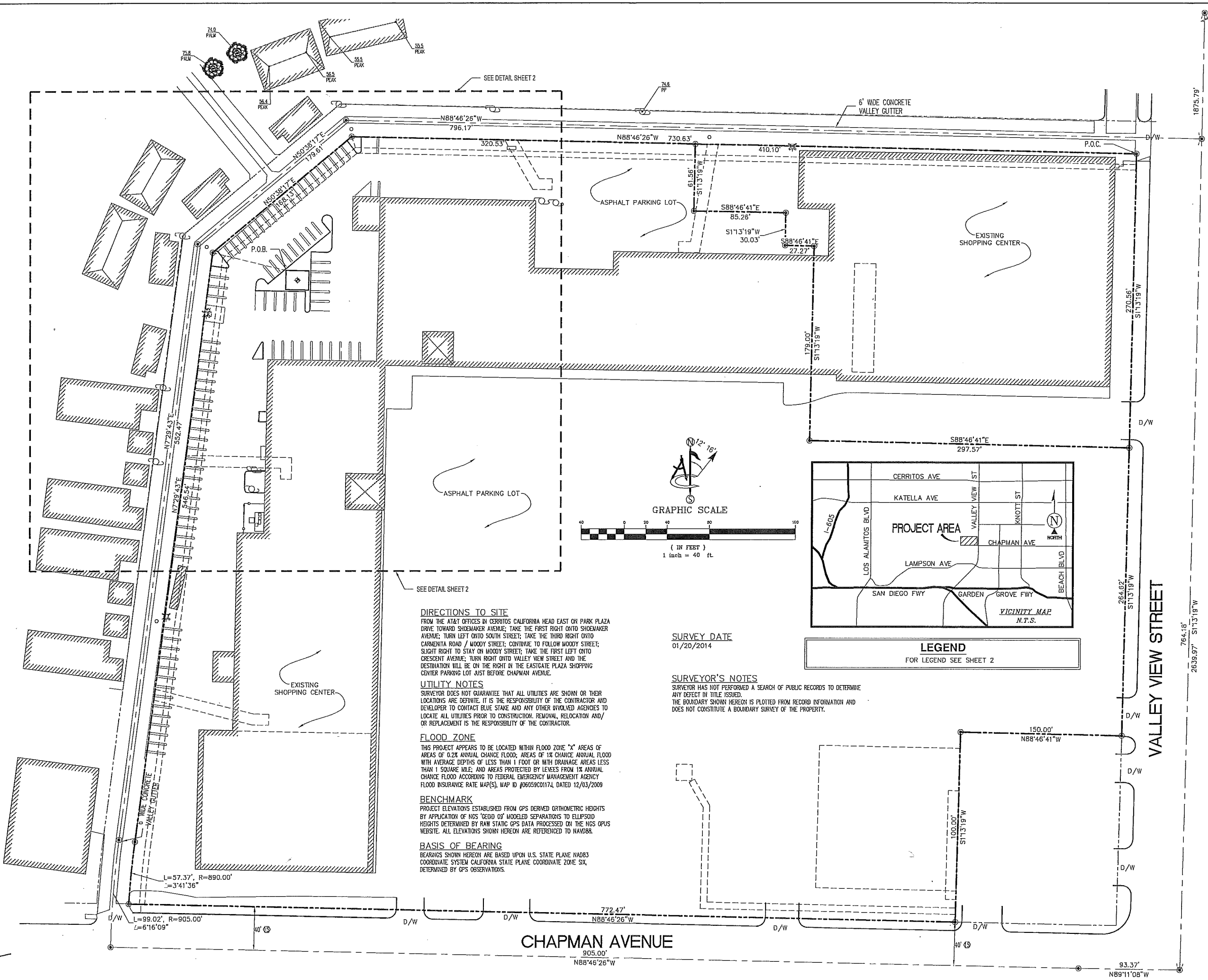
**SITE
SURVEY**

DRAWING INFORMATION

DRAWN BY	CHECKED BY	ISSUE DATE
RAC	MF	01.24.2014

SHEET NUMBER

LS-1



DMW

SCHEDULE "B" NOTE

REFERENCE IS MADE TO THE TITLE REPORT ORDER #08021341, ISSUED BY COMMONWEALTH LAND TITLE COMPANY, DATED JANUARY 27, 2014 AT 7:30 A.M. ALL EASEMENTS CONTAINED WITHIN SAID TITLE REPORT AFFECTING THE IMMEDIATE AREA SURROUNDING THE LEASE HAVE BEEN PLOTTED.

1. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS. (BLANKET EASEMENT)

2. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS DELINEATED ON OR AS OFFERED FOR DEDICATION ON MAP/PLAT: TRACT 3624 SAID TRACT PURPOSE: WATER LINE AND INCIDENTAL PURPOSES

3. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: PURPOSE: PUBLIC UTILITIES RECORDED: IN BOOK 5131 PAGE 515 OF OFFICIAL RECORDS

4. THE MATTERS CONTAINED IN A DOCUMENT ENTITLED "AGREEMENT AND GRANTS OF EASEMENTS BETWEEN ADJOINING OWNERS" RECORDED JULY 10, 1991 IN BOOK 5779 PAGE 720 OF OFFICIAL RECORDS. (DOES NOT AFFECT)

5. COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS, AS SET FORTH IN THE DOCUMENT RECORDED: IN BOOK 5779 PAGE 732 OF OFFICIAL RECORDS SAID COVENANTS, CONDITIONS AND RESTRICTIONS PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFEAT THE LIEN OF ANY MORTGAGE OR DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE. RECORDED: IN BOOK 6107 PAGE 877 OF OFFICIAL RECORDS, RECORDED: IN BOOK 6371 PAGE 20 OF OFFICIAL RECORDS MODIFICATION(S) OF SAID COVENANTS, CONDITIONS AND RESTRICTIONS, RECORDED: IN BOOK 6258 PAGE 1 OF OFFICIAL RECORDS (DOES NOT AFFECT)

6. AN UNRECORDED LEASE WITH CERTAIN TERMS, COVENANTS, CONDITIONS AND PROVISIONS SET FORTH THEREIN AS DISCLOSED BY THE DOCUMENT ENTITLED: "SHORT FORM LEASE RECORDED: IN BOOK 5819 PAGE 84 OF OFFICIAL RECORDS AN AGREEMENT TO AMEND OR MODIFY CERTAIN PROVISIONS OF SAID LEASE, AS SET FORTH IN THE DOCUMENT EXECUTED BY: RECORDED: IN BOOK 6107 PAGE 877 OF OFFICIAL RECORDS AND SEPTEMBER 21, 1992 IN BOOK 6258 PAGE 1 OF OFFICIAL RECORDS (DOES NOT AFFECT)

7. AN UNRECORDED LEASE WITH CERTAIN TERMS, COVENANTS, CONDITIONS AND PROVISIONS SET FORTH THEREIN AS DISCLOSED BY THE DOCUMENT ENTITLED: "MEMORANDUM OF LEASE RECORDED: IN BOOK 6153 PAGE 148 OF OFFICIAL RECORDS, AN AGREEMENT TO AMEND OR MODIFY CERTAIN PROVISIONS OF SAID LEASE, AS SET FORTH IN THE DOCUMENT EXECUTED BY: RECORDED: AUGUST 20, 1992 IN BOOK 6218 PAGE 777 OF OFFICIAL RECORDS AND SEPTEMBER 21, 1992 IN BOOK 6257 PAGE 957 OF OFFICIAL RECORDS (DOES NOT AFFECT)

8. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: PURPOSE: PUBLIC UTILITIES RECORDED: IN BOOK 6294 PAGE 895 OF OFFICIAL RECORDS

9. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: PURPOSE: PIPE LINES AND INCIDENTAL PURPOSES RECORDED: IN BOOK 6451 PAGE 515 OF OFFICIAL RECORDS

10. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: IN BOOK 6529 PAGE 216 OF OFFICIAL RECORDS (BLANKET EASEMENT)

11. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: PURPOSE: PUBLIC UTILITIES RECORDED: IN BOOK 6549 PAGE 727 OF OFFICIAL RECORDS

12. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: PURPOSE: PUBLIC UTILITIES RECORDED: IN BOOK 6549 PAGE 729 OF OFFICIAL RECORDS

13. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: PURPOSE: TRAFFIC SIGNALS AND INCIDENTAL PURPOSES RECORDING DATE: MAY 17, 1995 RECORDING NO. IN BOOK 7522 PAGE 171 OF OFFICIAL RECORDS (DOES NOT AFFECT)

14. AN UNRECORDED LEASE WITH CERTAIN TERMS, COVENANTS, CONDITIONS AND PROVISIONS SET FORTH THEREIN AS DISCLOSED BY THE DOCUMENT PURPOSE: ROAD, WALKWAY AND INCIDENTAL PURPOSES RECORDING DATE: APRIL 30, 1993 RECORDING NO. IN BOOK 6529 PAGE 216 OF OFFICIAL RECORDS RECORDING DATE: APRIL 13, 1997 RECORDING NO. IN BOOK 8224 PAGE 559 OF OFFICIAL RECORDS (ILLEGIBLE)

15. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: PURPOSE: PUBLIC STREET, HIGHWAY AND INCIDENTAL PURPOSES RECORDING DATE: AUGUST 10, 1972 RECORDING NO. IN BOOK 10298 PAGE 196 OF OFFICIAL RECORDS

16. THE LAND DESCRIBED HEREIN IS INCLUDED WITHIN A PROJECT AREA OF THE REDEVELOPMENT AGENCY, AND THAT PROCEEDINGS FOR THE REDEVELOPMENT OF SAID PROJECT HAVE BEEN INSTITUTED UNDER THE REDEVELOPMENT LAW (SUCH REDEVELOPMENT TO PROCEED ONLY AFTER THE ADOPTION OF THE REDEVELOPMENT PLAN) AS DISCLOSED BY A DOCUMENT, RECORDED: IN BOOK 11984 PAGE 1027 OF OFFICIAL RECORDS THE TERMS AND PROVISIONS OF SAID INSTRUMENT HAVE BEEN MODIFIED BY A DOCUMENT RECORDED: IN BOOK 13365 PAGE 348 AND AS AMENDED BY ORDINANCE NO. 2232 RECORDED JULY 16, 1992 AS INSTRUMENT NO. 92-476599 OF OFFICIAL RECORDS (BLANKET EASEMENT)

17. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: 85-484093 (DOES NOT AFFECT)

18. AN UNRECORDED LEASE WITH CERTAIN TERMS, COVENANTS, CONDITIONS AND PROVISIONS SET FORTH THEREIN AS DISCLOSED BY THE DOCUMENT PURPOSE: PUBLIC UTILITIES RECORDING DATE: DECEMBER 3, 1985 RECORDING NO. AS INSTRUMENT NO. 85-484093 OF OFFICIAL RECORDS RECORDING DATE: JULY 15, 1986 RECORDING NO. AS INSTRUMENT NO. 86-303471 OF OFFICIAL RECORDS (DOES NOT AFFECT)

19. A DEED OF TRUST TO SECURE AN INDEBTEDNESS IN THE AMOUNT SHOWN BELOW, DATED: NOVEMBER 26, 1986 RECORDING DATE: DECEMBER 31, 1986 RECORDING NO. AS INSTRUMENT NO. 86-654273 OF OFFICIAL RECORDS, THE EFFECT OF A FULL RELEASE RECORDED AUGUST 17, 2000 AS INSTRUMENT NO. 20000431235 OF OFFICIAL RECORDS, WHICH PURPORTS TO RECONVEY THE ABOVE-MENTIONED DEED OF TRUST. (BLANKET EASEMENT)

20. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: PURPOSE: PUBLIC UTILITIES RECORDING DATE: FEBRUARY 4, 1987 RECORDING NO. AS INSTRUMENT NO. 87-064459 OF OFFICIAL RECORDS (DOES NOT AFFECT)

21. AN UNRECORDED LEASE WITH CERTAIN TERMS, COVENANTS, CONDITIONS AND PROVISIONS SET FORTH THEREIN AS DISCLOSED BY THE DOCUMENT RECORDING DATE: OCTOBER 4, 1996 RECORDING NO. AS INSTRUMENT NO. 19960507825 OF OFFICIAL RECORDS (BLANKET EASEMENT)

22. THE MATTERS CONTAINED IN A DOCUMENT ENTITLED "DEVELOPMENT AGREEMENT" BY AND BETWEEN THE CITY OF GARDEN GROVE, A MUNICIPAL CORPORATION AND DOMAN CORPORATION, A CALIFORNIA CORPORATION RECORDED OCTOBER 23, 1996 AS INSTRUMENT NO. 19960537640 OF OFFICIAL RECORDS. (BLANKET EASEMENT)

23. AN UNRECORDED LEASE WITH CERTAIN TERMS, COVENANTS, CONDITIONS AND PROVISIONS SET FORTH THEREIN AS DISCLOSED BY THE DOCUMENT RECORDING DATE: FEBRUARY 5, 1998 RECORDING NO. AS INSTRUMENT NO. 19980065226 OF OFFICIAL RECORDS AN AGREEMENT RECORDED AUGUST 17, 2000 AS INSTRUMENT NO. 20000431238 OF OFFICIAL RECORDS WHICH STATES THAT SAID LEASE HAS BEEN MADE SUBORDINATE TO THE DOCUMENT ENTITLED: DEED OF TRUST RECORDING DATE: AUGUST 17, 2000 RECORDING NO. AS INSTRUMENT NO. 20000431236 OF OFFICIAL RECORDS (BLANKET EASEMENT)

24. COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH IN THE DOCUMENT RECORDING DATE: FEBRUARY 5, 1998 RECORDING NO. AS INSTRUMENT NO. 19980065227 OF OFFICIAL RECORDS (BLANKET EASEMENT)

25. COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH IN THE DOCUMENT RECORDING DATE: OCTOBER 7, 1998 RECORDING NO. AS INSTRUMENT NO. 19980678584 OF OFFICIAL RECORDS (BLANKET EASEMENT)

26. THE FACT THAT THE OWNERSHIP OF SAID LAND HAVE NO RIGHTS OF VEHICULAR ACCESS TO THE STREET OR HIGHWAY HEREINAFTER MENTIONED, EXCEPT AS SPECIFIED POINTS, SAID RIGHTS HAVE BEEN RELINQUISHED BY THE DEDICATION PROVISIONS SHOWN ON THE MAP OF THE TRACT REFERRED TO BELOW STREET OR HIGHWAY: CHARIAN AVENUE AND VALLEY VIEW STREET, EXCEPT AT APPROVED LOCATIONS TRACT NO.: PARCEL MAP NO. 99-225 FILED IN BOOK 312 PAGES 31-32 OF PARCEL MAPS

27. THE MATTERS CONTAINED IN A DOCUMENT ENTITLED "AGREEMENT PERTAINING TO DEED OF TRUST, ASSIGNMENT OF RENTS AND SECURITY AGREEMENT RECORDED AUGUST 17, 2000 AS INSTRUMENT NO. 20000431235 OF OFFICIAL RECORDS. (BLANKET EASEMENT)

28. A DEED OF TRUST TO SECURE AN INDEBTEDNESS IN THE AMOUNT SHOWN BELOW, RECORDING DATE: AUGUST 17, 2000 RECORDING NO. AS INSTRUMENT NO. 20000431236 OF OFFICIAL RECORDS RECORDING DATE: MARCH 28, 2002 RECORDING NO. AS INSTRUMENT NO. 20010258860 OF OFFICIAL RECORDS (BLANKET EASEMENT)

