

COMMUNITY DEVELOPMENT DEPARTMENT PLANNING STAFF REPORT

AGENDA ITEM NO.: C.4.	SITE LOCATION: West side of Harbor Boulevard, north of Chapman Avenue
HEARING DATE: April 1, 1998	GENERAL PLAN: Recreation Commercial
CASE NOS.: PUD-118-98, SP-214-98, CUP-392-98, PM-98-115, V-227-98, & Development Agreements	ZONE: HCSP-TCA / Harbor Corridor Specific Plan - Tourist Commercial "A", and PUD-104-82
APPLICANTS: Landmark Companies LLC, Stonebridge Companies, and the Garden Grove Agency for Community Development	CEQA DETERMINATION: Recognize previously adopted Mitigated Negative Declaration

REQUEST:

Approval of a site plan to construct three hotels: Embassy Suites, Hilton Garden Inn, and Hampton Inn and Suites and a future free-standing restaurant; a variance to deviate from the required number of parking spaces; a parcel map to subdivide the site into four parcels; a change of zone to Planned Unit Development; and a conditional use permit for a Type "47" license for Embassy Suites. Development Agreements are also proposed.

CODE SECTIONS:

The following code sections apply to this project:

1. 9.24.030.D.3 - Site Plans
2. 9.24.030.D.4 - Conditional Use Permits
3. 9.24.030.D.6 - Variances
4. 9.32.010 - Tentative Maps
5. 9.12.020 - Planned Unit Developments
6. Government Code Section 65864 - Development Agreements

<u>PROJECT CRITERIA</u>	<u>ACTUAL</u>	<u>MEETS CODE</u>	<u>DOES NOT MEET CODE</u>	<u>VARIANCE REQUEST</u>	<u>CONDITION OF APPROVAL</u>
<u>LOT SIZE (TOTAL):</u>	9.7 acres	x			
Parcel 1: (Hilton)	2.4 acres				
Parcel 2: (Fut. Rest.)	1.0 acres				
Parcel 3: (Hampton)	2.3 acres				
Parcel 4: (Embassy)	4.0 acres				

CASE NUMBERS SP-214-98, PUD-118-98, V-227-98, PM-98-115, CUP-392-98, AND DEVELOPMENT AGREEMENTS

BACKGROUND:

In August 1993, under the direction of the City Council, the City participated in a Regional/Urban Design Assistance Team (R/UDAT) design and planning study for the Harbor Corridor. The purpose of the R/UDAT was to identify design and development opportunities within the Harbor Corridor in order to capitalize on the market potential of the existing resident and tourist population and the proposed expansion of Disneyland and the Anaheim Convention Center. The R/UDAT recommended that a hotel/resort oriented development node be established at the intersection of Harbor/Chapman. The R/UDAT concepts were endorsed by the City Council and incorporated into the recent update of the City's General Plan.

DISCUSSION:Project Site

The project is located on the west side of Harbor Boulevard, north of Chapman Avenue and contains approximately 9.7 acres. The site is currently improved with three motels: Pitcairn Motel (84 units); Cavalier Inn (94 units); and Angels Inn (56 units); Yoshi's Japanese Restaurant; and 96 residential apartments units. The site also includes a vacant parcel formerly occupied by a restaurant named Mr. Angelos.

The site is located within a Redevelopment Project Area. Goals of the Redevelopment Plan include the elimination of physical blight and deterioration, upgrading of the project area, encouragement of private sector investment, and the promotion of the economic well-being of the area. The policies of the General Plan identify the Harbor Corridor as a target area for redevelopment and revitalization activities.

Surrounding Uses

The area to the north of the site is located within the City of Anaheim and is improved with an apartment complex (Wilken Apts) and an automotive repair use. The area to the east is also located in the City of Anaheim and is improved with various retail commercial uses. The area to the south is located in the City of Garden Grove and improved with a 16-story hotel and office building (Hyatt Alicante) and surface parking. The area to the west is located in the City of Garden Grove and improved with a golf driving range (Duffer's). In addition, a public school is located northwest of the site (Parkview Elementary School).

Planned Unit Development

A change in zone to Planned Unit Development (PUD) is necessary to accommodate the development of the project. The PUD establishes standards for the development

CASE NUMBERS SP-214-98, PUD-118-98, V-227-98, PM-98-115, CUP-392-98, AND DEVELOPMENT AGREEMENTS

cochere and be treated in polished granite with pink/grey tones. The second through eighteenth floor will be treated with a combination of reflective glass, precast colored concrete, and stucco. Color tones will primarily be beige, grey, rust, and pink. The architectural spires will incorporate a copper/metallic material.

The Hilton Garden Inn is proposing to construct a 169-room, 6-story, limited service hotel. The first floor area will contain a registration and lobby area, open-dining, kitchen/pantry area, buffet /bar area, two small meeting rooms, exercise room, guest rooms, and other ancillary and support service areas. An outdoor pool area with outdoor dining will be situated at the southeast corner of the hotel. Additional guest rooms will be situated on the 2nd through 6th floor of the hotel. All guest rooms will be one standard size.

The exterior treatment of the Hilton Garden Inn hotel will reflect a contemporary theme with stucco walls and aluminum windows. The porte cochere and the roof material of the hotel will incorporate a metal seam roof. Building colors will be beige tones, light orange, and rust. Roof elements will be a darker shade of green.

The Hampton Inn and Suites is proposing to construct a 172-room, 7-story, limited service hotel. The first floor area will contain a registration and lobby area, open-dining, kitchen/pantry area, buffet area, two small meeting rooms, exercise room, guest rooms, and other ancillary and support service areas. An outdoor pool area with outdoor dining will be situated on the south side of the hotel. Additional guest rooms will be situated on the 2nd through 7th floor of the hotel. These guest rooms will consist of both standard size rooms and suites. All suites will have outdoor balconies.

The exterior treatment of the Hampton Inn and Suites hotel will reflect a contemporary theme with stucco walls and aluminum windows. The porte cochere and roof of the hotel will incorporate a spanish tile roof. Building colors will be beige tones with a blue/green accent color.

Landscaping/Lighting Treatment

The project provides approximately 55,181 square feet of parking lot landscaping (22%), exclusive of the front setback area along Harbor Boulevard. Adjacent to the parking lots areas, a seven (7) foot landscaped setback will be provided along Harbor Boulevard, and a five (5) foot landscaped setback will be provided along the interior property lines. Planter islands are provided throughout the parking lot area at an average of one island per eight stalls. A ten (10) foot wide landscaped median is proposed in the project's main entry aisle.

The preliminary landscape plan for the project reflects extensive use of date palms along the public and private landscape areas along Harbor Boulevard. In addition, date

CASE NUMBERS SP-214-98, PUD-118-98, V-227-98, PM-98-115, CUP-392-98, AND DEVELOPMENT AGREEMENTS

The theme of Harbor Boulevard will center around a "festive lights" concept which will incorporate extensive lighting elements within the street median, along public sidewalk areas, and within landscaped parkway areas. The plan will also contain recommendations for the incorporation of this theme into private landscaped areas and structures along Harbor Boulevard.

Signage

The site plan reflects a total of four (4) free-standing monument signs along Harbor Boulevard. The designs of the monument signs are conceptual and are required to be designed in accordance with Harbor Boulevard Urban Design Plan. The major monument sign for the project will be located at the project's main entry. This sign will be situated above a water feature. The other monument signs are proposed to be placed at the project's secondary entries, and in front of the free-standing restaurant. The placement of the wall signs for each hotel is reflected on their respective building elevation plans. The wall sign location(s) for the free-standing restaurant is conditioned to be reviewed at the time of project submittal. All signage for the project is required to be approved by the Community Development Department - Planning Division prior to installation.

VARIANCE:

The applicants are requesting a parking variance from the requirements under Title 9. Under Title 9, the project is required to provide a total of 879 parking spaces.

Traffic Impact and Parking Study

A traffic impact and parking study was prepared for the project by Katz, Okitsu & Associates. The study evaluated sixteen (16) intersections in the project vicinity including a detailed analysis of six (6) intersections that could be more significantly impacted by the project. The study determined that there would be no adverse impacts from the additional traffic generated by the project.

In reference to parking, the study evaluated parking demands of hotels in the Disneyland area and reviewed Urban Land Institute (ULI) standards. Based upon this review, the study determined that a parking ratio of 0.8 parking stalls per hotel room was sufficient to meet each hotel's respective parking demands. The study did indicate, however, that additional parking, at a ratio of 1 space per 100 square feet of gross floor area, is required for the free-standing restaurant and hotel conference facilities.

The project meets the parking ratios, as identified in the parking study, and provides a total of 738 spaces for the project, including 115 spaces located immediately west of

CASE NUMBERS SP-214-98, PUD-118-98, V-227-98, PM-98-115, CUP-392-98, AND DEVELOPMENT AGREEMENTSNEGATIVE DECLARATION:

On August 25, 1997, the City Council adopted a Mitigated Negative Declaration, in conjunction with the approval of Disposition and Development Agreements (DDA's), for the project. The Mitigated Negative Declaration considered the necessary entitlements for the project including site plan, parcel map, variance, zone change, and conditional use permit applications, therefore, no further environmental action is necessary.

A mitigation monitoring program, in accordance with CEQA Section 21081.6, was also adopted for the project. The mitigation monitoring program contains several mitigation measures which reduce the potentially significant effects of the projects to insignificant levels. These mitigation measures are incorporated by reference into the conditions of approval for the project, and are attached to this report.

DEVELOPMENT AGREEMENTS:

The developers are required to enter into development agreements with the City. The developers will be guaranteed that they will be able to construct the proposed development within the time frame specified in their DDA's and the City will receive a development impact payment not to exceed \$276,210 (Embassy), \$93,460 (Hampton), and \$85,150 (Hilton). The Development Agreements will be forwarded to the City Council for final action.

RECOMMENDATION:

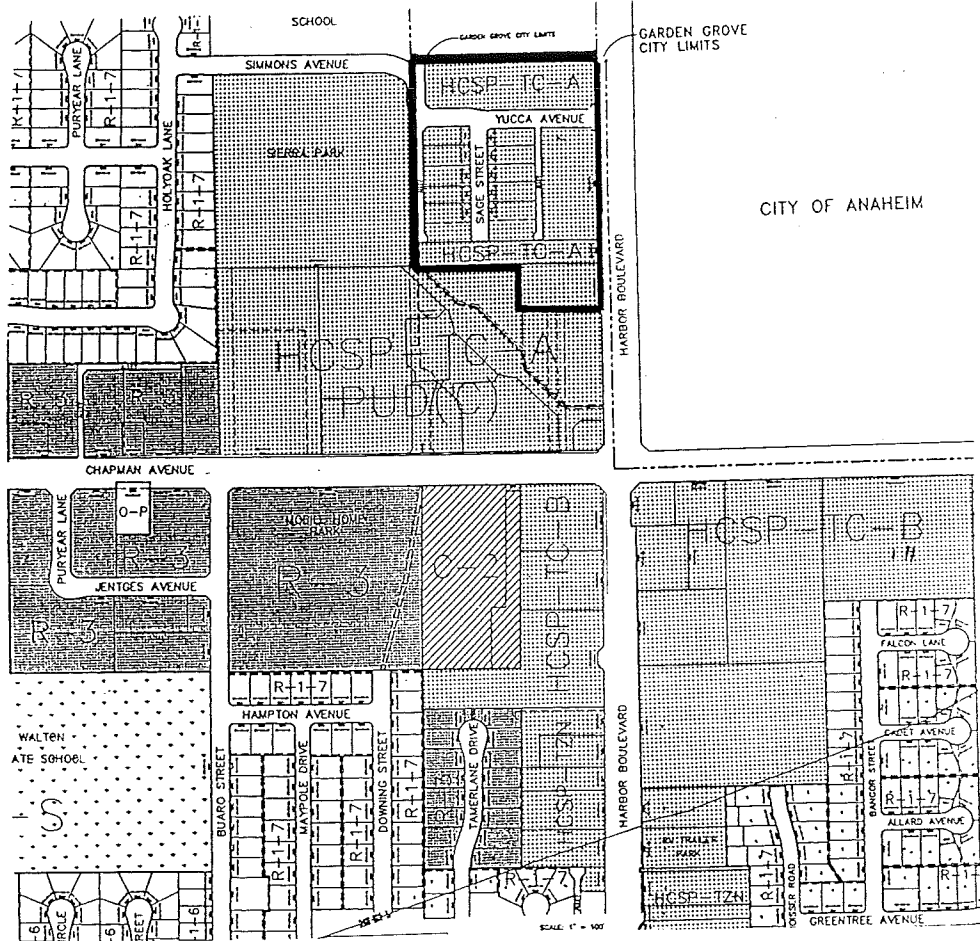
Staff recommends that the Planning Commission:

1. Approve Site Plan No. SP-214-98, Conditional Use Permit No. CUP-392-98, Variance No. V-227-98, and Tentative Parcel Map No. PM-98-115, subject to the recommended conditions of approval; and
2. Recommend approval of Planned Unit Development No. PUD-118-98 and the Development Agreements to the City Council.

MILLIE J. SUMMERLIN 
Planning Services Manager


By: Glen Krieger
Senior Planner

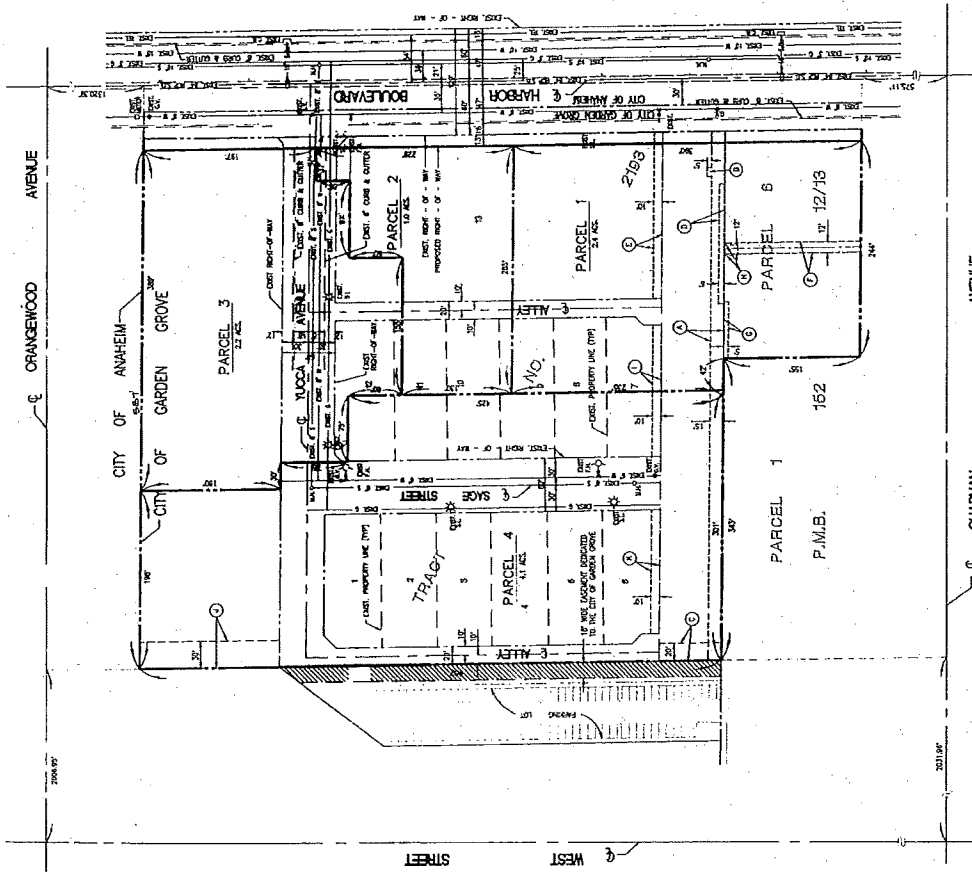
VICINITY MAP



SUBJECT SITE
 SP-214-98, CUP-392-98, PUD-118-98, V-227-98, PM-98-115

TENTATIVE PARCEL MAP NO. 98-115

IN THE CITY OF GARDEN GROVE, CALIFORNIA.

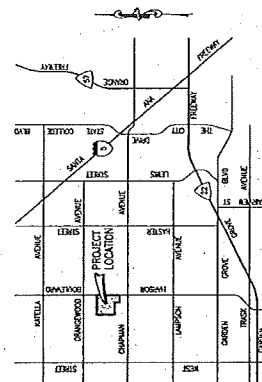
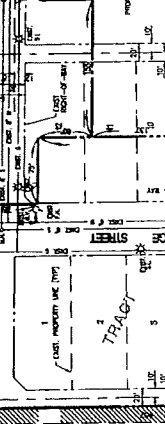
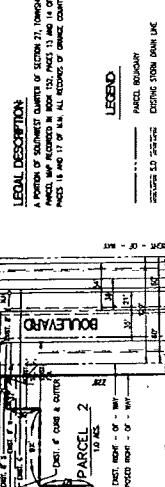


- EASEMENT NOTES**
1. 10' WIDE EASEMENT FOR UTILITY LINES AND CATCH BASINS, RECORDED MAP 14, 1943 IN BOOK 1411.
 2. 10' WIDE EASEMENT FOR UTILITY LINES, RECORDED MAP 14, 1943 IN BOOK 1411.
 3. 10' WIDE EASEMENT FOR UTILITY LINES, RECORDED MAP 14, 1943 IN BOOK 1411.
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 20. 10' WIDE EASEMENT FOR UTILITY LINES, RECORDED MAP 14, 1943 IN BOOK 1411.