29. AN ASSIGNMENT OF ALL THE MONEYS DUE, OR TO BECOME DUE AS RENTAL, AS ADDITIONAL SECURITY FOR THE OBLIGATIONS SECURED BY DEED OF TRUST SHOWN RECORDED: AUGUST 17, 2000 AS INSTRUMENT NO. 20000431236 OF OFFICIAL RECORDS RECORDED: AUGUST 17, 2000 AS INSTRUMENT NO. 20000431237 OF OFFICIAL RECORDS RECORDING DATE: MARCH 28, 2002 RECORDING NO. AS INSTRUMENT NO. 20010258859 OF OFFICIAL RECORDS (BLANKET EASEMENT)

30. AN UNRECORDED LEASE WITH CERTAIN TERMS, COVENANTS, CONDITIONS AND PROVISIONS SET FORTH THEREIN AS DISCLOSED BY THE DOCUMENT RECORDING DATE: MAY 8, 2013 RECORDING NO. 201300027931 OF OFFICIAL RECORDS (BLANKET EASEMENT)

31. AN UNRECORDED LEASE WITH CERTAIN TERMS, COVENANTS, CONDITIONS AND PROVISIONS SET FORTH THEREIN AS DISCLOSED BY THE DOCUMENT RECORDING DATE: OCTOBER 15, 2013 RECORDING NO. 2013000582516 OF OFFICIAL RECORDS (BLANKET EASEMENT)

32. DISCREPANCIES, CONFLICTS IN BOUNDARY LINES, SHORTAGE IN AREA, ENCROACHMENTS, OR ANY OTHER MATTERS SHOWN ON MAP: RECORD OF SURVEY MAP NO. 2011-1131 RECORDED: IN BOOK 257 PAGE 1 (DOES NOT AFFECT)

33. ANY RIGHTS OF THE PARTIES IN POSSESSION OF A PORTION OF, OR ALL OF, SAID LAND, WHICH RIGHTS ARE NOT DISCLOSED BY THE PUBLIC RECORDS. (NOT PLOTTABLE)

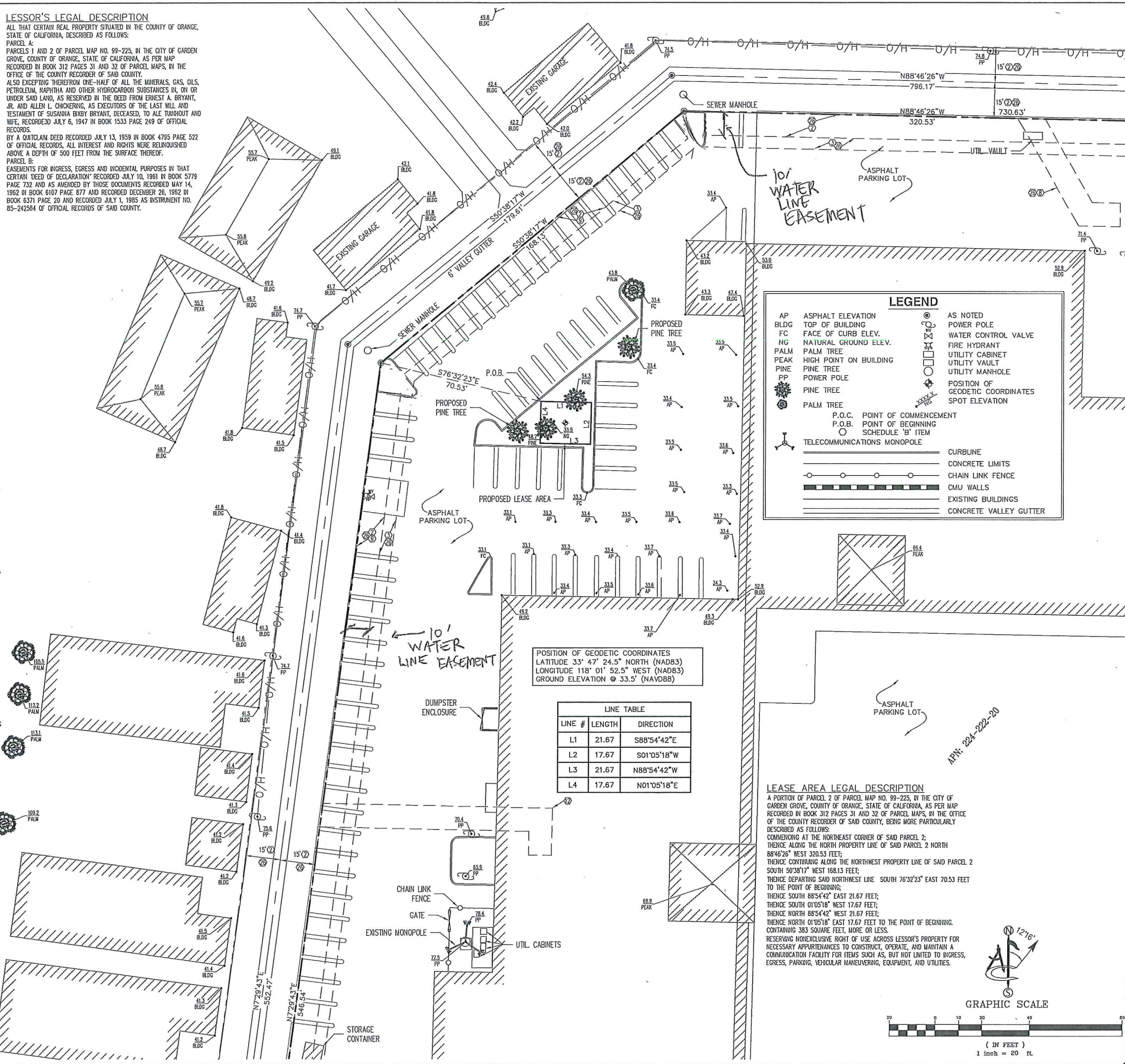
LESSOR'S LEGAL DESCRIPTION

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF ORANGE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL A, PARCELS 1 AND 2 OF PARCEL MAP NO. 99-225, IN THE CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 312 PAGES 31 AND 32 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, ALSO EXCEPTING THEREFROM ONE-HALF OF ALL THE MINERALS, GAS, OILS, PETROLEUM, NAPHTHA AND OTHER HYDROCARBON SUBSTANCES IN, ON OR UNDER SAID LAND, AS RESERVED IN THE DEED FROM ERNEST A. BRYANT, JR. AND ALLEN L. CHICKERING, AS EXECUTORS OF THE LAST WILL AND TESTAMENT OF SUSANNA BUBY BRYANT, DECEASED, TO ALE TURNHOUT AND WIFE, RECORDED JULY 6, 1947 IN BOOK 1533 PAGE 249 OF OFFICIAL RECORDS.

BY A QUITCLAIM DEED RECORDED JULY 13, 1959 IN BOOK 4795 PAGE 522 OF OFFICIAL RECORDS, ALL INTEREST AND RIGHTS WERE RELINQUISHED ABOVE A DEPTH OF 500 FEET FROM THE SURFACE THEREOF.

PARCEL B: EASEMENTS FOR INGRESS, EGRESS AND INCIDENTAL PURPOSES IN THAT CERTAIN DEED OF DECLARATION RECORDED JULY 10, 1991 IN BOOK 5779 PAGE 732 AND AS AMENDED BY THOSE DOCUMENTS RECORDED MAY 14, 1992 IN BOOK 6107 PAGE 877 AND RECORDED DECEMBER 26, 1992 IN BOOK 6371 PAGE 20 AND RECORDED JULY 1, 1995 AS INSTRUMENT NO. 85-242564 OF OFFICIAL RECORDS OF SAID COUNTY.





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REVISIONS

REV	DATE/BY	DESCRIPTION
0	05/30/14 HL	ISSUED FOR 90% CDs
1	07/22/14 HL	ISSUED FOR 90% CDs
2	07/29/14 HL	ISSUED FOR 100% CDs
3	09/16/14 HL	REVISED POWER SOURCE

SITE INFORMATION

CLV0934B_CLL00934B

VALLEY VIEW VONS

11869 VALLEY VIEW ST.
GARDEN GROVE, CA 92845
ORANGE COUNTY

SHEET TITLE

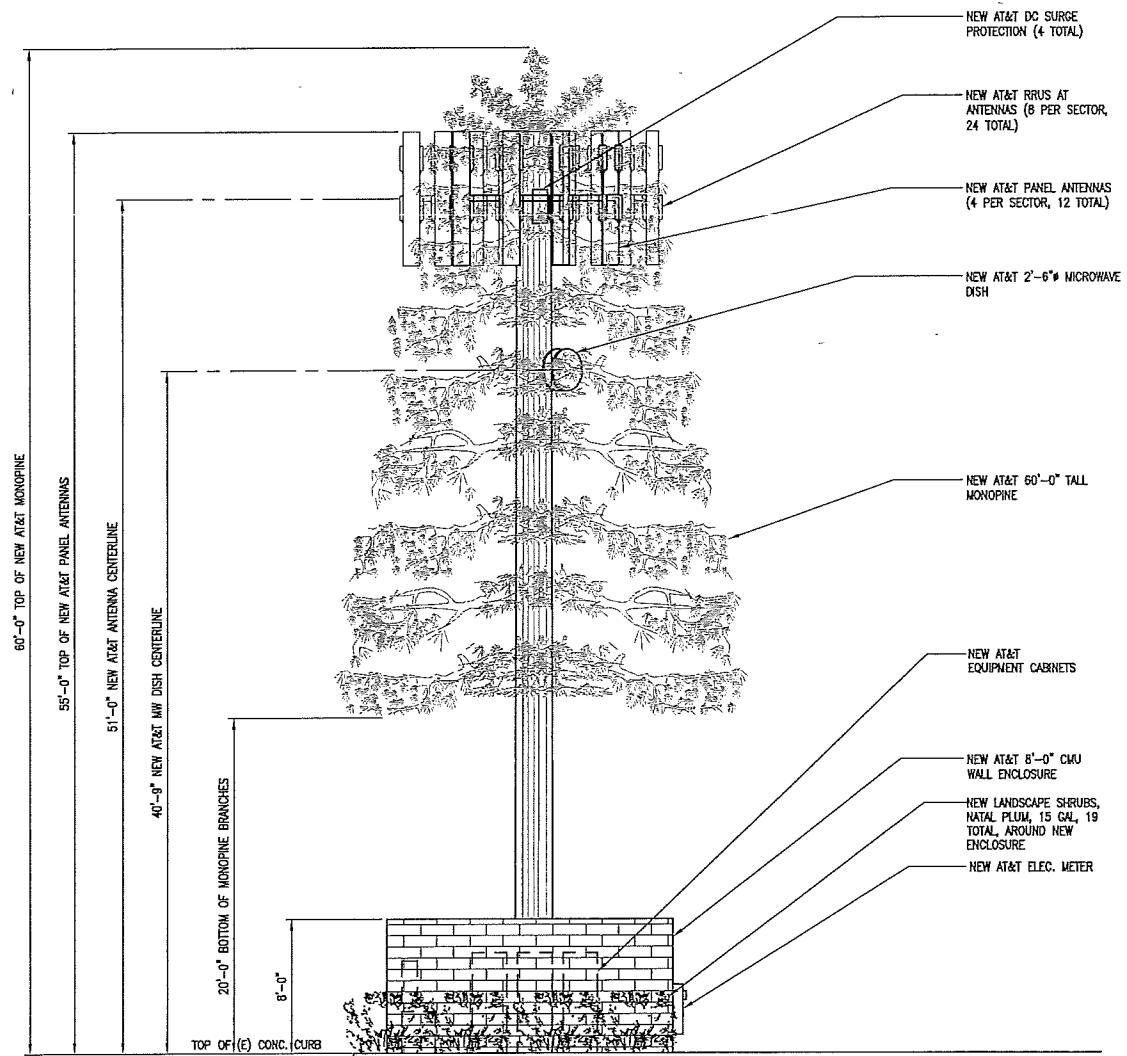
ELEVATIONS

DRAWING INFORMATION

DRAWN BY	CHECKED BY	ISSUE DATE
JPC	DC	02/18/14

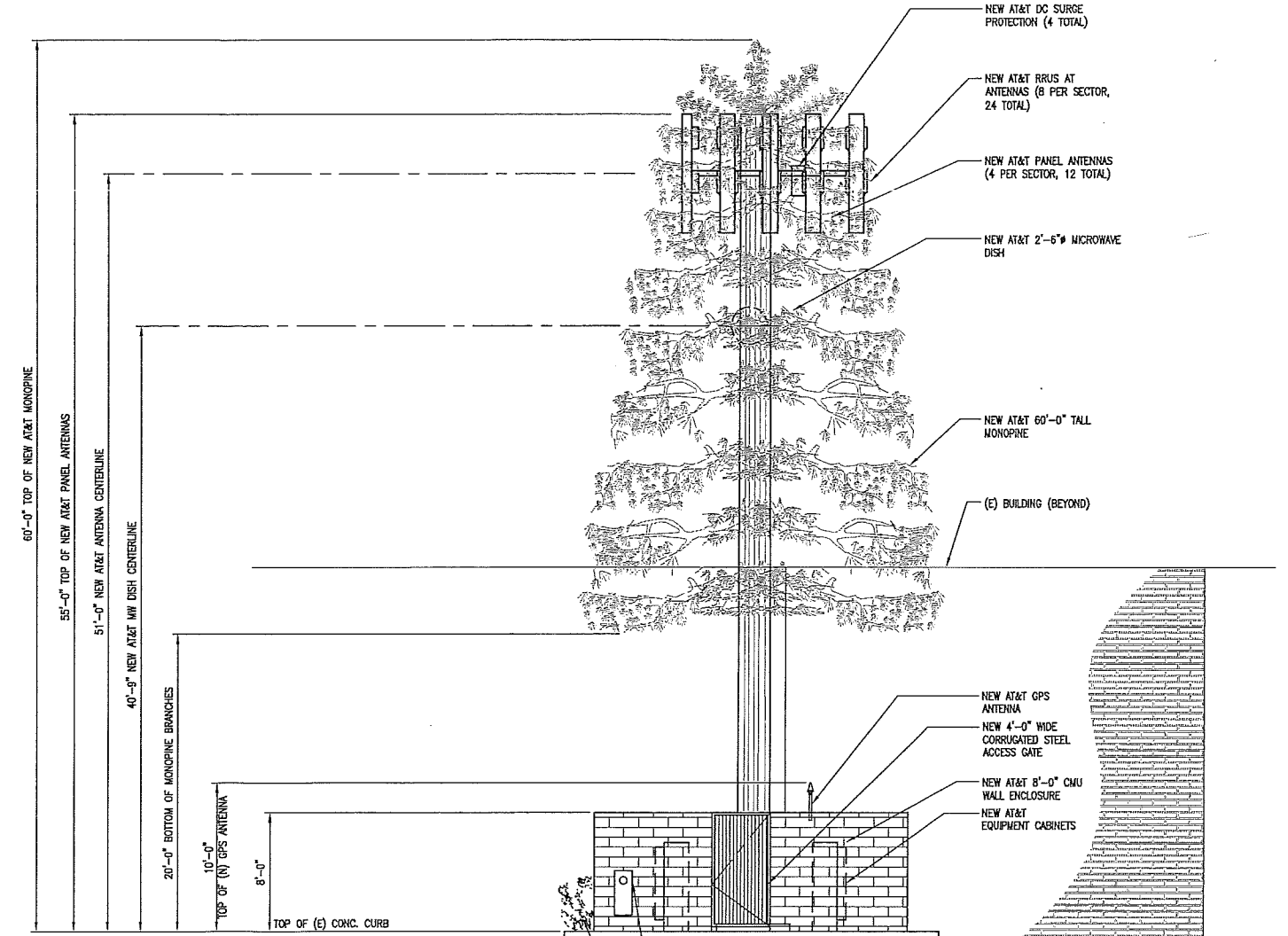
SHEET NUMBER

A-3



MONOPINE DESIGN NOTES:

- PINE TREE MINIMUM BRANCH COUNT OF 100 (25 BRANCHES FOR EVERY 10' IN HEIGHT)
- BRANCHES MUST BEGIN AT 15'
- VERTICAL AND HORIZONTAL SPACING OF BRANCHES SHALL BE SUCH THAT MOST OF THE TRUNK IS NOT VISIBLE.
- BASE OF BRANCH SPREAD MUST BE AT LEAST 20' IN DIAMETER
- BRANCH LENGTHS MUST VARY TO CREATE NATURAL APPEARANCE
- BRANCHES SHALL ANGLE UPWARDS 15 TO 20 DEGREES, WITH VARYING DEGREES TO SIMULATE NATURAL APPEARANCE
- TRUNK SHALL BE COVERED IN TEXTURED RUBBER TO RESEMBLE BARK
- ANTENNA AND MW MUST BE PAINTED GREEN TO BLEND IN
- NO CLIMBING PEGS BELOW 15' IN HEIGHT
- NEED TO ADD SOCKS TO ANTENNAS.

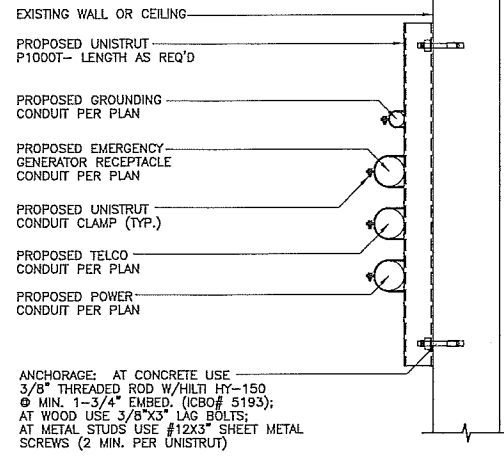
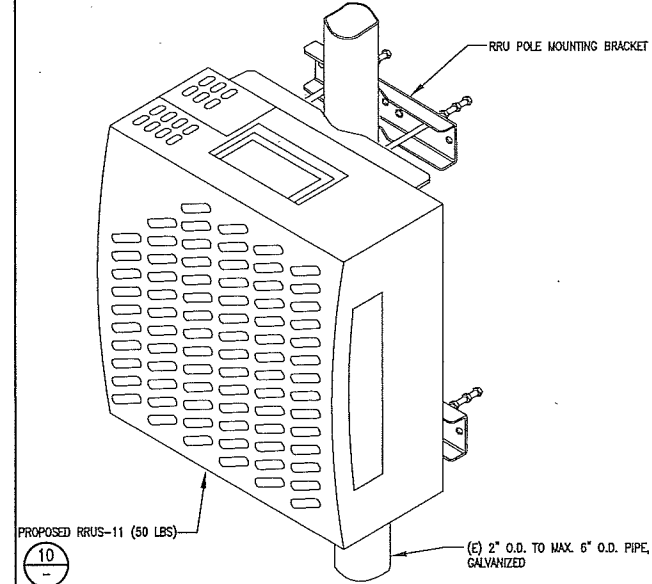
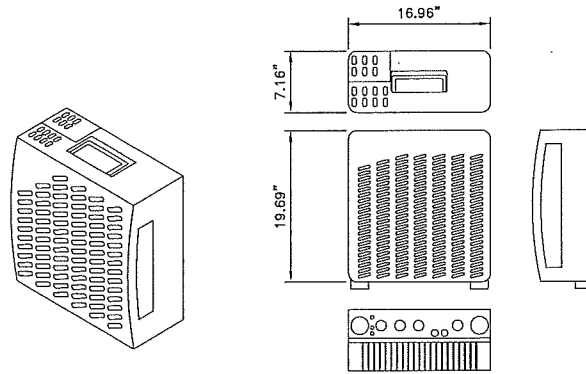


MONOPINE DESIGN NOTES:

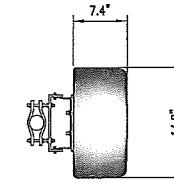
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- BRANCHES MUST BEGIN AT 15'
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- NEED TO ADD SOCKS TO ANTENNAS.

ERICSSON RRUS-11

DIMENSIONS, WxDxH: 431x182x500mm (16.96"x7.16"x16.69")
 POWER CONSUMPTION: 200 WATTS
 TOTAL WEIGHT: 55 lbs
 TEMPERATURE: -40° TO 55° C



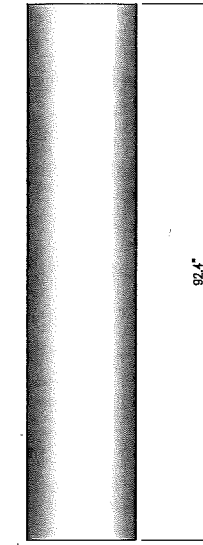
ANCHORAGE: AT CONCRETE USE 3/8" THREADED ROD W/HILTI HY-150 Ø MIN. 1-3/4" EMBED. (ICBD# 5193); AT WOOD USE 3/8"x3" LAG BOLTS; AT METAL STUDS USE #12x3" SHEET METAL SCREWS (2 MIN. PER UNISTRUT)



CCI 8'-0" 6 PORT ANTENNA:
HPA-65R-BUU-HB

PHYSICAL CHARACTERISTICS AND ENVIRONMENT:
DIMENSIONS (H X W X D):
92.4" X 14.8" X 7.4"

WEIGHT: 68.0 LBS.
TWO MOUNTING BRACKETS -
ADD'L 2.1 KG (5 LBS).



RRU DETAIL

SCALE: 10
N.T.S.

RRU PIPE MOUNT DETAIL

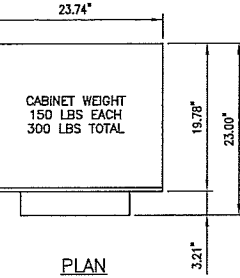
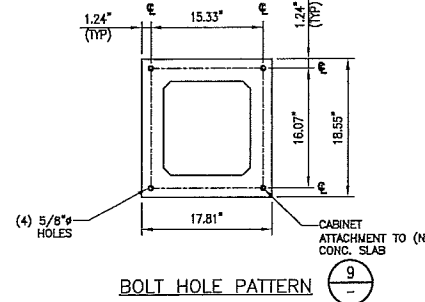
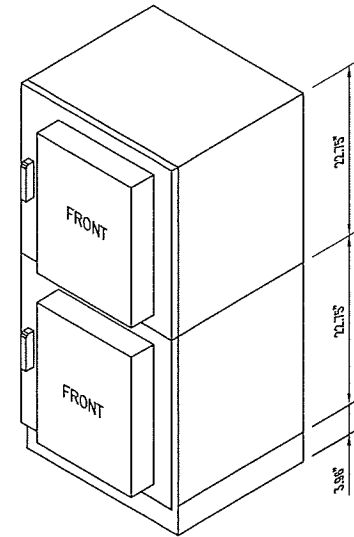
SCALE: 7
N.T.S.

WALL MOUNTED CONDUIT

SCALE: 4
N.T.S.

ANTENNA SPECIFICATION

SCALE: 1
N.T.S.



NOTE:
SEE DETAIL 7/D-2 FOR
CABINET MOUNTING DETAIL

PURCELL CABINET DETAIL

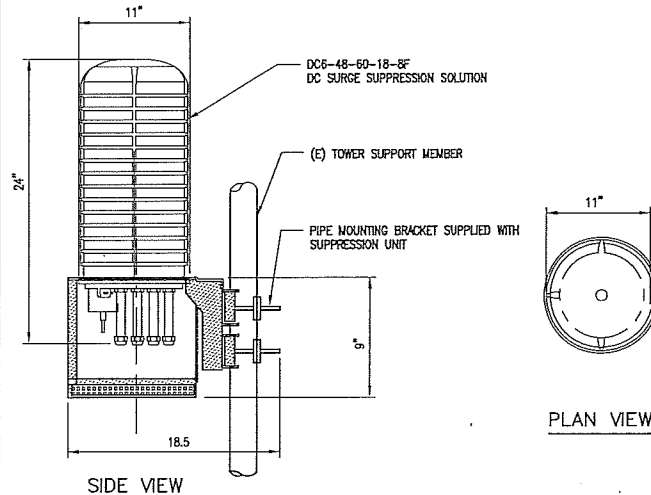
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N.T.S.

SURGE SUPPRESSOR DETAIL

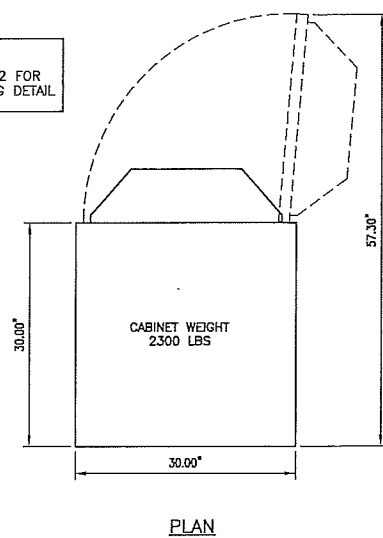
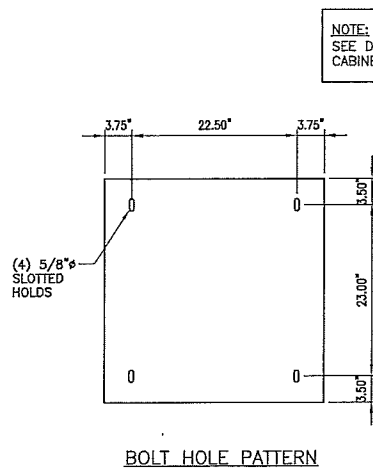
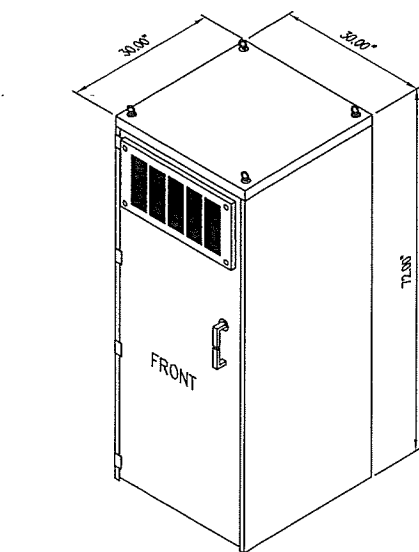
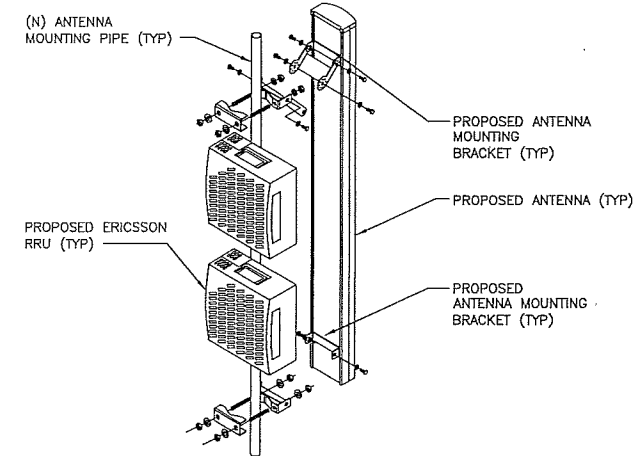
SCALE: 5
N.T.S.

ANTENNA MOUNTING DETAIL

SCALE: 2
N.T.S.



- PROTECTS UP TO 6 REMOTE RADIO HEADS
- INCLUDED FIBER CONNECTIONS FOR UP TO 18 PAIRS OF FIBER
- 60 KA OF SURGE CURRENT CAPACITY
- IT IS RECOMMENDED THAT UNIT BE INSTALLED WITHIN 6 FEET OF THE RADIO
- TOTAL WEIGHT IS UNDER 20 LBS



NOTE:
SEE DETAIL 7/D-2 FOR
CABINET MOUNTING DETAIL

ARGUS POWER / BATTERY CABINET DETAIL

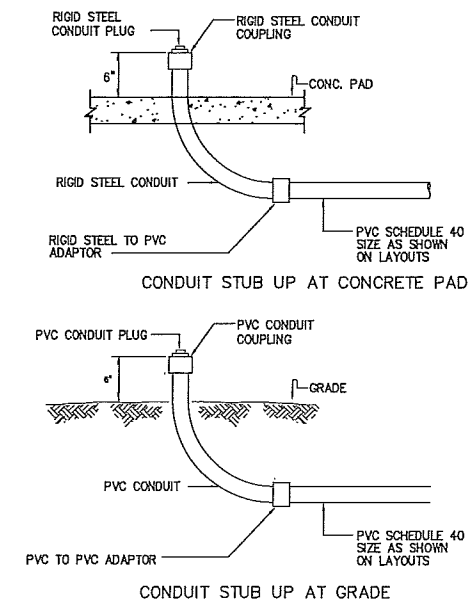
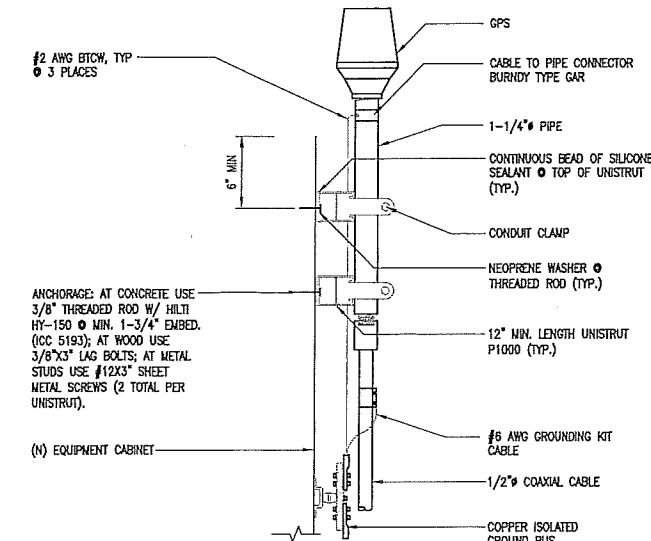
SCALE: 9
N.T.S.

GPS ANTENNA MOUNTING

SCALE: 6
N.T.S.

CONDUIT STUB UP

SCALE: 3
N.T.S.



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REVISIONS

REV	DATE/BY	DESCRIPTION
0	05/30/14 HL	ISSUED FOR 90% CDs
1	07/22/14 HL	ISSUED FOR 90% CDs
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3	09/16/14 HL	REVISED POWER SOURCE

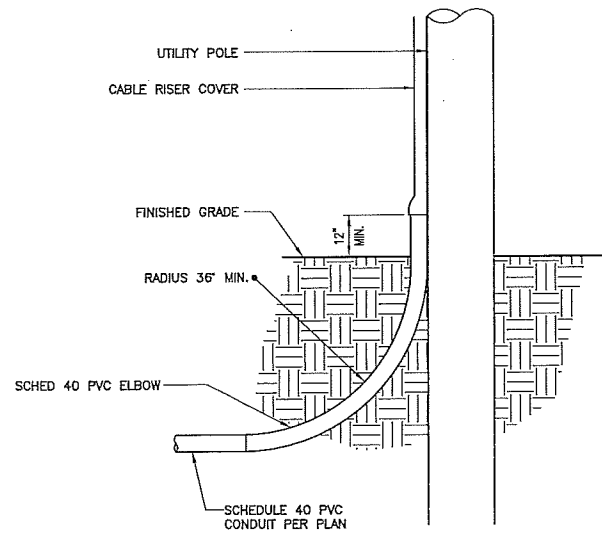
SITE INFORMATION
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SHEET TITLE
DETAILS

DRAWING INFORMATION

DRAWN BY	CHECKED BY	ISSUE DATE
JPC	DC	02/18/14

SHEET NUMBER
D-1



CONDUIT RISER AT POLE

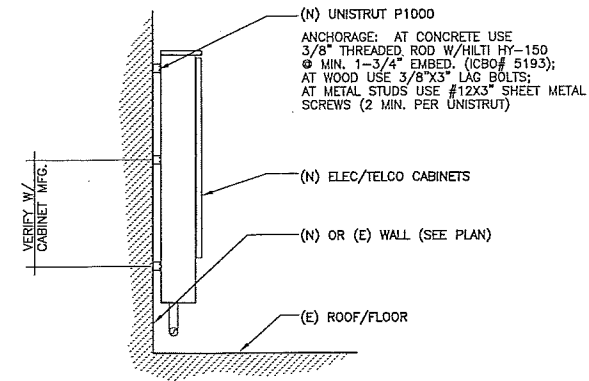
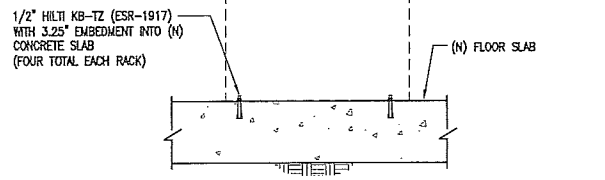
SCALE
N.T.S.