- NOTES**
1. PROPOSED DRIVE.
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 5. TOTAL AREA 51 ACRES / 4 PARCELS.
 6. HARVEST BEHAVIOR TO PUBLIC STREET.
 7. EXISTING UTILITY AS SHOWN.
 8. YUCCA AVENUE, HARBOR STREET AND TWO (2) ALLEYS ARE TO BE ABANDONED.

OWNER / SUBOWNER
GARDEN GROVE AGENCY FOR COMMUNITY DEVELOPMENT
 10000 S. HARBOUR BLVD.
 GARDEN GROVE, CALIFORNIA 92647
 (714) 741-3131

LEGAL DESCRIPTION
 PARCELS 1 THROUGH 6 OF SECTION 21, TOWNSHIP 4 NORTH, RANGE 15 WEST, IN PARCELS 15 AND 16, MAP 14, RECORDED IN BOOK 133, PAGES 11 AND 12 OF PUBLIC MAPS, TRACT NO. 2111, RECORDED IN BOOK 11, PAGES 16 AND 17 OF S.B. ALL RECORDS OF ORANGE COUNTY, CALIFORNIA.



PREPARED BY:
SOUTHWEST CIVIL ENGINEERING and SURVEYING, INC.
 18000 Sycamore Ct.
 Irvine, CA 92614
 (714) 852-8822

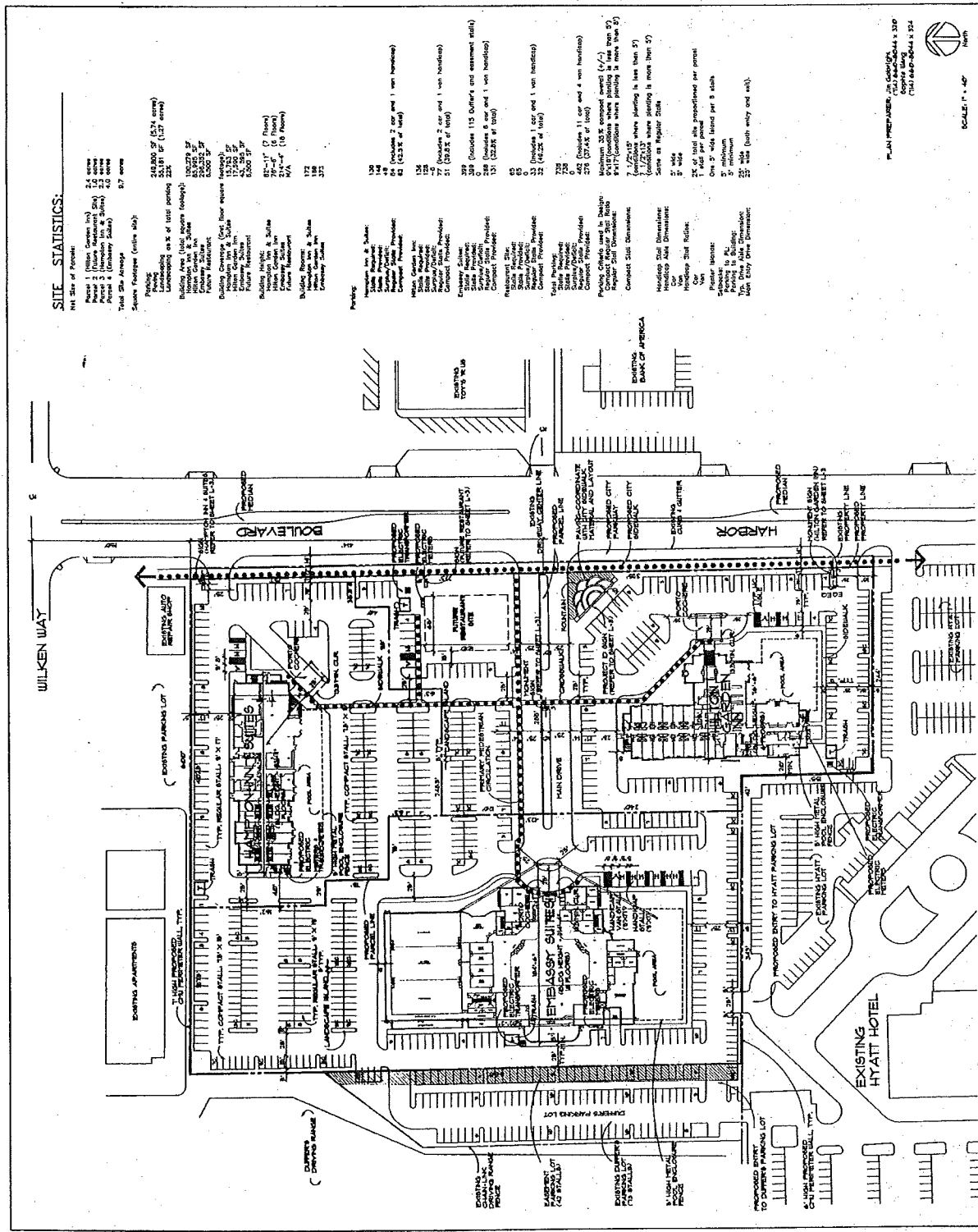
EDAW

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GARDEN GROVE SITE A

PLOT PLAN

Project No.	103048
Client	EDAW
Scale	1" = 40'
Sheet No.	324
Date	10/24/94



SITE STATISTICS:

NO. Size of Spaces:	
Space 1 (Office Services Lot)	24 units
Space 2 (Business Services Lot)	24 units
Space 3 (Retail Services Lot)	24 units
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Planting:

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PLAN PREPARED BY: EDWARDS
 DATE: 10/24/94
 SHEET NO.: 324
 SCALE: 1" = 40'



SCALE: 1" = 40'

EDAW

Landmark Architecture
 Planning
 Urban Design
 Environmental Analysis
 Transportation Planning
 Historic Preservation
 Graphic Design

1875 Van Kesteren Ave. Suite 400
 Irvine, CA 92614
 TEL 949.261.6213
 FAX 949.261.1046



Pull - Pull - Pull
 Architecture Firm

REGISTERED ARCHITECT
 SAUL WOLFE WANDER
 ARCHITECT (CA) 001-2747
 PULL-PULL-PULL (CA) 001-7227
 1 Professional Corporation

No.	Date	Revision

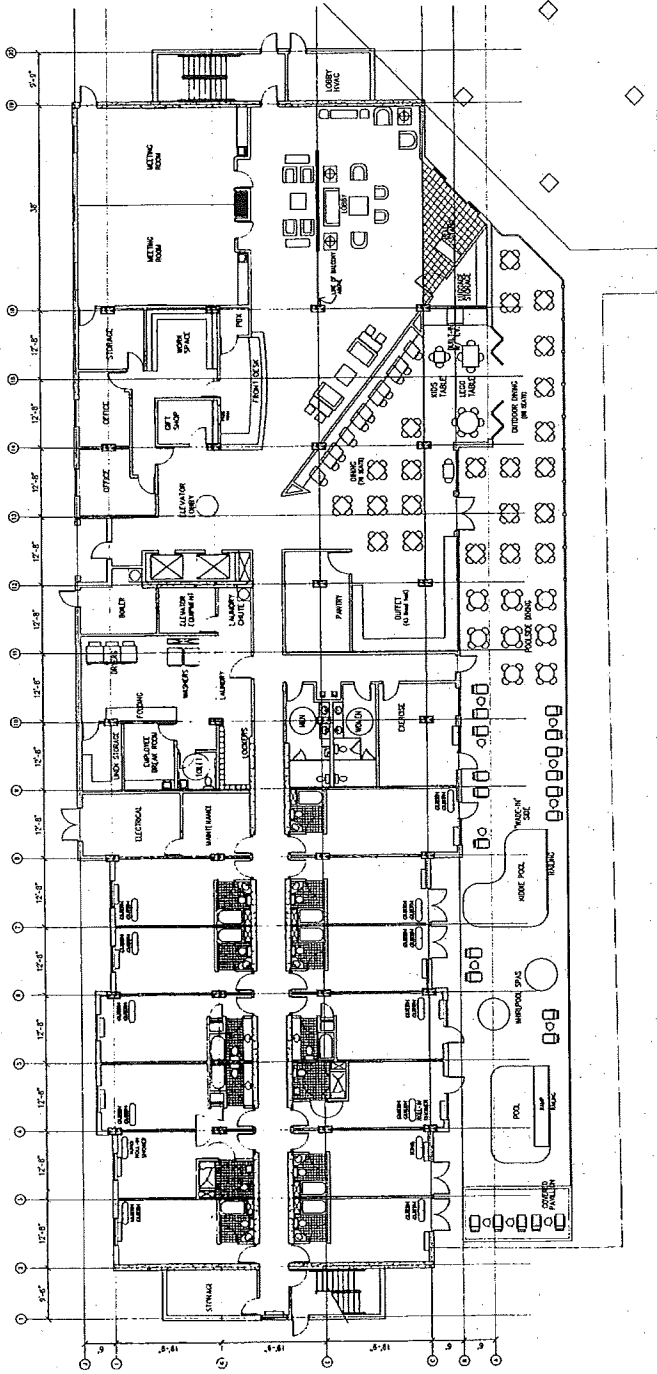
GARDEN GROVE-SITE "A"
 (HAMPTON INN AND SUITES)

Scale:

North:

Project No. 98001
 Date: FEB. 6, 1998
 Drawing File: 98-0109-26600
 Sheet Title:

HOTEL
 FLOOR PLANS
 Sheet No. A100



HAMPTON INN AND SUITES— FIRST FLOOR PLAN
 Stonebridge Companies and McWhinney Enterprises

EDAW

Landmarks Architecture
Planning
Interior Design
Environmental Analysis
Site Engineering
Graphic Design
1670 Von Karman Ave., Suite 400
Irvine, CA 92614
714.660.8044
FAX 714.660.1066



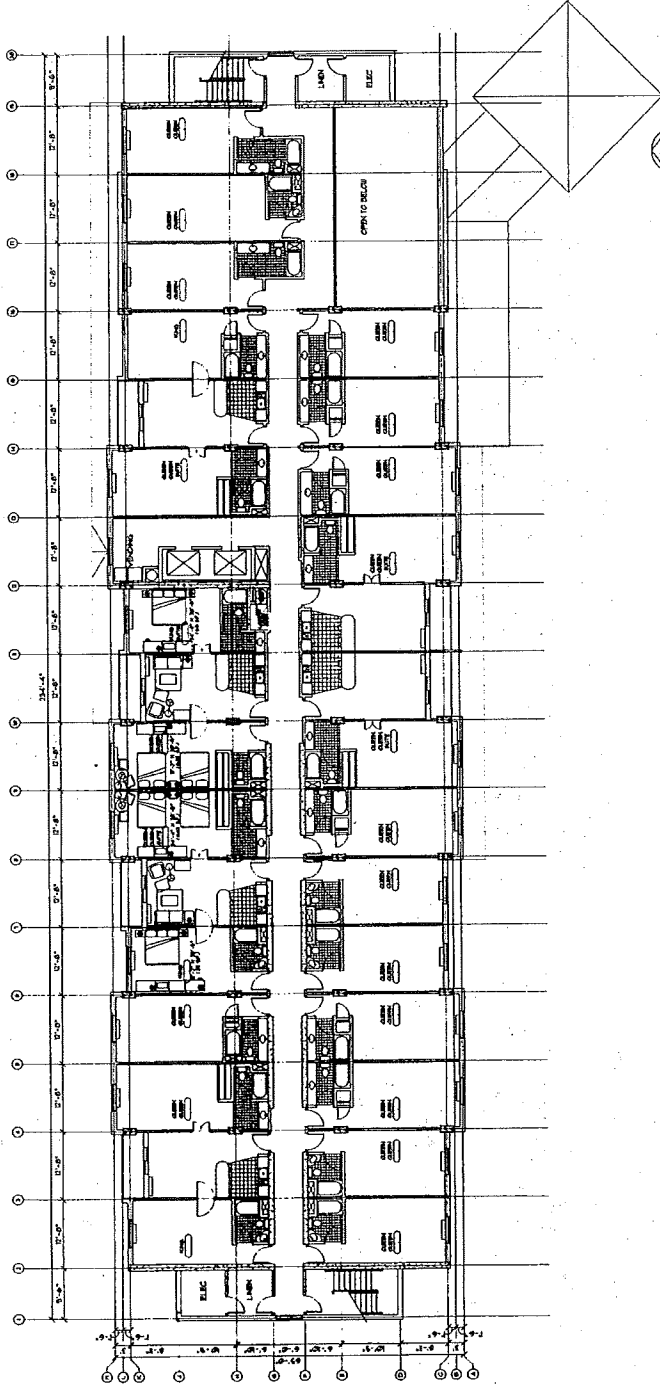
Park - Park - Park
Architecture / Interiors
NEW-SEN SUBJECT GRANT
10000 N. HAYDEN AVENUE
DENVER, CO 80231-4321
TEL: (303) 733-1313
FACSIMILE: (303) 861-7177
A Professional Corporation

NO.	DATE	REVISION

GARDEN GROVE-SITE "A"
(HAMPTON INN AND SUITES)

Scale

North



HAMPTON INN & SUITES - SECOND FLOOR PLAN
Stonebridge Companies and McWhinney Enterprises

PROJECT No. 98001
DATE FEB. 6, 1998
CADD FILE: SD-A101-98001
Sheet Title:
HOTEL FLOOR PLANS
Sheet No. **A101**

EDAW

Landscape Architecture
Planning
Architectural
Environmental Analysis
Site Engineering
Graphic Design

17075 Von Karman Ave. SUITE 400
IRVINE, CA 92614
714.650.5044
FAX 714.650.1046



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Architects / Planners

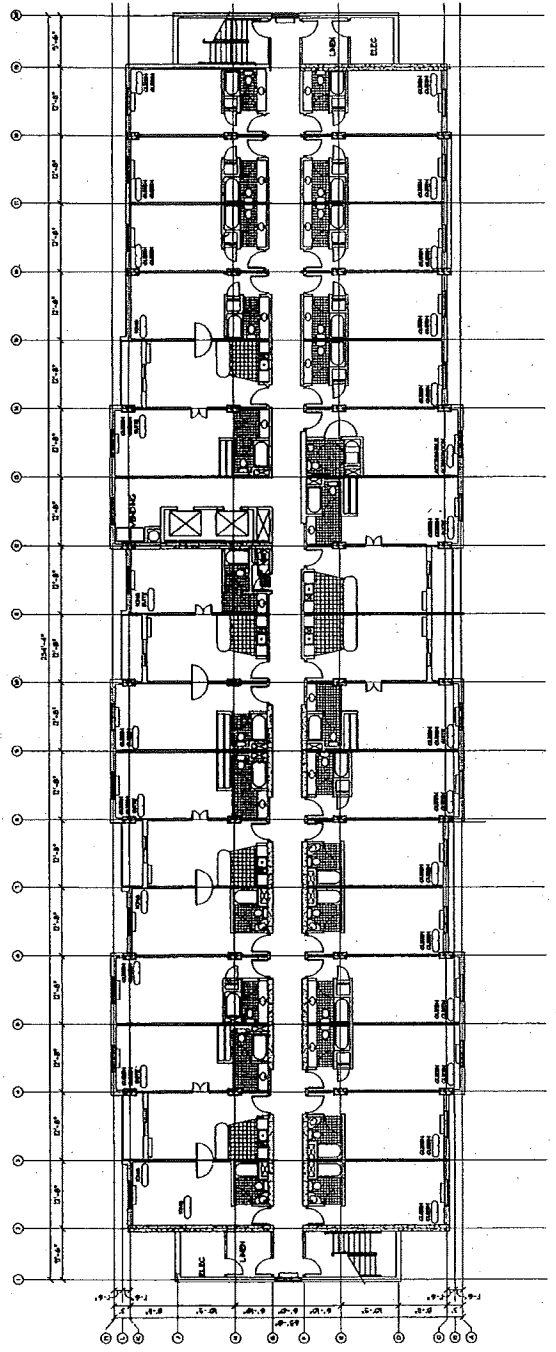
WESLEY MARSH GIBBY
1001 W. WASHINGTON
DENVER, CO 80202-4231
PH: (303) 733-1177
F: (303) 733-1177

No.	Date	Revised

GARDEN GROVE-SITE "A"
(HAMPTON INN AND SUITES)

Scale:

North:



Scale: 1/8" = 1'-0"

HAMPTON INN & SUITES - FLOORS 3 - 7
Stonebridge Companies and McWhinney Enterprises

Project No. 98001
Date: FEB. 6, 1998
CAD File: 98-A102-98001
Sheet Title:
HOTEL FLOOR PLANS
Sheet No. A102