10

EQUIPMENT MOUNTING DETAIL

SCALE
N.T.S.

7



UTILITY PANEL MOUNTING-TYP.

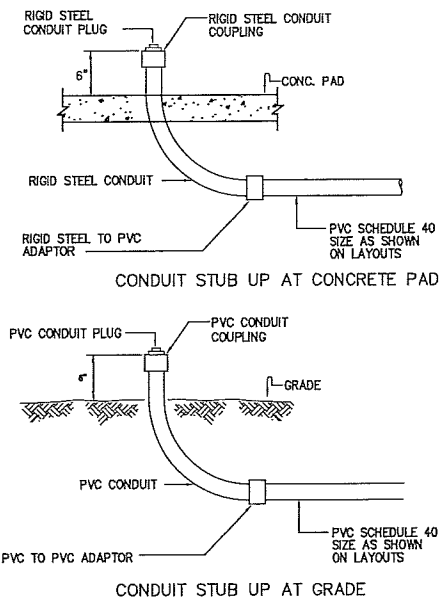
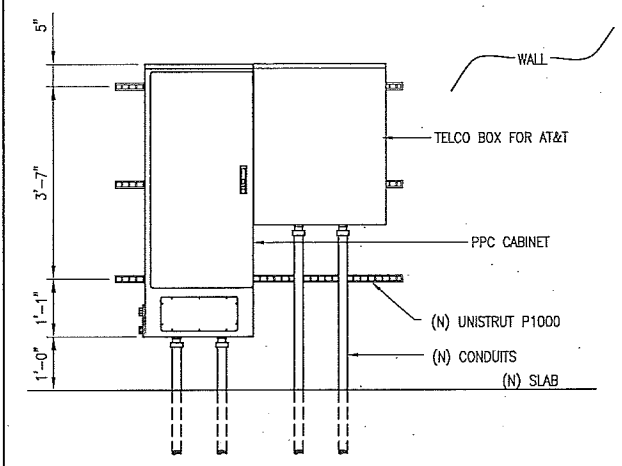
SCALE
N.T.S.

4

UTILITY PANEL MOUNTING-TYP.

SCALE
N.T.S.

1



CONDUIT STUB UP

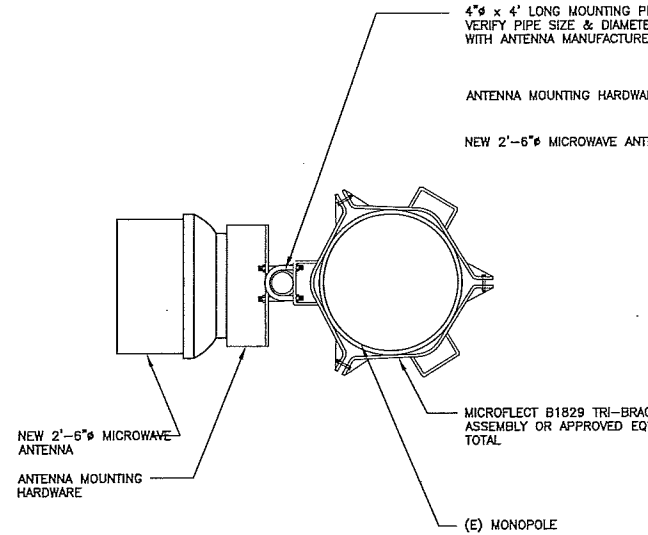
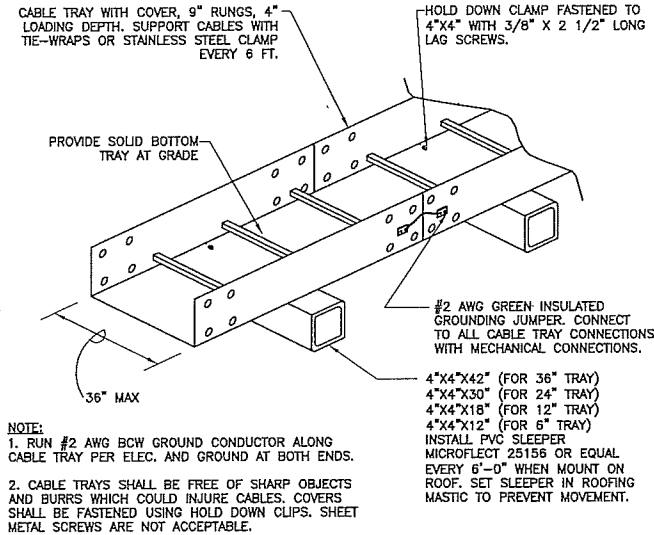
SCALE
N.T.S.

11

CABLE TRAY DETAIL

SCALE
N.T.S.

8



MW DISH DETAIL

SCALE
N.T.S.

2



NOT USED

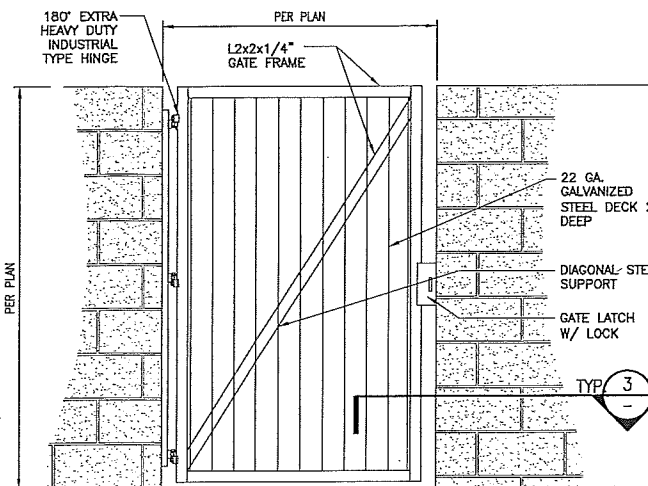
SCALE
N.T.S.

12

CONC. SIDE WALK DETAIL

SCALE
N.T.S.

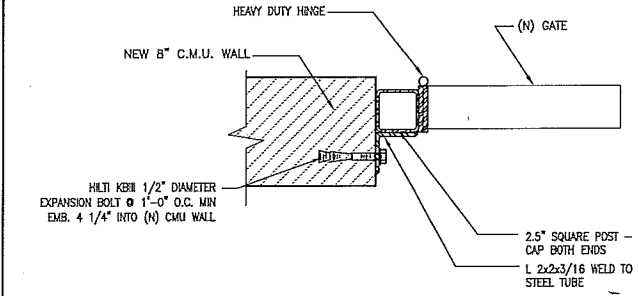
9



GATE ELEVATION

SCALE
N.T.S.

6



GATE JAMB

SCALE
N.T.S.

3

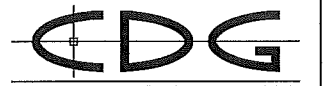


CONSULTANT



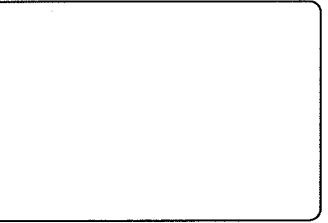
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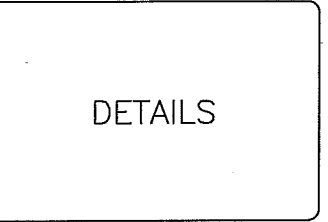
REVISIONS

REV	DATE/BY	DESCRIPTION
0	05/30/14 HL	ISSUED FOR 90% CDs
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ORANGE COUNTY

SHEET TITLE



DETAILS

DRAWING INFORMATION

DRAWN BY	CHECKED BY	ISSUE DATE
JPC	DC	02/18/14

SHEET NUMBER

D-2

GENERAL STRUCTURAL NOTES:

- WHERE A CONSTRUCTION DETAIL IS NOT SHOWN OR NOTED, THE DETAIL SHALL BE THE SAME AS FOR OTHER SIMILAR WORK.
- NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES.
- NO PIPES, DUCTS, SLEEVES, CHASES, ETC., SHALL BE PLACED IN SLABS, BEAMS, OR WALLS UNLESS SPECIFICALLY SHOWN OR NOTED, NOR SHALL ANY STRUCTURAL MEMBER BE CUT FOR PIPES, DUCTS, ETC., UNLESS OTHERWISE NOTED. CONTRACTOR SHALL OBTAIN PRIOR APPROVAL FOR INSTALLATION OF ANY ADDITIONAL PIPES, DUCTS, ETC.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD AT&T AND THE ARCHITECT/ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF AT&T OR THE ARCHITECT/ENGINEER.
- THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE, WORKERS AND PEDESTRIANS DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO BRACING, SHORING FOR LOADS DUE TO CONSTRUCTION EQUIPMENT, TEMPORARY STRUCTURES, AND PARTIALLY COMPLETED WORK, ETC. OBSERVATION VISITS TO THE SITE BY THE ARCHITECT/ENGINEER SHALL NOT INCLUDE INSPECTION OF SUCH ITEMS.
- ASTM SPECIFICATIONS NOTED ON THE DRAWINGS SHALL BE OF THE LATEST REVISION.
- CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED FLOOR OR ROOF. LOAD SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT. PROVIDE ADEQUATE SHORING/BRACING WHERE STRUCTURE HAS NOT ATTAINED DESIGN STRENGTH.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT IN CONJUNCTION WITH THE PROSECUTION OF THIS WORK.
- DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALES SHOWN ON DRAWINGS.
- THESE NOTES SHALL BE CONSIDERED A PART OF THE WRITTEN SPECIFICATIONS.
- ALL ITEMS REMOVED DURING CONSTRUCTION WORK (I.E., DRYWALL, PLYWOOD, CEILING PANELS, ETC.) SHALL BE REPLACED TO MATCH EXISTING.
- THE FOLLOWING REQUIREMENTS SHALL BE MET FOR SPECIAL INSPECTION:
 - THE SPECIAL INSPECTOR SHALL BE UNDER THE SUPERVISION OF A REGISTERED PROFESSIONAL ENGINEER.
 - THE SPECIAL INSPECTOR SHALL FURNISH INSPECTION REPORTS TO THE ARCHITECT/ENGINEER, AND OTHER DESIGNATED PERSONS. ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION; THEN, IF UNCORRECTED, TO THE PROPER DESIGN AUTHORITY AND THE BUILDING OFFICIAL.
 - THE SPECIAL INSPECTOR SHALL SUBMIT A FINAL REPORT SIGNED BY BOTH HE AND HIS SUPERVISOR STATING WHETHER THE WORK REQUIRING SPECIAL INSPECTION WAS IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS AND THE APPLICABLE WORKMANSHIP PROVISIONS OF THE UNIFORM BUILDING CODE.
 - COMPLY WITH ALL CITY SPECIAL INSPECTION REQUIREMENTS
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION OR MATERIAL FABRICATION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ENGINEERS ATTENTION IMMEDIATELY.
- CONTRACTOR TO VERIFY ALL DIMENSIONS, MATERIALS ETC. WITH ARCHITECTURAL BEFORE CONSTRUCTION/FABRICATION

STANDARD STRUCTURAL STEEL NOTES:

- ALL METAL WORK SHALL BE IN ACCORDANCE WITH THE SPECIFICATION GALVANIZED ASTM A572 GR. 50 UNLESS NOTED OTHERWISE.
- STRUCTURAL TUBING MEMBERS SHALL CONFORM TO ASTM A500, GRADE B.
- ALL WELDING SHALL BE DONE USING E70XX ELECTRODES AND WELDING SHALL CONFORM TO AISC AND AWS D1.1. WHERE FILLET WELD SIZES ARE NOT SHOWN, PROVIDE THE MINIMUM SIZE PER TABLE J2.4 IN THE AISC "MANUAL OF STEEL CONSTRUCTION", 9TH EDITION.
- BOLTED CONNECTIONS SHALL USE BEARING TYPE GALVANIZED ASTM A325 BOLTS (3/4" DIA.) AND SHALL HAVE A MINIMUM OF TWO BOLTS U.N.O.
- NON-STRUCTURAL CONNECTIONS FOR HANDRAIL, LADDERS AND STEEL GRATING MAY USE 5/8" DIA. GALVANIZED ASTM A307 BOLTS U.N.O.
- SPECIAL INSPECTION IS REQUIRED FOR ALL FIELD WELDING
- ALL STEEL MUST BE FABRICATED IN A CITY APPROVED WELDING FACILITY
- SUBMIT 2 SETS OF SHOP DRAWINGS TO THE ARCHITECT/ENGINEER FOR REVIEW BEFORE FABRICATION/CONSTRUCTION

CONCRETE MASONRY UNITS (CMU)

- MASONRY CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF ACI 530 - BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES, ACI 530.1 - SPECIFICATIONS FOR MASONRY STRUCTURES AND THE 2013 CALIFORNIA BUILDING CODE.
- HOLLOW LOAD BEARING MASONRY UNITS SHALL CONFORM TO ASTM C-90, GRADE N-1 AND BE MADE WITH NORMAL WEIGHT AGGREGATE. THE MINIMUM COMPRESSIVE STRENGTH (F_m) SHALL BE 1500 PSI AT 28 DAYS, AS PERMITTED BY THE UNIT STRENGTH METHOD OF ACI 530.1.
- FILL ALL CELLS SOLIDLY WITH GROUT. GROUT SHALL CONFORM TO ASTM C-476 AND SHALL OBTAIN A MIN 28 DAY COMPRESSIVE STRENGTH OF 2500 PSI.
- REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ASTM A-615 GRADE 60. SHOP FABRICATE REINFORCING BARS WHICH ARE SHOWN TO BE HOOKED OR BENT. PROVIDE MINIMUM LAP OF 48 X BAR DIAMETER AT ALL SPLICES UNLESS INDICATED OTHERWISE.
- MORTAR SHALL CONFORM TO ASTM C-270, TYPE S. ALL MORTAR SHALL MEET THE "PROPORTION SPECIFICATION" OF ASTM A-270 AND BE MADE WITH PORTLAND CEMENT/LIME (NON AIR ENTRAINED)
- PROVIDE REBAR DOWELS FROM FOUNDATIONS TO MATCH VERTICAL REINFORCEMENT SIZE AND SPACING. DOWELS SHALL HAVE STANDARD 90° HOOKS AND LAP WITH THE FIRST LIFT OF REINFORCING.
- THE MASONRY CONTRACTOR SHALL PROVIDE ALL REQUIRED TEMPORARY BRACING DURING CONSTRUCTION.
- SPECIAL INSPECTION REQUIRED FOR ALL CMU CONSTRUCTION.

REINFORCING STEEL:

- DETAILING, FABRICATION AND ERECTION OF REINFORCING BARS (UNLESS OTHERWISE NOTED) MUST FOLLOW THE ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES ACI 315, LATEST EDITION.
- REINFORCING BARS SHALL CONFORM TO THE REQUIREMENTS OF ASTM A615 OR A706 (DEFORMED BARS), NO. 3 BARS - GRADE 40, ALL OTHERS - GRADE 60. REINFORCING TO BE WELDED SHALL CONFORM TO A706.
- ALL REINFORCING BAR BENDS SHALL BE MADE COLD.
- ALL WELDING OF MILD STEEL SHALL BE DONE IN ACCORDANCE WITH THE LATEST AWS SPECIFICATIONS.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
- MINIMUM LAP OF WELDED WIRE FABRIC SHALL BE 6" OR ONE FULL MESH PLUS 2", WHICHEVER IS GREATER.

FOUNDATION:

- FOUNDATION DESIGN BASED ON SOILS VALUES FROM THE GEOTECHNICAL SOILS REPORT BY _____ DATED _____.
- CONTRACTOR TO PROVIDE FOR DE-WATERING OF EXCAVATIONS FROM EITHER SURFACE, GROUND, OR SEEPAGE WATER.
- CONTRACTOR SHALL PROVIDE FOR DESIGN AND INSTALLATION OF ALL CRIBBING, SHEATHING, AND SHORING REQUIRED TO SAFELY RETAIN THE EARTH BANKS.
- FOOTING ELEVATIONS SHOWN ARE FOR BIDDING PURPOSES ONLY AND ARE ASSUMED TO BE IN SUITABLE BEARING MATERIALS. THE ACTUAL ADEQUACY OF THE BEARING MATERIAL SHALL BE DETERMINED BY GEOTECHNICAL ENGINEER PRIOR TO PLACING OF REINFORCING AND CONCRETE. FOOTING ELEVATIONS, IF NECESSARY, SHALL BE LOWERED AS DIRECTED BY GEOTECHNICAL ENGINEER.
- ALL EXCAVATIONS SHALL BE PROPERLY BACKFILLED. DO NOT PLACE BACKFILL BEHIND RETAINING WALLS BEFORE CONCRETE HAS ATTAINED FULL DESIGN STRENGTH. CONTRACTOR SHALL BRACE OR PROTECT ALL BUILDING AND PIT WALLS BELOW GRADE FROM LATERAL LOADS UNTIL SUPPORTING FLOORS ARE IN PLACE AND HAVE ATTAINED FULL STRENGTH.
- FOOTING BACKFILL AND UTILITY TRENCH BACKFILL WITHIN BUILDING AREA SHALL BE MECHANICALLY COMPACTED IN LAYERS TO THE APPROVAL OF THE GEOTECHNICAL ENGINEER. FLOODING WILL NOT BE PERMITTED.
- ALL ABANDONED FOOTINGS, UTILITIES, ETC. THAT INTERFERE WITH NEW CONSTRUCTION SHALL BE REMOVED.
- BOTTOM OF DRILLED CAISSONS SHALL BE IN SUITABLE FORMATIONAL MATERIAL, AS RECOMMENDED AND DETERMINED IN FIELD BY GEOTECHNICAL ENGINEER. BOTTOM OF EACH CAISSON SHALL BE INSPECTED BY GEOTECHNICAL ENGINEER BEFORE FILLING IT WITH CONCRETE.
- FOOTING ELEVATIONS SHOULD BE LOCATED SUCH THAT THE BASES OF THE FOUNDATIONS ARE A MINIMUM HORIZONTAL DISTANCE OF FIVE FEET FROM THE FACE OF THE SLOPE (IN EXISTING FORMATIONAL SOILS OR APPROVED RECOMPACTED FILL).

CONCRETE NOTES:

- CONCRETE MIXES SHALL BE DESIGNED BY A QUALIFIED TESTING LABORATORY AND REVIEWED BY THE ENGINEER. MINIMUM COARSE AGGREGATE SIZE IS 1/2 INCH.
- CEMENT SHALL CONFORM TO ASTM C150.
- ADMIXTURES MAY BE USED WITH PRIOR APPROVAL OF THE ENGINEER. ADMIXTURES USED TO INCREASE THE WORKABILITY OF THE CONCRETE SHALL NOT BE CONSIDERED TO REDUCE THE SPECIFIED MIN. CEMENT CONTENT. (CALCIUM CHLORIDE SHALL NOT BE USED.)
- ALL CONCRETE TO BE HARDROCK WITH THE FOLLOWING 28 DAY ULTIMATE COMPRESSIVE STRENGTH (F_c) :
FOOTINGS
- READY MIX CONCRETE SHALL CONFORM TO ASTM-C94 2500 PSI.
- PLACEMENT OF CONCRETE SHALL CONFORM TO ACI STANDARD 304 AND PROJECT SPECIFICATIONS. ALL CONCRETE SURFACES AGAINST WHICH CONCRETE IS TO BE PLACED SHALL BE THOROUGHLY CLEANED. LANTANCE AND STANDING WATER SHALL BE REMOVED.
- IF COLUMN AND WALL CONCRETE IS PLACE WITH FLOOR, TWO HOURS MUST ELAPSE BETWEEN END OF COLUMN OR WALL PLACEMENT AND BEGINNING OF FLOOR PLACEMENT.
- ALL REINFORCING BARS, ANCHOR BOLTS AND OTHER CONCRETE INSERTS SHALL BE WELL SECURED IN POSITION PRIOR TO PLACING CONCRETE.
- REINFORCING STEEL SHALL HAVE A MINIMUM CONCRETE COVER AS FOLLOWS (UNLESS OTHERWISE NOTED):

A- CONCRETE AGAINST EARTH (UNFORMED)	3 IN.
B- CONCRETE AGAINST EARTH (FORMED OR EXPOSED TO WEATHER):	
BARS #6 & LARGER	2 IN.
BARS #5 & SMALLER	1-1/2 IN.
C- CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH EARTH:	
SLABS & WALLS (#11 BARS & SMALLER)	3/4 IN.
BEAMS, COLUMNS (TIES, STIRRUPS, SPIRALS)	1-1/2 IN.
UNPROTECTED COLUMNS	2-1/2 IN.
- CONDUIT OR PIPE SIZE (O.D.) SHALL NOT EXCEED 30 PERCENT OF SLAB THICKNESS AND SHALL BE PLACED BETWEEN TOP AND BOTTOM REINFORCING, UNLESS SPECIFICALLY DETAILED OTHERWISE. CONCENTRATION OF CONDUITS OR PIPES SHALL BE AVOIDED EXCEPT WHERE DETAILED OPENINGS ARE PROVIDED.
- PROJECTING CORNERS OF BEAMS, WALLS, COLUMNS, ETC., SHALL BE FORMED WITH A 3/4 IN. CHAMFER, UNLESS OTHERWISE NOTED ON ARCHITECTURAL DRAWINGS.
- PROVIDE SLEEVES FOR PLUMBING AND ELECTRICAL OPENINGS IN CONCRETE BEFORE PLACING. CORING IN CONCRETE IS NOT PERMITTED EXCEPT AS SHOWN. NOTIFY THE STRUCTURAL ENGINEER IN ADVANCE OF CONDITIONS NOT SHOWN ON THE DRAWINGS.
- CURING COMPOUNDS USED ON CONCRETE THAT IS TO RECEIVE A RESILIENT TILE FINISH SHALL BE APPROVED BY THE TILE MANUFACTURER BEFORE USE.
- CONTRACTOR SHALL SUBMIT JOINT LAYOUT FOR CONCRETE WORK FOR APPROVAL OF ENGINEER. REINFORCING FABRICATION SHALL NOT BE DONE PRIOR TO OBTAINING SUCH APPROVAL.
- CONTRACTOR SHALL SUBMIT A RESHORING PLAN AND OBTAIN APPROVAL BY THE ENGINEER BEFORE REMOVING FORMS.

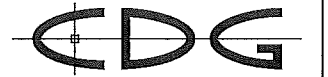


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STAMP/SEAL



REVISIONS

REV	DATE/BY	DESCRIPTION
0	05/30/14 HL	ISSUED FOR 90% CDs
1	07/22/14 HL	ISSUED FOR 90% CDs
2	07/29/14 HL	ISSUED FOR 100% CDs
3	09/16/14 HL	REVISED POWER SOURCE

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VALLEY VIEW VONS

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ORANGE COUNTY

SHEET TITLE

**GENERAL
STRUCTURAL NOTES**

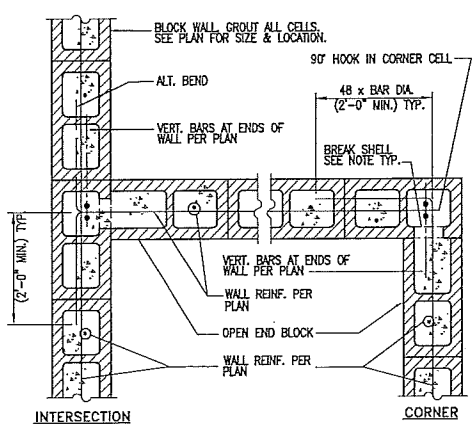
DRAWING INFORMATION

DRAWN BY	CHECKED BY	ISSUE DATE
JPC	DC	02/18/14

SHEET NUMBER

SN-1

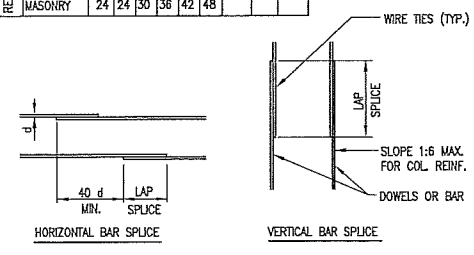
NOTES:
BLOCK LAYOUT SHOWN IS DIAGRAMATIC. ACTUAL CONDITION WILL VARY PER FORMING BOND PATTERN. USE APPROPRIATE UNITS OR BREAK CMU SHELL AS REQUIRED FOR REINFORCING PLACEMENT AND FLOW OF GROUT.



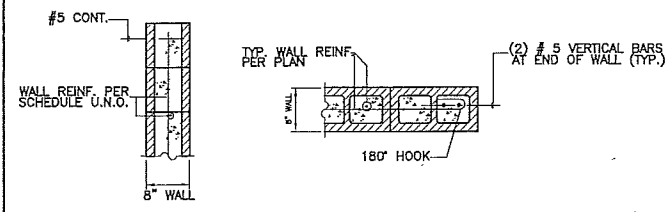
CMU DETAIL @ CORNER / INTERSECTION

CONC. F'c	BAR SIZE										
	3	4	5	6	7	8	9	10	11		
2000	24	24	36	50	69	91	115	145	178		
3000	24	29	36	46	63	82	104	132	165		
4000	24	29	36	43	54	71	90	115	141		
MASONRY	24	24	30	36	42	48					

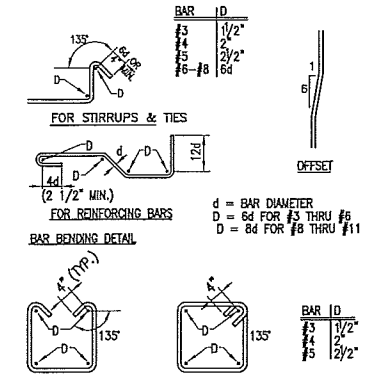
NOTES:
1. ALL VERTICAL REINFORCING FOR COL., PIERS & WALLS SHALL BE DOWELED AS SHOWN EXCEPT SPECIFIC DETAILS ON DRAWINGS SHALL GOVERN IN CASES OF CONFLICT.
2. DOWELS SHALL BE THE SAME GRADE, SIZE AND NUMBER AS VERTICAL REINFORCING.