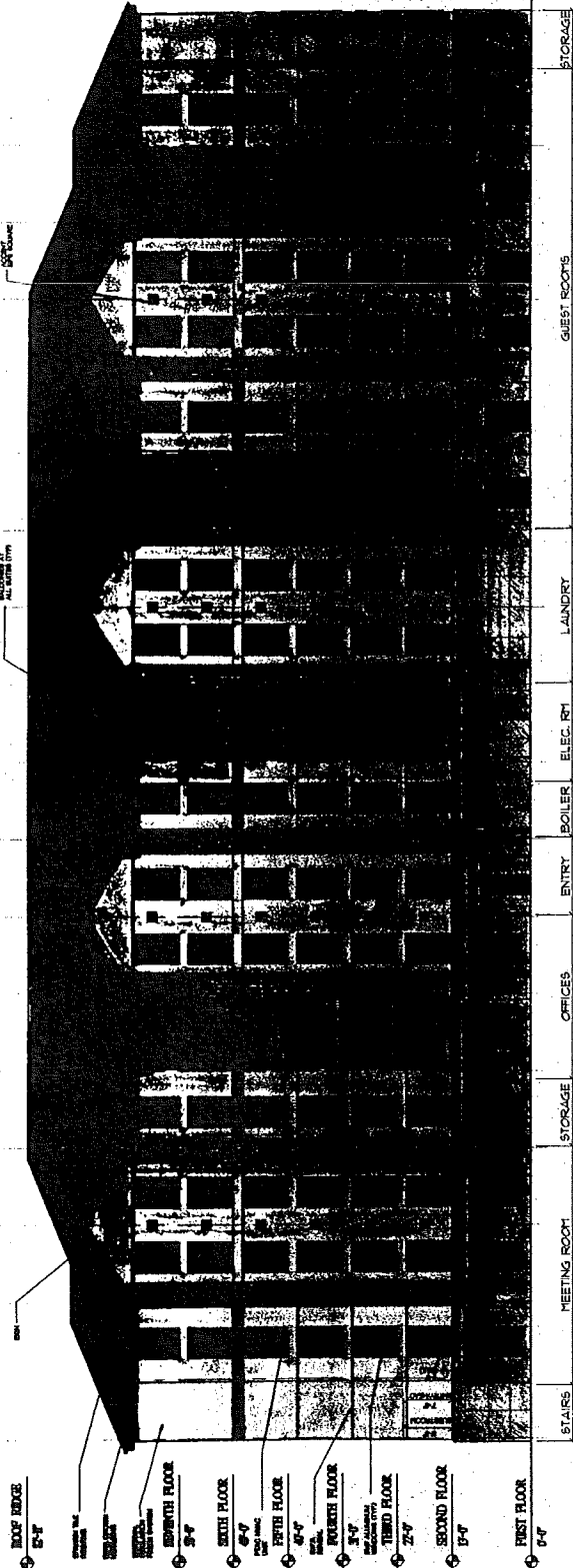
E D A W

Architecture
Urban Design
Environmental Analysis
Site Planning
Landscape Design
17875 Von Karman Ave. Suite 400
Irvine, CA 92614
Tel: 949.261.1400
Fax: 949.261.1400



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Architects / Planners
SHELTON, BRIGGS & GRANT
SERVICES, CO. 80201-421
14150 S. 100TH ST. SUITE 100
LAKELAND, FL 33511-1737
A Professional Corporation

NO. DATE REVISION
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HAMPTON INN AND SUITES— NORTH ELEVATION
Stonebridge Companies and McWhinney Enterprises

Scale 1/8" = 1'-0"

SCALE
North
Project No. A301
Date: FEB. 6, 1988
CAD File: 30-1501-15801
Sheet Title
ELEVATION
Sheet No. A301

E D A W

Landscape Architecture
 Urban Design
 Environmental Analysis
 Site Engineering
 Graphic Design

17975 Von Karman Ave, Suite 40
 Irvine, CA 92614
 TEL 949.264.4444
 FAX 949.264.1040



T&M - Park - T&M
 Architects / Planners
 10711-BRIDGEWAY DRIVE
 SUITE 100
 IRVINE, CA 92618
 TEL 949.264.4444
 FAX 949.264.1040

No	Date	Revised

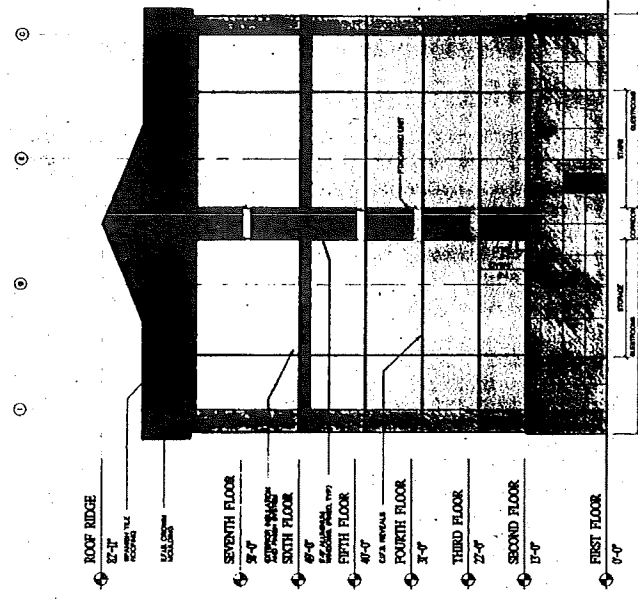
GARDEN GROVE
 HILTON GARDEN INN,
 HAMPTON INN,
 AND SUITES

Scale

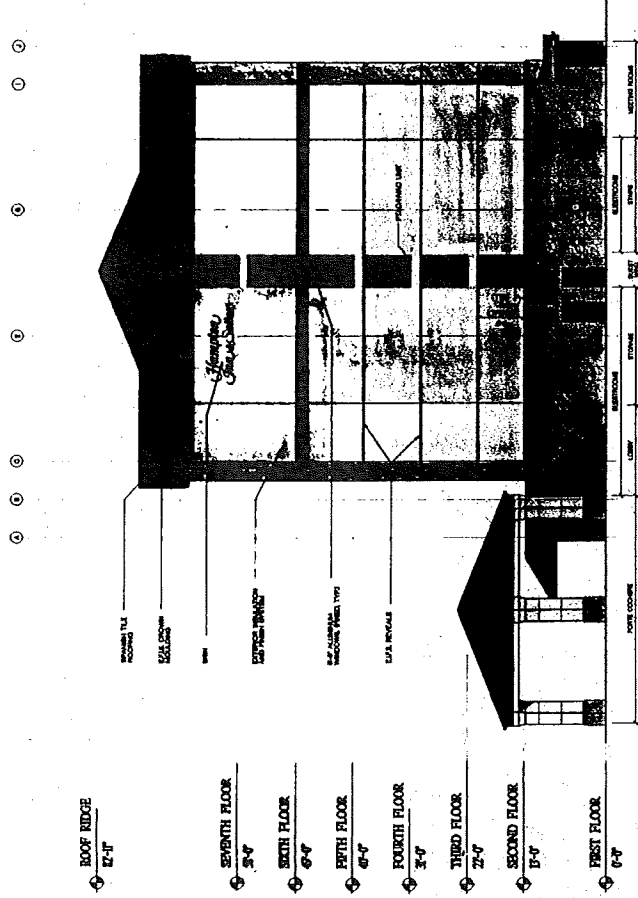
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Project No 99001
 Date Iss. FEB. 6, 1999
 Drawing No. 3D-AUG-2600
 Sheet 111F

ELEVATIONS
 Sheet No A302



WEST ELEVATION



EAST ELEVATION

Scale 1/8" = 1'-0"

HAMPTON INN AND SUITES — EAST AND WEST ELEVATIONS
 Stonebridge Companies and McWhinney Enterprises

EDAW

Landmark Architecture
17975 Von Karman Ave. Suite 400
Van Nuys, CA 91411
TEL: 818-706-3331
FAX: 818-706-3332
WWW.EDAW.COM



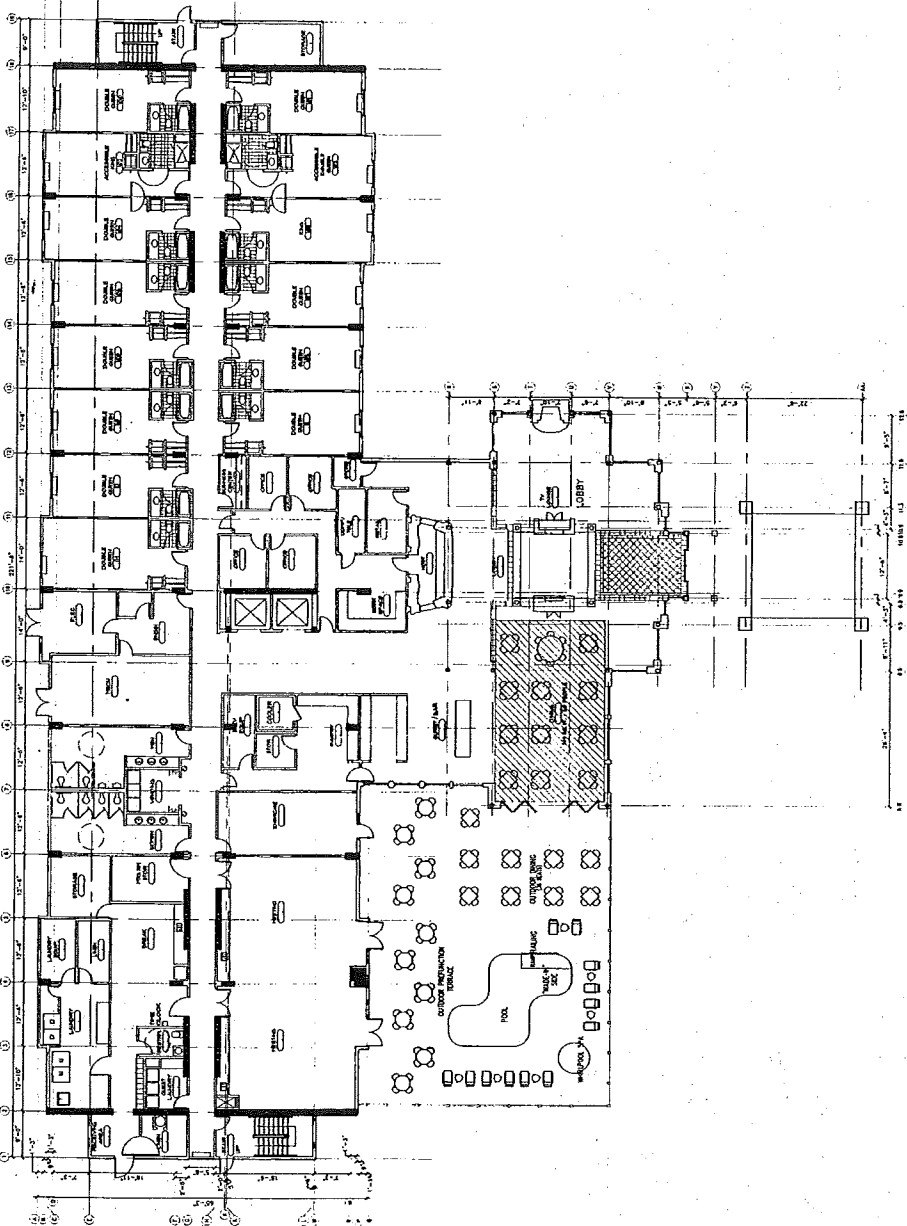
Pull - Pull - Pull
ARCHITECTS / PLANNERS
WALTER ANDRZEJ GHAZI
15001 VAN KARMAN AVENUE SUITE 400
VAN NUYS, CA 91411
TELEPHONE (818) 881-7777
FACSIMILE (818) 881-7777
/ Professional Corporation

No. DATE REVISION

GARDEN GROVE - SITE 'A'
(HILTON GARDEN INN)

Scale: _____
North: _____

Project No. 9002
Client
GARDEN INN - CD-4192-0002
Sheet Title:
GROUND FLOOR PLAN
Sheet No.
A100



HILTON GARDEN INN - GROUND FLOOR PLAN
Stonebridge Companies and McWhiney Enterprises

Scale: 1/8" = 1'-0"

EDAW

Landscapes Architecture
 Planning
 Urban Design
 Environmental Analysis
 Transportation Planning
 Graphic Design

12975 Von Korman Ave. Suite 200
 Irvine, CA 92618
 714.860.8244
 FAX 714.860.1048



PDA - PDA - PDA
 Architects / Planners

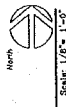
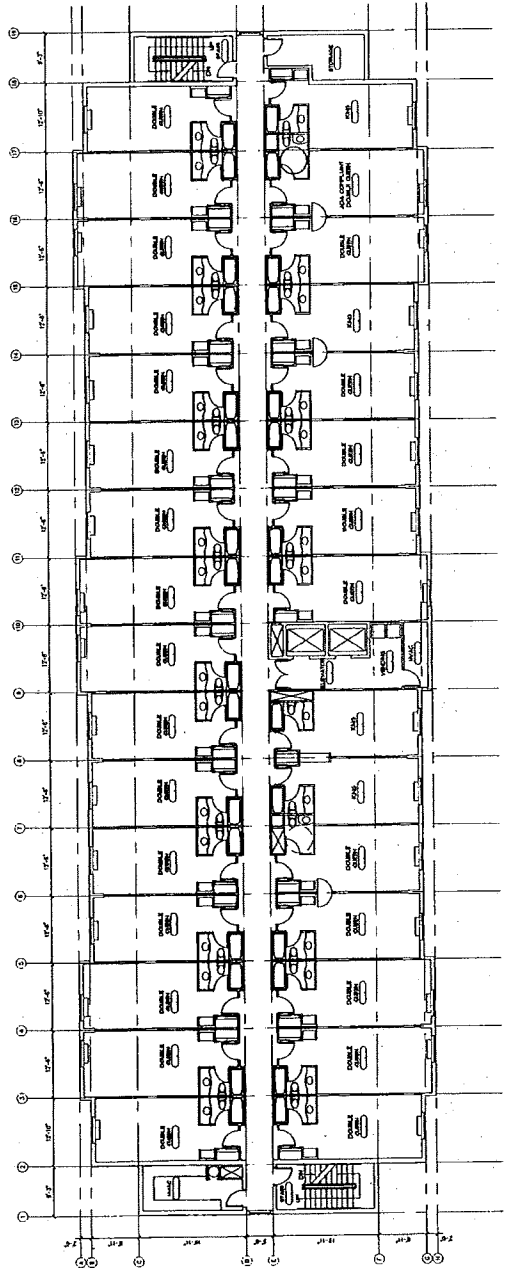
REGISTERED ARCHITECT
 STATE OF CALIFORNIA
 TELEPHONE (909) 941-7147
 FACSIMILE (909) 941-7177
 A Professional Corporation

No.	Date	Revision

GARDEN GROVE-SITE "A"
 (HILTON GARDEN INN)

Scale: _____
 North: _____

Project No. 99002
 Date: 11/12/99
 CAD File: 99-110-0002
 Street File:
 Street No. A101



HILTON GARDEN INN — FLOORS 2-6
 Stonebridge Companies and McWhinney Enterprises

EDAW

EDWARDS ARCHITECTURE
 Planning & Design
 Urban Design
 Environmental Analysis
 Site Engineering
 Civil Design
 17075 Von Karman Ave., Suite 200
 Irvine, CA 92614
 TEL: 949-451-2200
 FAX: 949-451-2240



T.M. - T.M. - T.M.

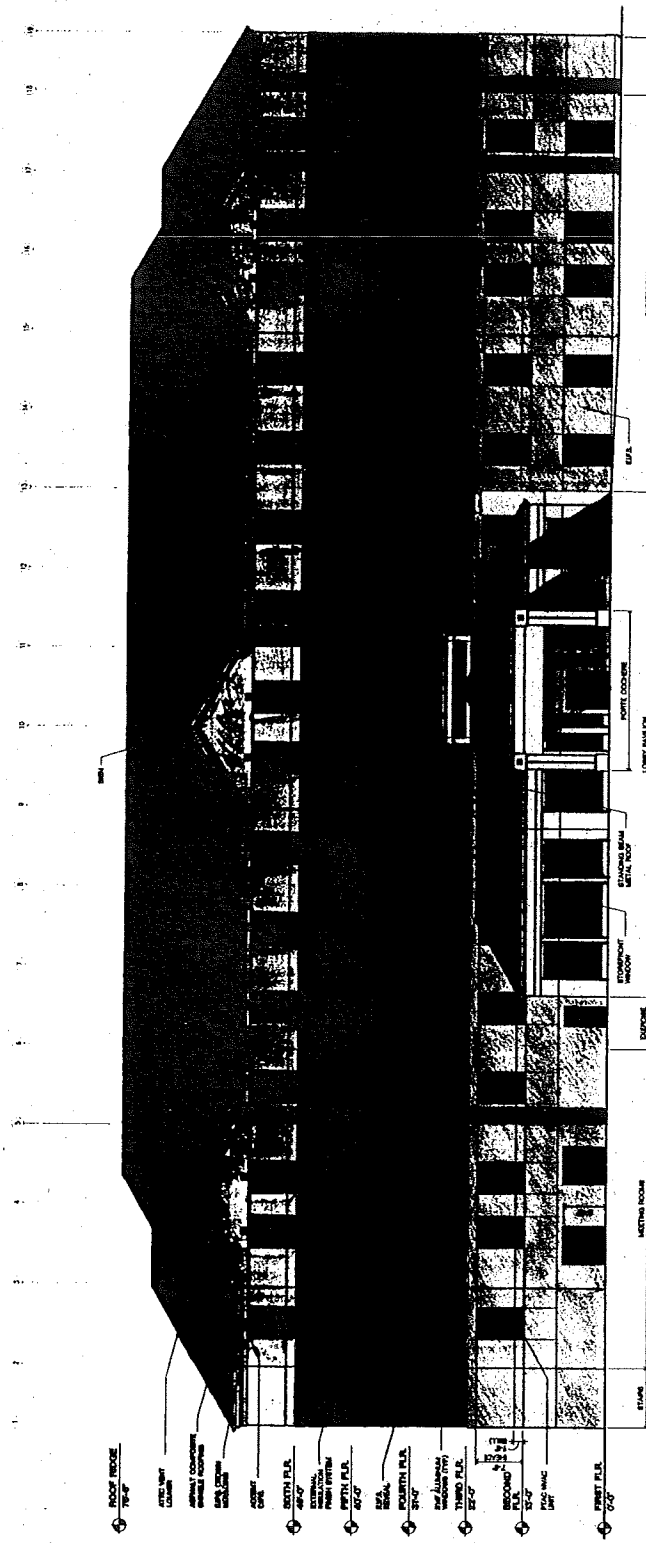
SWEDEN, INCORPORATED
 3201 W. 10th Street, Suite 200
 Phoenix, AZ 85015-4371
 TEL: 602-998-1100
 FAX: 602-998-1117