TYP. BAR LAP SPICE



CMU DETAIL @ TOP / END

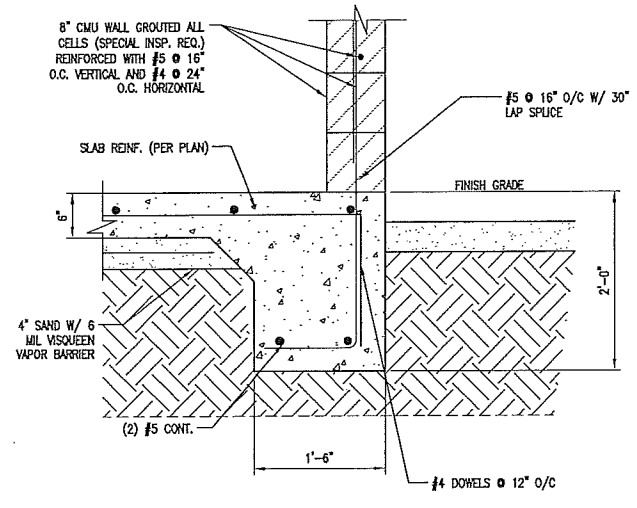


CMU DETAIL SCALE N.T.S. 10

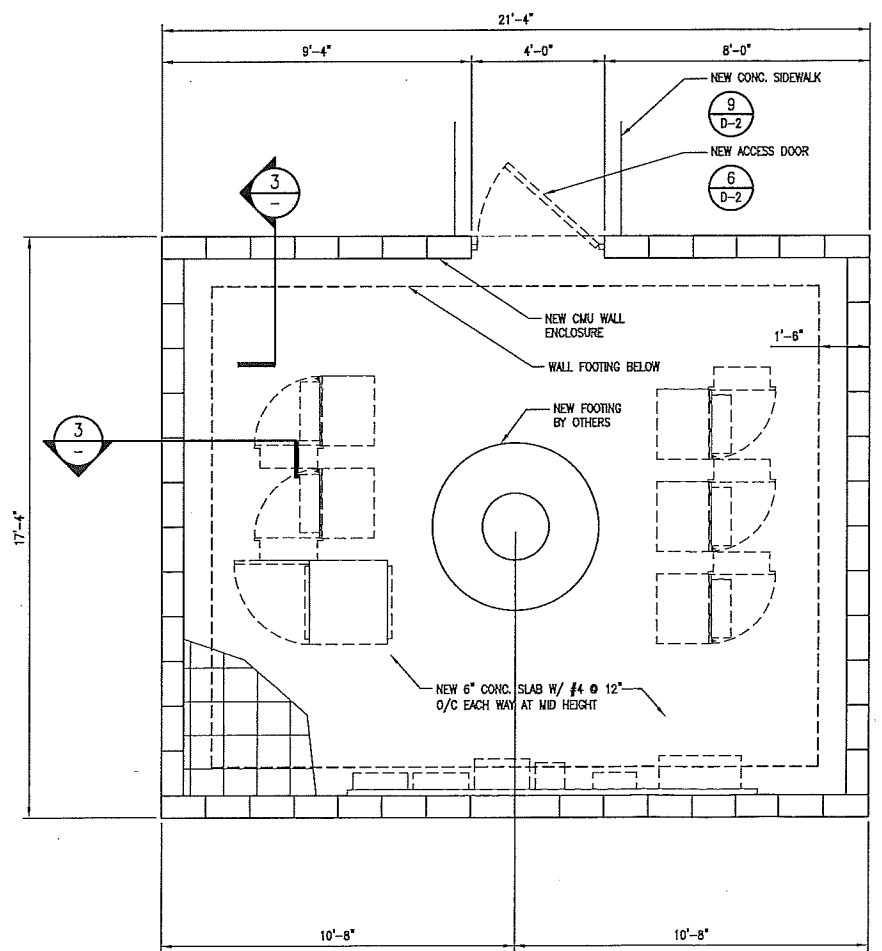
REBAR DETAIL SCALE N.T.S. 7

CMU DETAIL SCALE N.T.S. 4

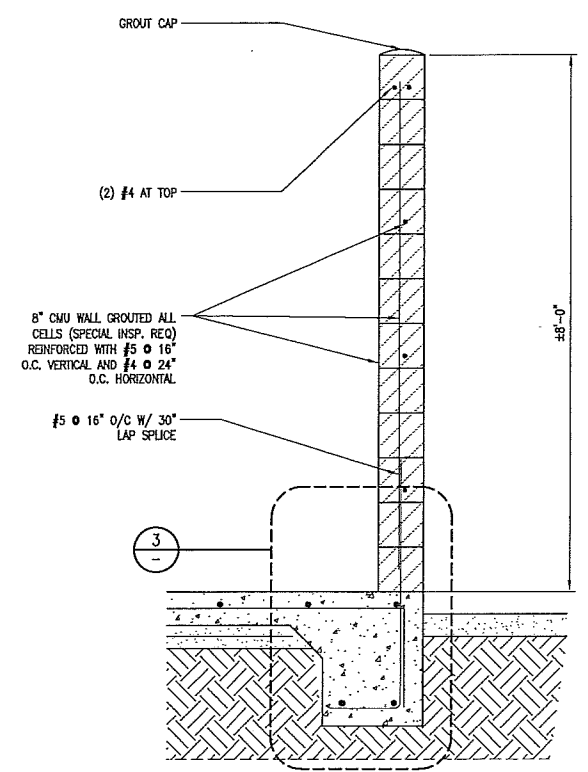
REBAR DETAIL SCALE N.T.S. 1



WALL FOUNDATION DETAIL SCALE N.T.S. 11



CMU WALL / FOUNDATION PLAN SCALE N.T.S. 6



CMU WALL SECTION SCALE N.T.S. 3



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STRUCTURAL
DETAILS

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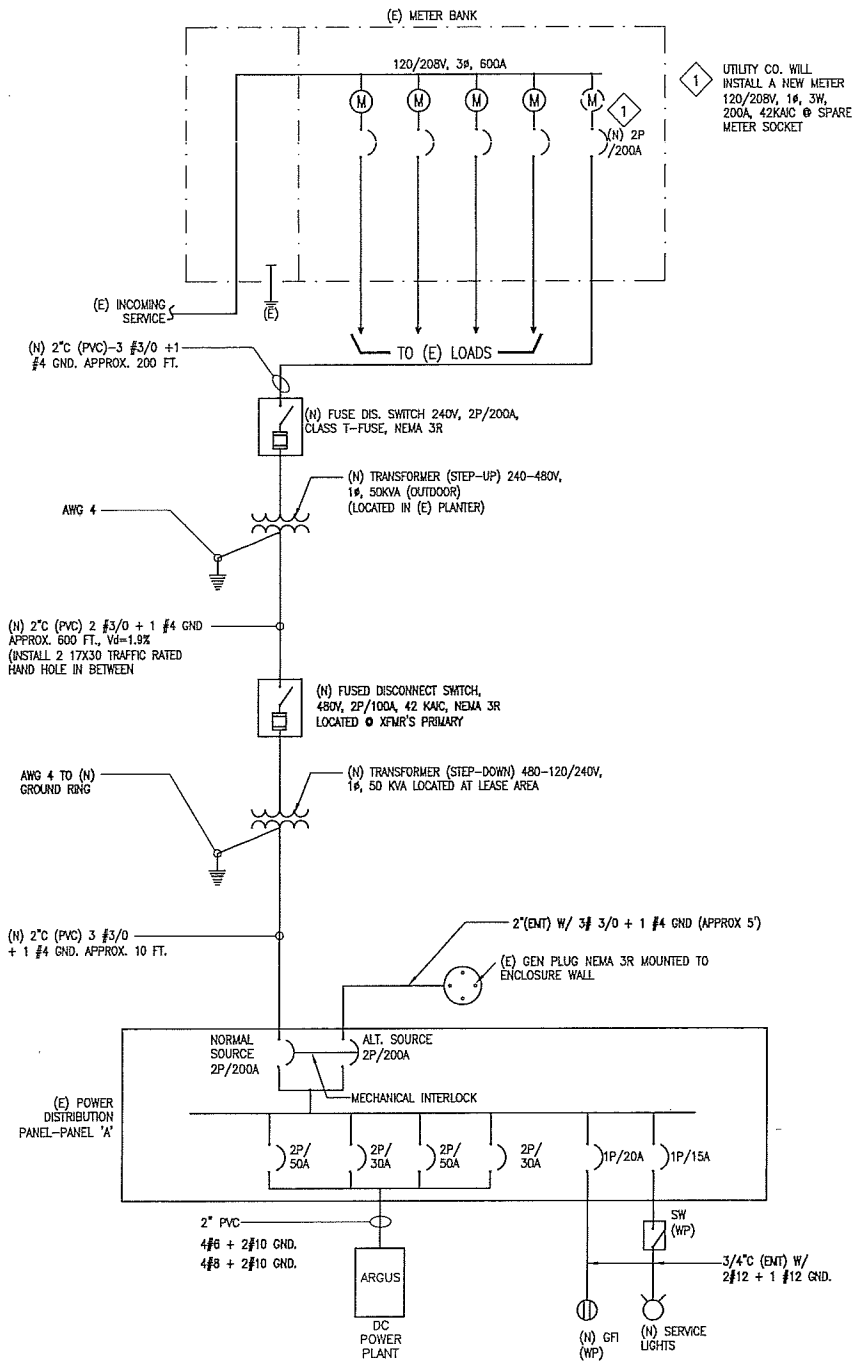
S-1

ELECTRICAL GENERAL NOTES

1. THE ELECTRICAL CONTRACTOR SHALL PAY ALL ELECTRICAL FEES FOR PERMITS, AND BE RESPONSIBLE FOR OBTAINING SAID PERMITS AND COORDINATING ALL ELECTRICAL INSPECTIONS.
2. ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN THE N.E.C. IN ADDITION TO ALL APPLICABLE LOCAL CODES.
3. ALL ELECTRICAL COMPONENTS SHALL BE U.L. LISTED.
4. CONTRACTOR SHALL EXAMINE ALL GENERAL CONSTRUCTION DRAWINGS AND VISIT CONSTRUCTION SITE TO BE FAMILIAR WITH EXISTING CONDITIONS UNDER WHICH THEY WILL HAVE TO OPERATE AND WHICH WILL IN ANY WAY AFFECT THE WORK UNDER THIS CONTRACT.
5. PROVIDE A PULL ROPE AND GREENLEE CONDUIT MEASURING TAPE IN TELEPHONE CONDUIT FOR BTS #1 REGARDLESS OF WHETHER CABLE IS INSTALLED OR NOT.
6. ALL PANELS, DISCONNECT SWITCHES, ETC. SHALL BE SUPPLIED WITH A LOCKABLE DEVICE PER AT&T REQUIREMENTS.

NOTES

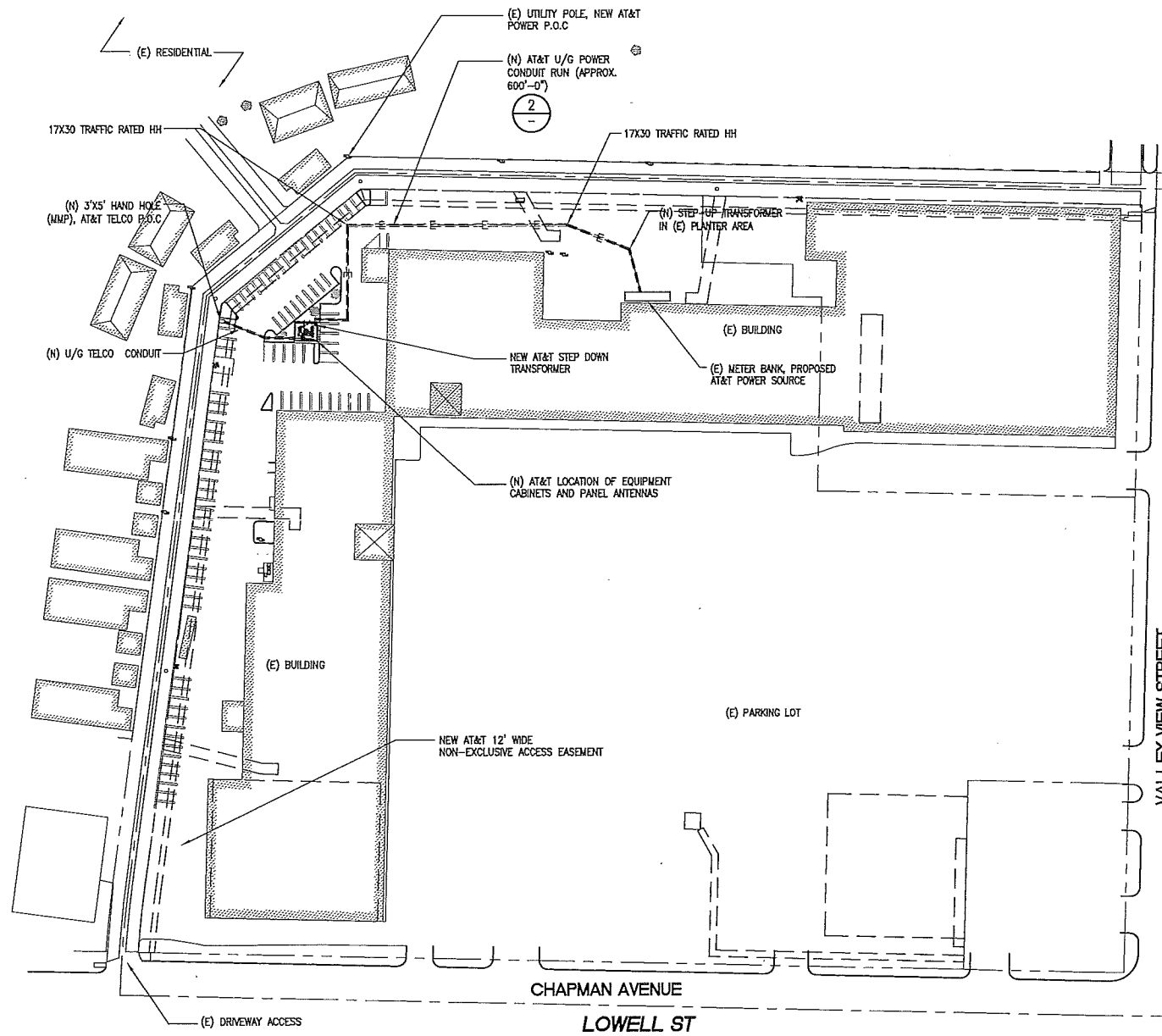
SCALE
N.T.S. 4



SINGLE LINE DIAGRAM

SCALE
N.T.S. 5

ELECTRICAL SITE PLAN



ELECTRICAL SITE PLAN

SCALE
N.T.S. 1

PANEL 'A' SCHEDULE

120/240V, 1 PHASE, 3W
200A BUS, 65 KAIC

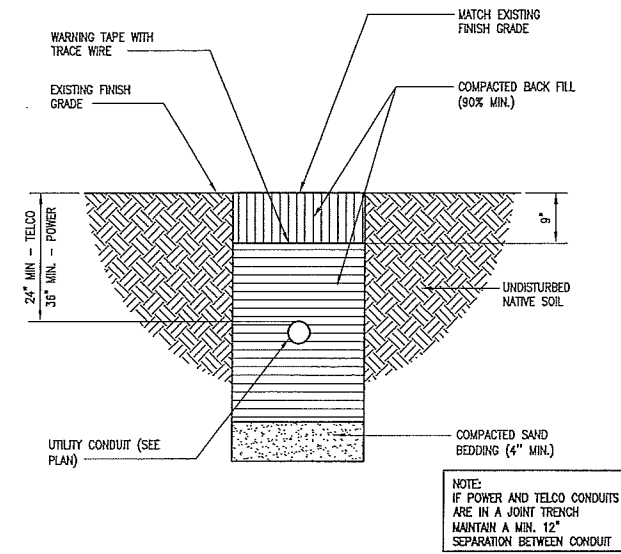
INTERSECT # MP1220042-3R-B
200A MAIN BKR (COMMERCIAL PWR) 65 KAIC SERIES RATED
UL LISTED SERVICE ENTRANCE EQUIPMENT

DESCRIPTION	VA	cchd	BKR	POS#	200		SYSTEM VOLTAGE (V):		VA	DESCRIPTION	
					L1	L2	POS#	BKR			
ARGUS-SHELF 1	3060	C	50	1	6120	2	4	50	C	3060	ARGUS-SHELF 3
BLANK	3060	C		3		6120	4		C	3060	
ARGUS-SHELF 2	2040	C	30	5	4080	6	8	30	C	2040	ARGUS-SHELF 4
BLANK	2040	C		7		4080	8		C	2040	
BLANK				9	180	10	15	C	180	ARGUS - GFCI	
BLANK				11		540	12	15	C	540	ARGUS - HEATER
BLANK				13	0		14			BLANK	
BLANK				15	0		16			BLANK	
ARGUS - GFCI	180	C	15	17	180		18			BLANK	
ARGUS - HEATER	540	C	15	19	540	20				BLANK	
BLANK	0	C	21	0		22				BLANK	
SURGE	0	C	30	23		500	24	20	NC	500	LIGHTING
PHASE TOTALS (VA):				10560		11780					
CURRENT PER PHASE (A):				88		98		Amperes/phase cannot exceed main breaker rating			
PANEL TOTAL (VA):				22340				Legend: c = continuous, nc = non-continuous			
PANEL CAPACITY (kVA):				48.0		CONNECTED LOAD (kVA):		22.3			
PANEL LOADING (100% non-cont. load) (kVA):				0.5							
PANEL LOADING (125% continuous load) (kVA):				27.3							
PANEL LOADING (TOTAL) (kVA):				27.8							
SPARE CAPACITY (kVA):				20.2							

NOTES:
1. MAIN (COMMERCIAL) BREAKER IS SQUARE D # QGL22200 WHICH IS RATED 65 KAIC. BRANCH BREAKERS SHALL BE SQUARE D TYPE QO RATED 10 KAIC. ALL BREAKERS PROVIDED BY GC.