No.	Date	Revised

GARDEN GROVE
 HILTON GARDEN INN,
 HAMPTON INN,
 AND SUITES

Scale:

North:



Scale: 1/8" = 1'-0"

HILTON GARDEN INN - EAST ELEVATION

Stonebridge Companies and McWhinney Enterprises

Project No. 88002
 Date: Feb. 6, 1988
 CAD: J.L. / J.L. / J.L.
 Sheet Title:

ELEVATIONS
 Sheet No. A300

EDAW

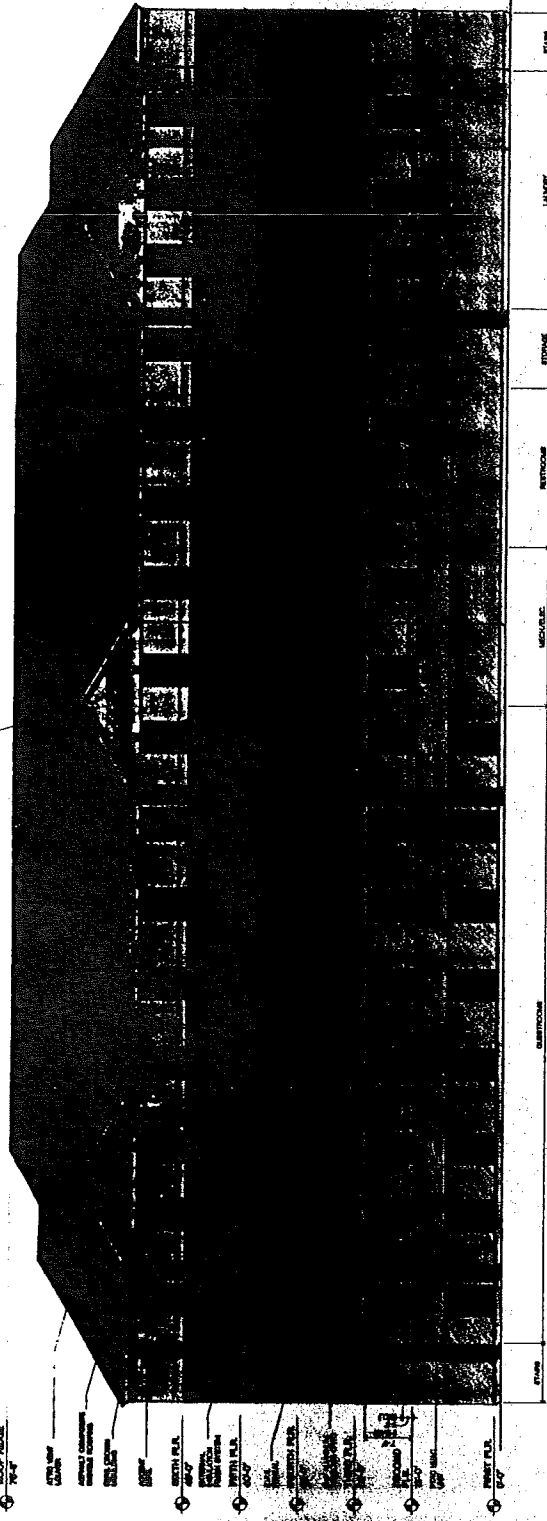
Landscaping Architecture
 Planning &
 Urban Design
 Environmental Analysis
 Site Engineering
 Graphic Design
 17675 Von Karman Ave., Suite 400
 Irvine, CA 92614
 TEL 949.854.4000
 FAX 949.854.1046



Full - Full - Full
 Architects / Planners
 1001 14th Avenue, Suite 110
 New York, NY 10019
 Telephone (212) 512-1000
 A Professional Corporation

NO.	DATE	DESCRIPTION

GARDEN GROVE
 HILTON GARDEN INN,
 HAMPTON INN,
 AND SUITES



HILTON GARDEN INN - WEST ELEVATION
 Stonebridge Companies and McWhinney Enterprises

Project No. 98002
 Date: FEB. 6, 1998
 Scale: 1/8" = 1'-0"
 Sheet No. SB-A301-98002

ELEVATIONS
 Sheet No. A301

E D A W

Landscape Architecture
 Planning
 Urban Design
 Site Planning & Analysis
 Site Engineering
 Graphic Design

1925 Van Stryan Ave. Suite 200
 Irvine, CA 92614
 714.960.2644
 FAX 714.960.1245



Park - Park - Park

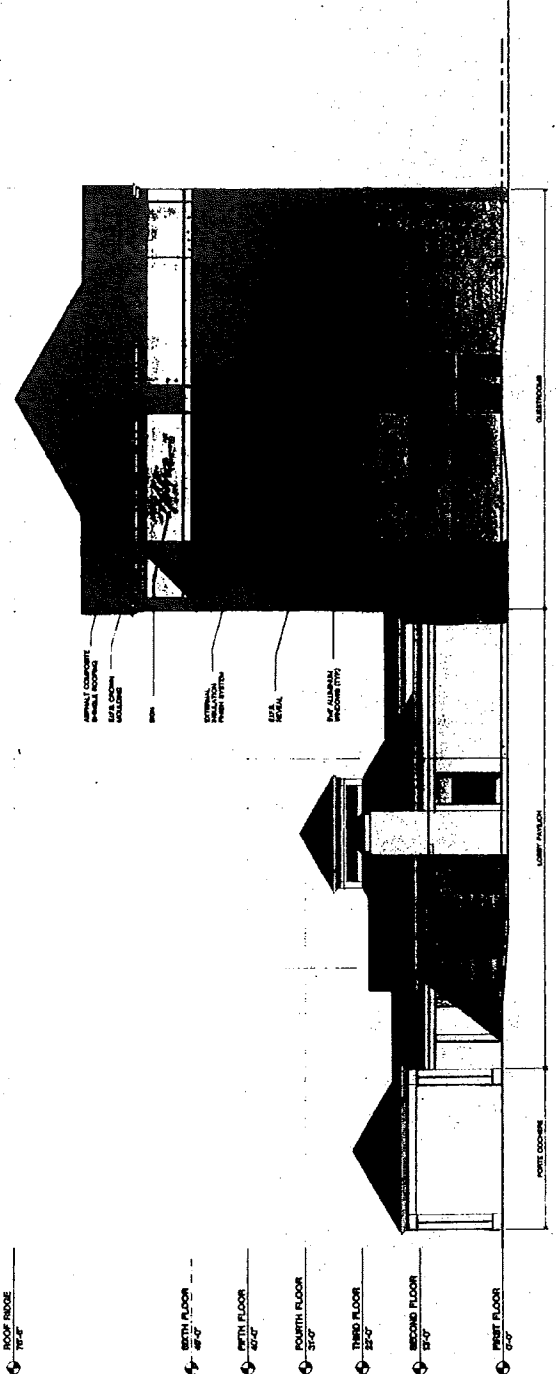
1925 VAN STRYAN AVE.
 IRVINE, CALIF. 92614
 TEL 714 960 2644
 FACSIMILE 714 960 1245
 2 Professional Corporations

No.	Date	Revision

GARDEN GROVE
 HILTON GARDEN INN,
 HAMPTON INN,
 AND SUITES

Scale:
 North

Project No. 98002
 Date: JUL 6 1998
 CAD FILE: SD_A302_ELEV.dwg
 Sheet Title:
 HOTEL
 ELEVATIONS
 Sheet No. A302



1 NORTH ELEVATION
 1/8" = 1'-0"

EDAW

LANDSCAPE ARCHITECTURE
PLANNING
ARCHITECTURE
MECHANICAL ENGINEERING
ELECTRICAL ENGINEERING
GRAPHIC DESIGN



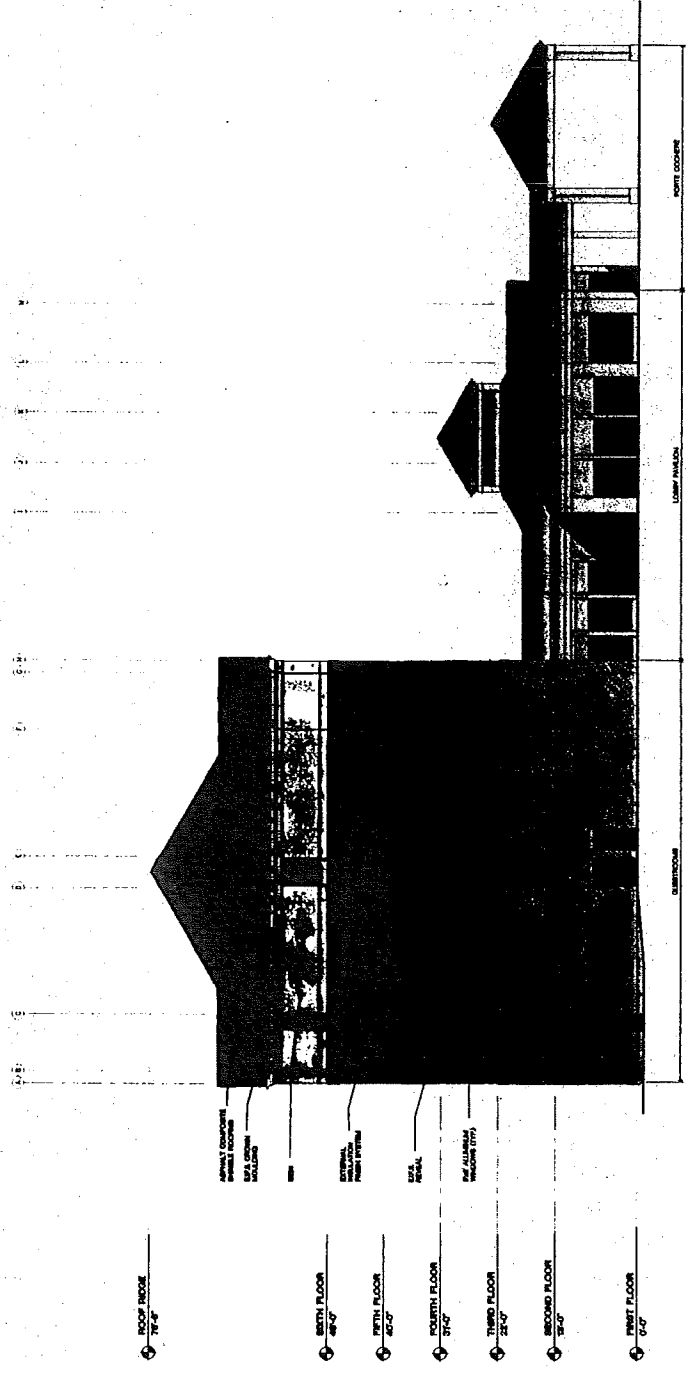
Paul - Paul - Paul
Architects / Planners
1000 BROADWAY
SUITE 1200
NEW YORK, NY 10018
PHONE 212 685-1227
A Professional Corporation

No.	Date	Description

GARDEN GROVE
HILTON GARDEN INN,
HAMPTON INN,
AND SUITES

Scale:
North:

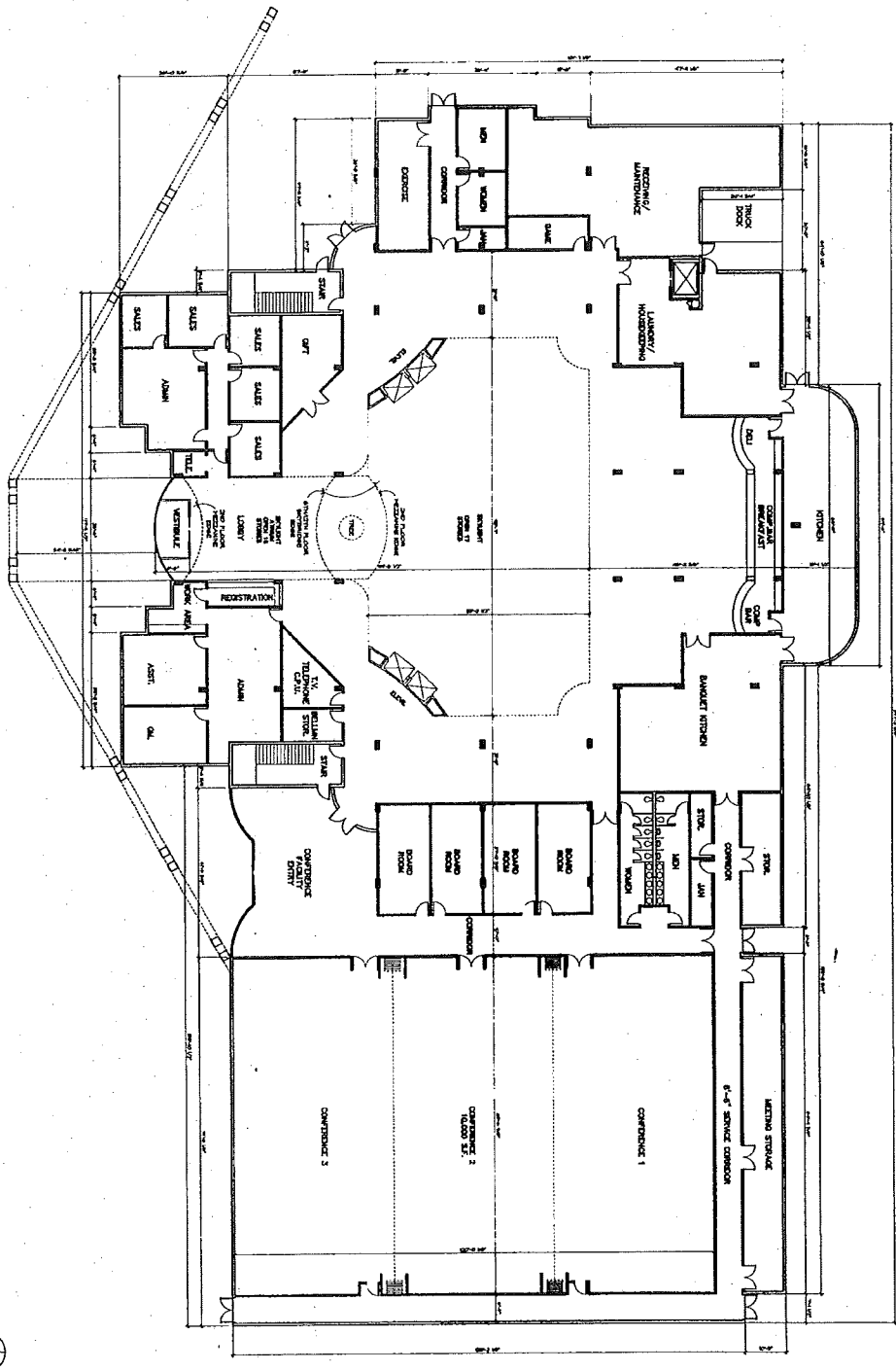
Project No. 98032
DATE: FEB. 6, 1998
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Sheet Title
HOTEL
ELEVATIONS
Sheet No. A303



ROOF RIDGE 78'-0"
FOURTH FLOOR 42'-0"
THIRD FLOOR 28'-0"
SECOND FLOOR 14'-0"
FIRST FLOOR 0'-0"

1 SOUTH ELEVATION
1/8" = 1'-0"

SCHEMATIC FIRST FLOOR PLAN



DATA	
DESIGN: JONAS, SQUARRE, ERDMAN	DATE: 2/14/00
ARCHITECT: JONAS, SQUARRE, ERDMAN	SCALE: 1/8" = 1'-0"
INTERIOR ARCHITECT: JONAS, SQUARRE, ERDMAN	PROJECT: EMBASSY SUITES HOTEL
DATE: 2/14/00	PROJECT: EMBASSY SUITES HOTEL
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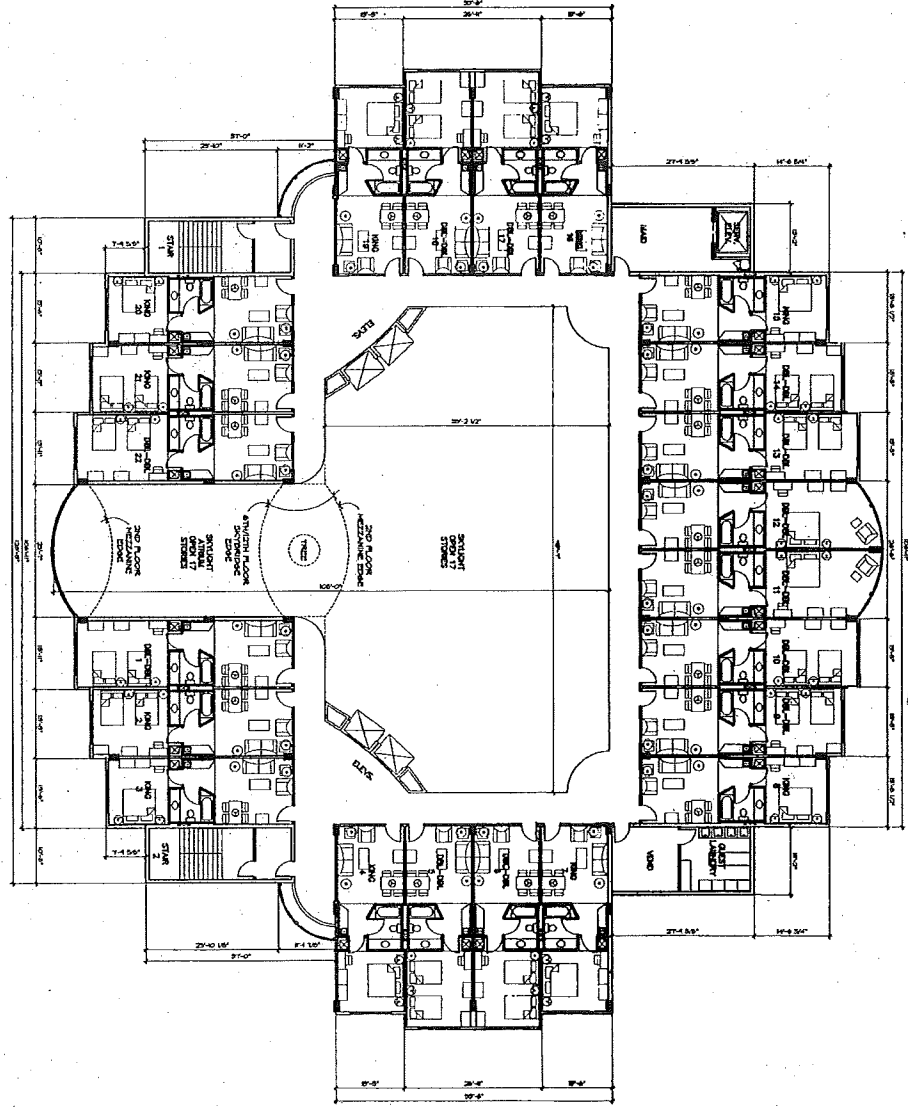
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NEW CONSTRUCTION FOR
EMBASSY SUITES HOTEL
 HARBOR DRIVE
 GARDEN GROVE, CALIFORNIA

COMSTOCK ASSOCIATES, INC.
 ARCHITECTURE • PLANNING • INTERIOR DESIGN
 1507 84th ST. SUITE 201 GARDEN GROVE, CA 92640
 TEL: 714-941-1111 FAX: 714-941-1112

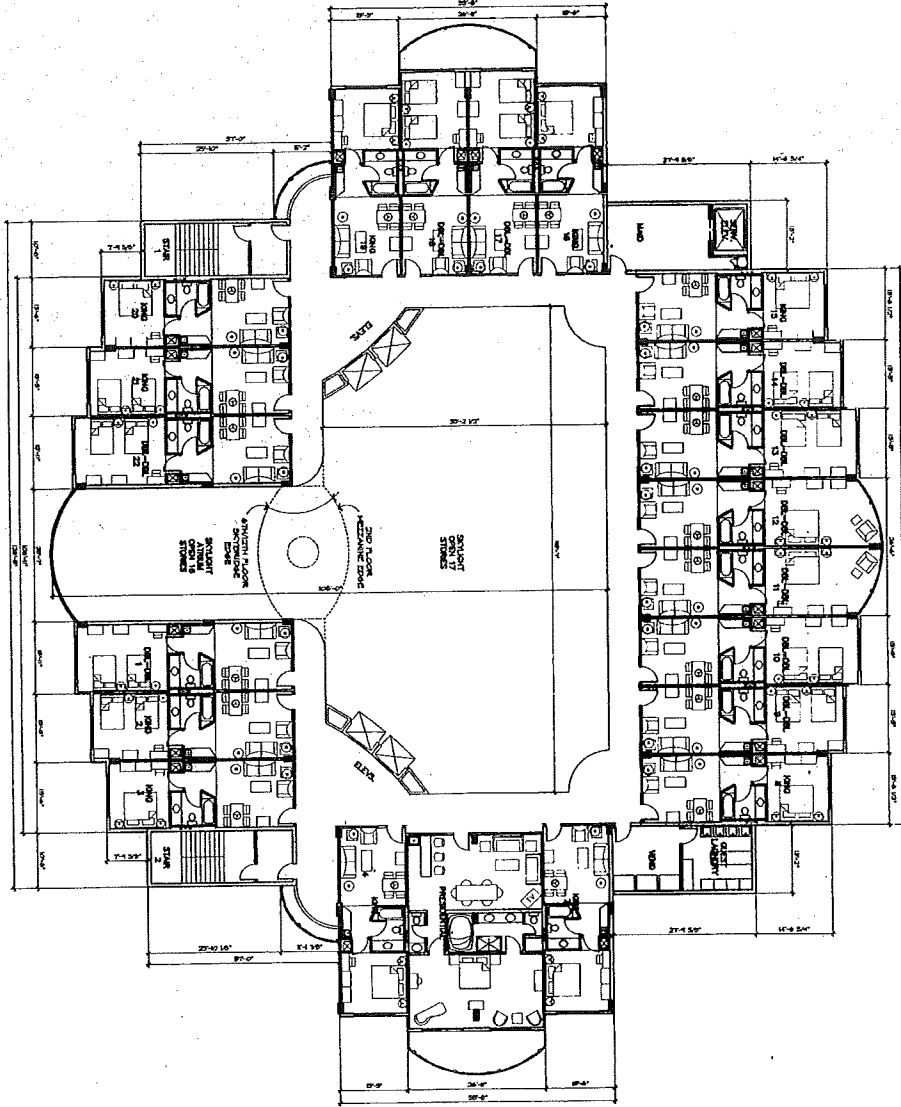
A21

SCHEMATIC 2ND - 16TH FLOOR PLANS



DRAWING TITLE A22	SHEMATIC 2ND-16TH FLOOR PLANS			NEW CONSTRUCTION FOR EMBASSY SUITES HOTEL HARBOR DRIVE GARDEN GROVE, CALIFORNIA	 COMSTOCK + ASSOCIATES, INC. ARCHITECTURE • PLANNING • INTERIOR DESIGN <small>7 EAST BLVD STREET SUITE 301 GARDEN GROVE CALIFORNIA 92640 PHONE 714-524-8242 FAX 714-524-8244</small>
	DATE	DRAWN BY	CHECKED BY		
	REVISIONS				

SCHEMATIC 17th & 18th FLOOR PLANS



A23	SCHEMATIC 17th & 18th FLOOR PLANS		
	DATE	DESIGNED BY	CHECKED BY

NEW CONSTRUCTION FOR

EMBASSY SUITES HOTEL

HARBOR DRIVE
CARDEN GROVE, CALIFORNIA

COMSTOCK + ASSOCIATES, INC.
ARCHITECTURE • PLANNING • INTERIOR DESIGN

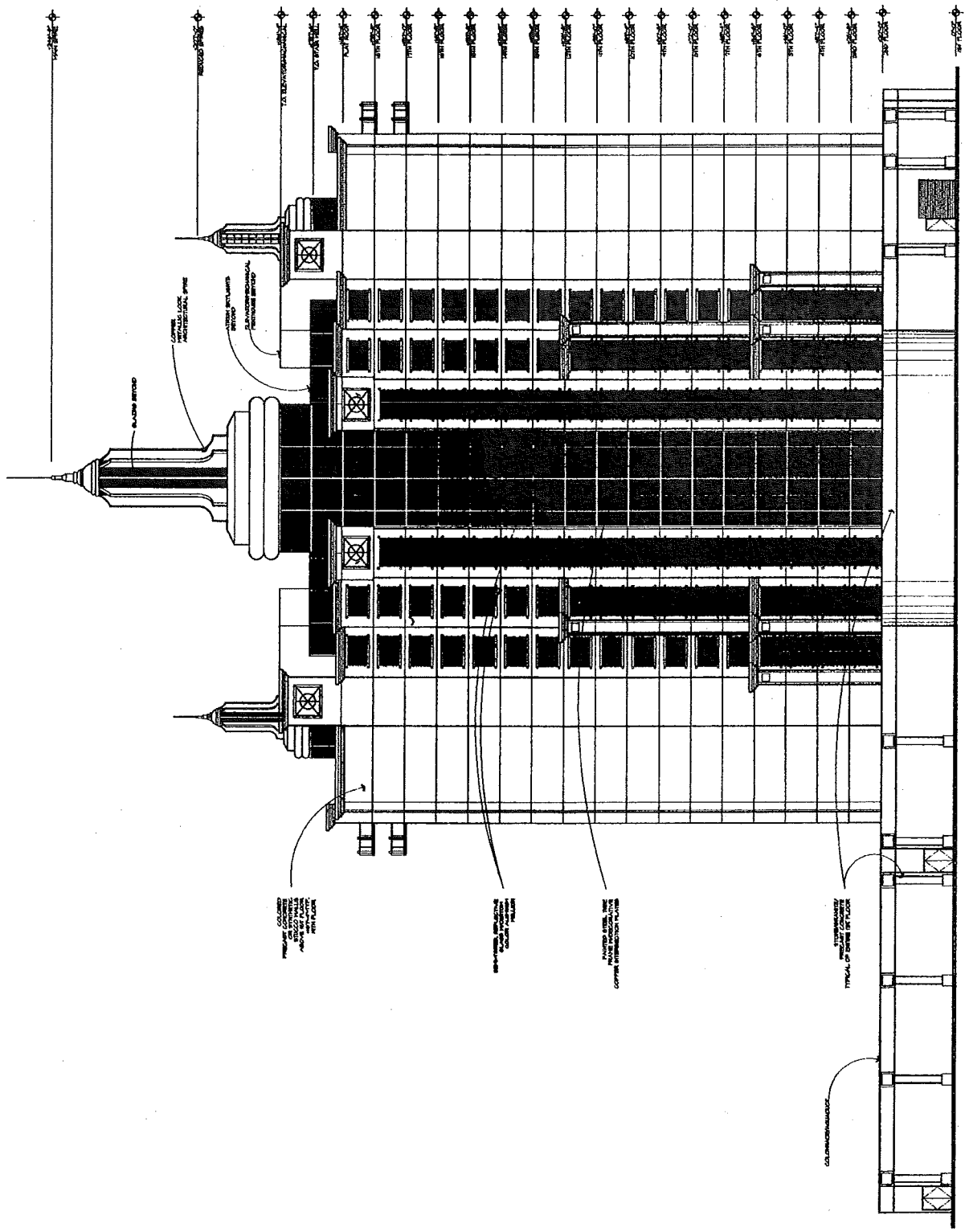
1000 PINE STREET, SUITE 201, SAN JOSE, CALIFORNIA 95128-1000, TEL: 415-435-1000

PROJECT NUMBER		DATE		CHECKED BY	
SCHEMATIC		12/18/08		DWC	

EMBASSY SUITES HOTEL

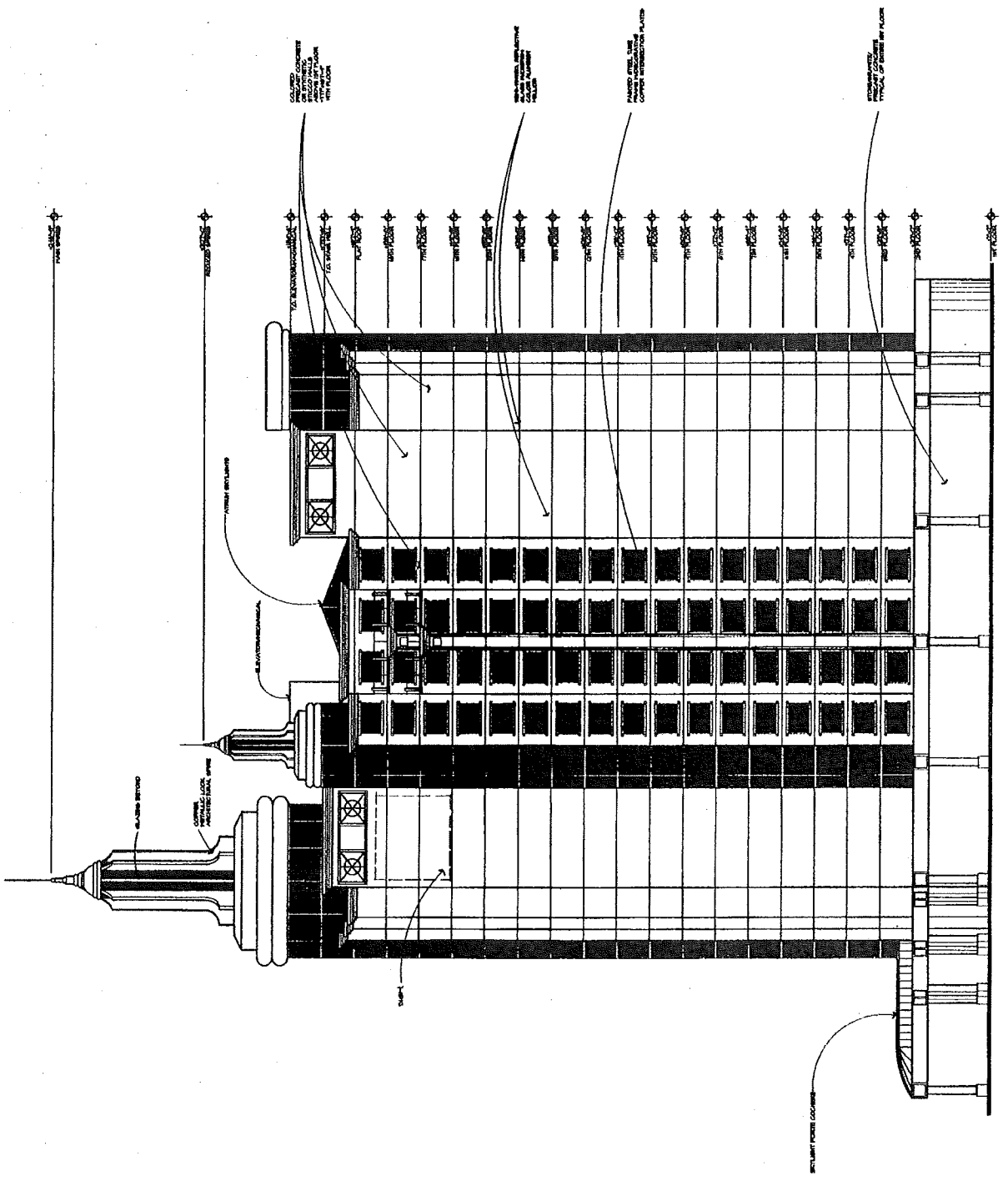
HARBOR DRIVE
GARDEN GROVE, CALIFORNIA

COMSTOCK ASSOCIATES, INC.
ARCHITECTURE • PLANNING • INTERIOR DESIGN
7500 BERRY AVE. SUITE 200 GARDEN GROVE, CALIFORNIA 92643
TEL: 714.646.1100 FAX: 714.646.1101



SCHEMATIC WEST ELEVATION

DRAWING TITLE		PROJECT NUMBER	
SCHEMATIC NORTH ELEVATION		A3.3	
DATE	SCALE	DATE	SCALE
DESIGNED BY	CHECKED BY	DATE	
DRAWN BY			



SCHEMATIC NORTH ELEVATION

EDAW

Landscape Architecture
Planning
Site Design
Urban Design
Site & Community
Graphic Design
3755 Van Nuys Ave., Suite 1000
Van Nuys, CA 91411
TEL: (818) 800-3444
FAX: (818) 800-3445

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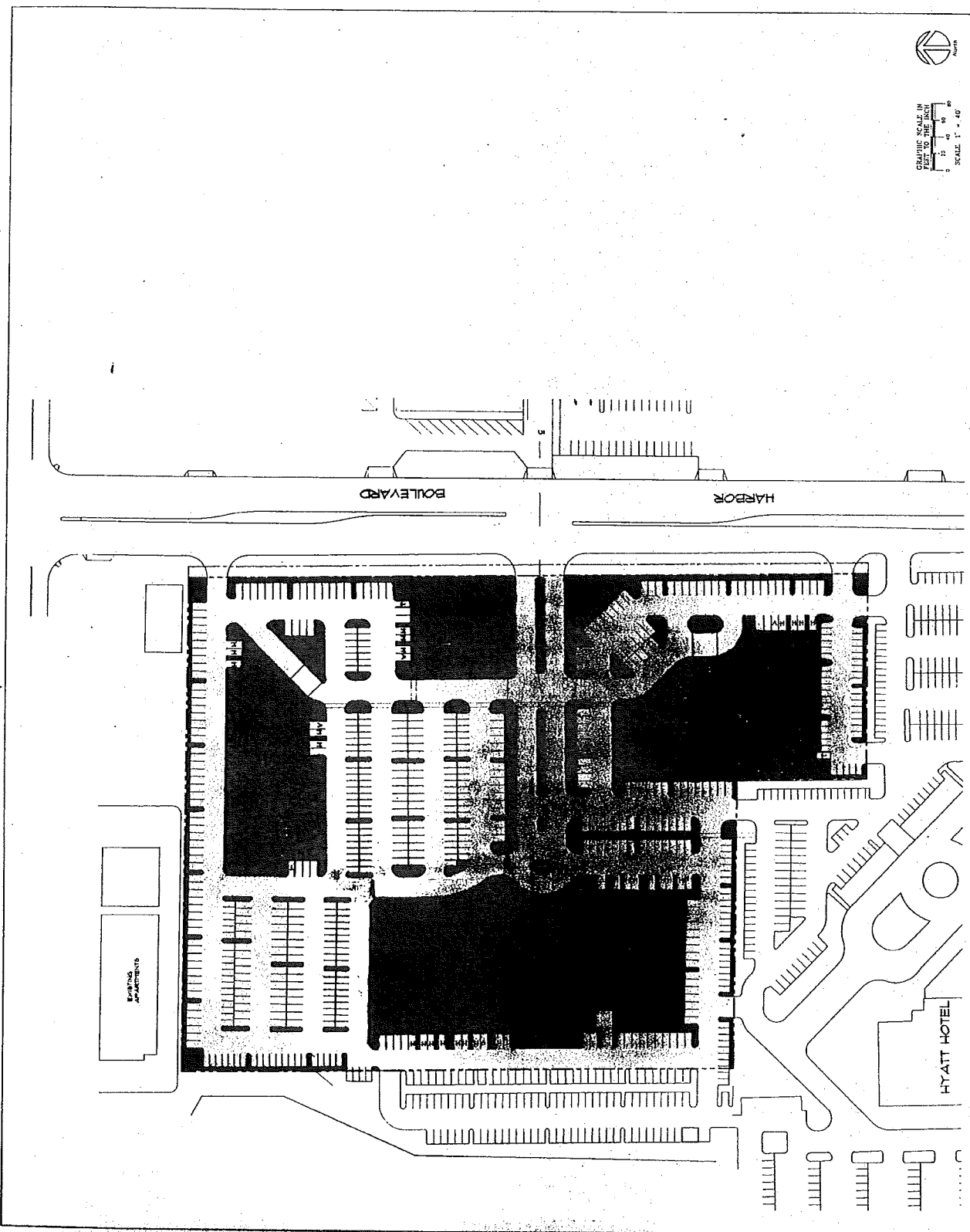
GARDEN GROVE
SITE A

COLORED
LANDSCAPE
PLAN

PROJECT No. 1700000
DATE 10/20/00
DRAWN BY J. W. WILSON
CHECKED BY J. W. WILSON
SCALE 1" = 40'

L-2

CADD File No.