PANEL SCHEDULE

SCALE
N.T.S. 3



DETAIL

SCALE
N.T.S. 2



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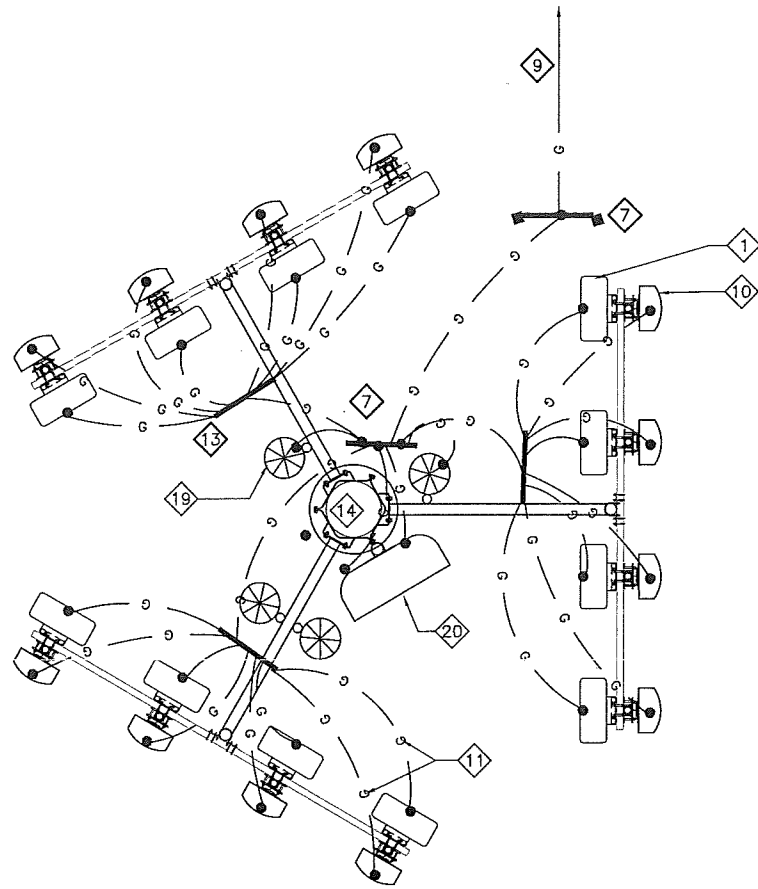
ELECTRICAL SITE PLAN, PANEL SCHEDULE, SINGLE LINE DIAGRAM, DETAILS, NOTES

DRAWING INFORMATION

DRAWN BY	CHECKED BY	ISSUE DATE
JPC	DC	02/18/14

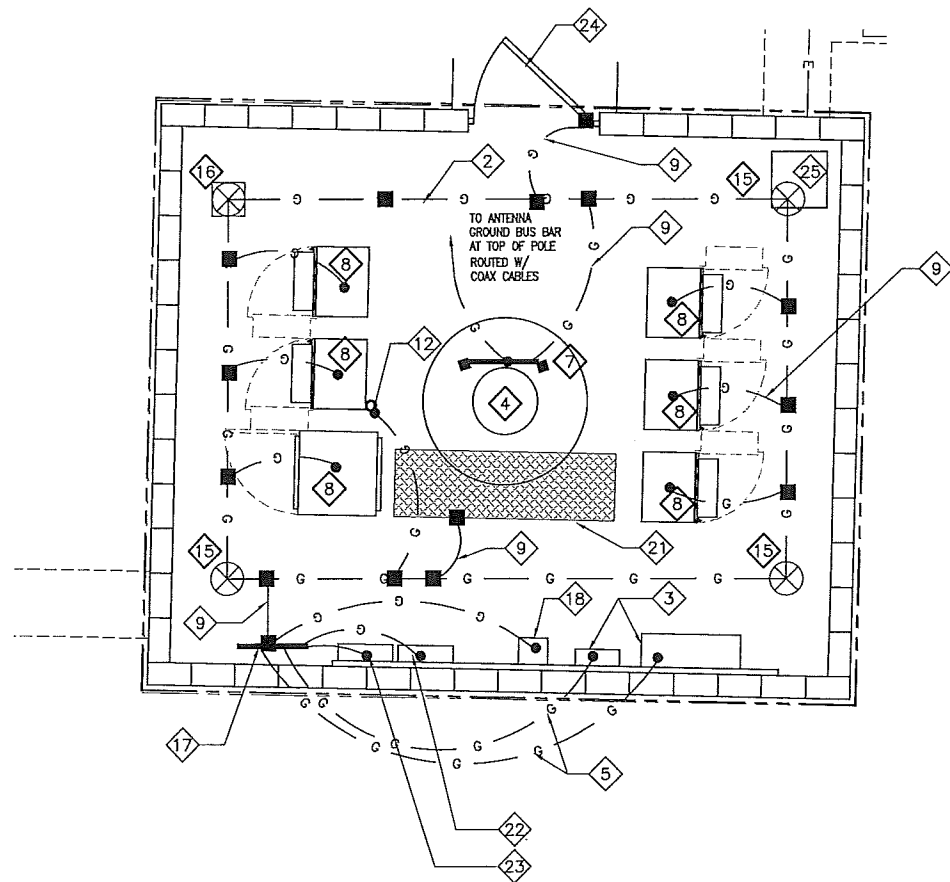
SHEET NUMBER

E-1



ANTENNA GROUNDING PLAN

SCALE
N.T.S. 4



GROUNDING PLAN

SCALE
N.T.S. 5

KEY NOTES

- 1 (N) AT&T RRUs (8 PER SECTOR) (24 TOTAL)
- 2 AWG2 SOLID TINNED COPPER GROUND RING, BERRIED 30" BELOW GRADE
- 3 (N) AT&T HOFFMAN BOX AND CIENA
- 4 NOT USED
- 5 AWG2 INSULATED GROUND WIRE
- 6 NOT USED
- 7 ANTENNA GROUND BUS BAR AT TOP AND BOTTOM OF POLE
- 8 (N) EQUIPMENT CABINET -TYP.
- 9 AWG #2 BCW CONNECTED TO GROUND RING
- 10 (N) AT&T PANEL ANTENNAS, (4 PER SECTOR, 12 TOTAL)
- 11 AWG #6 INSULATED COPPER WIRE (TYP.)
- 12 NEW GPS ANTENNA
- 13 (N) GROUND BUS BAR AT EACH SECTOR
- 14 (N) MONOPINE
- 15 GROUND ROD
- 16 GROUND ROD WITH TEST WELL (2)
- 17 (N) AT&T EQUIPMENT GROUND BUS BAR
- 18 (N) AT&T GENERATOR CAM LOCK
- 19 (N) AT&T DC SURGE SUPPRESSOR (4 TOTAL)
- 20 NEW AT&T 2'-6"Ø MICROWAVE DISH ANTENNA
- 21 (N) AT&T 2'-0" WIDE CABLE TRAY
- 22 (N) AT&T ELECTRICAL PANEL
- 23 (N) AT&T TELCO PANEL
- 24 (N) GATE
- 25 (N) STEP DOWN TRANSFORMER

GENERAL NOTES:

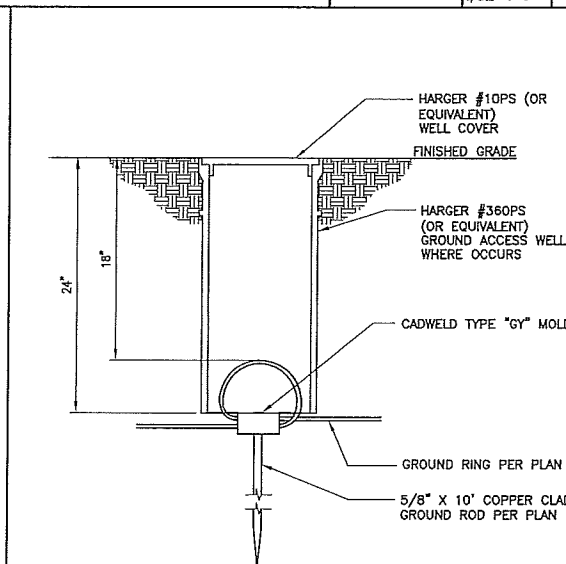
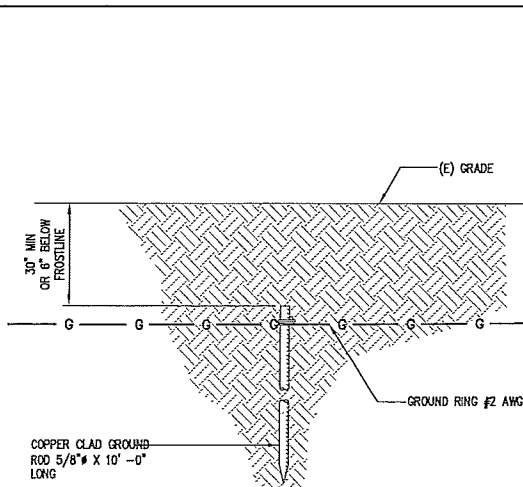
- PLAN DRAWINGS SHOWN HEREIN ARE DIAGRAMMATIC AND DOES NOT NECESSARILY DEPICT THE EXACT EQUIPMENT QUANTITIES, LOCATION, LAYOUT AND CONFIGURATION. REFER TO ARCHITECTURAL PLANS FOR EXACT EQUIPMENT LOCATION, LAYOUT AND CONFIGURATION.
- PLAN DRAWINGS SHOWN HEREIN DO SHOW THE NECESSARILY DEPICT ELECTRICAL REQUIREMENTS OF INDIVIDUAL EQUIPMENT AND DEVICES SUCH AS THE EQUIPMENT GROUNDING REQUIREMENTS, POWER REQUIREMENTS AND TELCO RACEWAY REQUIREMENTS.
- REFER TO ARCHITECTURAL PLANS FOR THE LOCATION OF POWER AND TELCO POINT OF CONNECTIONS, THE DISTANCE OF THE RUN AND THE SUGGESTED CONDUIT ROUTING. FIELD VERIFY EXISTING CONDITIONS SPECIFICALLY FOR CONDUIT ROUTING PRIOR TO BID.

LEGEND

- MECHANICAL CONNECTION
- EXOTHERMIC WELD (CADWELD/THERMOWELD) CONNECTION.
- ⊗ 5/8"Ø x 10'-0" COPPER, OR COPPER CLAD STEEL GROUND ROD AT 10'-0" O.C. (MAX)
- G- #2 AWG INSULATED, COPPER WIRE (UNLESS OTHERWISE SPECIFIED).
- S.O.H. S.O.H. SECONDARY OVERHEAD
- ⊗ GROUND ROD INSPECTION WELL

KEY NOTES AND LEGENDS

SCALE: 1
0 10' 20' 35'



GROUND RING DETAIL

SCALE
N.T.S. 3

GROUND ROD

SCALE
N.T.S. 2

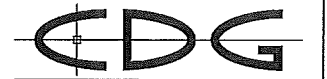


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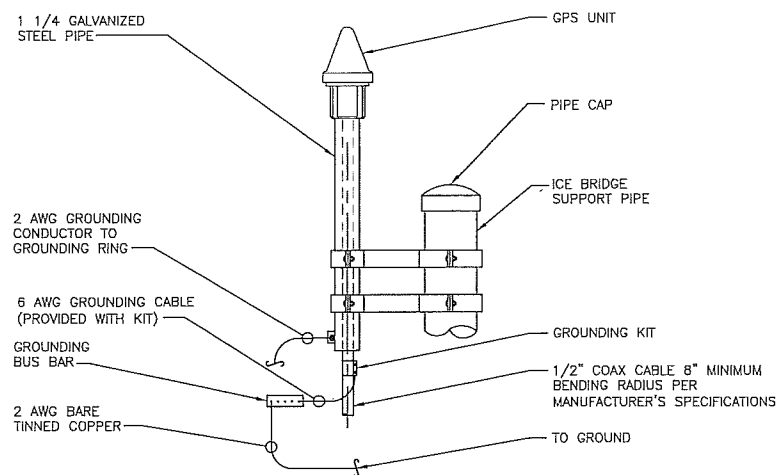
GROUNDING PLANS,
NOTES & DETAILS

DRAWING INFORMATION

DRAWN BY	CHECKED BY	ISSUE DATE
JPC	DC	02/18/14

SHEET NUMBER

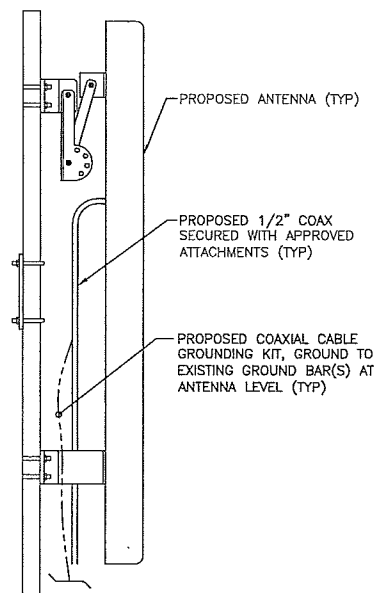
E-2



GPS GROUNDING DETAIL

SCALE
N.T.S.

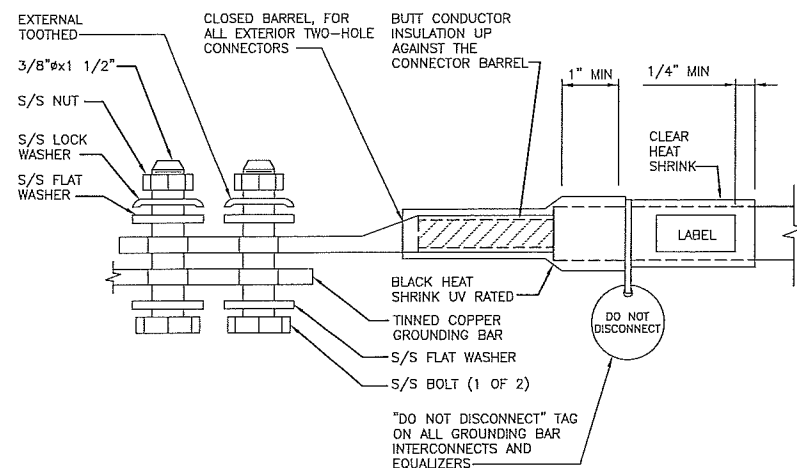
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ANTENNA GROUND DETAIL

SCALE
N.T.S.

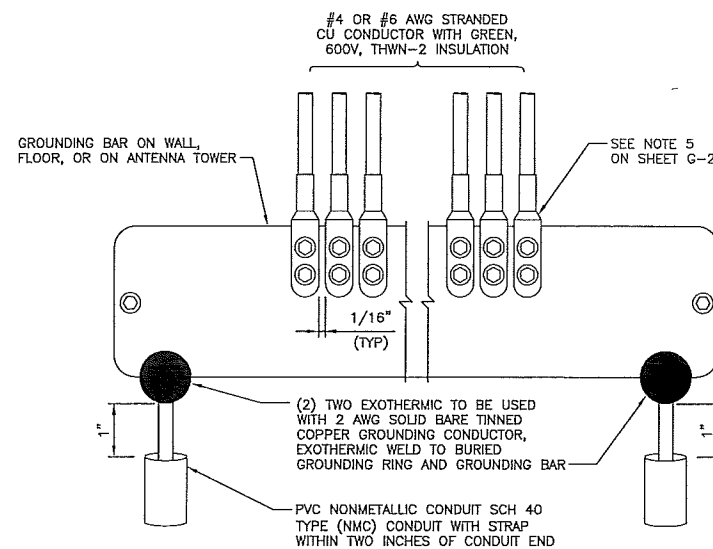
3



EXTERIOR TWO HOLE LUG

SCALE
N.T.S.

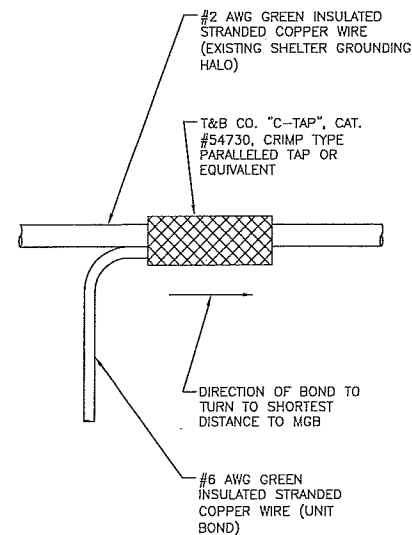
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GROUNDING TO GROUND BAR

SCALE
N.T.S.

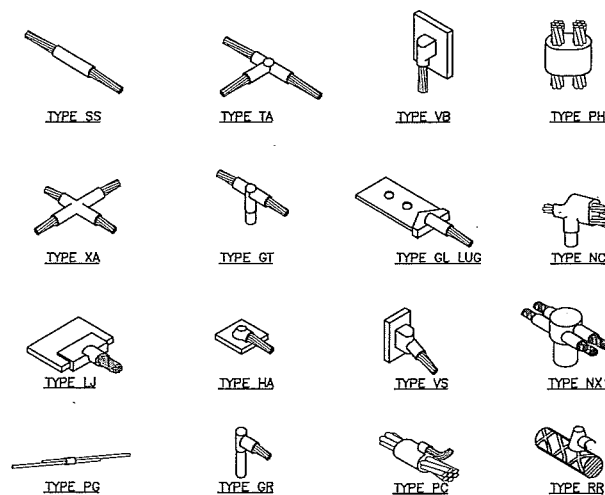
4



GROUND WIRE CONNECTION

SCALE
N.T.S.