EDAW

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NO. 1	DATE	DESCRIPTION
1	10/1/00	PRELIMINARY PLAN
2	10/1/00	FINAL PLAN
3	10/1/00	FINAL PLAN
4	10/1/00	FINAL PLAN
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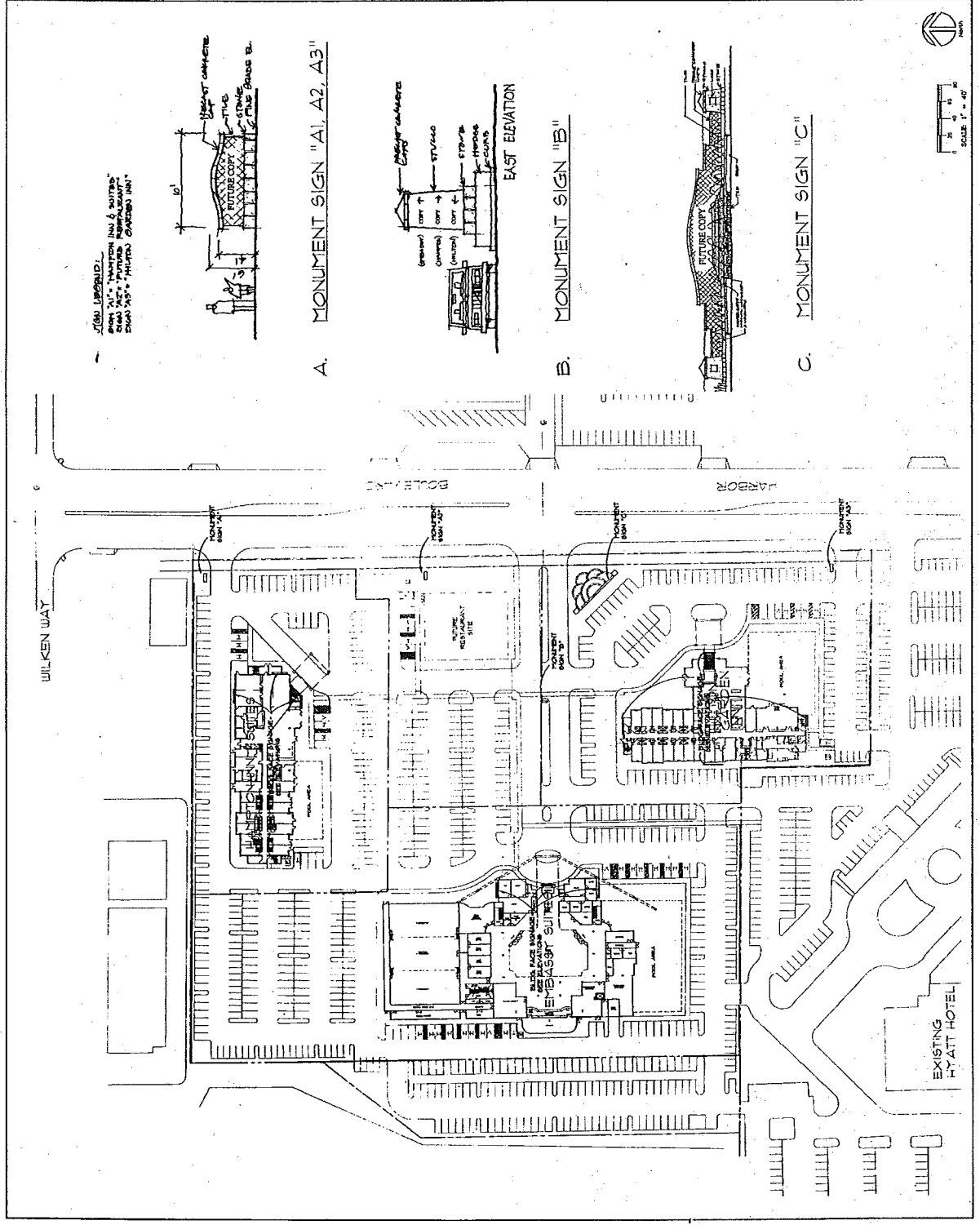
GARDEN GROVE
 SITE A

SIGN
 PROGRAM
 PLAN

PROJECT NO.
 DATE
 DRAWN BY
 CHECKED BY
 SCALE

L-3

SCALE 1" = 40'



EDAW

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PROJECT NO. 10000
DATE: 10/10/00
SCALE: 1" = 40'
DRAWN BY: J. H. WILSON
CHECKED BY: J. H. WILSON
DATE: 10/10/00

NO. DATE REVISION
1 10/10/00

GARDEN GROVE
SITE A

LIGHTING
PLAN

PROJECT NO. 10000
DATE: 10/10/00
SCALE: 1" = 40'
DRAWN BY: J. H. WILSON
CHECKED BY: J. H. WILSON
DATE: 10/10/00

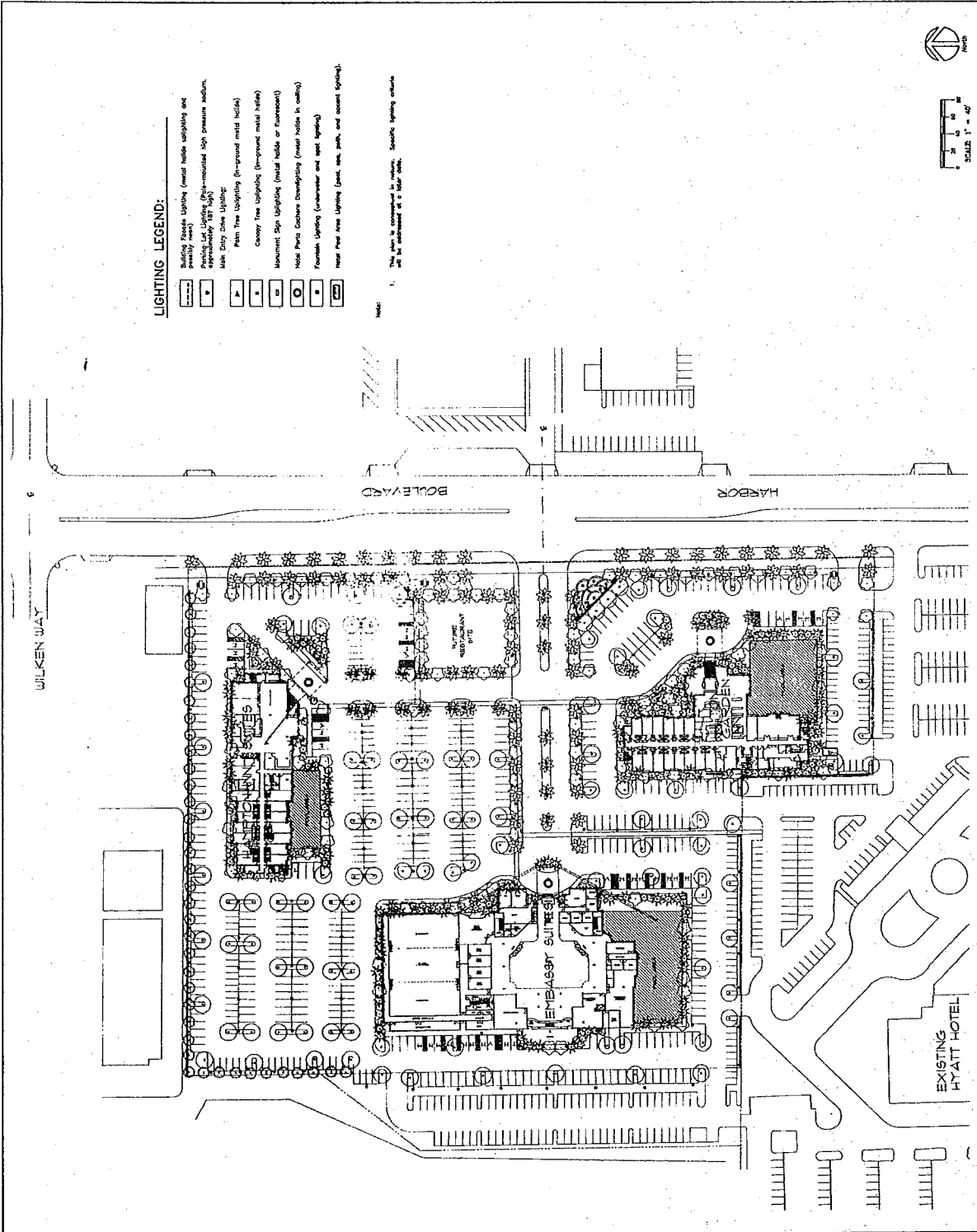
L-4

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LIGHTING LEGEND:

- 1. Parking Area Lighting (metal halide uplighting and approximately 187' high)
- 2. Main Entry Area Lighting (recessed metal halide)
- 3. Plant Tree Uplighting (recessed metal halide)
- 4. Canopy Tree Uplighting (recessed metal halide)
- 5. Monument Sign Uplighting (metal halide or fluorescent)
- 6. Hotel Porch Canopy Uplighting (metal halide in canopy)
- 7. Furniture Lighting (canopy and spot lighting)
- 8. Near Pod Area Lighting (spot with wash and accent lighting)

Note: This plan is submitted for review. Specific lighting schedule will be determined at a later date.



RESOLUTION NO. 4865

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF GARDEN GROVE RECOGNIZING THE PREVIOUSLY ADOPTED MITIGATED NEGATIVE DECLARATION AND APPROVING SITE PLAN NO. SP-214-98, VARIANCE NO. V-227-98, AND TENTATIVE PARCEL MAP NO. PM-98-115 FOR LAND LOCATED ON THE WEST SIDE OF HARBOR BOULEVARD NORTH OF CHAPMAN AVENUE, PARCEL NOS. 233-183-01, 02, 03, 04, 05, 06, 07, 08, 09, 10, 11, 12, 13, AND 18

BE IT RESOLVED that the Planning Commission of the City of Garden Grove, in regular session assembled on April 1, 1998, does hereby recognize the previously adopted Mitigated Negative Declaration and approve Site Plan No. SP-214-98, Variance No. V-227-98, and Tentative Parcel Map No. PM-98-115.

BE IT FURTHER RESOLVED that in the matter of Site Plan No. SP-214-98, Variance No. V-227-98, and Tentative Parcel Map No. PM-98-115, the Planning Commission of the City of Garden Grove does hereby report as follows:

1. The subject case was initiated by Landmark Companies LLC, Stonebridge Companies, and the Garden Grove Agency for Community Development.
2. The applicants request approval of a site plan in order to construct three hotels: Embassy Suites; Hilton Garden Inn; and Hampton Inn and Suites and a future free-standing restaurant, a variance to deviate from the required number of parking spaces, and a parcel map to subdivide the site into four parcels. A change of zone to PUD-118-98, a Conditional Use Permit for a Type "47" license for Embassy Suites, and Development Agreements are also proposed.
3. The previously adopted Mitigated Negative Declaration for the project considered the necessary entitlements for the project including zone change, site plan, parcel map, variance, and conditional use permit applications, therefore, no further environmental action is necessary.
4. The property has a General Plan Land Use designation of Recreation Commercial, and is currently zoned HCSP-TCA (Harbor Corridor Specific Plan - Tourist Commercial "A"), and PUD-104-82. The site is currently improved with various commercial and residential uses. The southern portion of the property (former restaurant site) is vacant.
5. Existing land use, zoning, and General Plan designation of property in the vicinity of the subject property have been reviewed.
6. Report submitted by City staff was reviewed.
7. Pursuant to a legal notice, a public hearing was held on April 1, 1998, and all interested persons were given an opportunity to be heard.

8. The Planning Commission gave due and careful consideration to the matter during its meeting of April 1, 1998; and

BE IT FURTHER RESOLVED, FOUND AND DETERMINED that the facts and reasons supporting the conclusion of the Planning Commission, as required under Municipal Code Sections 9.24.030, and 9.32.060 are as follows:

FACTS:

The site is currently improved with various commercial and residential uses. The southern portion of the site (former restaurant site) is vacant.

The site is approximately 9.7 acres in area.

The Site Plan, Variance, and Tentative Parcel Map are being processed in conjunction with a zone change request to Planned Unit Development.

The site is located within a redevelopment project area.

FINDINGS AND REASONS:

SITE PLAN:

1. The Site Plan complies with the spirit and intent of the provisions, conditions and requirements of the Municipal Code and other applicable ordinances.

Response: The project site is located within a Redevelopment Project Area. Among the goals of the Redevelopment Plan are the elimination of physical blight and deterioration, upgrading of the project area, encouragement of private sector investment, and promotion of the economic well-being of the area. The policies of the General Plan identify the Harbor Corridor as a target area for redevelopment and revitalization activities.

2. The proposed development does not adversely affect essential on-site facilities such as off-street parking, loading and unloading areas, traffic circulation and points of vehicular and pedestrian access.

Response: The plan has been reviewed by the City's Traffic Engineering Section and all appropriate conditions of approval and mitigation measures, including street dedication and creation of a signalized entrance into the development, will minimize any adverse impacts to surrounding streets. The development is required to secure a sufficient number of off-site parking spaces to meet the

minimum number of parking spaces required for the development. Additionally the project is designed with adequate pedestrian access into, and throughout, the development.

3. The development, as proposed, will not adversely effect essential public facilities such as streets and alleys, utilities and drainage channels, and will not adversely impact the public works department's ability to perform its required function.

Response: The streets in the area are adequate to accommodate the development provided the developer provides the additional dedication and improvements, including a signalized intersection at the entrance to the project. Upgrades to the existing sewer and water utilities are required to accommodate the development. The proposed development is also required to provide for adequate on-site drainage.

4. The development does has a reasonable degree of physical, functional, and visual compatibility with neighboring uses and desirable neighborhood characteristics.

Response: The development is consistent with the surrounding area. The properties to the north and east are improved with existing commercial retail development and a multi-family apartment complex located in the City of Anaheim, the property to the south is developed with a multi-story hotel and office complex (Hyatt Alicante), and the property to the west is developed with Duffer's driving range and surface parking for the Hyatt Alicante. The design of the proposed use will insure a reasonable degree of compatibility with adjacent uses.

5. Through the planning and design of buildings and building placement, the provision of open space landscaping and other site amenities will attain an attractive environment for the occupants of the property.

Response: The project has been designed in accordance with City Code provisions for providing an adequate amount of public open space. Through the conditions of approval for the project, the necessary agreements for the protection and maintenance of areas reserved for public use will be achieved.

TENTATIVE PARCEL MAP:

1. The proposed map is consistent with the General Plan.

Response: The map is consistent with the provisions of the Harbor Corridor Specific Plan and the General Plan as they pertain to the creation of subdivisions for commercial development. The proposed parcels are of sufficient size to

accommodate the proposed development and meet all applicable requirements, as identified under Title 9.

2. The design and improvement of the proposed subdivision are consistent with the General Plan.

Response: With the conditions of approval and the mitigation measures as recommended by staff, the design and improvement of the subject lots are consistent with the spirit and intent of the Harbor Corridor Specific Plan and General Plan provisions for location of lots, proximity to similar uses, lot width, and overall depth.

3. The site is physically suitable for the type of development and complies with the spirit and intent of the Harbor Corridor Specific Plan.

Response: The site is adequate in size and shape to accommodate the project, including facilities for parking, pedestrian and vehicular access, trash collection, and pedestrian and emergency access.

4. The requirements of the California Environmental Quality Act have been satisfied.

Response: A Mitigated Negative Declaration has been previously adopted for this project pursuant to CEQA guidelines. Mitigation measures, required as part of the Mitigated Negative Declaration, have been incorporated into the project.

5. The design of the project and the proposed improvements are not likely to cause serious public health problems.

Response: The conditions of approval for on- and off-site improvements, including access and a signalized traffic intersection into the project, will safeguard the public health.

6. The design of the project and the proposed improvements will not conflict with easements of record or easements established by court judgment acquired by the public at large for access through or use of property within the project; or, if such easements exist, alternate easements for access or for use will be provided and these will be substantially equivalent to the ones previously acquired by the public.

Response: The project has been designed, to the greatest extent possible, to avoid development over existing easements. Where applicable, such easements will be relocated or abandoned to not create adverse impacts.

VARIANCE:

1. There are exceptional or extraordinary circumstances or conditions applicable to the property or to the intended use that do not apply generally to other property or classes of use in the same vicinity or zone.

Response: The project incorporates three hotels and a free-standing restaurant with shared parking, access, and pedestrian links. In order to create this concept and achieve the density contemplated by the General Plan and the R/UDAT, it is necessary for the project to vary from parking requirements, as identified under Title 9. Provided that the necessary off-site parking is obtained, the project will provide sufficient parking as recommended in the approved traffic study.

2. The Variance is necessary for the preservation and enjoyment of a substantial property right possessed by other property in the same vicinity and zone but which is denied to the property in question.

Response: In order to achieve the project, as contemplated, it is necessary for the project to obtain additional off-site parking as recommended in the approved traffic study. If off-site parking is obtained, the property with the variance will provide sufficient parking and will be able to enjoy the same rights as other properties in the vicinity.

3. The granting of the Variance will not be materially detrimental to the public welfare or injurious to the property or improvements in such vicinity and zone in which the property is located.

Response: The project is required to obtain an agreement for off-site parking with the adjoining property to the west to insure that adequate parking is provided. The granting of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements in such vicinity and zone in which the property is located provided all applicable conditions of approval and mitigations contained in the traffic study are complied with.

4. The granting of the Variance will not adversely affect the comprehensive General Plan.

Response: The granting of the variance will meet the spirit and intent of the General Plan. In addition, the conditions of approval for the project will insure a reasonable degree of compatibility with surrounding uses, in keeping with the goals of the General Plan.

INCORPORATION OF FACTS AND FINDINGS SET FORTH IN STAFF REPORT

In addition to the foregoing, the Commission incorporates herein by this reference, the facts and findings set forth in the staff report.

BE IT FURTHER RESOLVED that the Planning Commission does conclude:

1. The Site Plan, Variance, and Tentative Parcel Map possess characteristics that would indicate justification of the request in accordance with Municipal Code Sections 9.24.030 (Site Plan, Variance), and 9.32.060 (Tentative Maps).
2. In order to fulfill the purpose and intent of the Municipal Code and thereby promote the health, safety, and general welfare, the following conditions of approval shall apply to Site Plan No. SP-214-98, Variance No. V-227-98, and Tentative Parcel Map No. PM-98-115:

CONDITIONS OF APPROVAL:

- A. All below-listed conditions of approval are required to be recorded. Recordation of said conditions is the responsibility of the applicants, and proof of such recordation is required prior to the issuance of building permits for any building in the project. All conditions of approval are required to be adhered to for the life of the project, regardless of property ownership. Any changes to the conditions of approval require approval by the Planning Commission.
- B. Approval of this Site Plan, Variance, and Tentative Parcel Map shall not be construed to mean any waiver of applicable and appropriate zoning and other regulations; and wherein not otherwise specified, all requirements of the City of Garden Grove Municipal Code shall apply.
- C. Modifications which do not change the intent of the project may be approved by the Community Development Director. If major modifications are made in the proposed development which result in the intensification of the project or create impacts that have not been previously addressed, a new Site Plan application shall be filed which reflects the revisions made.
- D. All lighting structures shall be placed so as to confine direct rays to the subject property. All exterior lights shall be reviewed and approved by the City's Planning Section. Lighting adjacent to residential properties shall be restricted to low decorative type wall-mounted lights, or a ground lighting system. Lighting shall be provided throughout all parking and drive areas at a minimum of two footcandles of light on the parking areas. Lighting in the parking areas shall be

directed, positioned, or shielded in such manner so as not to unreasonably illuminate the windows of adjacent properties.

- E. The developers shall submit detailed plans showing the proposed location of utilities and mechanical equipment to the Community Development Department for review and approval prior to Building Division Plan Check. The project shall also be subject to the following:
1. All on- and off-site utilities within the perimeter of the site and to the centerline of the adjacent streets shall be installed or relocated underground.
 2. Above-ground utility equipment (e.g., electrical, gas, telephone, cable TV) shall not be located in the street setbacks, within the common areas, or any parking areas and shall be screened to the satisfaction of the Community Development Department.
 3. No roof-mounted mechanical equipment shall be permitted unless a method of screening complementary to the architecture of the building is approved by the Community Development Department prior to the issuance of building permits. Said screening shall block visibility of any roof-mounted mechanical equipment from view of public streets and surrounding properties.
 4. All ground- or wall-mounted mechanical equipment shall be screened from view from any place on or off the site.
- F. The following provisions of the Public Work's Engineering Division shall be complied with:
1. The Parcel Map shall be recorded prior to the issuance of any permits. Field survey required.
 2. TIES TO HORIZONTAL CONTROL: Prior to the recordation of a final map, the surveyor/engineer preparing the map shall tie the boundary of the map into the Horizontal Control System established by the County Surveyor in a manner described in Sections 7-9-330 and 7-9-337 of the Orange County Subdivision Code and Orange County Subdivision Manual, Subarticle 18. The surveyor/engineer shall submit record information to the City on Auto Cad Dwg format.

3. DIGITAL MAP SUBMISSION: Prior to the recordation of a final map, the surveyor/engineer preparing the map shall submit to the County Surveyor a digital graphics file of said map in a manner described in Sections 7-9-330 and 7-9-337 of the Orange County Subdivision Code and Orange County Subdivision Manual, Subarticle 18. The surveyor/engineer shall submit record information to the City on Auto Cad Dwg format.
4. An additional 13 (thirteen) feet of right-of-way shall be dedicated on Harbor Boulevard to accommodate the ultimate Smart Street width. The right-of-way is to be located 73 feet from the street center line. Curb returns used at entry locations shall be constructed either within the public right-of-way or, if necessary, additional right-of-way at the entrances shall be dedicated.
5. The curb face along Harbor Boulevard shall be located 52 feet from the center line of the street, and new curb, gutter, and pavement shall be installed on the west side of Harbor Boulevard. In addition, a new 12 foot wide sidewalk and 9 foot wide parkway area shall be constructed in accordance with new street standard for the Harbor Boulevard Smart Street.
6. All new utilities shall be placed underground in the public right-of-way and on-site.
7. Grading, water and sewer, street improvement, and approved utility plans are required. Plans to be prepared by a registered Civil Engineer. Grease traps, if necessary, shall be installed on sewer laterals for restaurants and hotels. Utility plans shall be approved prior to on-site water system construction. Improvements in Harbor Boulevard to be approved by the City of Garden Grove and the City of Anaheim.
8. Provide hydrology with scaled map and calculations and hydrology calculations to size parkway culvert(s) or storm drain(s) per OCEMA Standards. Parkway culverts to be constructed per OCEMA Standard Plan 1309 (Type B). The development shall drain to Harbor Boulevard as feasible.
9. All on-site improvements shall be removed prior to start of new construction.

10. Driveway approaches shall be constructed per City Standard B-120. Minimum radius for curb returns at entry ways shall be 25 feet. Separate street permit is required for work within the public right-of-way.
11. Wheelchair ramps to be constructed in landings per City Standard Plan B-108.
12. Blanket easement is required for all public water systems on private property.
13. Property owner shall dedicate all rights to underground water without the right to subsurface enter.
14. Access rights to Harbor Boulevard shall be restricted to approved access locations. A dedication statement on the Final Map is required.
15. Bonds shall be posted to secure all work within the public right-of-way and all public improvements.
16. Any new or required block walls and/or retaining walls and trash enclosures shall be shown on the grading plans. Block walls shall be developed to City Standards or designed by a professional engineer registered in the State of California. In addition, the developers shall provide the following:
 - a. A 7 (seven) foot high decorative block wall, as measured from highest minimum grade, shall be constructed along the north property line.
 - b. The color and material of all proposed block walls, columns, and wrought iron fencing shall be approved by the Planning Services Division prior to installation.
17. The developers shall comply with all 1972 Clean Water Act and NPDES requirements. The submittal of plans shall incorporate Best Management Practices plan and erosion control in conformance with NPDES permit. Notice of Intent shall be submitted to the Regional Water Quality Control Board prior to the issuance of any grading permit.
18. The water system shall be sized to accommodate domestic and fire protection requirements.

19. Sanitary sewers shall be constructed as recommended in the Sanitary Sewer Study prepared by Norris Repke, Inc. dated April 1, 1997. Plans shall be prepared per Garden Grove Sanitary District Standards.
 20. Developers shall comply with the Transportation Demand Management (TDM) and Congestion Management Plan (CMP) ordinances, if required.
 21. Off-site improvements for the project, as required, may be phased subject to approval by the Engineering Services Division.
- G. The following provisions of the Public Works' Traffic Engineering Division shall be complied with:
1. An updated traffic study and circulation study shall be prepared for the project which addresses joint access and circulation, subject to approval by the City Traffic Engineer.
 2. Medians on Harbor Boulevard shall be constructed from Wilken Way to Chapman Avenue. The final design shall be subject to the approval of the City Traffic Engineer and the City of Anaheim.
 3. A new traffic signal shall be constructed at the project 's main entrance in alignment with the southerly Toys R Us driveway across Harbor Boulevard.
 4. The City Traffic Engineer shall approve the final designs of all joint access drives.
 5. The developers shall pay the appropriate Traffic Mitigation Fees.
- H. The following requirements of the Public Works, Water Operations Division shall be met:
1. New water service installations shall be made at developer's expense. Installation shall be by the City upon payments of applicable fees unless otherwise noted. Fire Services and larger water services (3 inch and larger) shall be installed by contractor per City standards.
 2. Water meters and Fire Services shall be located within the City right-of-way or within dedicated waterline easement(s). Fire Services and large water services (3 inch and larger) shall be installed by contractor with

class A or C-34 license per City water standards and inspected by a public works inspector.

3. Backflow prevention device(s) shall be required on all domestic water lateral(s) and fire service lines. Installations shall be per City standards and shall be inspected by a cross connection specialist after installation. Fire Service(s) shall have above ground backflow device(s) with a double check valve assembly. Device(s) to be tested immediately after installation and once a year by a certified backflow device tester and the results shall be submitted to the cross connection specialist.
 4. Required public/private water systems to be constructed by developer which may require bonding.
- I. The following provisions of the Garden Grove Fire Department and the Uniform Fire Code shall be met:
1. Fire sprinkler system(s) per the National Fire Protection Association (NFPA) Standard 13 shall be provided and plans approved prior to the issuance of building permits. System(s) shall be designed to utilize not more than 90% of the available water as indicated on a submittal graph sheet as required by NFPA, Standard 13, Chapter 7. Fire sprinkler riser(s) shall be located inside the each building in a room with a door accessible from the outside of the building.
 2. Fire sprinkler system(s) and all control valves shall be supervised to an approved central alarm station, when the total number of sprinkler heads is 100 or more.
 3. All buildings constructed at a height of 55 feet or more, as measured from the floor of the highest inhabitable floor to the fire department entrance, shall contain high rise provisions in the California Building Code.
 4. Standpipes shall be provided in accordance with the California Building Code in all buildings four (4) stories or more.
 5. A manual and auto fire alarm system shall be provided in all buildings in accordance with the California Fire Code.
 6. Address numbers shall be visible from the street in contrasting colors.

7. Fire lanes shall be marked in accordance with the Garden Grove Fire Department specifications and requirements.
 8. Fire Hydrants shall be provided. The number and location to be determined by the Fire Department.
- J. The building plans, site plans and all construction shall comply with the current editions of the U.B.C., U.P.C., U.M.C., and N.E.C. as amended by the City of Garden Grove and State of California handicap access, energy conservation and sound transmission control requirements.
- K. The developers shall submit a final landscape plan governing the entire development. Said plan shall include type, size, location and quantity of all plant material. This includes enhanced landscaping and hardscape treatment along the areas located immediately adjacent to Harbor Boulevard in accordance with the Harbor Boulevard Urban Design Plan. The plan shall include irrigation plans and staking and planting specifications. The landscape plan is also subject to the following:
1. A complete, permanent, automatic remote control irrigation system shall be provided for all landscaped areas shown on the plan. The sprinklers shall be of low flow/precipitation sprinkler heads for water conservation.
 2. The plan shall provide a mixture of a minimum of ten percent (10%) of the trees at 48-inch box, ten percent (10%) of the trees at 36-inch box, fifteen percent (15%) of the trees at 24-inch box and sixty percent (60%) of the trees at 15-gallon, the remaining five percent (5%) may be of any size. These trees shall be incorporated into the landscaped frontages of all streets. Where clinging vines are considered for covering walls, Boston Ivy or other variety as approved shall be used.
 3. The developers shall be responsible for installation and maintenance of all landscaping on the property and public parkway. This condition may be satisfied if the developers enter into a maintenance agreement with the Garden Grove Agency for Community Development.
 4. Trees planted within ten feet (10') of any public right of way shall be planted in a root barrier shield. All landscaping along street frontages adjacent to driveways shall be of the low height variety to ensure safe sight clearance.

5. The landscape areas located immediately adjacent to the project entry drives shall incorporate decorative landscape treatments such as color annuals, flowering groundcovers, and shrubs. These materials shall be compatible with the Harbor Boulevard Urban Design Plan.
6. Trees located along the project's main entry drives shall incorporate special lighting treatments, including the use of uplighting, as shown on the approved lighting plan.
- L. The portion of the medians in Harbor Boulevard along the project frontage shall be landscaped in accordance with the Harbor Corridor Urban Design Plan, subject to the approval by the Community Development and Public Works Departments, and the City of Anaheim.
- M. In the event that the developers elect to provide a decorative pavement treatment at any of the project entry drives on Harbor Boulevard, the color, material, and pattern shall be compatible with the Harbor Boulevard Urban Design Plan. The plan shall be approved by the Community Development Department - Planning Division, and shown on the grading plans.
- N. No exterior piping, plumbing, or mechanical duct work shall be permitted on any exterior facade and/or visible from any public right-of-way or adjoining property.
- O. Hours and days of construction and grading shall be as follows as set forth in the City of Garden Grove's Municipal Code Section 8.47.010 referred to as the County Noise Ordinance as adopted:
 1. Monday through Saturday - not before 7 a.m. and not after 8 p.m. (of the same day).
 2. Sunday and Federal Holidays may work same hours but subject to noise restrictions as stipulated in Section 8.47.010 of the Municipal Code.
- P. The developers shall enter into binding Development Agreements with the City of Garden Grove. This includes the payment of a Development Impact Mitigation Payment in accordance with City Council Resolution.
- Q. Prior to the issuance of any certificates of occupancy, a security plan for the project shall be approved by the Police Chief. The security plan shall include provisions for security personnel, patrol, alarms, video cameras, lighting of pedestrian pathways, and employee protection.

- R. Hotel elevations, which face Harbor Boulevard, shall incorporate lighting treatments, such as uplighting, to highlight building facades and achieve a dramatic nighttime effect, in accordance with the Harbor Boulevard Urban Design Plan.
- S. Prior to the issuance of any certificate of occupancy, a Reciprocal Easement Agreement (REA), or similar agreement, for use of the off-site parking spaces located immediately west of the project site, shall be recorded. The agreement, subject to the approval of the City Attorney or Agency Special Counsel, shall provide for an irrevocable offer for parking and shall contain provisions tying the parking agreement in perpetuity to the project. Off-site parking shall be used by employees and made available to guests of the hotels and patrons of Duffer's Golf Driving Range.
- T. Approval of Site Plan No. SP-214-98, Variance No. V-227-98, and Tentative Parcel Map No. PM-98-115 shall not become effective until Planned Unit Development No. PUD-118-98 is in effect.
- U. The developer shall comply with all mitigation measures contained in the adopted Mitigation Monitoring Program for the project, attached herein as Attachment "A".
- V. Pedestrian pathways in the project shall visually identified through the use of thematic lighting, planting, and paving treatments.
- W. Motorcycle and bicycle parking shall be provided as required by code.
- X. The developers shall enter into a Reciprocal Access Agreement (REA), or other similar agreement, to ensure reciprocal vehicular access, parking, and maintenance of the site area governed by Site Plan No. SP-214-98. This agreement shall be reviewed and approved by the City Attorney and recorded prior to granting of any certificate of occupancy for the project.
- Y. The developers shall construct and maintain the trash enclosure areas, as indicated on the site plan, per City standard. Trash enclosure doors shall be kept closed and secured except during trash disposal or pickup. Trash pickups and automated parking lot cleaning/sweeping, shall occur between the hours of 7 a.m. and 6 p.m. Trash pickups shall occur a minimum of three (3) trash pickup per week.