8



CAD WELD DETAIL

SCALE
N.T.S.

5

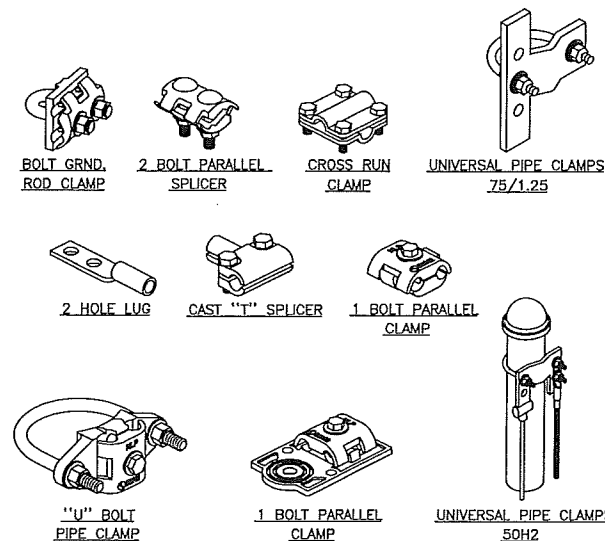
NOTES

- REFERENCE DRAWING PAGE G-3 FOR KEY NOTE LEGEND.
- COMPRESSION CONNECTIONS (2), 2 AWG BARE TINNED SOLID COPPER CONDUCTORS TO GROUNDING BAR. ROUTE CONDUCTORS TO BURIED GROUNDING RING AND PROVIDE PARALLEL EXOTHERMIC WELD.
- 2EC SHALL USE PERMANENT MARKER TO DRAW THE LINES BETWEEN EACH SECTION AND LABEL EACH SECTION ("P", "A", "N", "I") WITH 1" HIGH LETTERS.
- ALL HARDWARE 18-8 STAINLESS STEEL, INCLUDING LOCK WASHERS, COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE MATING. ALL HARDWARE SHALL BE STAINLESS STEEL 3/8 INCH DIAMETER OR LARGER.
- FOR GROUND BOND TO STEEL ONLY: INSERT A CADMIUM FLAT WASHER BETWEEN LUG AND STEEL, COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE MATING.
- NUT & WASHER SHALL BE PLACED ON THE FRONT SIDE OF THE GROUNDING BAR AND BOLTED ON THE BACK SIDE. INSTALL BLACK HEAT-SHRINKING TUBE, 600 VOLT INSULATION, ON ALL GROUNDING TERMINATIONS. THE INTENT IS TO WEATHERPROOF THE COMPRESSION CONNECTION.
- NUMBER OF GROUNDING BARS MAY VARY DEPENDING ON THE TYPE OF TOWER, ANTENNA LOCATION, AND CONNECTION ORIENTATION. PROVIDE AS REQUIRED.
- GROUNDING KIT SHALL BE TYPE AND PART NUMBER AS SUPPLIED OR RECOMMENDED BY CABLE MANUFACTURER.
- WEATHERPROOFING SHALL BE TYPE AND PART NUMBER AS SUPPLIED OR RECOMMENDED BY CABLE MANUFACTURER.
- SUPPLIED AND INSTALLED BY CONTRACTOR.
- WHEN THE SCOPE OF WORK REQUIRES THE ADDITION OF A GROUNDING BAR TO AN EXISTING TOWER, THE SUBCONTRACTOR SHALL OBTAIN APPROVAL FROM THE TOWER OWNER PRIOR TO MOUNTING THE GROUNDING BAR TO THE TOWER.
- EXTEND TWO (2) 2 AWG TINNED CU CONDUCTOR FROM BURIED GROUNDING RING AND CONNECT TO THE PROPOSED TOWER. FOLLOW MANUFACTURERS RECOMMENDATIONS FOR GROUNDING CONNECTIONS TO THE TOWER. (APPLICABLE TO NEW TOWERS ONLY.)
- NUMBER OF GROUNDING BARS MAY VARY DEPENDING ON THE TYPE OF TOWER, ANTENNA LOCATION, AND CONNECTION ORIENTATION. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ADDITIONAL GROUNDING BARS AS REQUIRED, PROVIDING 50% SPARE CONNECTION POINTS.
- BUILDINGS AND/OR NEW TOWERS GREATER THAN 75 FEET IN HEIGHT AND THE MAIN GROUNDING CONDUCTORS ARE REQUIRED TO BE ROUTED TO GRADE. THE SUBCONTRACTOR SHALL ROUTE TWO GROUNDING CONDUCTORS FROM THE ROOFTOP, TOWERS, AND WATER TOWERS GROUNDING RINGS, TO THE EXISTING GROUNDING SYSTEM. THE GROUNDING CONDUCTORS SHALL NOT BE SMALLER THAN 2/0 AWG COPPER. ROOFTOP GROUNDING RING SHALL BE BONDED TO THE EXISTING GROUNDING SYSTEM, THE BUILDING STEEL COLUMNS, LIGHTNING PROTECTION SYSTEM, AND BUILDING MAIN WATER LINE (FERROUS OR NONFERROUS METAL PIPING ONLY). SEE AT&T GROUNDING AND BONDING STANDARDS TP-76416 SPECIFICATION 6.3.2.2.
- ALL GROUNDING BARS SHALL BE STAMPED IN TO THE METAL "IF STOLEN DO NOT RECYCLE." THE SUBCONTRACTOR SHALL USE PERMANENT MARKER TO DRAW THE LINES BETWEEN EACH SECTION AND LABEL EACH SECTION ("P", "A", "N", "I") WITH 1" HIGH LETTERS.

GROUNDING NOTES

SCALE
N.T.S.

1



MECHANICAL CONNECTION DETAIL

SCALE
N.T.S.

2



CONSULTANT



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A&E DEVELOPMENT



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STAMP/SEAL

REVISIONS

REV	DATE/BY	DESCRIPTION
0	05/30/14 HL	ISSUED FOR 90% CDs
1	07/22/14 HL	ISSUED FOR 90% CDs
2	07/28/14 HL	ISSUED FOR 100% CDs
3	09/16/14 HL	REVISED POWER SOURCE

SITE INFORMATION

CLV0934B_CLL00934B

VALLEY VIEW VONS

11869 VALLEY VIEW ST.
GARDEN GROVE, CA 92845
ORANGE COUNTY

SHEET TITLE

GROUNDING NOTES,
DETAILS

DRAWING INFORMATION

DRAWN BY	CHECKED BY	ISSUE DATE
JPC	DC	02/18/14

SHEET NUMBER

E-3



CLV0934B VALLEY VIEW VONS



11869 VALLEY VIEW STREET GARDEN GROVE CA 92845

VIEW 1



LOCATION

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EXISTING



PROPOSED

LOOKING NORTHWEST FROM PARKING LOT

CUP-052-2015

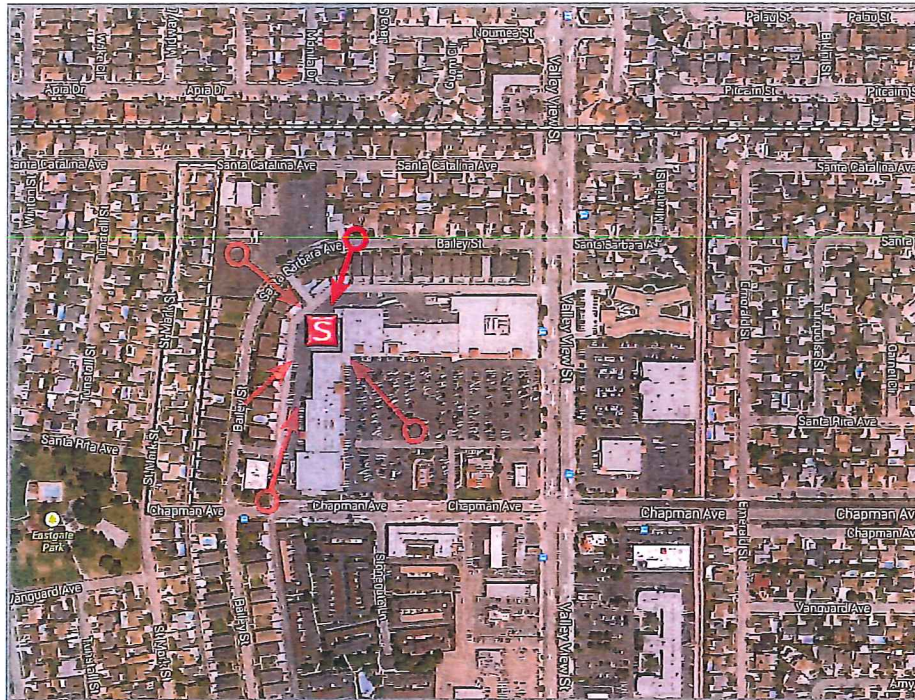


CLV0934B VALLEY VIEW VONS



11869 VALLEY VIEW STREET GARDEN GROVE CA 92845

VIEW



LOCATION

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EXISTING



PROPOSED

LOOKING SOUTHWEST FROM BAILEY STREET



CLV0934B

VALLEY VIEW VONS



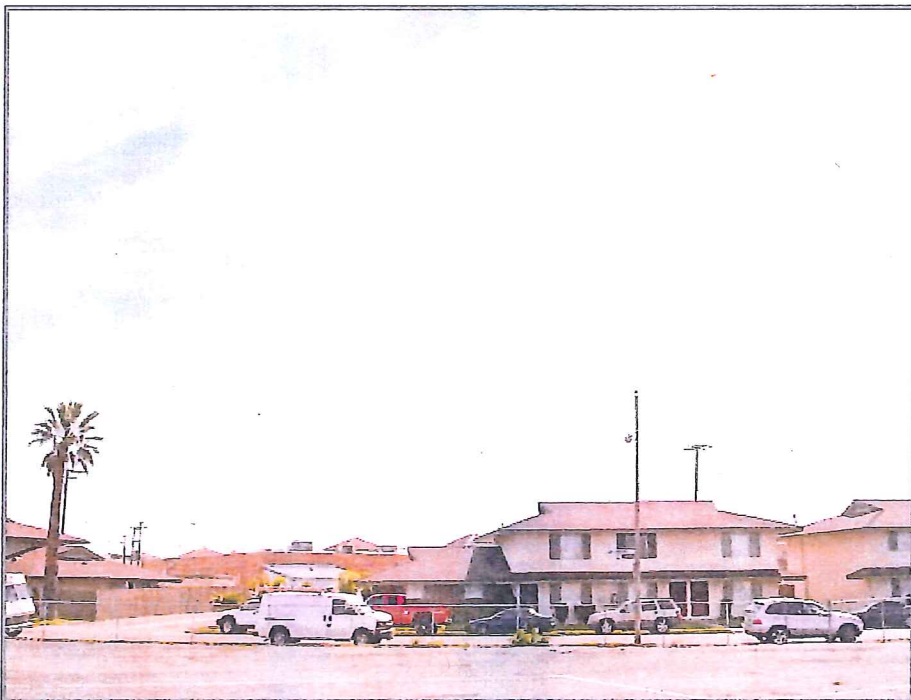
11869 VALLEY VIEW STREET GARDEN GROVE CA 92845

VIEW



LOCATION

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EXISTING



PROPOSED

LOOKING SOUTHEAST ACROSS SANTA BARBARA AVENUE



CLV0934B

VALLEY VIEW VONS



11869 VALLEY VIEW STREET GARDEN GROVE CA 92845

VIEW 4

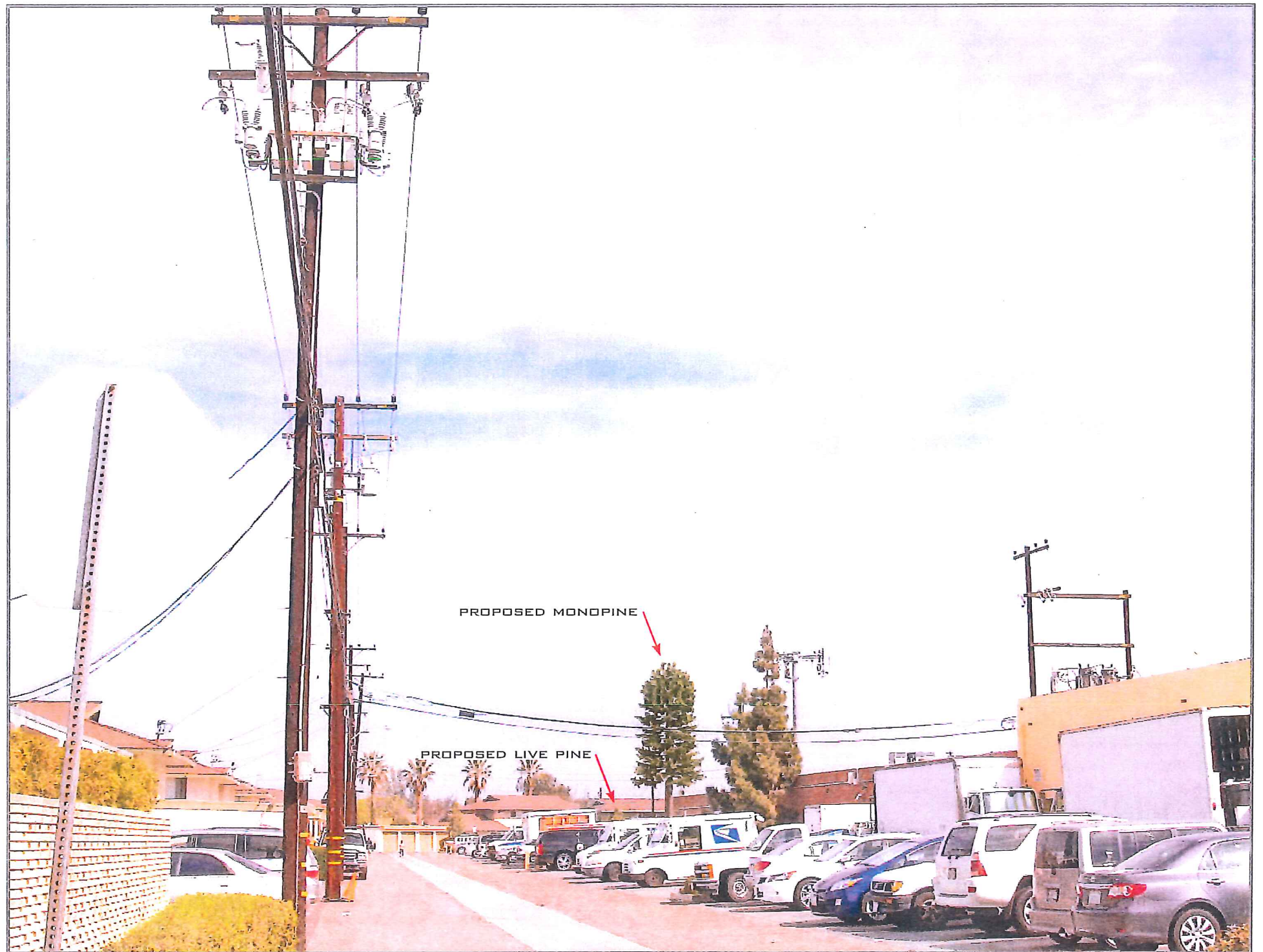


LOCATION

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EXISTING



PROPOSED

LOOKING NORTHEAST FROM CHAPMAN AVENUE



CLV0934B

VALLEY VIEW VONS

11869 VALLEY VIEW STREET GARDEN GROVE CA 92845



VIEW



LOCATION

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EXISTING



PROPOSED

LOOKING NORTHWEST FROM REAR PARKING LOT