- Z. No satellite dish antennas shall be installed on said premises unless and until plans have been submitted to and approved by the Community Development Department, Planning Division.
- AA. The service doors of all buildings shall be kept closed at all times during hours of operation except in case of emergency or to permit deliveries. Panic hardware on doors shall comply with all City code requirements.
- BB. Hotels shall be subject to all applicable provisions of the Municipal Code including Chapter 8.70 (Public Lodgings).
- CC. All lighting on the project site shall be enclosed in vandal-resistant fixtures. The fixtures shall be maintained and replaced as needed.
- DD. Prior to the start of construction, temporary security fencing shall be erected. The fencing shall be a minimum of six (6) feet in height with locking, gated access, and shall remain through the duration of construction.
- EE. Prior to the issuance of grading permits, a temporary project identification sign shall be erected on the site in a secure and visible manner. The sign shall be conspicuously posted at the site and remain in place until occupancy of the project. The sign shall include the name and address of the development, and the developers' name, address, and a 24-hour emergency telephone number.
- FF. No kitchen facilities shall be provided within individual hotel rooms or suites, with the exception of microwave ovens and small refrigerators.
- GG. Prior to the issuance of building permits, a computer generated, point by point, lighting plan shall be approved by the Engineering and Planning Divisions. The lighting plan shall be generated on the site plan and shall be integrated with the final landscape plan. The plan shall indicate the manufacturer's specifications for light fixtures used and shall include style, illumination, location, height, and method of shielding.
- HH. The development of the free-standing restaurant pad shall require separate site plan approval by the Planning Commission, including approval of floor plans and elevations. Sales of alcoholic beverages, if any, shall require approval of a conditional use permit.
- II. Hotel occupancies shall not exceed thirty consecutive days nor shall any nonconsecutive occupancy exceed 30 days in 45 consecutive days.

- JJ. The developers shall submit signed letters acknowledging receipt of the decision approving Site Plan No. SP-214-98, Variance No. V-227-98, and Tentative Parcel Map No. 98-115 and their agreement with all conditions of approval.
- KK. Litter shall be removed daily from the project site including adjacent public sidewalks and all parking areas under the control of the developers. These areas shall be swept or cleaned, either mechanically or manually, on a weekly basis, to control debris.
- LL. Graffiti shall be removed from the project site and all parking lots under the control of the developers within 120 hours of application.
- MM. Signage for the project site shall be as follows:
1. The project site shall be permitted to have a total of four free-standing monument signs along Harbor Boulevard, as shown on the approved site plan.
 2. Monument signs shall be designed in accordance with the Harbor Boulevard Urban Design Plan.
 3. Wall signs shall be permitted for each hotel at the locations shown on the approved building elevation plans. Wall sign locations for the free-standing restaurant shall reviewed at the time of project submittal.
 4. All signs require separate permit and shall be approved by the Community Development Department - Planning Division prior to installation.
- NN. The design and materials of the water feature located at the project's main entry shall be reviewed and approved by the Community Development Department - Planning Division prior to installation.
- OO. The roof material on the Hilton Garden Inn and porte cochere shall be a standing seam metal roof.

ADOPTED this 1st day of April 1998.

ERNEST WILKINS
CHAIRMAN

I HEREBY CERTIFY that the foregoing resolution was duly adopted at the regular meeting of the Planning Commission of the City of Garden Grove, State of California, held on April 1, 1998, by the following votes:

AYES:	COMMISSIONERS:	WILKINS, BUTTERFIELD, FREZE, HUTCHINSON, ROSEN, SCHILD
NOES:	COMMISSIONERS:	HESKETT
ABSENT:	COMMISSIONERS:	NONE

/s/ TERESA POMEROY
SECRETARY

PLEASE NOTE: Any request for court review of this decision must be filed within 90 days of the date this decision was final (See Code of Civil Procedure Section 1094.6).

A decision becomes final if it is not timely appealed to the City Council. Appeal deadline is April 22, 1998.

RESOLUTION NO. 4866

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF GARDEN GROVE RECOGNIZING THE PREVIOUSLY ADOPTED MITIGATED NEGATIVE DECLARATION AND APPROVING CONDITIONAL USE PERMIT NO. CUP-392-98 ON LAND LOCATED ON THE WEST SIDE OF HARBOR BOULEVARD NORTH OF CHAPMAN AVENUE, PARCEL NOS. 233-183-01, 02, 03, 04, 05, 06, 07, 08, 09 10, 11, 12, 13 AND 18

BE IT RESOLVED that the Planning Commission of the City of Garden Grove, in regular session assembled on April 1, 1998, does hereby recognize the previously adopted Mitigated Negative Declaration and approve Conditional Use Permit No. CUP-392-98.

BE IT FURTHER RESOLVED in the matter of Conditional Use Permit No. CUP-392-98, the Planning Commission of the City of Garden Grove does hereby report as follows:

1. The subject case was initiated by Landmark Companies LLC.
2. The applicant requests approval of a Conditional Use Permit to allow Embassy Suites hotel to operate under a State ABC License Type "47" (On-Sale General, Public Eating Place).
3. The previously adopted Mitigated Negative Declaration for the project considered the necessary entitlements for the project including zone change, site plan, parcel map, variance, and conditional use permit applications; therefore, no further environmental action is necessary.
4. The property has a General Plan Land Use designation of Recreation Commercial, and is zoned HCSP-TCA (Harbor Corridor Specific Plan - Tourist Commercial "A") and PUD 104-82. The site is currently improved with various commercial and residential uses. The southern portion of the site (former restaurant site) is vacant.
5. Existing land use, zoning, and General Plan designation of property within the vicinity of the subject site have been reviewed.
6. Report submitted by City Staff was reviewed.
7. Pursuant to a legal notice, a public hearing was held on April 1, 1998, and all interested persons were given an opportunity to be heard.
8. The Planning Commission gave due and careful consideration to the matter during its meeting of April 1, 1998; and

BE IT FURTHER RESOLVED, FOUND AND DETERMINED that the facts and reasons supporting the conclusion of the Planning Commission, as required under Municipal Code Section 9.24.030, are as follows:

FACTS:

The Embassy Suites hotel site (Parcel 4) is approximately 4 acres.

In order to operate under a State Alcoholic Beverage Control (ABC) License Type "47" (On-Sale General, Public Eating Place), the applicant is required to apply for a Conditional Use Permit.

Section 23958.4 of the Business and Professions Codes states that the City is required to make findings that the public convenience or necessity warrant the issuance of an ABC license where there is an undue concentration of on-sale licenses or there is a high crime count in the district.

City Council Policy No. 500-05 (Conditional Use Permit and Alcoholic Beverages Sale Application Review) allows the Police Department to protest the issuance of an ABC license in areas of either high crime or undue concentration. This site is located within a high crime area.

The subject site is located in crime reporting District No. 142.

The crime count for the District in which the subject site is located is 221.

Average crime count per District in the City is 115.

The subject district exceeds the City-wide average by 92 percent.

A district is considered to be a high crime area when the crime count exceeds the City-wide average by more than 20 percent.

The subject site is in Alcoholic Beverage Control (ABC) Census Reporting District 884.02.

ABC Census Reporting District No. 884.02 allows six (6) On-Sale Licenses within this district. There are currently 5 (five) On-Sale Licenses within this district.

Due to high crime, the Commission must make a finding that the issuance of an ABC license is warranted based on public convenience or necessity.

FINDINGS AND REASONS:

1. The use is consistent with the goals and objectives of the General Plan. The selling of alcoholic beverages in conjunction with the hotel facility is an integral part of a full-service hotel and meets the General Plan goal of capturing the benefits of the tourist trade generated by Disneyland and the Anaheim Convention Center. Additionally, through the recommended conditions of approval, the selling of alcoholic beverages in conjunction with the hotel facility will comply with all applicable code provisions, thus making it consistent with the General Plan and Redevelopment Plan.
2. The hotel facility with an ABC license will not adversely affect the health, peace comfort or welfare of persons residing or working in the surrounding area provided the conditions of approval are adhered to for the life of the project.
3. The hotel facility with an ABC license will not unreasonably interfere with the use, enjoyment or valuation of property of other persons located within the vicinity of the site provided the conditions of approval are adhered to for the life of the project. The use will be compatible with the surrounding area.
4. The hotel facility will not jeopardize, endanger or otherwise constitute a menace to public health, safety or general welfare. The conditions of approval for the use will ensure the public health, safety, and welfare.

FINDING FOR PUBLIC CONVENIENCE OR NECESSITY:

The proposed use complies with all applicable code provisions. Furthermore, conditions of approval contained herein will ensure that a reasonable degree of compatibility is maintained between the hotel facility and neighboring uses, and the on-site sales of alcoholic beverages as part of the hotel operation would provide a convenience to the guests of the establishment. Therefore, the on-site sales at this location is warranted since the public convenience will be served.

INCORPORATION OF FACTS AND FINDINGS SET FORTH IN STAFF REPORT

In addition to the foregoing, the Commission incorporates herein by this reference, the facts and findings set forth in the staff report.

BE IT FURTHER RESOLVED that the Planning Commission does conclude:

1. The Conditional Use Permit possesses characteristics that would indicate justification of the request in accordance with Municipal Code Section 9.24.030.D.4 (Conditional Use Permit).
2. In order to fulfill the purpose and intent of the Municipal Code, and, thereby, promote the health, safety, and general welfare, the following conditions of approval shall apply to Conditional Use Permit No. CUP-392-98:

CONDITIONS OF APPROVAL:

Embassy Suites (Parcel 4 of Tentative Parcel Map No. PM-98-115)

- A. All below-listed conditions of approval are required to be recorded. Recordation of said conditions is the responsibility of the applicant, and proof of such recordation is required prior to issuance of ABC license. All conditions of approval are required to be adhered to for the life of the project, regardless of property ownership. Any changes of the conditions of approval require approval of the Planning Commission.
- B. Approval of this Conditional Use Permit shall not be construed to mean any waiver of applicable and appropriate zoning and other regulations; and wherein not otherwise specified, all requirements of the City of Garden Grove Municipal Code shall apply.
- C. The approved floor plan is an integral part of the decision approving this Conditional Use Permit. There shall be no change in the design of the floor plan without the approval of the Community Development Department. Any change in the approved floor plan which has the effect of expanding or intensifying the use shall require a new Conditional Use Permit.
- D. Litter shall be removed daily from the premises including adjacent public and private sidewalks and all parking areas under the control of the applicant. These areas shall be swept or cleaned, either mechanically or manually, on a weekly basis, to control debris.
- E. The applicant shall submit a signed letter acknowledging receipt of the decision approving Conditional Use Permit No. CUP-392-98, and his/her agreement with all conditions of the approval.
- F. Graffiti shall be removed from the premises and all parking lots under the control of the licensee and/or the property owner within 120 hours of application.

- G. The applicant shall apply for a review of this Conditional Use Permit in three (3) years from date of this Resolution's approval and conditions may be added and/or modified at that time.
- H. Any adult merchandise (books, magazines, videos) shall be kept under the control of the management behind the cashiers counter and shall be segregated and screened from minors.
- I. The applicant, at his/her own expense, shall provide a uniformed security guard(s) on the premises during the operation of the establishment, at the request of the Police Department, in the event security problems occur.
- J. There shall be no gaming tables or gaming machines as outlined in City Code Section 8.20.010 and 8.20.050 on the premises at any time.
- K. There shall be no uses or activities permitted of an adult-oriented nature as outlined in City Code Section 9.08.070.
- L. A copy of the resolution approving Conditional Use Permit No. CUP-392-98 shall be kept on the premises at all times.
- M. A prominent, permanent sign stating "NO LOITERING IS ALLOWED ON OR IN FRONT OF THESE PREMISES" shall be posted in a place that is clearly visible to patrons of the licensee. The size, format, form, placement, and languages of the sign shall be determined by the Department of Alcoholic Beverage Control.
- N. This approval shall permit the hotel facility to operate under an ABC Type "47" license, or comparable general license as required by the ABC.

ADOPTED this 1st day of April 1998.

ERNEST WILKINS
CHAIRMAN

I HEREBY CERTIFY that the foregoing resolution was duly adopted at the regular meeting of the Planning Commission of the City of Garden Grove, State of California, held on April 1, 1998, by the following votes:

AYES: COMMISSIONERS: WILKINS, BUTTERFIELD, FREZE, HUTCHINSON, ROSEN,
SCHILD
NOES: COMMISSIONERS: HESKETT
ABSENT: COMMISSIONERS: NONE

/s/ TERESA POMEROY
SECRETARY

PLEASE NOTE: Any request for court review of this decision must be filed within 90 days of the date this decision was final (See Code of Civil Procedure Section 1094.6).

A decision becomes final if it is not timely appealed to the City Council. Appeal deadline is April 22, 1998.

RESOLUTION NO. 4867

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF GARDEN GROVE RECOGNIZING THE PREVIOUSLY ADOPTED MITIGATED NEGATIVE DECLARATION AND RECOMMENDING APPROVAL OF PLANNED UNIT DEVELOPMENT NO. PUD-118-98 AND DEVELOPMENT AGREEMENTS FOR LAND LOCATED ON THE WEST SIDE OF HARBOR BOULEVARD NORTH OF CHAPMAN AVENUE, PARCEL NOS. 233-183-01, 02, 03, 04, 05, 06, 07, 08, 09, 10, 11, 12, 13, AND 18

BE IT RESOLVED that the Planning Commission of the City of Garden Grove, in regular session assembled on April 1, 1998, does hereby recognize the previously adopted Mitigated Negative Declaration and recommends approval of Planned Unit Development No. PUD-118-98 and Development Agreements.

BE IT FURTHER RESOLVED in the matter of Planned Unit Development No. PUD-118-98 and Development Agreements, the Planning Commission of the City of Garden Grove does hereby report as follows:

1. The subject case was initiated by Landmark Companies LLC and Stonebridge Companies.
2. The applicants request approval of a rezone of the site to the Planned Unit Development (PUD-118-98) zone and Development Agreements in order to construct three hotels and a future free-standing restaurant on approximately 9.7 acres.
3. The previously adopted Mitigated Negative Declaration for the project considered the necessary entitlements for the project including zone change, site plan, parcel map, variance, and conditional use permit applications; therefore, no further environmental action is necessary.
4. The property has a General Plan Land Use designation of Recreation Commercial, and is currently zoned HCSP-TCA (Harbor Corridor Specific Plan - Tourist Commercial "A") and PUD 104-82. The site is currently improved with various commercial and residential uses. The southern portion of the site (former restaurant site) is vacant.
5. Existing land use, zoning, and General Plan designation of property in the vicinity of the subject property have been reviewed.
6. Report submitted by City staff was reviewed.

7. Pursuant to a legal notice, a public hearing was held on April 1, 1998, and all interested persons were given an opportunity to be heard.
8. The Planning Commission gave due and careful consideration to the matter during its meeting of April 1, 1998; and

BE IT FURTHER RESOLVED, FOUND AND DETERMINED that the facts and reasons supporting the conclusion of the Planning Commission, as required under Municipal Code Section 9.12.020, are as follows:

FACTS:

The site is currently improved with various commercial and residential uses. The southern portion of the site (former restaurant) is vacant.

The site is approximately 9.7 acres in area and the minimum site requirement for Planned Unit Development commercial development is 5 acres.

The site is located within a redevelopment project area.

The developer is authorized to enter into a Development Agreement in compliance with Government Code Section 65864.

FINDINGS AND REASONS:

1. The location of the buildings, architectural design, and proposed uses are compatible with the character of existing development in the vicinity and the project will be well-integrated into its setting.

Response: The project is designed to be integrated with the existing developments in the area. The design of the project, in conjunction with the conditions of approval and mitigations contained in the Mitigated Negative Declaration, will insure a reasonable degree of compatibility with adjacent uses.

2. The plan will produce a stable and desirable environment and will not cause undue traffic congestion on surrounding or access streets.

Response: A traffic study, which was prepared for the project, was reviewed and approved by the City's Traffic Engineering Section, and all appropriate conditions of approval and mitigation measures contained in the study have been incorporated to minimize any adverse impacts on surrounding streets.

3. The quality of the project achieved through the Planned Unit Development zoning is greater than could be achieved through traditional zoning.

Response: The project incorporates an innovative design, reflects the intent for tourist-based development contained in the R/UDAT study and the Harbor Corridor Specific Plan, and implements goals of the General Plan regarding creating enhanced opportunities for tourist-based development in the Harbor Corridor (Land Use, Planning Area Policies 1.2, 1.5, and Economic Development Policies 5.1, 5.2, and 5.3). The project will be developed in accordance with the conditions of approval, which will insure that the overall quality of the project will be comparable to projects that could be achieved through the Specific Plan and other Municipal Code provisions.

INCORPORATION OF FACTS AND FINDINGS SET FORTH IN STAFF REPORT

In addition to the foregoing, the Commission incorporates herein by this reference, the facts and findings set forth in the staff report.

BE IT FURTHER RESOLVED that the Planning Commission does conclude:

1. The Planned Unit Development and Development Agreement possess characteristics that would indicate justification of the request in accordance with Municipal Code Section 9.12.020 (Planned Unit Development) and Government Code Section 65864 et. seq., provisions for Development Agreements.
2. The implementation provisions for Planned Unit Development No. PUD-118-98 are found under Planning Commission Resolution No. 4865 for Site Plan No. SP-214-98, Variance No. V-227-98, and Tentative Parcel Map No. PM-98-115.

ADOPTED this 1st day of April 1998.

ERNEST WILKINS
CHAIRMAN

I HEREBY CERTIFY that the foregoing resolution was duly adopted at the regular meeting of the Planning Commission of the City of Garden Grove, State of California, held on April 1, 1998, by the following votes:

AYES:	COMMISSIONERS:	WILKINS, BUTTERFIELD, FREZE, HUTCHINSON, ROSEN, SCHILD,
NOES:	COMMISSIONERS:	HESKETT
ABSENT:	COMMISSIONERS:	NONE

/s/ TERESA POMEROY
SECRETARY

PLEASE NOTE: Any request for court review of this decision must be filed within 90 days of the date this decision was final (See Code of Civil Procedure Section 1094.6).

A decision becomes final if it is not timely appealed to the City Council. Appeal deadline is April 22, 1998.